

PUBLIC HEARING

A public hearing was conducted by the Human Affairs Committee on Monday, February 10, 2020, 7:00 p.m. in the Aldermanic Chamber.

Alderwoman-at-Large Shoshanna Kelly, Chairman, presided.

Members of the Committee present: Alderwoman Linda Harriott-Gathright, Vice Chair
 Alderman Patricia Klee
 Alderman June M. Caron
 Alderwoman-at-Large Lori Wilshire

Also in Attendance: Carrie Schena, Urban Programs Department Manager
 Alderwoman Elizabeth Lu

PUBLIC HEARING

5-YEAR CONSOLIDATED & FY21 ANNUAL ACTION PLANS FOR THE CDBG and HOME PROGRAMS

(To obtain the views of interested parties on Nashua's affordable housing and community development needs to help shape the Consolidated Plan)

Carrie Schena, Urban Programs Development Manager

Thank you Alderwoman Kelly, sorry to be behind you guys, but if you look up on the screen. This is the development where in the time where we do to do a new five-year consolidated plan. We thought we would just start the Public Hearing with a quick summary of what CDBG is, what the Home Program is. And then I just have a few demographics, I didn't want to overkill with PowerPoint and slides. But just to frame the context of where we are right now as we move forward developing the plans.

CDBG is Community Development Block Grant; the City is what is called an "Entitlement Community" which means that we receive the funds annual from HUD; they are given to us on a formula basis. We don't apply competitively for them. The allocations come out sometime after the Federal Budget is signed into Law. So we are hoping this year that we might get that number this month, in February, so that the next time the Human Affairs Committee is looking at numbers to do allocations we might have a real number to work with.

The CDBG Program overall, HUD directs what the goals are. They are very broad in how they direct that because they want communities to have flexibility to do the programs and the activities that are best for their area. In general, it is about revitalizing neighborhoods, economic development and improving community facilities and services.

So the overall process, which is where we are right now, we are right at the top of developing a five-year consolidated plan. That is kind of the overall framework for the next five years, we rank priorities and needs and set goals. That's done through a large community process; this is one piece of it. We also have a stakeholder input session later this week where we invited representatives from the community to come in and work with us to identify those needs and priorities. We do survey work and then we do other community outreach. That helps us direct the resources because there's lots of needs in the community but we need to know where to prioritize that money.

The next step is that each of the five years, we do what is called an "Action Plan" that is also what we are doing right now. So this is the First Year Action Plan for Fiscal Year 2021. That basically says, this is what we are going to do this year, specifically these are the activities that we are going to fund and then when the plan goes into HUD, associated with those activities are also the goals and the expected number of beneficiaries and things like that.

Urban Programs oversees all these activities; we do all the contract management, make sure the agreements are in place and everybody is meeting their benchmarks throughout the year. For a lot of them we provide the construction management as well. We work with a lot of non-profits through these funds who don't always have the capacity to oversee those construction projects.

Then at the end of it all, we do what is called the CAPER, Consolidated Annual Performance Evaluation Report, if you wanted to know. We enter all of that information into our Federal Reporting System. So every dollar that is spent gets reported and we talk about what the outcomes were.

These are just some examples of what CDBG can do or what it has done in our community. We have rehab of residential and non-residential, that's where some of that nonprofit rehab comes in. We can do parks, sidewalks, infrastructure, so whether that is streets, sidewalks, we can do water and shore lines. Typically those are in areas that are heavily low to moderate income residents. Economic Development, we can work with both for-profit and non-profit entities who can create jobs for low income people. And then Program Support is a percentage of the funds that can be allocated towards helping operating costs of different nonprofits carrying out what is called "Public Services". So things like daycare or soup kitchen, all different types of programs.

I won't read all those, that's just another example of some of the things that I said, the different types of activities that can be done; microenterprise, homeownership, handicap accessibility, things like that. So that was a very quick and broad overview of CDBG. The home investment partnership program, we call it the "HOME" Program, that is all about affordable housing and that is strictly what that program does. So we can do that either through providing direct home buyer assistance, such as down payment and closing cost programs. There's rental or homeowner development and that can be giving funds to a developer to create new affordable rental units or other entities that are creating home ownership opportunities.

Tenant-based Rental Vouchers, that's the typical rental voucher that people might be familiar with similar to a Section 8 Voucher. We can do that with our home funds, we have not done that here in Nashua but it is an eligible use.

And then the last category is owner occupied rehab. That is another category that we have not used home funds to do because it tends to get very complex under that category. If we do rehab with HOME Funds, you have to bring the entire property up to Code and often we don't have enough money to do that. So we try to stay away from that and use different resources for that program.

Some of the participants obviously would be low to moderate income individuals, people who could occupy those rental units or those homeowner units. On the development side, it can be faith-based, nonprofit, for-profit. Then we also have a category called CHODO, which is Community Housing Development Organization. That is a specific type of nonprofit that we have to go through a rigorous process to qualify and certify that they meet the HUD Requirements. Basically it is a nonprofit who is focused on developing housing only or as their main goal. And 15% of the HOME Grant every year, by Statute, has to be set aside for one of the entities that are called CHODO's. So we are always looking for an eligible CHODO to do an eligible project because we have those funds allocated.

This is just a ten-year summary of what our funding levels have looked like, the blue is CDBG and the yellowish color is HOME. So you can see ten years ago it was pretty decent, it took a dive about 2014 and now it is just narrowly creeping up. We did have a slight reduction last year. We are thinking for this, just based on what the Federal Budget looked like, that we will see small increases from last year. But we never know for sure because, as I mentioned, the funds are given as a formula. So depending on what changed within our formula dictates how much money we get.

And then moving into the kind of the Con Plan Development piece of it, just to frame it, these are certainly not all the statistics we look at. In the Consolidated Plan, we do a very intense Market Analysis, Housing Needs Analysis, but these are just some summary shots. These are the age demographics and we hear a lot in this community about New Hampshire as a State, being an older State, we have a lot of older population. But if you see here, we actually do have a decent amount of people in that median age. And one of the biggest age cohorts is age 25 to 39, that's 22% of our current population and this is the group that are going to be looking to move into home ownership and settle in Nashua and raise families. So that's the group we want to try to focus on and make sure they have affordable housing options as well.

I do apologize I tried to change the shading on this, when I saw it on the screen I realized that it was hard to see. But this just a comparison of the income concentrations, on the left side it is renter occupied; the lighter the shade the lower the income. So you can see that kind of center city which is our Tree Streets and French Hill areas. The concentrations of low income households is very high and that's for the renters on the left. On the right hand side you have the owner occupied percentages and where you see those darker shades of green, that means those households have higher incomes; the darkest bracket being over \$100,000.00. So it makes sense that people who own a home tend to have a higher household income. But it is pretty drastic when you look at them side-by-side.

This is another thing, we talk a lot about housing, the funds come from the Department of Housing & Urban Development. So housing is a big focus. Again, on the left is the renter occupied and the darker the shade, that is the percentage of households who are paying more than 30% for housing costs. 30% is a standard that we use to gauge how cost burdened people are to afford their living situation. So on the renter's side you see a good portion of the City, the darker shade is 45 to 50 and then the very dark is over 50% of households in those tracts are paying more than 30%. Overall for renters, 45% of renters across the City are cost burdened. And then on the ownership side, again, owners we saw have slightly higher incomes but they are still paying a high percentage of their monthly income towards housing costs. For that it is 25% or just over 25% of homeowners are cost-burdened so that's still pretty significant.

Just a quick thing on jobs, you can see in the pie chart on the right, the orange shade says "retail" that is just about 35% of the jobs in Nashua are in the retail sector. Those are also some of the lowest paying jobs. So the bar chart, it is a little hard to make out because I know you are far away, but the last bar, all the way at the end of the chart, that represents the retail jobs. The blue shading at the bottom are jobs that pay \$1,250.00 or less per month. So you can see that it is taking, that has the bulk share of the jobs in Nashua but it also has the bulk on the lowest paying jobs. So when we talk about economic opportunities, those are things we want to look at; what sectors can we help and where can we give decent paying jobs to low income residents.

So that was really it. Like I said, I didn't want to overkill you with data and statistics. I am going to be doing this out of several different places, we will have a lot of opportunity to talk about things. You know it is interesting too, I think I didn't say it, I didn't flip through my notes. But the vacancy rate for a two-bedroom apartment in Nashua right now is .3%. What is considered healthy is a 5% vacancy rate and that's from New Hampshire Finance. So we are not even at half a per cent for two bedrooms. So we have mismatch of there aren't units available, the ones that are very expensive and people are not earning the money they need to afford those homes. So that is kind of the bigger context and then I will just hand it back over the Committee to conduct the rest of the hearing.

Chairwoman Kelly

Thank you very much.

Ms. Schena

Sure.

Chairwoman Kelly

Are there any questions from the Board before we move into the Hearing?

Alderman Wilshire

I have a question about the tenant based vouchers. We've not done that before, right?

Ms. Schena

We have not.

Alderman Wilshire

OK so what's interesting is that I got a call last week from a person, at the Children's Home, I got a call from someone who had a Section 8 Voucher but couldn't find an apartment, could not find anything affordable enough. I think they have 30 or 60 days and they have to give that voucher back if they don't find something. You know, I was curious to see what this was about, not that it would help in this economy because there aren't any apartments out there that are affordable enough.

Ms. Schena

And even affordable or not, there's just not availability at a .3% vacancy rate.

Alderman Wilshire

OK thank you.

Alderman Klee

Actually two questions, one is can we get this presentation?

Ms. Schena

Absolutely.

Alderman Klee

The other question kind of piggy backs on what Alderman Wilshire had said. The vouchers, the tenant vouchers and so on, I was look at. I know our Welfare Department actually increased their vouchers because they couldn't be used we didn't have enough space. What are we looking at for the tenant vouchers, do we know? I mean what do we give? Maybe I just missed it?

Ms. Schena

So under the HOME Program we haven't used the Home Funds to do that type of program.

Alderman Klee

So we will decide that here, is that what that is?

Ms. Schena

It would be a whole new program to start up and I think that we would have to do a bit of research to figure out how that would be structured, what the amounts were. I will say that I know that those vouchers are valid for up to 24 months so they are not meant to be long-standing the way some of the other voucher programs are.

Alderman Klee

Actually I was just curious because we do have such a low vacancy rate. And that has kind of been what the problem is that we have them, we offer them, we give them, and they can't be used. So we end up putting people in hotels and so on to make up for the lack of availability, which in the end actually costs us more money. Thank you.

Chairwoman Kelly

I would like to ask a question about the vouchers, is there a specific, say we were to say we wanted to do a program. Are there specifics like Section 8 that you have to meet in order to give them. Or would that be the City deciding those things?

Ms. Schena

So there would be qualification criteria, just like any program. So it would be directed towards certain income-eligible applicants. And then it would be up for the City to design what that program would like if it wanted to target ... I know some other communities have done it where they have targeted the homeless population and used it specifically to move people from homelessness into units because the funds usually, it's not usually as big as like a Section 8 Program, dollar-wise. So it makes sense to target them but it could be wide open or it could be targeted either way.

Chairwoman Kelly

Thank you. Anyone else from the Committee? Ok we will move into the public hearing. We start with testimony in favor. If you have testimony in favor, please come to the microphone, state your name and your address for the record.

TESTIMONY IN FAVOR

Christa Tsechrintzis I am the Director of Development at Marguerite's Place. So first I just want to thank you for your time and all the thought you put into this program specifically and how much time we put on our end on one application so I imagine the time you guys invest it tenfold. So I just thought I'd just mentioned briefly, I have only been at Margarites Place for less than 3 years. It is a 25 year organization so very established. But just what I've seen in the last few years from using the CDBG Funds have been brought such a freshness and a life. We were able to get new siding and it has brought a breath of fresh air to the organization.

There seems to be a lot of momentum built around it and improvement. We have ten apartments on

Palm Street and an on-site child care center as well. So specifically what we requested this year is for windows, replacement for safety and energy efficiency. We had a contractor go through to make sure it is safe for the residents and the children, but they do need to be replaced. So that's just our, a little bit specifically about us. So I guess just thank you for your time.

Scott Slottery Good evening Madam Chair and Members of the Committee. I am the Executive Director of Greater Nashua Habitat for Humanity. Some may know, I am the former Mayor and Manager and of the Urban Programs Department. I can tell you I've participated in these Con Plans and Action Plans and I applaud this Committee, The Board of Aldermen, the Mayor and all of our City Officials for the vision that you have about using these funds.

From the nonprofit side, I can tell you every dollar is precious, whether you are fixing windows, or doing a repair or building homes or providing some operating assistance to a nonprofit. When I say these are critical dollars, they are critical dollars. So I really applaud Carrie and the staff of the Urban Programs Department; they are always there if you have a phone call, you got a question about a project or program or something like that. So that was really – I just want to speak in favor of the Urban Programs Department and the vision that the City has for using these funds. Thank you.

Rocky Morelli Hello I am the Executive Director of Opportunity Networks. Opportunity Networks is an organization that provides supports and services to adults with disabilities. We started back in Nashua in 1980, started by local families who were looking for an alternative for their children who were coming out of the Mount Hope School Program at the time. So we've been around for quite a while. I've been the Executive Director for 32 years now. So I've kind of been around for a while. I happen to be a native Nashuan, who was born at St. Joe's Hospital, went through the school system. I did not move out of the area like a lot of the young people in the State. I can't say that I qualify as a young person anymore, so I am kind of on the other end of the spectrum, but my family has been in the area the whole time.

I am very passionate about supporting people with disabilities. I happen to have Multiple Sclerosis that I got diagnosed with. I have been able to continue my career and forge through and manage my symptoms so I have a lot of pride in helping others who face similar types of challenges. The group that we work with, as I said, were adults. They are all low income, we are primarily a Medicaid funded program with the State and the Federal Government. So pretty much everybody qualifies for the type of criteria you are looking at. We are looking to renovate our facility which is up on Perimeter Road near the airport property that we have been at since 1988, just after I started working there, we obtained it. So it really is in need of some kind of upgrades and repairs and specifically what we are looking to do is to renovate some bathrooms. We would like to install a track lift system that allows for a mechanical assistance in helping people with wheelchairs that would otherwise require human lifting to be able to assist them in that.

If you talk to anybody in those type of situations, their dignity is often compromised around those types of issues and this really helps minimize that. And on the other hand, it really allows for a safer work environment for our staff who work so hard. I know you are looking at lower income positions; I think our Direct Care Personnel fall into that category, it tends to be typically low wages. So they are very dedicated professionals who work really hard and oftentimes aren't receiving the wage level that they might out in a more of a competitive business climate. So preventing injuries, keeping people safe, allowing for dignity and just being more efficient would be something very important for us; and especially where we are looking at a 32 year old facility that really, really could use some types of upgrades.

We are a growing agency, we have gone from like 30 to up to 80 employees over the last six years. So we are doing our part in the workforce in terms of creating opportunities and we expect to continue to grow. We have had money appropriated by the State Legislature to be able to take on more people.

We play a big role in assisting families, not only in providing a safe and productive place for their kids to attend. But it also allows them to be able to maintain jobs and have some normalcy in their life by knowing that they can trust us to provide the care and safety to their, what are vulnerable sons and daughters, who you have a commitment to, not only when they are children, but right through their adult lives. They really need that level of care and it puts a lot of burden on a family so we help reduce that. So we have a bigger impact in the community.

We do a lot with job placement and supports, so we actually get people out and participating in the Community. That's very important as well as focus on them having a high presence in the community participating in different groups and volunteering. You know, we volunteer at the Food Banks and some of the Nursing Homes types of things. We do a lot with health and wellness, trying to keep them out of the hospital and the medical system rather than just having them sit around and hang out on the couch watching TV or what is now the big trend, playing video games. Even the disabled are just kind of addicted to that, it is amazing. So yeah that's kind of the basis of – I think I have covered most of the points I wanted to address. So we do appreciate that you are taking our request. We started working with you folks last year. We were very fortunate to start a project so we'd like to take that next step and really keep our program growing so that we can help more and more people in the community because it is very, very important, so thank you. I appreciate your time. Thank you.

TESTIMONY IN OPPOSITION

TESTIMONY IN FAVOR

TESTIMONY IN OPPOSITION

**MOTION BY ALDERMAN WILSHIRE TO CLOSE THE PUBLIC MEETING AND ADJOURN
MOTION CARRIED**

The public hearing was declared closed at 7:26 p.m.

Alderman-at-Large Lori Wilshire
Committee Clerk

HUMAN AFFAIRS COMMITTEE

FEBRUARY 10, 2020

A meeting of the Human Affairs Committee was held Monday, February 10, 2020, at 7:30 p.m. in the Auditorium at City Hall.

Alderman-at-Large Shoshanna Kelly, Chairman, presided.

Members of the Committee present: Alderman Linda Harriott-Gathright, Vice Chair
Alderman Patricia Klee
Alderman June M. Caron
Alderman-at-Large Lori Wilshire

Also in Attendance: Alderman Elizabeth Lu
Carrie Schena, Urban Programs Manager
Deb Chisholm, Waterways Manager

REGULAR MEETING

PUBLIC COMMENT - None

COMMUNICATIONS

From: Carrie Schena, Urban Programs Manager
Re: R-20-005

There being no objection, Chairwoman Kelly accepted the communication and placed it on file.

From: Carrie Schena, Urban Programs Manager
Re: Consolidated Plan & Development FY2021 Annual Action Plan

There being no objection, Chairwoman Kelly accepted the communication and placed it on file.

UNFINISHED BUSINESS – None

NEW BUSINESS – RESOLUTIONS

R-20-003

Endorsers: Mayor Jim Donchess
Alderman-at-Large Lori Wilshire
Alderman-at-Large Michael B. O'Brien, Sr.
Alderman Patricia Klee
Alderman-at-Large Shoshanna Kelly
Alderman Richard A. Dowd
Alderman June M. Caron
Alderman Thomas Lopez
Alderman Jan Schmidt
Alderman-at-Large Brandon Michael Laws
Alderman Linda Harriott-Gathright

AUTHORIZING THE FILING OF APPLICATIONS AND EXECUTION OF GRANT AGREEMENTS WITH THE U.S. DEPARTMENT OF TRANSPORTATION FOR GRANTS UNDER THE URBAN MASS TRANSPORTATION ACT OF 1964, AS AMENDED, FOR FISCAL YEARS 2021 AND 2022

MOTION BY ALDERMAN WILSHIRE TO RECOMMEND FINAL PASSAGE

ON THE QUESTION

Chairwoman Kelly

Ms. Chism, did you want to come and speak to this one? Or are you doing to do something else? OK. Is there anyone who wants to speak on that.

Alderman Klee

And I don't know if anybody here can answer this question, when I was looking at it and reading it says, "Now therefore, be it resolved by the Board of Aldermen and the City" and it continues to say "The Mayor has authorized" is this in normal or does it take away the authority of the Board of Aldermen. That was my question, so this is within normal?

Unidentified Speakers

Yes.

Alderman Klee

Thank you that's all I wanted to know. I know it's only through 20 to 2021.

MOTION CARRIED

R-20-005

Endorsers: Mayor Jim Donchess
Alderman-at-Large Lori Wilshire
Alderman-at-Large Michael B. O'Brien, Sr.
Alderman Richard A. Dowd
Alderman June M. Caron
Alderman Thomas Lopez
Alderman-at-Large David C. Tencza
Alderman Jan Schmidt
Alderman-at-Large Brandon Michael Laws
Alderman Linda Harriott-Gathright

APPROVING THE USE OF U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT HOME INVESTMENT PARTNERSHIP PROGRAM FUNDS BY HABITAT FOR HUMANITY FOR 10 PAXTON TERRACE

MOTION BY ALDERMAN WILSHIRE TO RECOMMEND FINAL PASSAGE

ON THE QUESTION

Chairwoman Kelly

Mr. Slottery did you want to come up to speak on this?

Scott Slottery Thank you Madam Chair, I appreciate it again, I am Scott Slottery, the Executive Director of Greater Nashua Habitat for Humanity. If you'll entertain me for a few minutes, I do have a quick PowerPoint presentation that I wanted to show as well as some packets I'd like to hand out as well, if that's ok.

We are going to talk about Greater Nashua Habitat for Humanity's new 10 Paxton Terrace Project funded through HOME. The Committee has moved fast tonight, but you're right on time. So I wanted to start and just give a little background about Greater Nashua Habitat and Humanity and give you folks a little bit of Habitat 101 and maybe answer questions that folks might have even before we start. Greater Nashua Habitat For Humanity serves 14 communities in Southern New Hampshire. We build homes for low and moderate income families and sell them to them. As I said, we build homes for low and moderate income families. Typically our applicants are at or below 60% of the area median income to qualify. Applicants must show a need for the home, a willingness to partner with us, including volunteering a minimum of 350 hours (inaudible). My apologies, I thought I was loud enough without the mic but he probably needs it for the record. I think he wanted me to just put it closer to my mouth so he maybe gets it on the record, so my apologies.

Known as sweat equity, and families have to have the ability to sustain the property into the future financially, i.e. meaning paying a mortgage. Habitat Homes are sold at market value, we have appraisals done at the end of our project so there is no devaluation of adjacent properties. And Habitat families pay property taxes, just like every other family in the neighborhood; there's no subsidy. There is no built in tax relief for them. We are able to make our homes affordable in the fact that Habitat does not charge interest on a Habitat Mortgage and we hold our own mortgages internally at Habitat, there are not banks.

So the proposed project that we are putting forward is going to be located at 10 Paxton Terrace. It is a two-unit duplex built upon a City approved subdivision. The project is designated as a Veteran Build meaning that any active military person or family can be approved as well as any Veteran who was honorably discharged from any branch of the military including the National Guard. Families will be selected through an application and family selection process. We are always looking for volunteers who want to participate in our family selection committee, so if anybody has an interest and wants to get involved with us, we'd love to have you on our Committee.

Each of our units will be three bedrooms. This project is a partnership between Greater Nashua Habitat for Humanity in the City of Nashua, the United States Department of Housing & Urban Development, HUD.; Veteran Service Organizations in the region, corporate sponsors and volunteers. We already have received commitments of support, you'll find a few letters in your packet from some of the nonprofits here in Nashua including Family Promise, Harbor Homes and the United Way. We have commitments already from Nashua Wallpaper, Ace Hardware, Viking Roofing, Courier Building Products, Anheuser Busch & Bev, the VFW locally in Merrimack, Loew's, United Way of Greater Nashua, the Partnership, etc.

We will build our house using all volunteer labor, using team builds from corporate sponsors, Women Builds, with teams of ladies, Day of Caring Church and other civic groups and individuals through what we call "build days". Here's the site, it is kind of hard from the picture from what you see, but this is the site at 10 Paxton Terrace. Where you see that shed, down below is approximately where the house will be located. What you really can't see because obviously I took this in the snow a few weeks ago, is the elevations there. The site sits dramatically lower than the street level. Hence, the reason that we are going to need a lot of site work in our project. So that's part of the reason why the budget is a little bit larger than the last project that we funded using HOME funds.

In your packet you will find a subdivision plan, a gentleman Mr. Kinville subdivided his property on Fairmount Street and created this new lot known at Lot 250. It was subdivided as I said from 21 ½ Fairmount Street, it will need considerable work as I said to address elevation, drainage, parking and access. We are going to build this house on the City approved footprint that has already been approved by the Planning Department in Town. Each unit will have approximately 1,300 square feet of living space on two different floors. There will be a basement with one-bedroom, mechanical rooms, laundry room and walk out access. The main level with consist of two bedrooms, living room, kitchen bathroom and entry areas. And the design is open to change depending on the family selected. If we get a disabled veteran who applies and is qualified for the family, we can modify our design to make the home handicap accessible if needed.

The site will need a lot of terracing due to the elevation and incline and it will include parking and a yard. This is kind of what the rendering will look like from our architect of the front level of it and then a little bit of the floor plan of the main floor, that shows you a 2 bedroom, bathroom, kitchen and living, and those are all in your packet as well. It might show a little bit better than what we are seeing on the screen. The exterior will look – upper left is the front, lower left would be the rear of the building with the walkout basement access and two side views from it. And I am happy to answer any questions that folks on the Committee might have. I know it is a lot of information in a short period of time.

Chairman Kelly

Are there questions from the committee? I had one question. So at the front of your deck you talked about being income eligible when you went to talk about the Veteran one you said “any Veteran”. Do they have to be income eligible?

Mr. Slottery Yes income eligible is the number one criteria when we look at our houses, yes.

Chairman Kelly

And then on top of that they have to be Veterans?

Mr. Slottery Correct.

Alderman Harriott-Gathright

What is the income that you look at?

Mr. Slottery It will be 60% of the area median income and it would depend on family size. New Hampshire Housing Finance Authority puts out these income levels on a regular basis and like I said, it depends on the family size itself. For a family of 4 you’re looking at total annual income of somewhere in the \$60,000.00 range.

Alderman Klee

When are you hoping to be able to break ground and so on.

Mr. Slottery I think that depends on you folks here at the Committee. We are ready, I mean we are ready to break ground. We have an incredible build crew of folks, we have already met with some contractors about the site work and everything. In March, I think we’d really like to break ground.

Alderman Klee

I love the fact that it is ranch style which makes it very ADA compliant and so on. You said that you can, for a Veteran or a family member that has disabilities you can create it, when you are building it are you going to consider building it to be somewhat, in case for some reason they do move or something happens and they left it, with the wider doors and so on or would that only be if the person was applying for it at that time.

Mr. Slottery Typically we wouldn’t, we will select the family we will know who the families are hopefully before we really get into construction. But if we get further on through and we need to modify the design, we can. You know, our build crew can do just about anything if we ask them to.

Alderman Klee

Just one comment if that’s ok. The reason that I ask is that I am the Chair of the Veterans Affairs Committee and had worked with the VA for 26 years. One of the key things is that we find as time goes on with

Veterans, their need changes. Just to tell you what recently happened with the traumatic brain injuries that would be suddenly popping up. Sometimes these happen with some other issues and illnesses as time goes on. And that was just my concern was to have the wide doors. I have had constituents that have to put in ramps afterwards and they have had to go and modify doors and so on. That was just my, especially when you are looking at this grouping of individuals.

Mr. Slottery In addition to us building homes, we operate what is known as a “Critical Home Repair Program” also known as “Aging in Place”. So when we pick our families we explain to them, they are really in this for the full term of 25 or 30 year mortgage. And this is a mortgage just like any one else has a mortgage. There’s lots of incentives up front; we carry soft second mortgages to create the units affordable, families are never paying more than 30% of their income for their mortgage payment so there’s obviously some second mortgages. There’s also some first time home buyer assistance. If they leave the program sooner than the full term of the mortgage, some of that money has to be paid back. So we work with our families throughout and we hope that we never had that, but if we did, we could go ahead and make those modifications. Things happen and we work our families if that happens.

Alderman Klee

Thank you for doing this, this is a great program thank you.

Chairwoman Kelly

If there is no other discussion, the motion on the table if for final passage.

MOTION CARRIED

R-20-006

Endorsers: Mayor Jim Donchess
 Alderman-at-Large Michael B. O’Brien, Sr.
 Alderman Patricia Klee
 Alderman-at-Large Shoshanna Kelly
 Alderman Richard A. Dowd
 Alderman June M. Caron
 Alderman Thomas Lopez
 Alderman-at-Large David C. Tencza
 Alderman Jan Schmidt
 Alderman-at-Large Brandon Michael Laws
 Alderman Linda Harriott-Gathright
 Alderman-at-Large Lori Wilshire

RELATIVE TO THE ACCEPTANCE AND APPROPRIATION OF \$290,000 FROM THE STATE OF NEW HAMPSHIRE, DEPARTMENT OF SAFETY INTO POLICE GRANT ACTIVITY “FY2020 OPIOID ABUSE REDUCTION INITIATIVE (OARI) GRANT”

MOTION BY ALDERMAN WILSHIRE TO RECOMMEND FINAL PASSAGE

ON THE QUESTION

Chairwoman Kelly

We have a motion for final passage and I believe there is someone here to speak on this, correct? I keep saying that and hoping that the answer is yet.

Bill Adamson, Nashua Police Department Grant Manager

Good evening I'm Officer Bill Adamson with Nashua Police, our Grants Manager. This is the third or fourth year we have had this grant which we get from the State Legislation. They pass it every year. So I think this is our highest amount that we have gotten so far. I was expecting less, but they gave us more, which is good. What we use this for is obviously to combat the opioid crisis, when people see the Police Department, they think we are just doing enforcement, but talking to our Narcotics Commanders, they have been able to cultivate a lot of informants but also a lot of the people, we have been able to get them into treatment, get them into Drug Court. So it has been very successful in that aspect so we are not just out there making arrests.

Last year we teamed up, they want to make it more of a team effort between communities, so we started working with Hudson. They came over, they didn't have any – there wasn't any dedicated Narcotics Detectives. So a lot of times it was sporadic when they could come over, but I talked to Chief Avery over there and he has two guys that are dedicated just to narcotics now. So they will be over here working with our guys. So we will be able to work on things happening in Nashua that has a connection to Hudson and vice versa. So that's it. We have to, it is kind of a late start for us, so we have to spend it by the end of June but I am very confident as well as people at the Department that that money will go very quickly. So that's it, unless you have any questions.

Alderman Klee

I don't know whether or not you can answer this, I know you said that we have to do it by June but it also states in this Resolution and maybe it was just when the Resolution was created that it was contingent upon approval by the Governor and Executive Council.

Officer Adamson

So it's already been approved.

Alderman Klee

And when it talks about that no local match is required because I think the next one is going to say something quite similar. Is local match State or City, do you know?

Officer Adamson

With matching grants it is through the City. So some of our grants have been you know like a 25% in kind match. But yes there's no match with this grant.

Alderman Klee

I think this is a great program by the way.

MOTION CARRIED

R-20-013

Endorsers: Mayor Jim Donchess
Alderman-at-Large Lori Wilshire
Alderman Richard A. Dowd
Alderman-at-Large Michael B. O'Brien, Sr.
Alderman Patricia Klee
Alderwoman-at-Large Shoshanna Kelly
Alderman June M. Caron
Alderman Tom Lopez
Alderman-at-Large David C. Tencza
Alderman Jan Schmidt
Alderman-at-Large Brandon Michael Laws
Alderman Skip Cleaver
Alderman Linda Harriott-Gathright

RELATIVE TO THE ACCEPTANCE AND APPROPRIATION OF \$24,972.80 FROM THE STATE OF NEW HAMPSHIRE DEPARTMENT OF SAFETY INTO POLICE GRANT ACTIVITY "PROJECT SAFE NEIGHBORHOOD"

MOTION BY ALDERMAN WILSHIRE TO RECOMMEND FINAL PASSAGE

ON THE QUESTION

Chairwoman Kelly

Thank you Alderman Wilshire the motion is for final passage. Did you want to come up and speak to this one as well?

Officer Adamson

Bill Adamson again with Nashua Police Department. Obviously when I come here usually these grants are over \$25,000.00 but this one was a special circumstance. They require a Certificate of Authority and we tried every which way with the DOJ to get the Certificate of Authority authenticated but it really had to come before the Aldermen for passage. So that's why it is before you tonight. Project Safe Neighborhood Grants historically, especially in New Hampshire, have been geared more towards gun violence. So when Manchester has been able to get them and we have tried in the past but we are a great City and we don't have a lot of gun violence compared to communities to the north of us and communities in Massachusetts to the south of us.

So they basically came up with – hey we really should be combatting violent crimes as well. So that was how we got in the mix with this grant. And what it is, it's a hot spot grant. So our crime analyst has obviously identified areas where our violent crime is localized. So what you will see when we get this going, is you will see officers mainly, they will have vehicles, but we are going to get them out on foot patrol in those areas, you know, meeting with people in the neighborhood, cultivating intelligence, responding to those calls if there are any violent crime calls that come in. They will be doing that; it will be overtime in addition to the officers on regular patrol so it will be a force multiplier. We have until, I think it's September of 2021 to spend that money. So we will obviously be very good about how we spend it; we don't want to spend it all in one summer, like to kind of stretch it out if we can. You know, rather than be out there in full force and then nothing is going on and you see a spike in something. So that's the basis for this. There is not a match with this one either.

Alderman Klee

Sorry. Sorry to keep doing this. I do like this, what I've been hearing about the hot spot kind of. But is this specifically for violent type crimes? And violence, is that domestic violence is that muggings is that ...?

Officer Adamson

I say "violent crimes" but it is basically going to be whatever the crime analyst. You know the concentration of all crimes, whether it is domestic violence whether it is first or second degree assaults. But it is going to be more towards violent crime so we are not going to be looking a ton at drug activity, you know, drug enforcement or anything like that. I mean obviously violent crime and drug activity can go hand in hand. So we will be doing that as well. But yeah for the most part it will be, yeah, domestic violence, you know, serious domestic violence, assaults, first degree assaults, secondary assaults, not your run of the mill fights outside of a bar or something like that.

Alderman Klee

Thank you.

Alderman Harriott-Gathright

Hotspot is that strictly the name that you have for the officers that are going to walk the beat I assume that's where they are going. That's what it says in the analysis, it kind of threw me off a little bit.

Officer Adamson

Yes so that's where they are going to be going to. They are not going to be responding to regular calls for service if that's what you mean. Right, so they are not going to be responding to disabled motor vehicles, or ambulance calls. They are proactive, self-initiating stuff basically, Self-initiating work.

Alderman Harriott-Gathright

I'm just curious, it has nothing to do with this, but remember we used to have a Police Office at Ledge Street and there used to be one over on Canal Street, do you still have those, just curious?

Officer Adamson

The sub-stations? So the only substations we really have now is Railroad Square, that's the only that we have, the old, what did they call it, the hot dog stand.

Alderman Harriott-Gathright

I think there used to be one Spit Brook?

Officer Adamson

Yes there used to be one in Brook Village, I used to go there, Brook Village. There used to be one on Toll Street, yeah but we don't have those anymore.

Chairwoman Kelly

Does anybody else have a question?

MOTION CARRIED

R-20-014

Endorser: Mayor Jim Donchess
Alderman-at-Large Michael B. O'Brien, Sr.
Alderman Patricia Klee
Alderwoman-at-Large Shoshanna Kelly
Alderman June M. Caron
Alderman-at-Large Ben Clemons
Alderman Tom Lopez
Alderman-at-Large David C. Tencza
Alderman Jan Schmidt
Alderman-at-Large Brandon Michael Laws
Alderman Skip Cleaver
Alderman Linda Harriott-Gathright
Alderman-at-Large Lori Wilshire

RELATIVE TO THE ACCEPTANCE AND APPROPRIATION OF \$35,196 FROM THE STATE OF NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES, EXOTIC SPECIES PROGRAM AND AUTHORIZING THE TRANSFER OF MATCHING FUNDS

MOTION BY ALDERMAN WILSHIRE TO RECOMMEND FINAL PASSAGE

ON THE QUESTION

Chairwoman Kelly

The motion is to recommend final passage. Ms. Chisolm would you like to come up and speak to this please?

Ms. Chisolm

I'll be quick. These funds are annual funds that we apply for from the Department of Environmental Services to treat invasive species in the Nashua River. This year, we are treating the Nashua River from the Mine Falls Dam up to let's see, I'm trying to get you – before you get to Hollis, Jenson's Trailer Park on the East Side of the River. So we are treating all of that and this year we have the added benefit, we are also treating the Mill Pond which is behind Conway Arena and the canal that runs all the way through downtown. So we've got a little bit extra, we treat those, the Millpond and the Canal every other year. The Nashua River we treat every year.

Not really associated with this grant, we are also going to be treating Sandy Pond which we treat every year. So the funds are applied basically to the Community Development portion. Nick's money for the treatment of the Millpond and the Canal comes out of the Mine Falls Park Trust. So I do all the paperwork and all the leg work and Nick pays all the money for that portion which is helpful.

In addition to that we also do some, we get volunteers to do some hand-pulling of water chestnuts which have been, the past, have been extensive. But we've got a really group and we work hand in hand with Nashua River Watershed Association to also do that. So if anyone is looking to go kayaking in July or August on a lovely day, let me know and we will hook you up.

Chairwoman Kelly

I actually wanted to ask about how we treat them, I was really interested in how we do. It is a chemical?

Ms. Chisholm

It is an herbicide. And so we hire a contractor that comes out with one of those air boats that has one of those big giant fans on the back like you would see in the Everglades and they get on that. They've got a GPS system in their boat so they know exactly where they are and they know exactly how much they are treating. So it is a spray that goes down. So we will put out notifications before that happens, at all of the boat launches, the Wind Chester Street Boat Launch, the one at Mine Falls and the folks that are launching from the mobile home parks, they've got a little spot over there too. We let people know ahead of time that we are going to be treating.

And it's really, the treatments are approved by the State Department of Agriculture and there are specific permits that are required so that the applications are done properly by professionals. So like I said, we do put notifications out and let abutters know that this is going to be happening.

Chairwoman Kelly

The effect to the ecosystem is minimum I assume if it has been approved all the way up there?

Ms. Chisholm

Correct.

Alderman Klee

I always have lots of question, sorry. A couple of things that you mentioned, first let the notifications. You mentioned that they would be at the launches and so on. Is there something that is put online that it has been done. The only reason that I am asking if that I'm very keen on all the notifications that we do with consolidated stuff that we put into the river and so on. But if someone decided they wanted to go kayaking, I would assume there's a notice there. But you get ready and you get there and you see this and you may or may not want to go into the water at that point. I do know, myself, people who walk their dogs through Mine Falls and so on. While you try to stop your dog from drinking because of the blue algae and the green algae and all of the other things that are in there, that's also something that we really do need to and if they don't go to the boat launch but they go off river. How would we know that this is there?

Ms. Chisholm

Well there are a couple of ways. One, we put out notifications, I believe that they are Certified Mail to abutters so anyone who is an abutter of the Nashua River will get a notification. I'm an abutter on the Nashua River and in our Condo Complex we get a notification; it gets posted at the mail house. But we also are required to put a notification, a legal notice, in the newspaper for those who are still reading it. In addition to that, we also will take that, whatever we are posting at the boat launches, Community Development posts that information on Facebook and on Twitter and we are always hopeful that other Divisions will share that as well on Facebook. So that's essentially our social media network will get that information as well. And I am happy to take suggestions if you think there's a more comprehensive way to notify people, I am happy to do that as well. Because I am a dog walker, dog lover, and that's really my concern. It's not that if you walk in the water you are going to end up with hives, but I am concerned about dogs that are going in with their mouths wide open and super thirsty from a long walk. But this stuff it really does it dissipates, it's really like a 24-hour time period. So it's not extensive but again I am happy to get your input on better communication.

Alderman Klee

I would love to see something like else to be even posted on the front page of the web site. I feel the same way about the CMO's and all these other types of thing just to let people know that this is an issue. Personally, every Sunday I have a group of greyhound dog walkers and we go and we purposely do it so that we stop at all the water stops so the dogs can go into the water. And as much you tell them, don't drink, they look at you like – I can give them water and they still are going to drink when they go in.

But my other question was, if I may, is that it talks about matching grants, it talks about the \$52,796.00 and that \$18,000.00 of it was from the CDBG. What portion or part of that is matched?

Ms. Chisholm

There's really no match requirement. What we do is we provide a proposal to them, to the State DES and they give us – last year they gave us 25% of what our request was. This year they gave us 40% of what our original request was. So those are funds like I said, the Mill Pond and the Canal work is funded through the Mine Falls Park Trust Fund and then the remainder of the work comes out of Community Development. The reason those \$18,000.00 or so are put aside for 2021 is that we don't currently have that money in our budget because we spent that last July on the treatment for last year. So we will wait until after the proposed budget is finalized before we would spend that money.

Alderman Klee

I have a follow up and thank you and pardon me if I seem to be a little of here. But I guess the question that I have is I see the \$52,796.00 and then I see based on the Fiscal Note that there is an impact of \$35,196.00 and while I think it is money well spent, I just want to make sure that it is clear. This is coming from the City's budget and not from the, is that correct?

Ms. Chisholm

The \$35,000.00 is a grant. So our total proposal for all of the work was about \$87,000.00. \$35,000.00 will get paid by that grant and the rest is paid by either Community Development or Mine Falls Park Trust Fund.

Alderman Klee

Perfect thank you so much, I appreciate it.

Ms. Chisholm

You're welcome.

Chairwoman Kelly

If I could I was going to ask if it would be an undue burden to put postings at the entrances to Mine Falls if the concern is that people are walking in Mine Falls, just for that one.

Ms. Chisholm

Not an undue burden at all. I am happy to take input on that.

Alderman Klee

There's quite a few entrances.

Ms. Chisholm

Mm-hmm.

Alderman Klee

That would be good and just put the date that it was done if they don't get pulled down in time.

Ms. Chisholm

Yeah well usually what we have done in the past is we have posted it one time and we have indicated the dates when the treatment might be happening. Last year I think they treated 3 times and it may be 3 times, it might actually be 2 times this year which would be good.

Alderman Klee

Thank you so much.

Ms. Chisholm

You're welcome.

Alderwoman Lu

What herbicide is used?

Ms. Chisholm

Yep that one, I honestly don't know. The treatment for the Nashua River is a little bit different than the one for the Mill Pond, I couldn't give you the names but I am happy to forward the information to you.

Alderwoman Lu

Ok thank you.

Ms. Chisholm

Mm-hmm, you're welcome.

Chairwoman Kelly

Anyone else?

MOTION CARRIED

NEW BUSINESS – ORDINANCES – None

GENERAL DISCUSSION - None

PUBLIC COMMENT – None

REMARKS BY THE ALDERMEN

Carrie Schena, Urban Program

So we received an e-mail today from one of the CDBG applicants that they were withdrawing their proposal, so I just wanted to update the spreadsheet that was in the packet and hand that out to you so you could have the most current numbers as you delve into reviewing those for the next meeting.

POSSIBLE NON-PUBLIC SESSION - None

ADJOURNMENT

**MOTION BY ALDERMAN CARON TO ADJOURN
MOTION CARRIED**

The meeting was declared adjourned at 8:05 p.m.

Alderman-at-Large Lori Wilshire
Committee Clerk

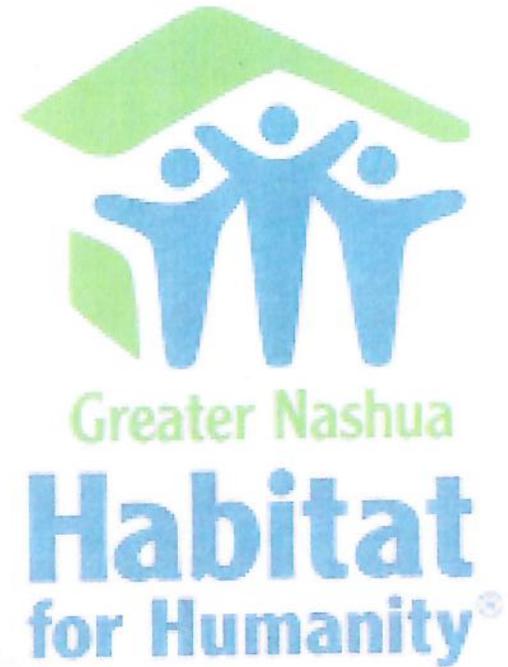


Greater Nashua Habitat for Humanity

10 Paxton Terrace HOME Project

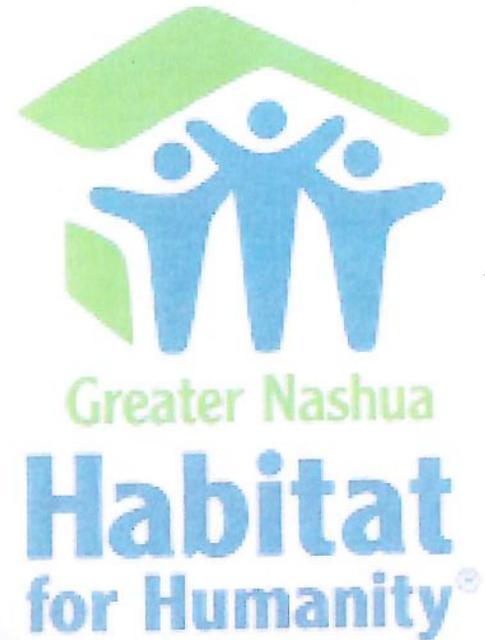
Habitat 101

- GNHFH builds homes for eligible families that are considered low and moderate income.
- Applicants must be at or below 60% of the Area Median Income (AMI) to qualify.
- Applicants must show a need for the home, a willingness to partner with GNHFH including volunteering a minimum of 350 hours known as “sweat equity” and have the ability to sustain the property into the future financially.
- Habitat homes are sold at market value. (no de-valuation of adjacent properties)
- Habitat families pay full property taxes based on appraised value. (No subsidy)



Proposed Project

- Two-unit duplex built upon city-approved subdivision located at 10 Paxton Terrace in Nashua.
- Project is designated as a “Veteran Build” meaning any active military person or family can approved as well as Veteran’s who are honorably discharged from any branch of the US Military including National Guard.
- Family’s will be selected through an application and family selection process. Volunteers for the family selection committee are always welcomed.
- Units will be three-bedroom.



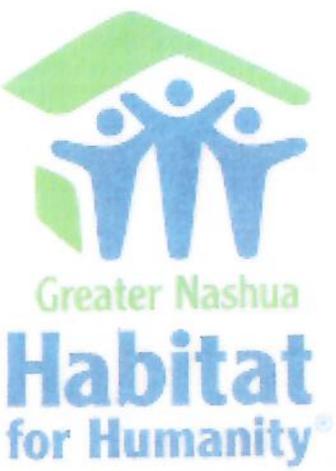
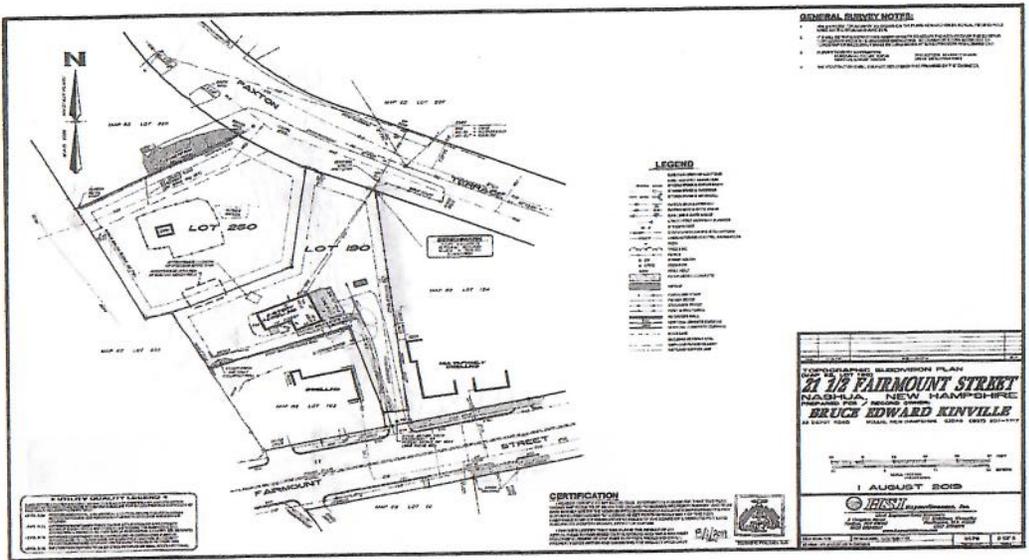
Project Continued

- Project is a partnership with the city of Nashua, US Department of Housing and Urban Development (HUD), GNHFH, Veteran Service Organizations region-wide, corporate sponsors and volunteers.
- GNHFH has already received commitments of support from local partners including Nashua Wallpaper/Ace Hardware, Viking Roofing, Carrier Building Products, Anheuser Busch/InBev, Veterans of Foreign War-VFW Merrimack, Lowes, United Way of Greater Nashua, NH Partnership for Successful Living and Family Promise of Southern NH.
- GNHFH intends on building the home with all volunteer labor including team builds from companies and corporations, Women's Build with teams of women, days of caring with church and other civic groups and individual build days.



Proposed Site



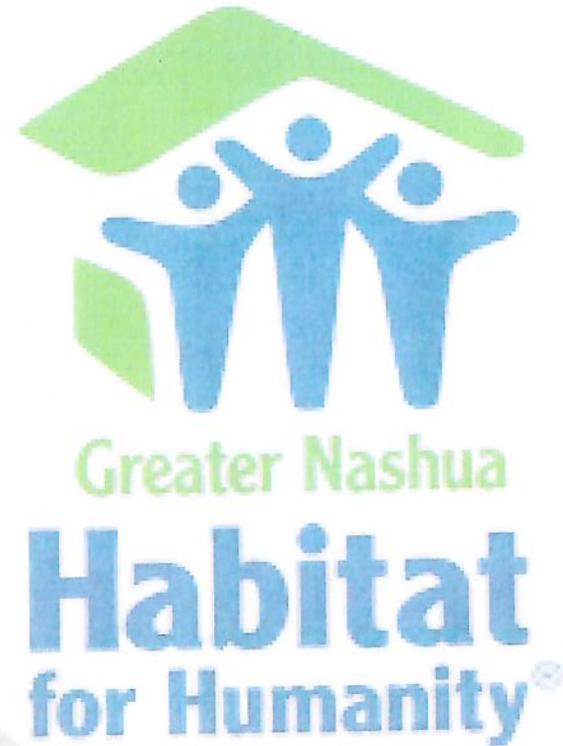


Subdivision Plan

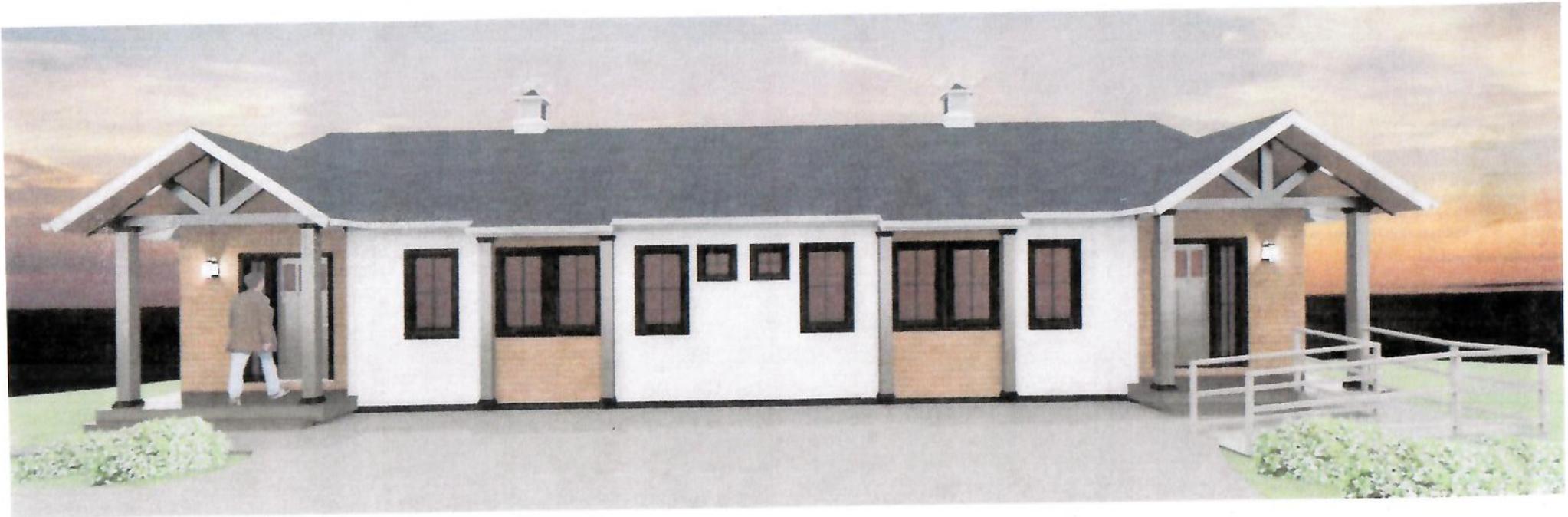
- Location was subdivided by the owner of 21 1/2 Fairmont Street creating a city approved duplex lot. Lot 250.
- Site will need considerable site work to address elevation, drainage, parking and access.

Conceptual Design

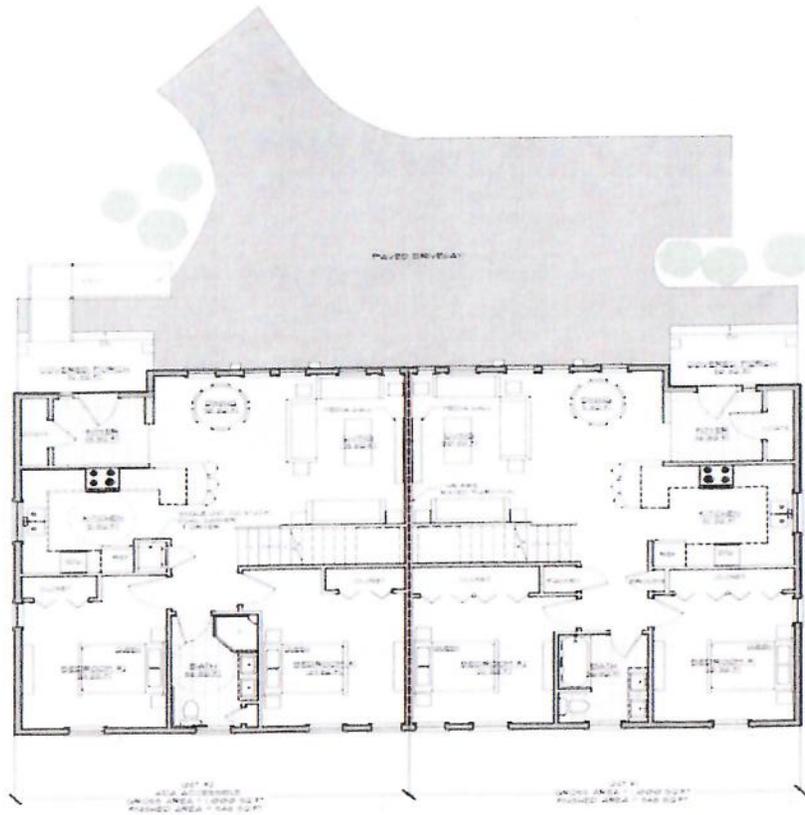
- GNHFH intends on building upon the approved footprint by the city planning department. The approved footprint will be used and each unit will have approximately 1300 square feet of living space on 2 floors.
- There will be a basement are with one-bedroom, mechanical room, laundry room, bathroom and walkout access.
- Main level will consist of two bedrooms, living room, kitchen, bathroom and entry area.
- Design is open to change depending upon the family (s) selected. I.E. handicapped accessibility.
- Site will be terraced due to incline and include parking and yard.



Conceptual Design – 10 Paxton Terrace



Main Floor



GENERAL NOTE
DESIGN GROUP
NASHUA HABITAT FOR HUMANITY
PROPOSED FIRST FLOOR PLAN
CONCEPTUAL
A2

CDDBG

COMMUNITY DEVELOPMENT BLOCK GRANT

Building Strong Communities

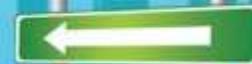
JOBS AVAILABLE



HEALTH CENTER

SENIOR HOUSING

HOME REPAIR



HOME OWNERSHIP

Candice COOPER
DESIGN

NATIONAL COMMUNITY DEVELOPMENT ASSOCIATION



Community Development Block Grant (CDBG)

- The City receives funds annually based on a formula to carry out a wide range of community development activities,
- Funds are directed toward:
 - Revitalizing neighborhoods
 - Economic development
 - Providing improved community facilities and services



The Overall HUD Process



- Develop a 5-year [Consolidated Plan](#)



- Create [Action Plan](#) for each of the 5 years



- Select Activities eligible activities that Meet a National Objective



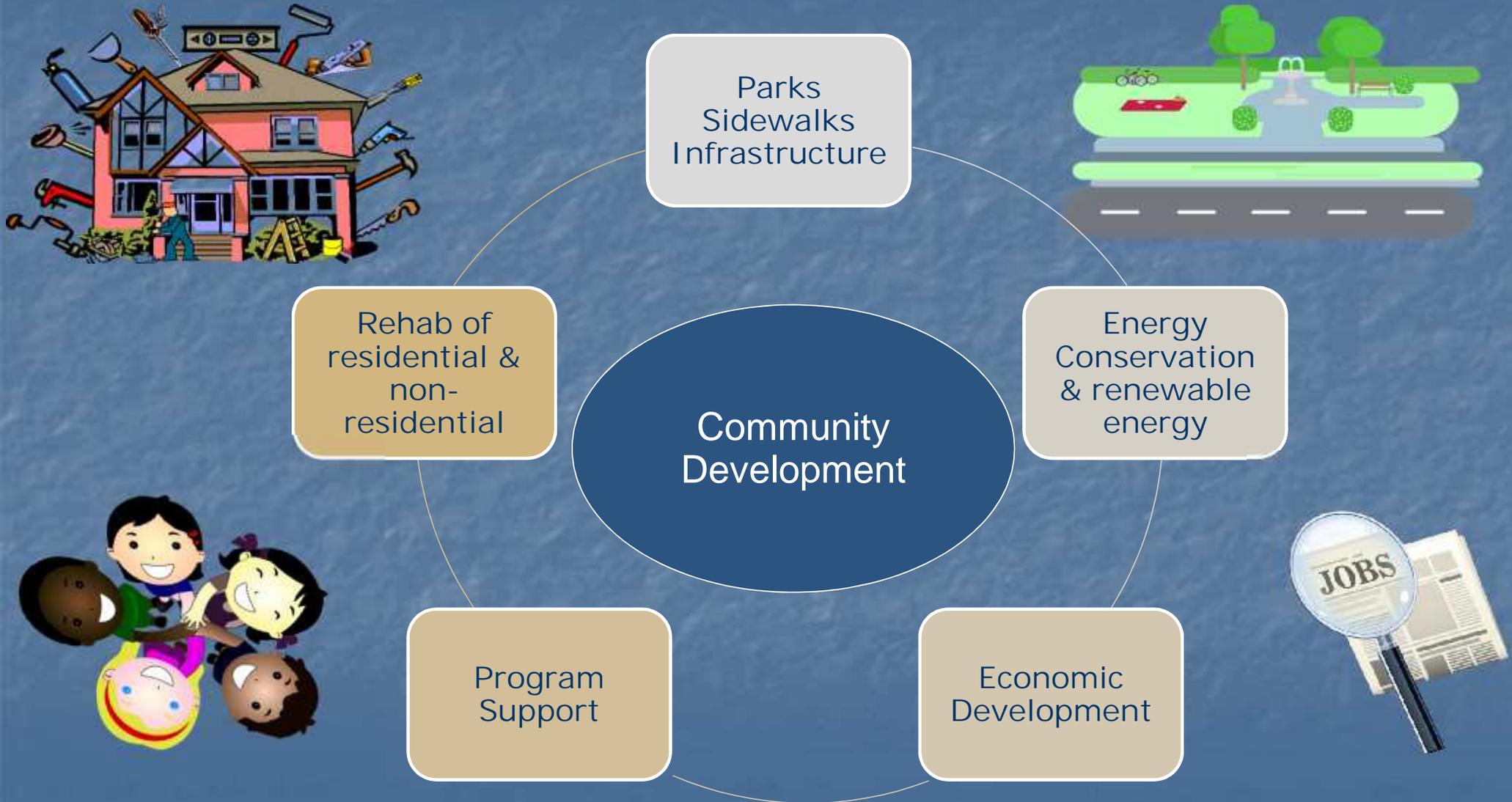
- Oversee the activities (contracts, progress, etc)



- Enter Results into IDIS

- Report end of year accomplishments ([CAPER](#))

What can/does CDBG do?



Example Eligible Activities

- Housing rehab – owner occupied, rental or non-profit owned
- Acquisition of property
- Economic Development
- Public services
- Job creation
- Façade Improvements
- Historic preservation
- Handicap Accessibility
- Park improvements
- Public facility improvements
- Remediation of contaminated sites
- Code enforcement
- Direct home ownership assistance
- Microenterprise assistance
- Public facility improvements
- Large scale development using the Section 108 Program

HOME Investment Partnership Program



The HOME Program is designed exclusively to create affordable housing for low-income households

Eligible HOME Activities



Homebuyer Assistance

Owner-Occupied Rehab

Rental & Owner Development

Tenant Based Rental Vouchers



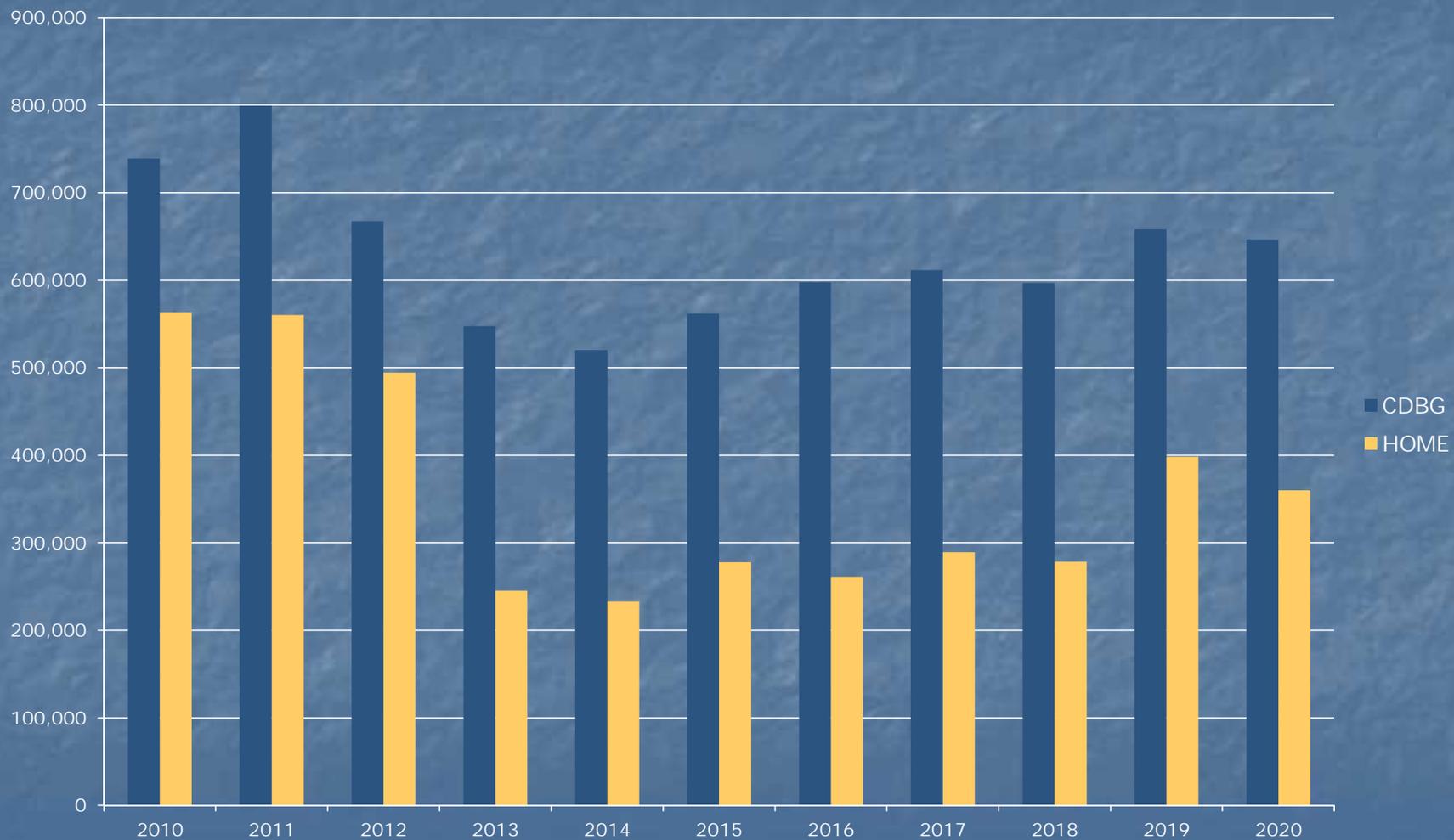
Eligible HOME Participants

- Low-moderate income individuals
- Faith Based organizations
- For-profit entities
- Not-for profit entities
- Community Housing Development Organizations (CHDOs)

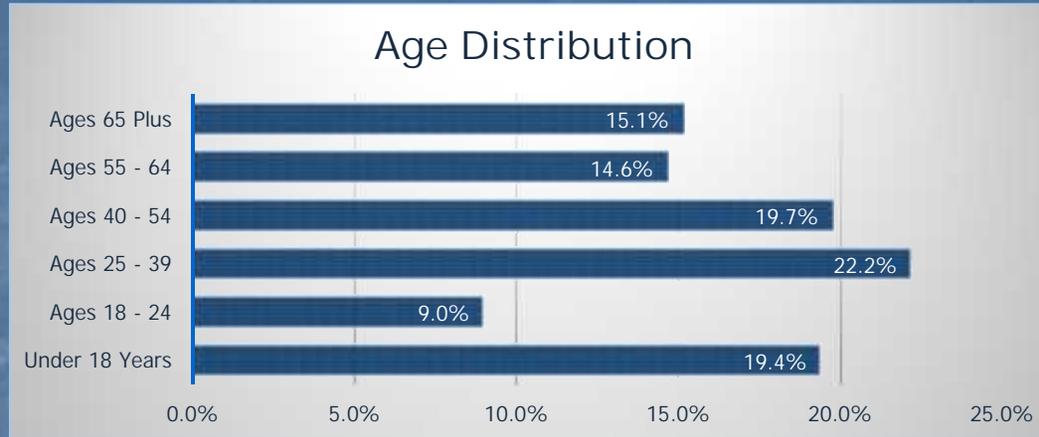
A private nonprofit, community-based service organization whose primary purpose is to provide and develop decent, affordable housing for the community it serves.



10-year Allocation Amounts



Demographic Summary (Age)



Income by Tract

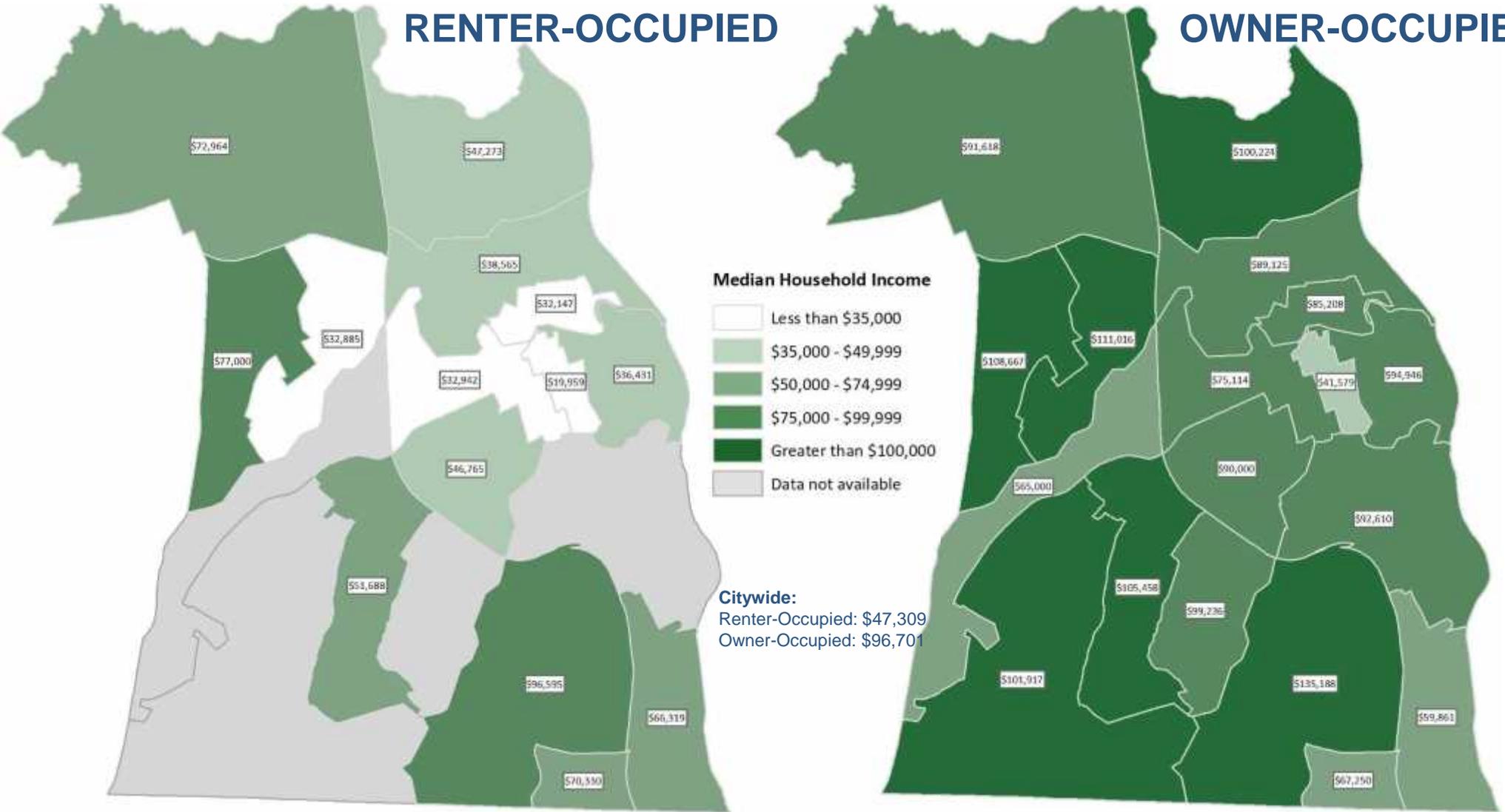
RENTER-OCCUPIED

OWNER-OCCUPIED

Median Household Income

- Less than \$35,000
- \$35,000 - \$49,999
- \$50,000 - \$74,999
- \$75,000 - \$99,999
- Greater than \$100,000
- Data not available

Citywide:
 Renter-Occupied: \$47,309
 Owner-Occupied: \$96,701

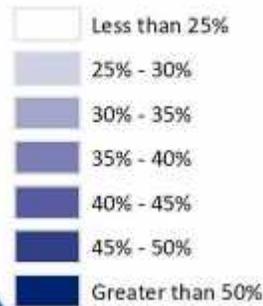


Ratio of Housing Costs by Tract

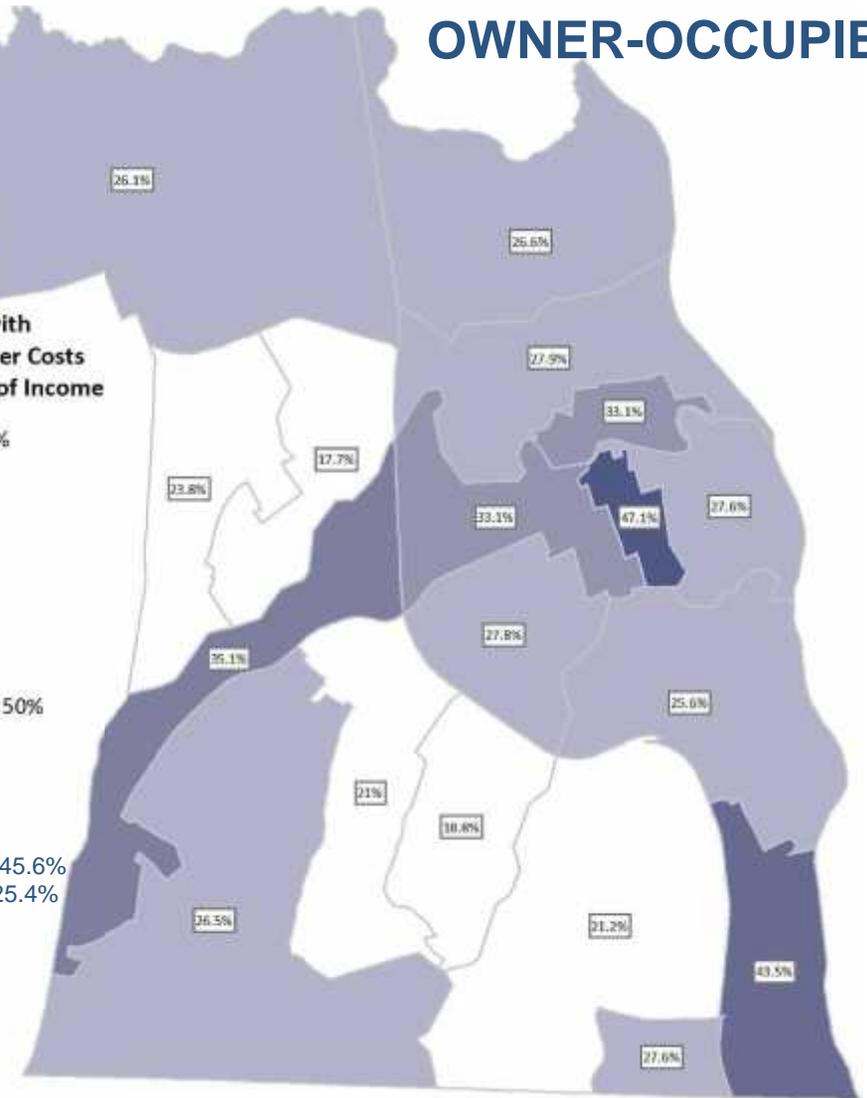
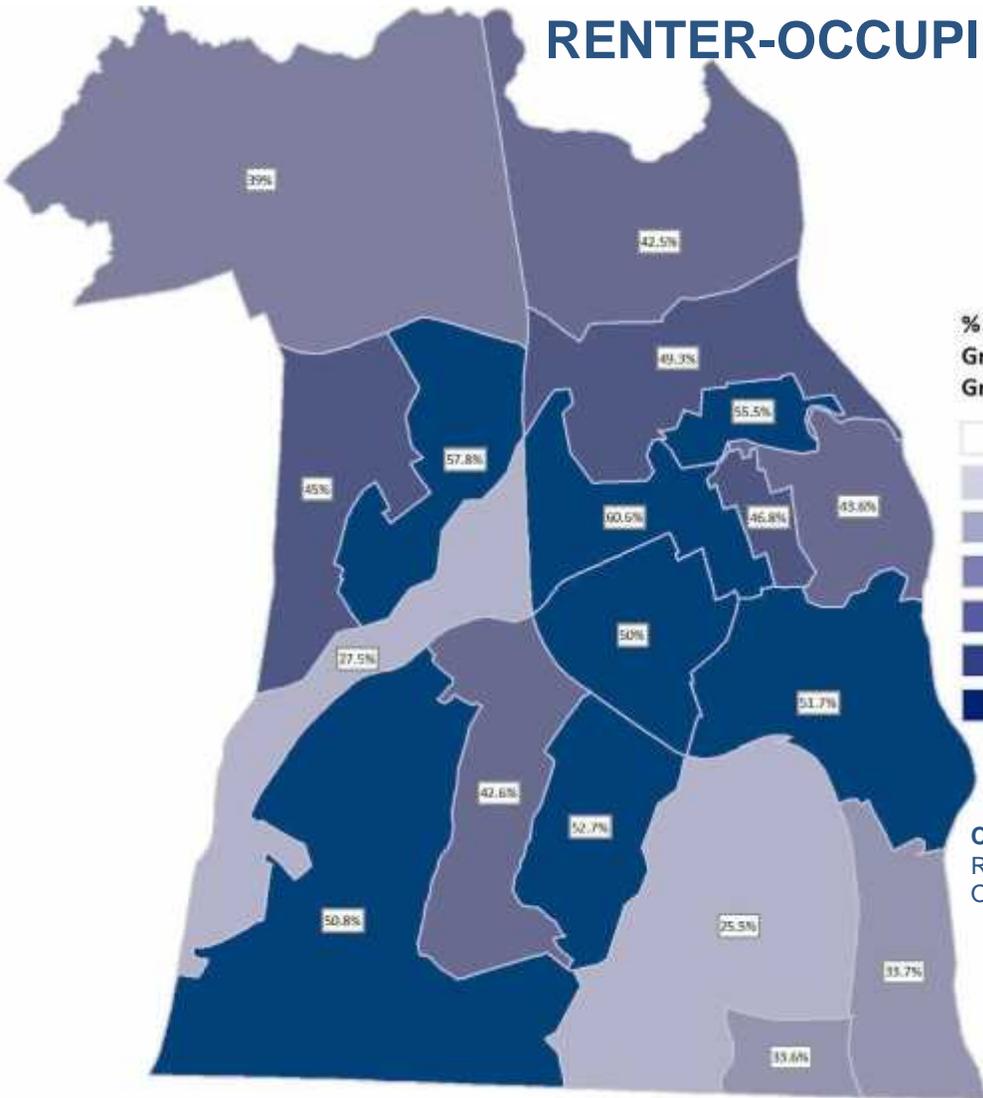
RENTER-OCCUPIED

OWNER-OCCUPIED

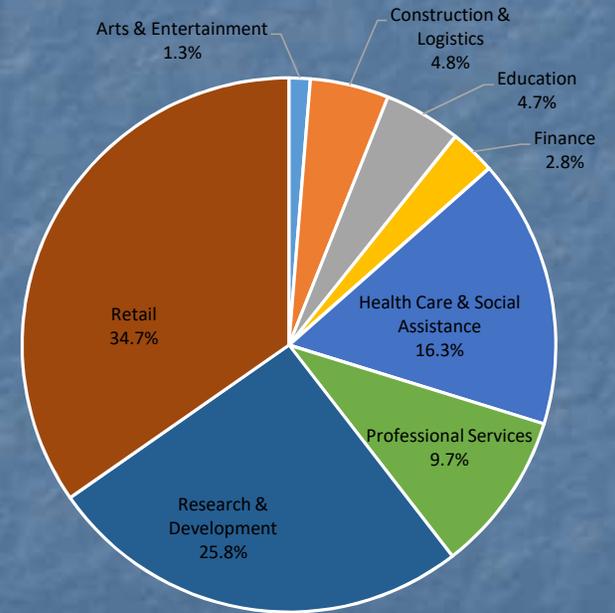
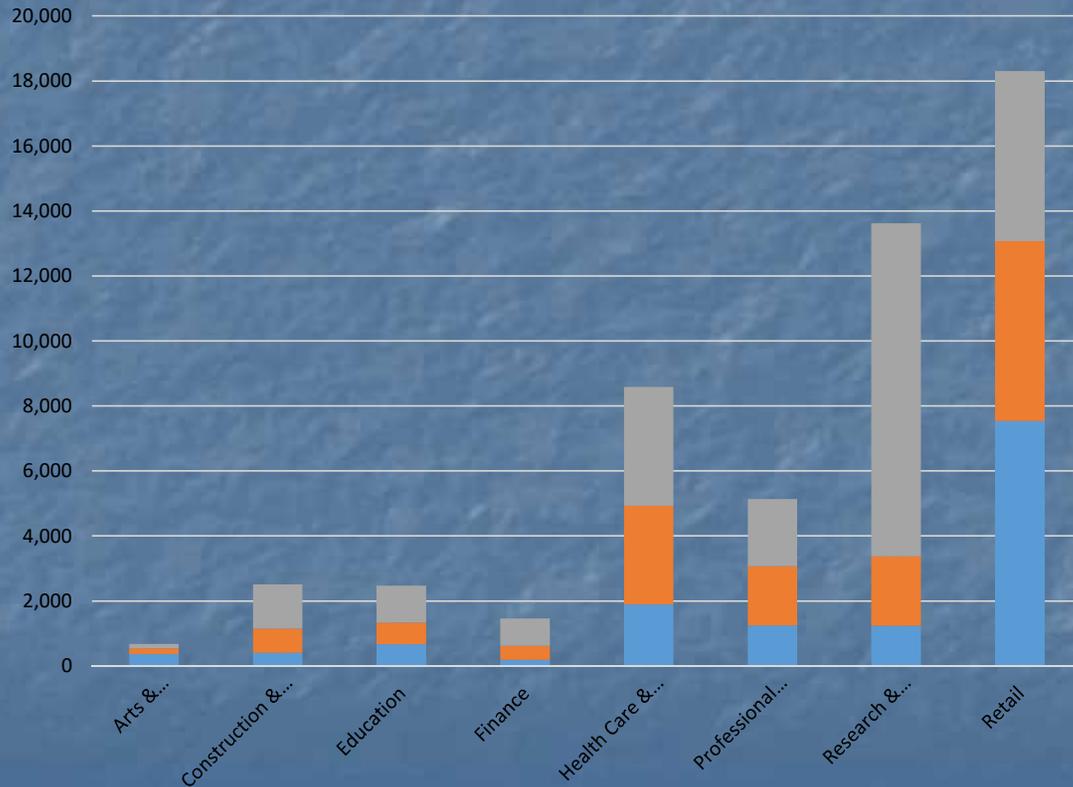
**% of Households with
Gross Rent or Owner Costs
Greater Than 30% of Income**



Citywide:
Renter-Occupied: 45.6%
Owner-Occupied: 25.4%



Jobs in Nashua by Industry & Salary



CONCEPT PLANS FOR NASHUA HABITAT FOR HUMANITY

10 PAXTON PLACE
NASHUA, NH



GENERAL NOTES:

tuscher
design
group
603.583.6469
tdgdesign@hotmail.com

PROJECT INFO:

NASHUA
HABITAT FOR
HUMANITY
10 PAXTON PLACE
NASHUA, NH

SHEET TITLE:

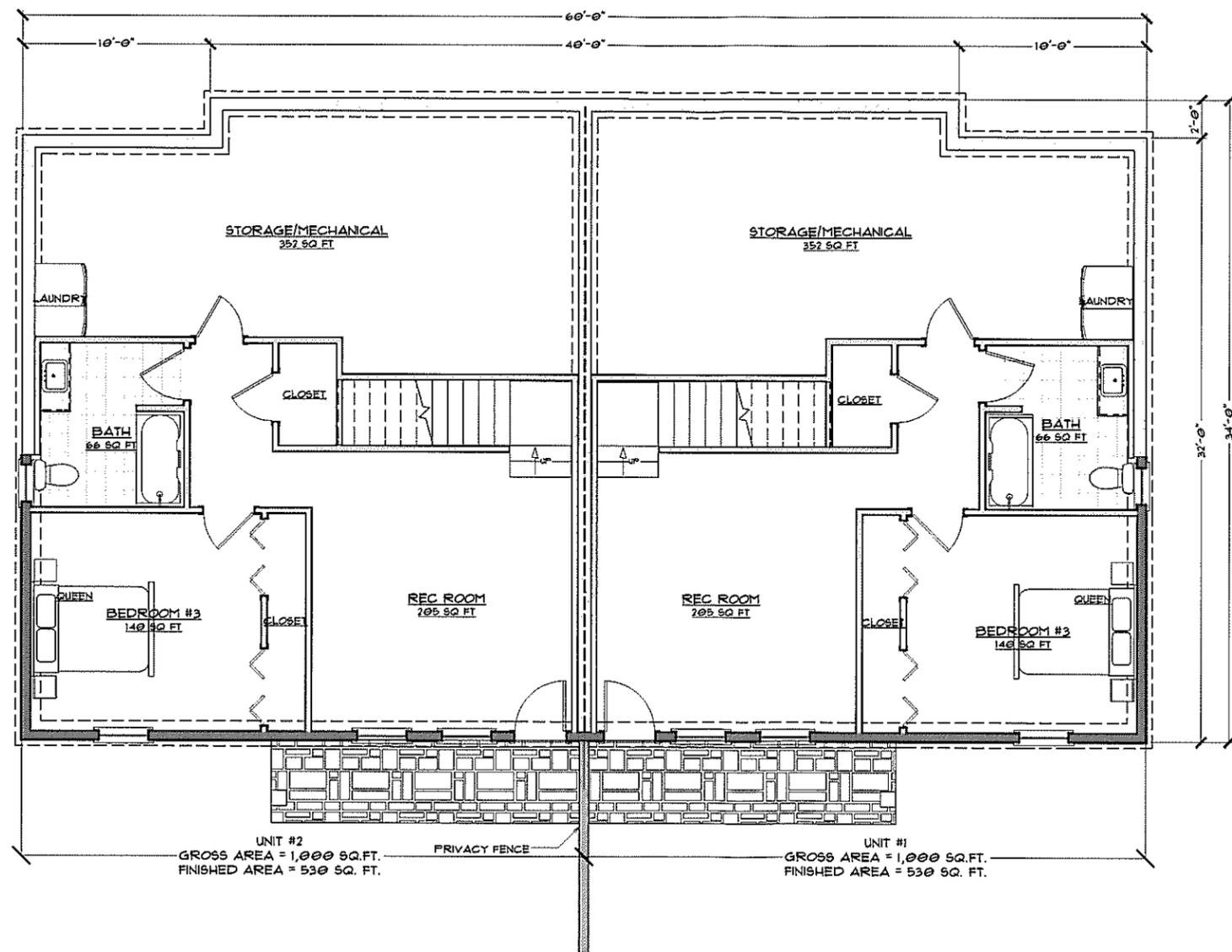
COVER
SHEET

PROJECT STATUS:
CONCEPTUAL

DATE: 12/05/2015

SCALE:
SHEET NUMBER:

A0



GENERAL NOTES:

tuscher
design
group
603.583.6469
tgdsgn@hotmail.com

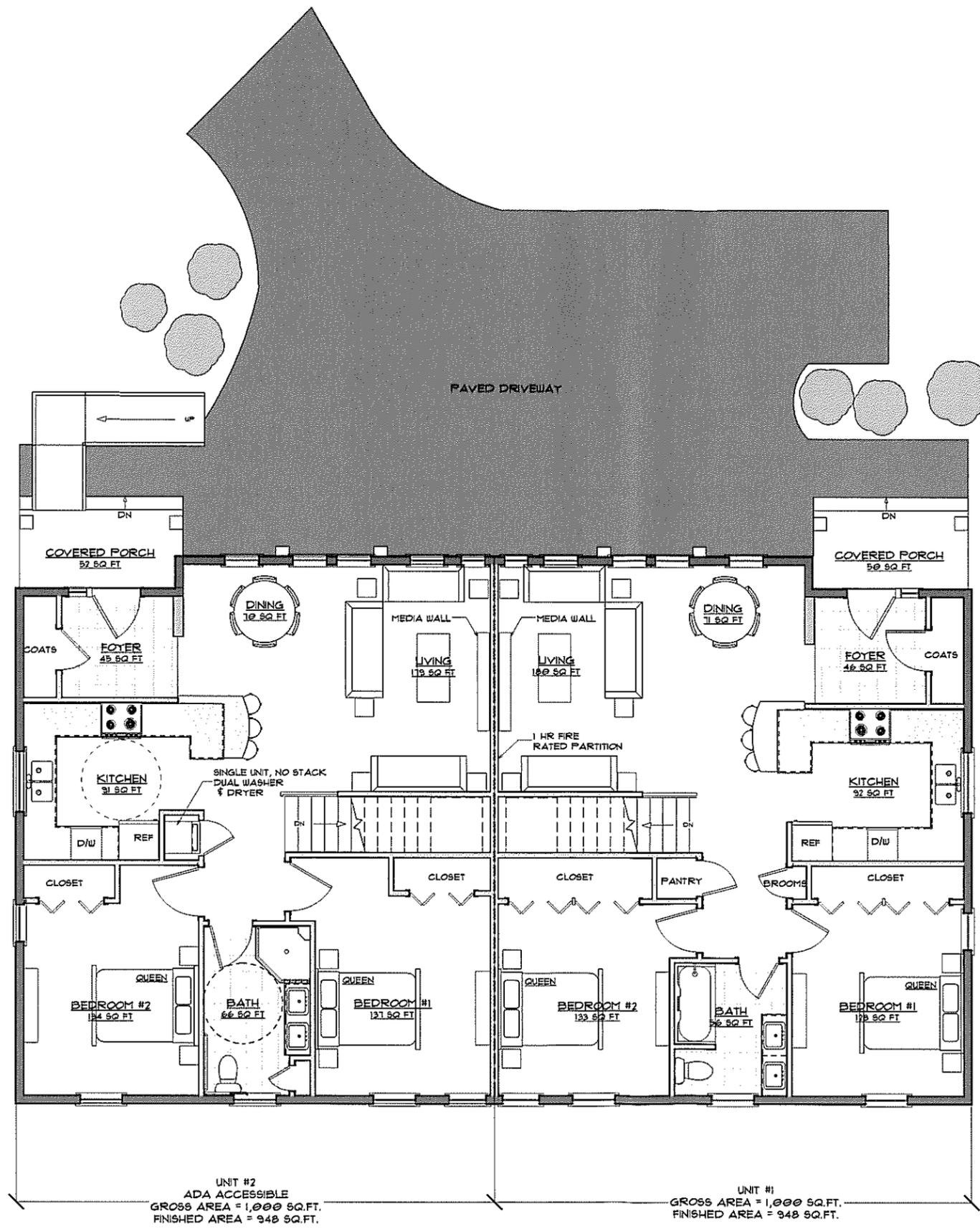
PROJECT INFO:
**NASHUA
HABITAT FOR
HUMANITY**
10 FAXTON PLACE
NASHUA, NH

SHEET TITLE:
**PROPOSED
FOUNDATION
PLAN**

PROJECT STATUS:
CONCEPTUAL

DATE 12/05/2015
SCALE 1/8"=1'-0"
SHEET NUMBER:

A1



UNIT #2
 ADA ACCESSIBLE
 GROSS AREA = 1,000 SQ.FT.
 FINISHED AREA = 948 SQ.FT.

UNIT #1
 GROSS AREA = 1,000 SQ.FT.
 FINISHED AREA = 948 SQ.FT.

GENERAL NOTES:

tuscher
 design
 group
 603.583.6469
 tdgdesign@hotmail.com

PROJECT INFO:
**NASHUA
 HABITAT FOR
 HUMANITY**
 10 FAXTON PLACE
 NASHUA, NH

SHEET TITLE:
**PROPOSED
 FIRST FLOOR
 PLAN**

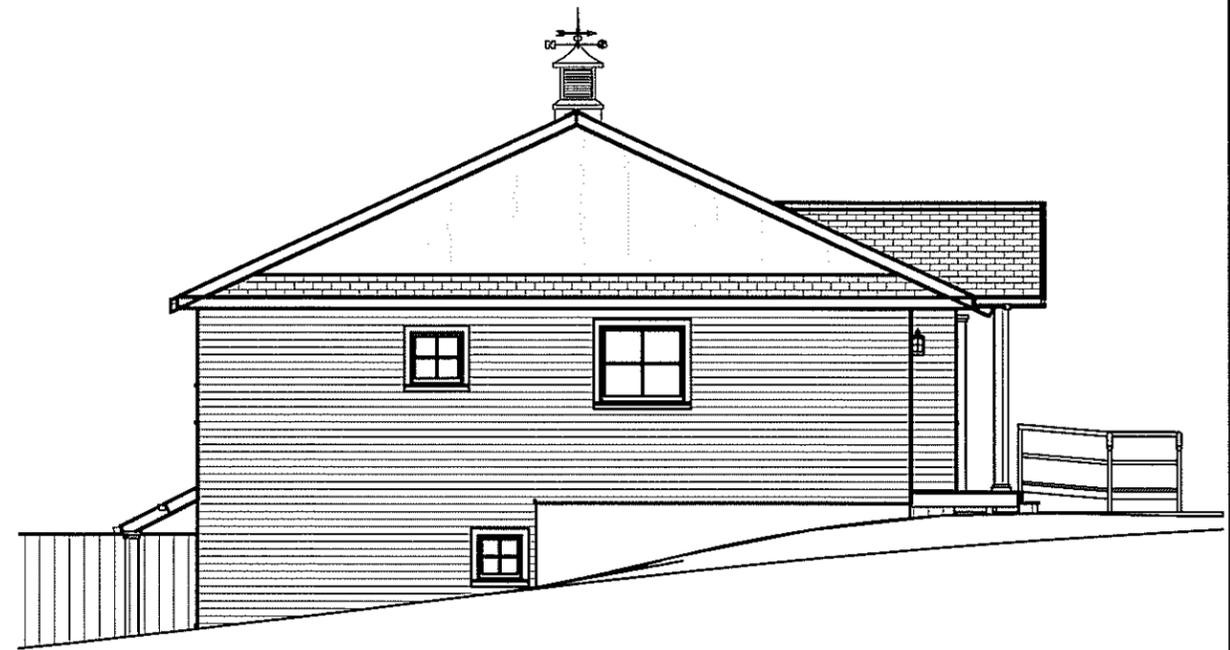
PROJECT STATUS:
 CONCEPTUAL

DATE 12/05/2013
 SCALE 1/8"=1'-0"
 SHEET NUMBER:

A2



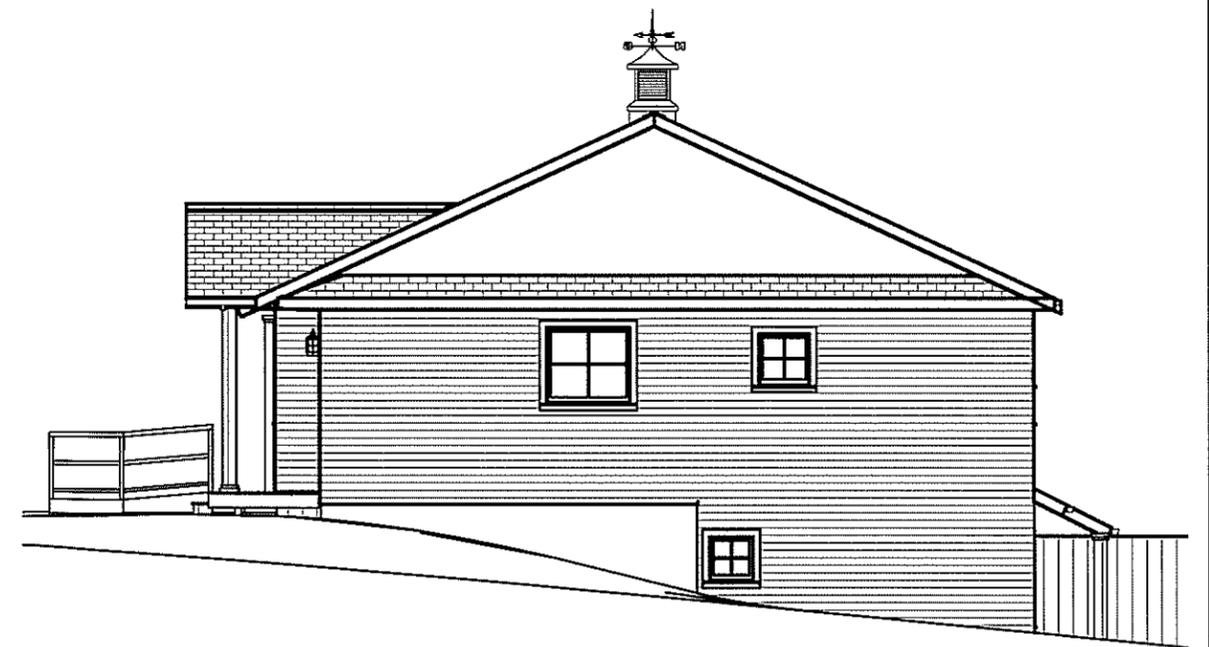
1) PROPOSED EAST ELEVATION



2) PROPOSED SOUTH ELEVATION



3) PROPOSED WEST ELEVATION



4) PROPOSED NORTH ELEVATION

GENERAL NOTES:

tuscher
design
group
603.583.6469
tdgdesign@hotmail.com

PROJECT INFO:

NASHUA
HABITAT FOR
HUMANITY
10 PAXTON PLACE
NASHUA, NH

SHEET TITLE:

PROPOSED
BUILDING
ELEVATIONS

PROJECT STATUS:
CONCEPTUAL

DATE 12/05/2015
SCALE: 1/8"=1'-0"
SHEET NUMBER:

A3

3 Congress Street Nashua, NH 03062 (603) 883-2057
 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
 www.haynerswanson.com

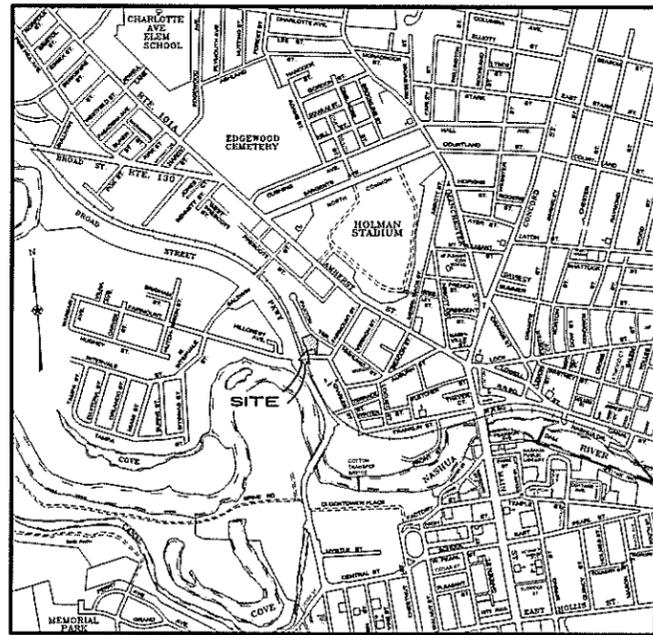
Hayner/Swanson, Inc.



**MAP 62, LOT 190
 SUBDIVISION PLAN**

21 1/2 FAIRMOUNT STREET

NASHUA, NEW HAMPSHIRE



VICINITY PLAN

PREPARED FOR / RECORD OWNER

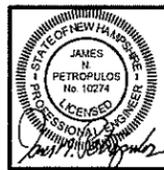
BRUCE EDWARD KINVILLE

33 DEPOT ROAD
 HOLLIS, NEW HAMPSHIRE 03049
 (857) 207-1717

1 AUGUST 2019

INDEX OF PLANS

SHEET No.	TITLE	
1 OF 5	SUBDIVISION PLAN	1"= 20'
2 OF 5	TOPOGRAPHIC SUBDIVISION PLAN	1"= 20'
3 OF 5	LOT LAYOUT / GRADING PLAN	1"= 20'
4 OF 5	UTILITY PROFILES	1"= 20' H 1"= 4' V
5 OF 5	DETAIL SHEET - GENERAL SITE	



HSI Hayner/Swanson, Inc.

Civil Engineers/Land Surveyors
 3 Congress Street Nashua, NH 03062 (603) 883-2057
 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
 www.haynerswanson.com



N

NH STATE PLANE
N.A.D. 1983

MAP 62 LOT 220
MARIA C. MARTINEZ
18 PAXTON TERRACE
NASHUA, NH 03064
BK 7833 PG 1475
ZONE: RB
USE: MULTI-FAMILY

MAP 62 LOT 207
5-7 PAXTON TERRACE
REALTY, LLC
166 CYPRESS LANE
NASHUA, NH 03093
BK 8464 PG 833
ZONE: RB
USE: MULTI-FAMILY

MAP 62 LOT 236
BOSTON & MAINE CORPORATION
C/O PAN AM RAILWAYS
IRON HORSE PARK
NORTH BILLERICA, MA 01882
ZONE: RB
USE: RR BED LIVE

MAP 62 LOT 154
JAMES D., JR. & MILVA P.
WALSH
15 ISLAND POND ROAD
DERRY, NH 03038
BK 6015 PG 1574
ZONE: RB
USE: MULTI-FAMILY

MAP 62 LOT 162
SETH AND BRENDA ANN
MATTHEWS
21 FAIRMOUNT STREET
NASHUA, NH 03064
BK 9089 PG 436

MAP 69 LOT 12
CARA E. CAPEL &
BENJAMIN A. DERRICK
26 FAIRMOUNT STREET
NASHUA, NH 03064
BK 8740 PG 1838
ZONE: RB
RESIDENCE

- LEGEND**
- NH/HI HIGHWAY BOUND
 - SB STONE BOUND
 - IPW IRON PIN
 - IPW IRON PIPE
 - IPW IRON PIPE
 - STONE BOUND TO BE SET
 - IRON PIN TO BE SET
 - BUILDING SETBACK LINE
 - POST & RAIL FENCE
 - STOCKADE FENCE
 - PICKET FENCE
 - RETAINING WALL
 - CONCRETE CURBING
 - BITUMINOUS CURBING
 - ZONING DISTRICT BOUNDARY
 - REINFORCED CONCRETE
 - RIPRAP / STONE
 - DECORATIVE VINYL FENCE
 - DECIDUOUS TREE
 - 67 STREET ADDRESS

THE UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE SITE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

Bruce Edward Kinville
BRUCE EDWARD KINVILLE
7/31/19
DATE

NOTES - CONT'D:

7. THE EXISTING DWELLING IS SERVICED BY AN ONSITE SEPTIC SYSTEM, PENNICHUCK WATER WORKS, OVERHEAD TELEPHONE ELECTRIC AND HEATING OIL. THE EXISTING SYSTEM WILL BE ABANDONED AND BOTH LOTS 190 & 250 WILL BE SERVICED BY MUNICIPAL SEWER.
8. THE PARCEL IS LOCATED IN AN AREA DESIGNATED AS "ZONE X" AS DETERMINED FROM THE FLOOD INSURANCE RATE MAP (FIRM), CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY No. 330997, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 3301100510D, EFFECTIVE DATE: SEPTEMBER 25, 2009.
9. MONUMENTS, WHERE REQUIRED, TO BE SET BY A LICENSED LAND SURVEYOR AS FOLLOWS:
(A) STONE BOUNDS: AT STREET INTERSECTIONS, POINTS OF CURVATURE AND TANGENCY OF PUBLIC STREET
(B) IRON PINS: AT LOT CORNERS
10. NO WETLANDS OR ASSOCIATED BUFFERS AFFECTING THE PROPERTY WERE OBSERVED DURING PLAN PREPARATION.
11. THIS SUBDIVISION PACKAGE CONTAINS 6 SHEETS OF WHICH SHEET 1 SHALL BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. THE REMAINING SHEETS WILL BE ON FILE AT THE CITY OF NASHUA PLANNING DEPARTMENT.
12. THE APPLICANT SHALL SUBMIT AN ELECTRONIC FILE OF THE SUBDIVISION PLAN (PLOT) PRIOR TO RECORDING OF THE PLAN.
13. PRIOR TO A BUILDING PERMIT BEING ISSUED, BONDING FOR ALL PUBLIC IMPROVEMENTS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEERING DEPARTMENT AND CORPORATION COUNSEL.
14. PRIOR TO THE RECORDING OF THE PLAN, DOCUMENTS PERTAINING TO THE STORMWATER OPERATION AND MAINTENANCE PLAN SHALL BE RECORDED.
15. FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED. DRAINS SHALL NOT OUTLET OR FLOW OVERLAND INTO A CITY STREET.
16. STREET RESTORATION SHALL BE IN ACCORDANCE WITH NRO SECTION 285-13.
17. IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY OF NASHUA PLANNING BOARD.
18. ALL SIGNAGE, INCLUDING STREET NAME SIGNS, SHALL CONFORM TO THE APPLICABLE CITY OF NASHUA REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
19. THIS SITE IS NOT LOCATED WITHIN THE WATER SUPPLY PROTECTION DISTRICT.
20. THERE ARE NO NEW STREET LIGHTS PROPOSED WITH THIS PLAN.
21. PROPOSED DRIVEWAY WIDTHS SHALL NOT EXCEED 24 FEET.
22. SURVEY CONTROL INFORMATION:
(CONTROLLED BY TRIMBLE R-10 GPS RECEIVER WITH RTK CORRECTIONS VIA KEYNET VRS)
HORIZONTAL DATUM: NAD83 (2011)
HORIZONTAL PROJECTION: NH STATE PLANE
UNITS: US SURVEY FEET
23. THE SUBJECT PARCEL HAS ACCESS AND FRONTAGE OVER AREA OF THE ORIGINAL FAIRMOUNT STREET RIGHT OF WAY SHOWN ON PLAN REFERENCE 6 AND ACCEPTED BY THE CITY OF NASHUA IN 1970 AS DEPICTED HEREON. IN 1935 THE CITY OF NASHUA DEEDED A PORTION OF THE 1970 RIGHT OF WAY TO EACH OF THE TWO ADJUTING LOTS (LOT 154 AND LOT 190). NO DEED WAS FOUND FROM THE CITY OF NASHUA TO THE SUBJECT PROPERTY OWNERS FOR THIS 155 SF AREA.
24. PRESENT OWNER OF RECORD:
MAP 62, LOT 190
BRUCE EDWARD KINVILLE
33 DEPOT ROAD
HOLLIS, NH 03048
BK 8187, PG 870
BK 8187, PG 864
(SEE ALSO BK 9067, PG 1735)

ZONING NOTE 4
THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWNSHIP TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

APPROVED
NASHUA CITY PLANNING BOARD
CHAIRMAN _____ DATE _____

CERTIFICATION

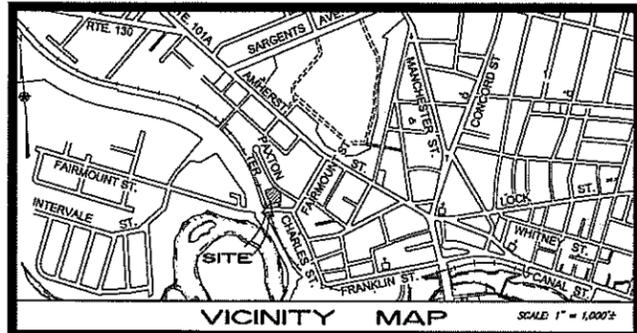
I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 09/23/01, EFFECTIVE 01/01/09.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

8/1/19
DATE



DENNIS C. POLLOCK, L.L.S.



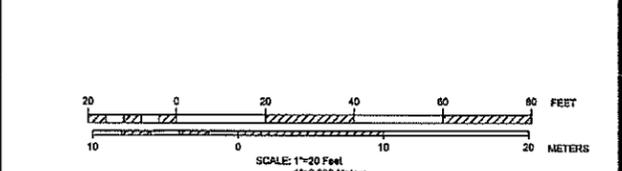
PLAN REFERENCES:

1. PLAN OF LAND, TIMBERLINE INC., PAXTON TERRACE, NASHUA, NH, DATED SEPT. 1983, PREPARED BY A.E. MAYNARD, RECORDED H.C.R.D. PLAN 2564
2. MAP 62 LOT 190, P.W.W. WATERLINE UTILITY EASEMENT PLAT, 21 1/2 FAIRMOUNT STREET, NASHUA, NEW HAMPSHIRE, PREPARED BY PROMISED LAND SURVEY, LLC, DATED APRIL 4, 2013, RECORDED H.C.R.D. PLAN 37798
3. CONSOLIDATION & SUBDIVISION PLAN, ASSESSOR SHEET 62 LOTS 153, 154 & 158, PREPARED FOR RICHARD THERIAULT, PREPARED BY ROLAND GIROUARD & ASSOC., DATED 3/14/1986, RECORDED H.C.R.D. PLAN 22192
4. PLAN OF LAND OF GLADYS L. BLANCHARD, FAIRMOUNT STREET, NASHUA, NH, DATED JULY 1962, PREPARED BY NED SPAULDING, RECORDED H.C.R.D. PLAN 3833
5. PLAN & PROFILE, PAXTON TERRACE, NASHUA, NH, DATED SEPTEMBER 1963, PREPARED BY A.E. MAYNARD, ON FILE WITH THE CITY OF NASHUA ENGINEERING DEPARTMENT AS ACCEPTANCE PLAN 998
6. PLAN OF FAIRMOUNT ST., DATED DEC 1889, PREPARED BY C.S. KIDDER, ON FILE WITH THE CITY OF NASHUA ENGINEERING DEPARTMENT AS PLAN 2-73

NOTES:

1. SITE AREA:
LOT 190: 0.643 ACRES (22,643 SF)
PROPOSED LOT 190: 0.257 ACRES (11,193 SF)
PROPOSED LOT 250: 0.286 ACRES (12,450 SF)
2. PRESENT ZONING: R-B; URBAN RESIDENCE
MINIMUM LOT REQUIREMENTS:
- LOT AREA: 6,000 SF
- LOT FRONTAGE: 50 FEET
- LOT WIDTH: 60 FEET
MINIMUM BUILDING SETBACK REQUIREMENTS:
- FRONT YARD: 10 FEET
- SIDE YARD: 7 FEET
- REAR YARD: 20 FEET
ON TUESDAY, APRIL 9, 2019, THE CITY OF NASHUA ZONING BOARD OF ADJUSTMENT GRANTED THE FOLLOWING VARIANCES:
(A) TO ALLOW A MINIMUM LOT FRONTAGE OF 45.9 FEET WHERE 50 FEET IS REQUIRED
(B) TO ALLOW A MINIMUM LOT WIDTH OF 48.77 FEET WHERE 60 FEET IS REQUIRED
3. LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAP 62 AND 69.
4. THE BEARING SYSTEM FOR THIS SURVEY IS BASED ON NH STATE PLANE NAD 1983.
5. PURPOSE OF PLAN:
TO SHOW THE PROPOSED SUBDIVISION OF MAP 62 LOT 190 INTO TWO (2) NEW LOTS.
6. PARKING:
REQUIRED:
MINIMUM: 1.5 SPACE PER UNIT x 2 UNITS = 3 SPACES
MAXIMUM: 1.9 SPACE PER UNIT x 2 UNITS = 4 SPACES
PROVIDED: 4 SPACES

SUBDIVISION PLAN
(MAP 62, LOT 190)
21 1/2 FAIRMOUNT STREET
NASHUA, NEW HAMPSHIRE
PREPARED FOR / RECORD OWNER:
BRUCE EDWARD KINVILLE
33 DEPOT ROAD HOLLIS, NEW HAMPSHIRE 03048 (857) 207-1717



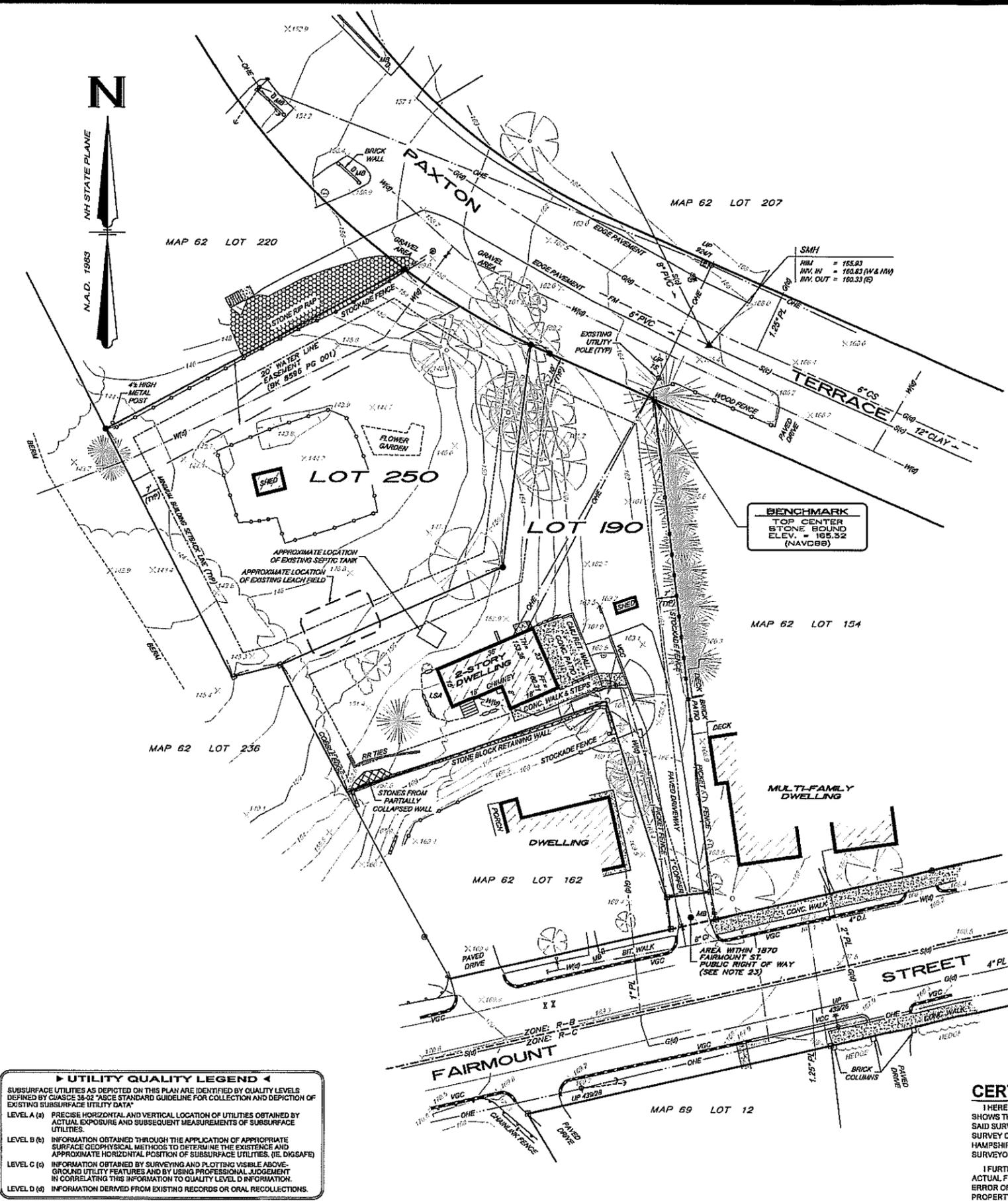
1 AUGUST 2019

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street
Nashua, NH 03062
(603) 883-2057
www.hayner-swanson.com

131 Middlesex Turnpike
Burlington, MA 01803
(781) 203-1501

GENERAL SURVEY NOTES:

1. THE EXISTING TOPOGRAPHY, AS SHOWN ON THE PLANS, IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND IN JUNE 2018.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
3. SURVEY CONTROL INFORMATION:
 HORIZONTAL DATUM: NAD83
 VERTICAL DATUM: NAVD83
 PROJECTION: NH STATE PLANE
 UNITS: US SURVEY FEET
4. THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.



LEGEND

- EXISTING GROUND CONTOUR
- EXISTING SPOT ELEVATION
- STORM DRAIN & CATCH BASIN
- STORM DRAIN & MANHOLE
- STORM DRAIN & HEADWALL
- WATER MAIN & HYDRANT
- WATER MAIN & GATE VALVE
- GAS LINE & GATE VALVE
- UTILITY POLE WITH GUY SUPPORT
- STREET LIGHT
- OVERHEAD ELECTRIC & TELEPHONE
- UNDERGROUND ELECTEL & MANHOLES
- SIGN
- TREE LINE
- FENCE
- STONE BOUND
- IRON PIPE
- DRILL HOLE
- REINFORCED CONCRETE
- RIPRAP
- CHAINLINK FENCE
- PICKET FENCE
- STOCKADE FENCE
- POST & RAIL FENCE
- RETAINING WALL
- VGC VERTICAL GRANITE CURBING
- VCC VERTICAL CONCRETE CURBING
- ZONE LINE
- BUILDING SETBACK LINE
- WETLAND FLAGGING LIMIT
- WETLAND BUFFER LINE

UTILITY QUALITY LEGEND

SUBSURFACE UTILITIES AS DEPICTED ON THIS PLAN ARE IDENTIFIED BY QUALITY LEVELS DEFINED BY CLASSIC 34-02 "ASCE STANDARD GUIDELINE FOR COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA"

LEVEL A (a) PRECISE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES OBTAINED BY ACTUAL EXPOSURE AND SUBSEQUENT MEASUREMENTS OF SUBSURFACE UTILITIES.

LEVEL B (b) INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES. (IE, DIGSAFE)

LEVEL C (c) INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D INFORMATION.

LEVEL D (d) INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS.

CERTIFICATION

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 600.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/09.

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8/1/2019 DATE



NO.	DATE	REVISION	BY

TOPOGRAPHIC SUBDIVISION PLAN
 (MAP 62, LOT 190)
21 1/2 FAIRMOUNT STREET
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR / RECORD OWNER:
BRUCE EDWARD KINVILLE
 33 DEPOT ROAD HOLLIS, NEW HAMPSHIRE 03049 (857) 207-1717

SCALE: 1"=20 Feet
 1"=6.096 Meters

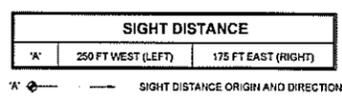
1 AUGUST 2019

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 131 Middlesex Turnpike Burlington, MA 01803
 (603) 883-2037 www.haynerswanson.com

FIELD BOOK: 1231	DRAWING NAME: 5576-SUB-F20	5576	2 OF 5
DRAWING LOC: J:\5000\5576\DWG\SUB		7/2/2019	03/11



N.H. STATE PLANE
N.A.D. 1983



LEGEND

- EXISTING GROUND CONTOUR
- EXISTING SPOT ELEVATION
- STORM DRAIN & CATCH BASIN
- STORM DRAIN & MANHOLE
- STORM DRAIN & HEADWALL
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- VERTICAL CONCRETE CURBING
- ZONE LINE
- BUILDING SETBACK LINE
- WETLAND FLAGGING LIMIT
- WETLAND BUFFER LINE
- FM --- SEWER FORCE MAIN

UTILITY NOTE 1
THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

CONSTRUCTION NOTES:

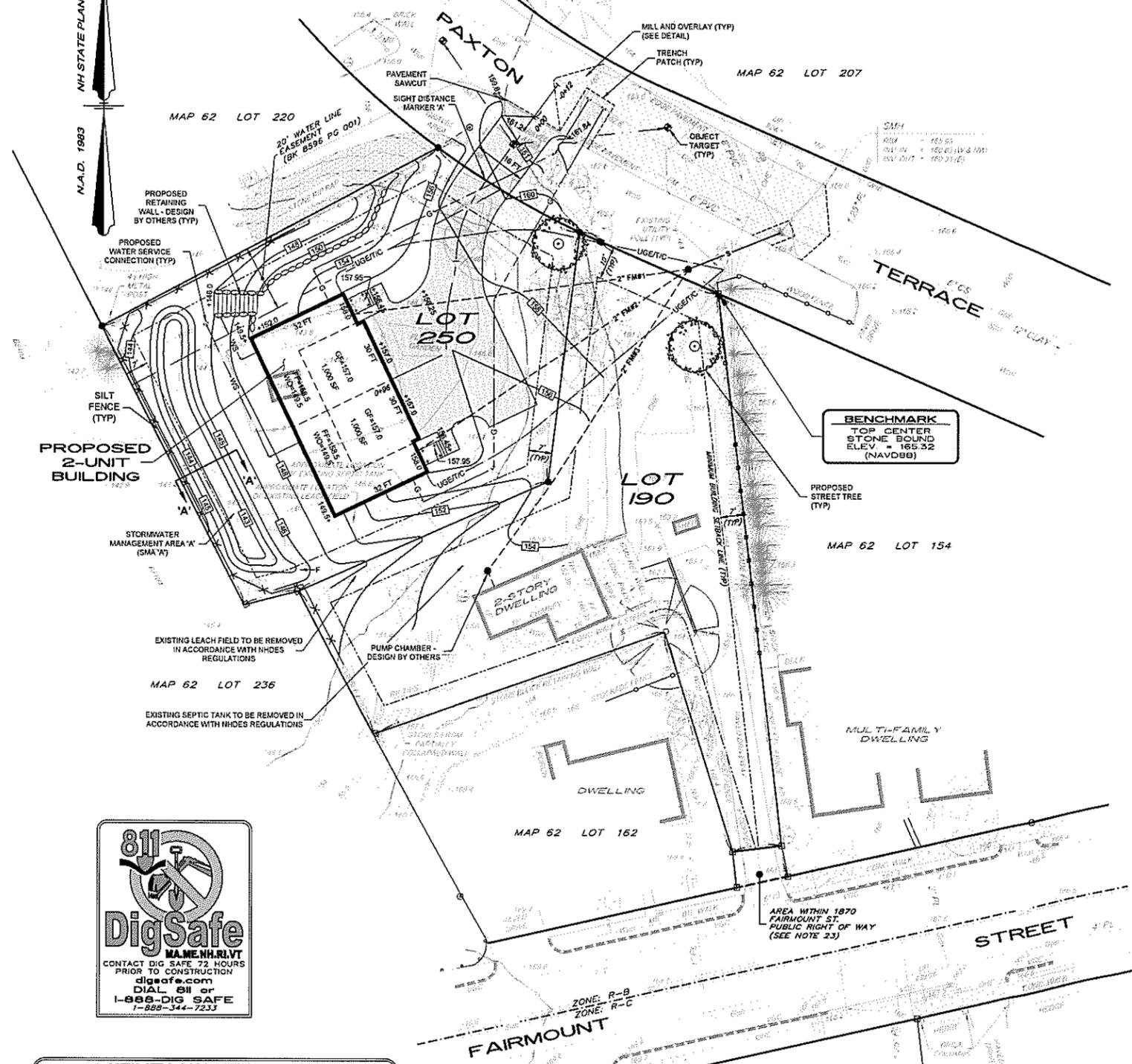
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF NASHUA, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, LATEST EDITION ARE HEREBY INCORPORATED BY REFERENCE.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
- PRIOR TO ANY WORK BEING STARTED, THE APPLICANT AND THEIR CONTRACTORS SHALL HOLD A PRE-CONSTRUCTION CONFERENCE WITH PLANNING STAFF TO REVIEW SCHEDULING, EROSION AND TRAFFIC CONTROL, AND TREE PROTECTION.
- BLASTING, IF NEEDED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF NASHUA FIRE DEPARTMENT REGULATIONS.
- ALL STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED.
- CONTRACTOR SHALL DIG TEST PITS & PERFORM PERMEABILITY TESTING IN VICINITY OF SMA 'A' RESULTS SHALL BE REPORTED TO ENGINEER.
- CONTRACTOR SHALL CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE TO ACCESS SITE SEE DETAIL ON SHEET 5 OF 5.

CITY OF NASHUA

- PLANNING DEPARTMENT**
COMMUNITY DEVELOPMENT DIVISION
229 MAIN STREET
NASHUA, NH 03060
ATT: LINDA MCGHEE
(603) 569-3110
- ENGINEERING DEPARTMENT**
NASHUA DEPT. OF
PUBLIC WORKS/ENGINEERING
9 RIVERSIDE STREET
NASHUA, NH 03062
ATT: JOE MENDOLA
(603) 569-3124
- FIRE DEPARTMENT**
NASHUA FIRE RESCUE
177 LAKE STREET
NASHUA, NH 03060
ATT: ADAM POLLIOT
(603) 569-3460

UTILITY CONTACTS

- WATER:**
FENNICHUCK WATER WORKS
25 MANCHESTER STREET
MERRIMACK, NH 03054
ATT: JOHN BOISVERT, PE
(603) 913-2300
- GAS:**
LIBERTY UTILITIES
11 NORTHEASTERN BLVD
SALEM, NH 03079
ATT: RYAN LAGASSE
(603) 327-7151
- TELEPHONE:**
CONSOLIDATED COMMUNICATIONS
257 DANIEL WEBSTER HWY.
MERRIMACK, NH 03054
ATT: JOY MENDONCA
(603) 645-2713
- POWER:**
EVERSOURCE
370 AMHERST STREET
NASHUA, NH 03060
ATT: MARC GAGNON
(603) 892-5894



BENCHMARK
TOP CENTER
STONE BOUND
ELEV. = 165.52
(NAVD88)

SITE MAINTENANCE PLAN

THE FOLLOWING PROVIDES AN ITEMIZATION OF SPECIFIC SITE MAINTENANCE PRACTICES THAT WILL BE EMPLOYED ON THE SITE TO MINIMIZE POLLUTANT GENERATION AND TRANSPORT FROM THE SITE. THE SITE MAINTENANCE PROGRAM INCLUDES ROUTINE INSPECTIONS, PREVENTATIVE MAINTENANCE AND "GOOD HOUSEKEEPING" PRACTICES.

- ROUTINE INSPECTIONS**
- INSPECT SITE ON A QUARTERLY BASIS OR AFTER A SIGNIFICANT RAIN EVENT
- PREVENTATIVE MAINTENANCE**
- CLEAN RECHARGE AREA TWICE PER YEAR IF NEEDED OR MORE FREQUENTLY AS DICTATED BY QUARTERLY INSPECTIONS
 - IMPLEMENT OTHER MAINTENANCE OR REPAIR ACTIVITIES AS DEEMED NECESSARY BASED UPON MONTHLY INSPECTIONS.
- GOOD HOUSEKEEPING PRACTICES**
- SWEEP DRIVEWAY REGULARLY TO MINIMIZE SEDIMENT ACCUMULATION. FREQUENCY WILL VARY SEASONALLY ACCORDING TO SEDIMENT ACCUMULATION ON PAVE SURFACES (E.G., MORE FREQUENT SWEEPING DURING THE WINTER AND SPRING).
 - USE NO-SALT (NAC) ALTERNATIVES SUCH AS CLOSE PLOWING AND SANDING FOR DE-ICING ON THE DRIVEWAY



UTILITY QUALITY LEGEND 1
SUBSURFACE UTILITIES AS DEPICTED ON THIS PLAN ARE IDENTIFIED BY QUALITY LEVELS DEFINED BY CLASS 39-02 "ASCE STANDARD GUIDELINE FOR COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA"

LEVEL A (a) PRECISE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES OBTAINED BY ACTUAL EXPOSURE AND SUBSEQUENT MEASUREMENTS OF SUBSURFACE UTILITIES

LEVEL B (b) INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES (IE DIGSAFE)

LEVEL C (c) INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGEMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D INFORMATION

LEVEL D (d) INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS



No.	DATE	REVISION	BY

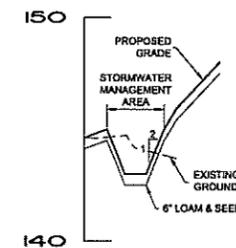
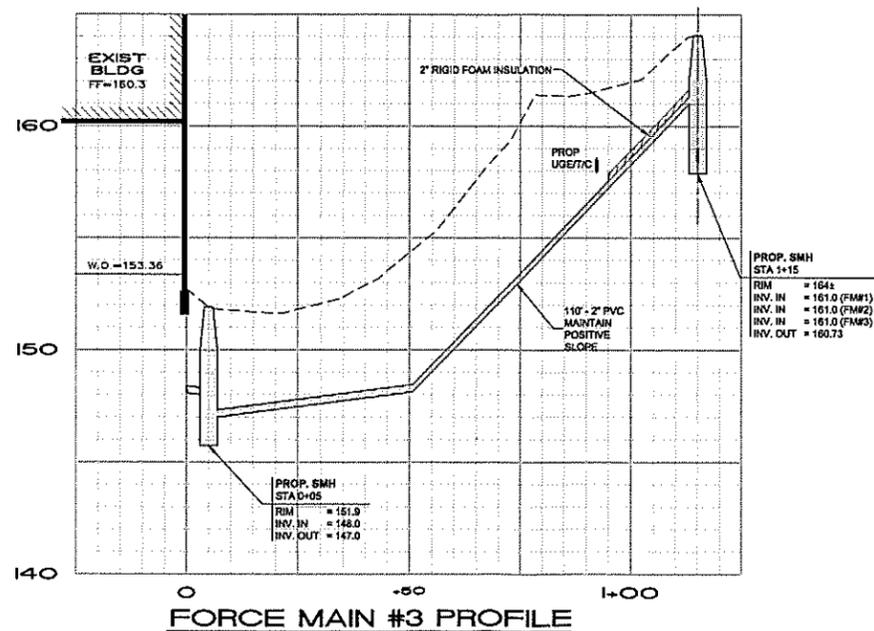
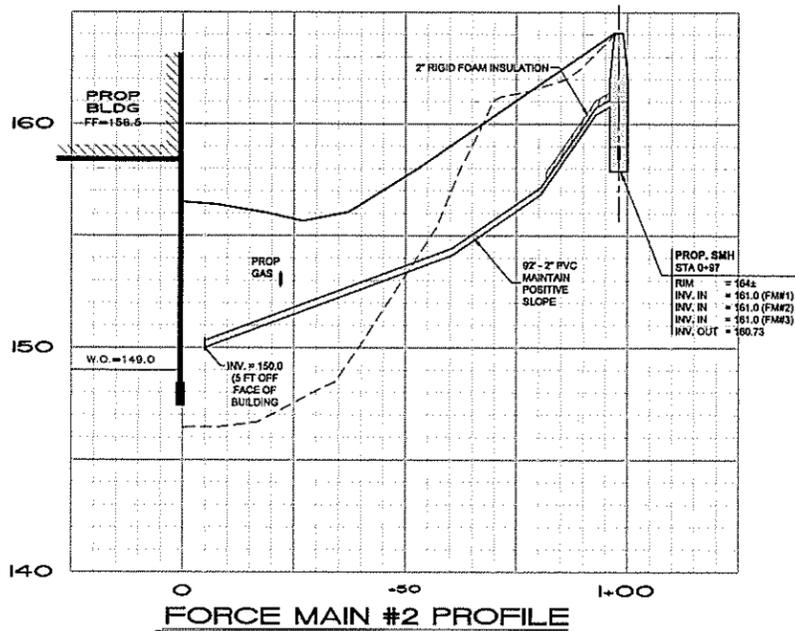
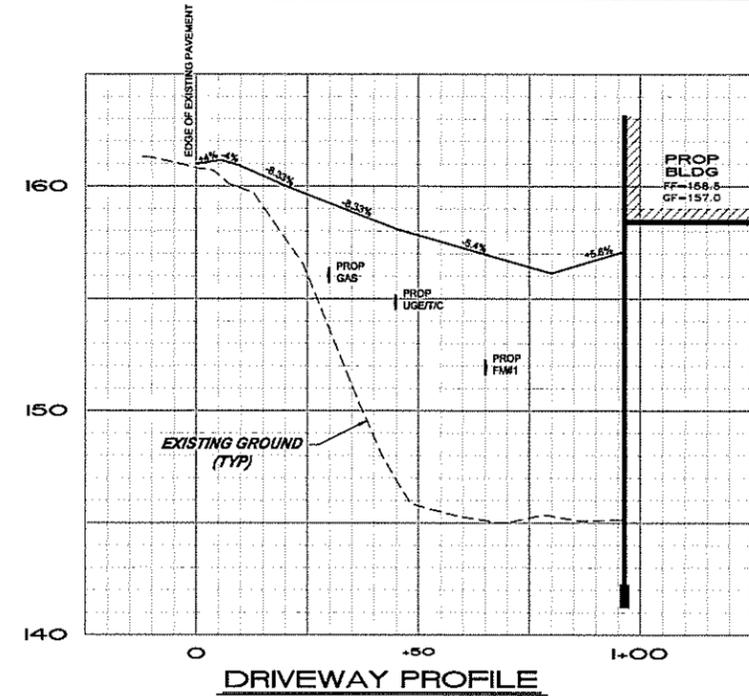
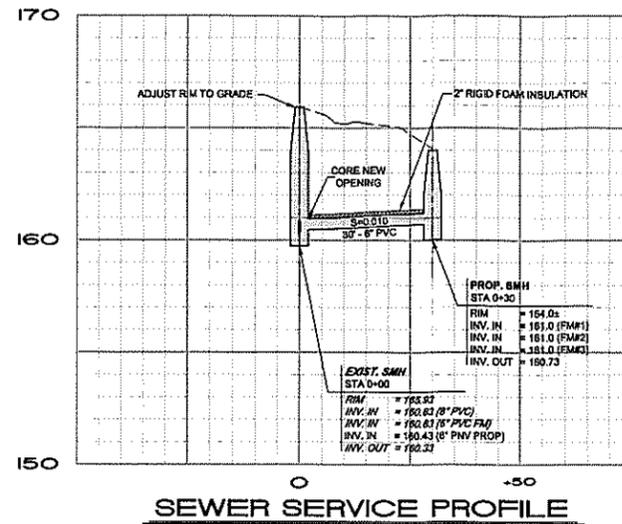
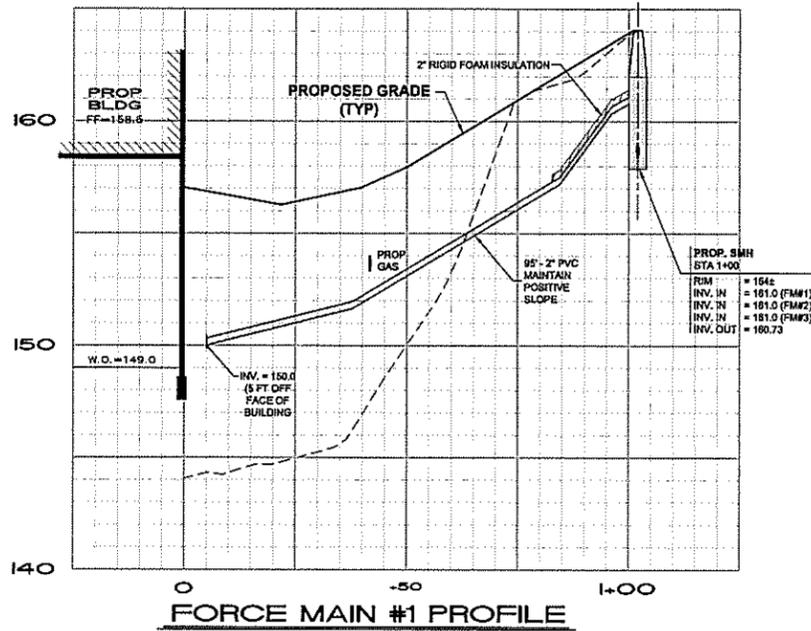
LOT LAYOUT/GRADING PLAN
(MAP 62, LOT 190)
21 1/2 FAIRMOUNT STREET
NASHUA, NEW HAMPSHIRE
PREPARED FOR / RECORD OWNER:
BRUCE EDWARD KINVILLE
33 DEPOT ROAD HOLLIS, NEW HAMPSHIRE 03049 (857) 207-1717

SCALE 1"=20 Feet
1"=6.096 Meters

1 AUGUST 2019

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Civil Engineers/Land Surveyors
3 Congress Street 131 Middlesex Turnpike
Nashua, NH 03062 Burlington, MA 01803
(603) 883-2057 (781) 203-1501
www.haynerswanson.com

FIELD BOOK 1231	DRAWING NAME: 5576-SUB-F020	5576	3 OF 5
DRAWING LOC. J:\5000\5576\DWG\SUB		FILE NUMBER	DATE



STORMWATER MANAGEMENT AREA 'A' (SMA 'A') (CROSS SECTION 'A'- 'A')

No.	DATE	REVISION	BY

UTILITY PROFILES
 (MAP 62, LOT 190)
21 1/2 FAIRMOUNT STREET
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR / RECORD OWNER:
BRUCE EDWARD KINVILLE
 33 DEPOT ROAD HOLLIS, NEW HAMPSHIRE 03049 (857) 207-1717

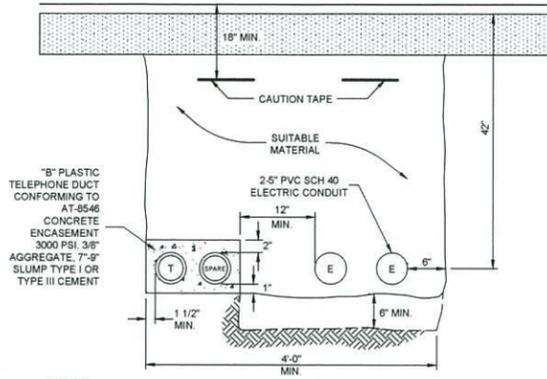


1 AUGUST 2019



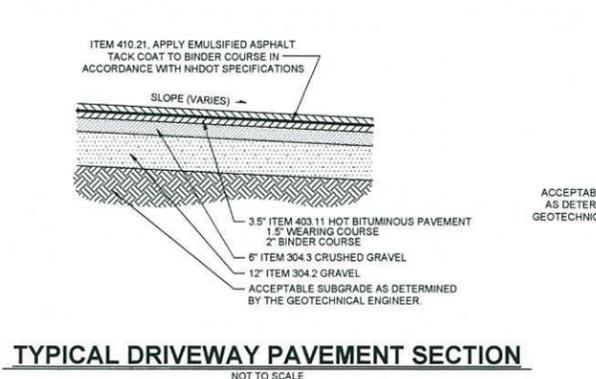
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FIELD BOOK: 1231	DRAWING NAME: 5576-SUB-F020	5576	4 OF 5
DRAWING LOC: \\5000\5576\DWG\SUB		FILE NUMBER	SHEET

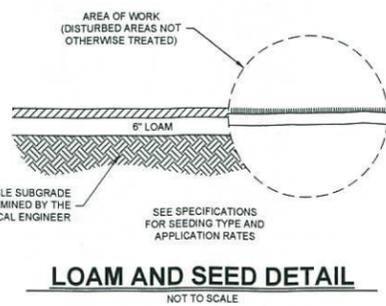


- NOTE:**
- CONDUIT SHALL BE INSTALLED IN THE FORMATION AS SHOWN ON THE PLANS AND ENCASED IN CONCRETE. CURVES, SWEEPS, AND GRADE CHANGES SHALL BE MADE GRADUALLY AND UNIFORMLY (MAXIMUM HORIZONTAL RADIUS = 150'). THE CONTRACTOR SHALL UTILIZE SPACERS TO MAINTAIN DUCT FORMATION. AFTER BACKFILLING, BUT BEFORE PAVING, ALL DUCTS SHALL BE MANDRELLED AS SPECIFIED. ALL WORK SHALL CONFORM TO AT&T CO. STANDARD, SECTION 622-340-220, "B" PLASTIC CONDUIT - ENCASED.
 - THE CONTRACTOR SHALL INSTALL PULLING-IN LINES IN ALL DUCTS, AND A GREEN/LEE CONDUIT MEASURING TAPE IN THE TOP RIGHT DUCT ALONG ALL DUCT RUNS.
 - BACKFILL SHALL BE FREE OF FROZEN LUMPS OF ROCKS, STONES, DEBRIS OR RUBBISH.
 - REFER TO SITE PLAN FOR DIAGRAMATIC UTILITY LAYOUT AND GRADES.

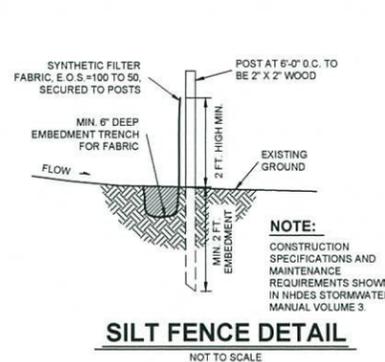
TYPICAL UTILITY TRENCH SECTION
NOT TO SCALE



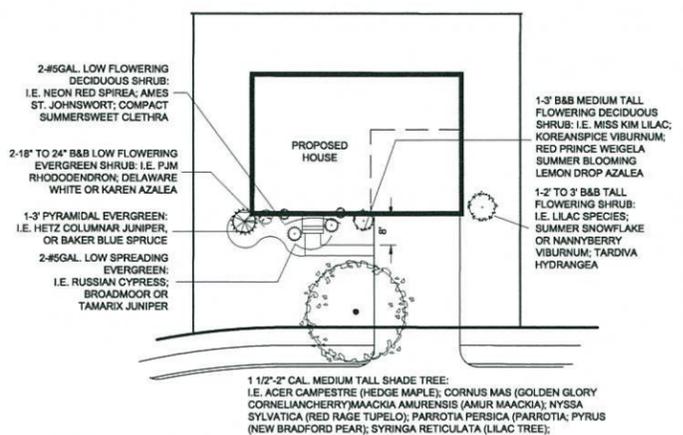
TYPICAL DRIVEWAY PAVEMENT SECTION
NOT TO SCALE



LOAM AND SEED DETAIL
NOT TO SCALE

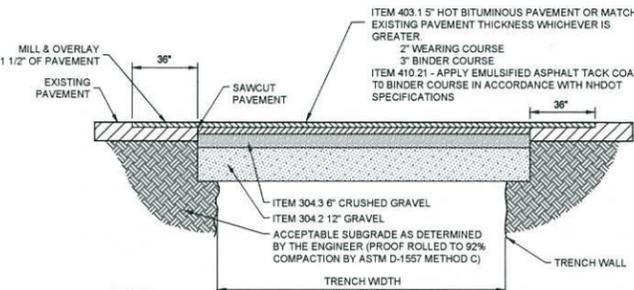


SILT FENCE DETAIL
NOT TO SCALE

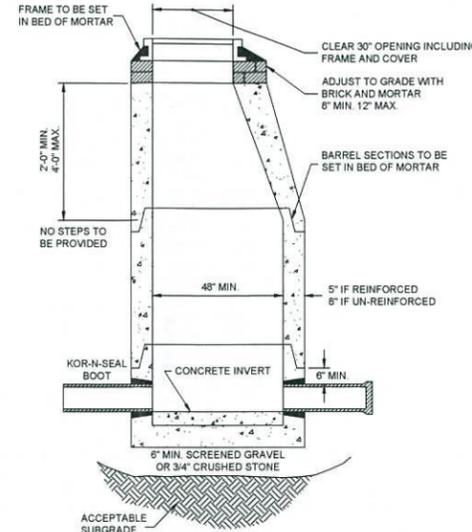


- NOTES:**
- THE HOME BUILDER RESERVES THE RIGHT TO MODIFY THE TYPE, SIZE AND LOCATION OF THE FOUNDATION PLAN MATERIALS.
 - STREET TREE LOCATIONS AS SHOWN ARE APPROXIMATE. TWO STREET TREES SHALL BE PLANTED ON LOT 1351. SHRUBS SHALL BE PLANTED ON LOT 2250. NO PROPOSED LANDSCAPING SHALL EXCEED 32 FEET IN HEIGHT ABOVE GROUND LEVEL.
 - STREET TREES ARE INTENDED TO MEET THE REQUIREMENT OF THE NASHUA LAND USE CODE SECTION 190-185.

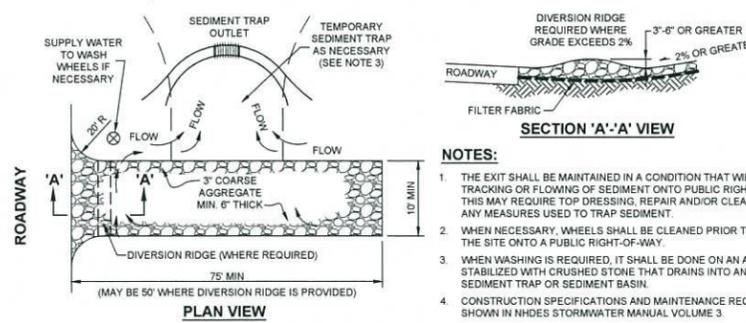
TYPICAL LOT LANDSCAPE DETAIL
NOT TO SCALE



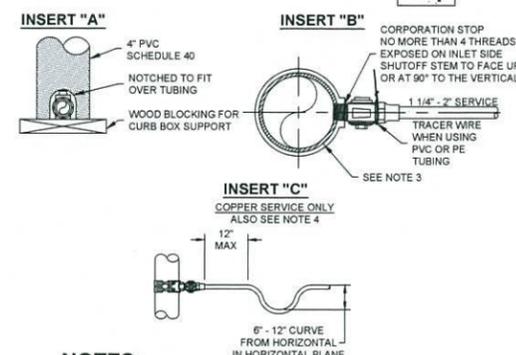
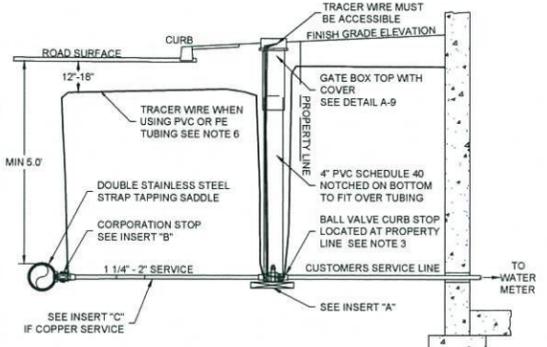
TRENCH PATCH DETAIL
NOT TO SCALE



SEWER MANHOLE DETAIL
NOT TO SCALE

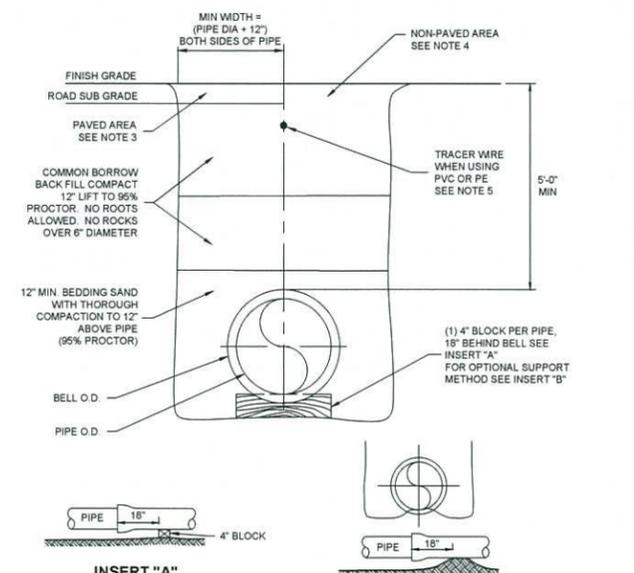


TEMPORARY GRAVEL CONSTRUCTION EXIT
NOT TO SCALE



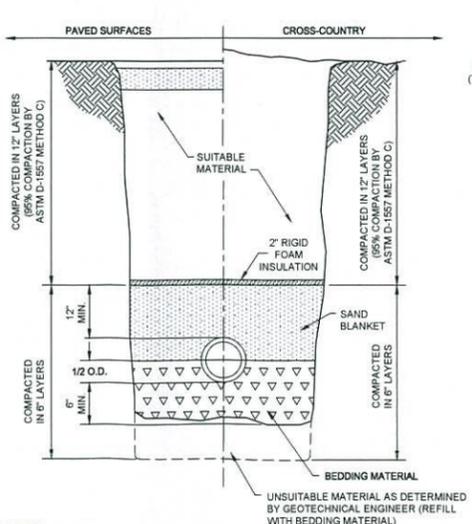
- NOTES:**
- ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO P.W.W. TECHNICAL SPECIFICATIONS.
 - ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 - IF WATER MAIN IS PVC OR TRANSITE, A DOUBLE STAINLESS STEEL STRAP TAPPING SADDLE MUST BE USED TO CONNECT THE CORPORATION TO THE WATER MAIN.
 - IF WATER MAIN IS PVC OR TRANSITE, AND THE NEW WATER SERVICE IS COPPER THEN SEE DETAIL A-19.
 - IF WATER MAIN IS A FIRE SERVICE, THEN SEE DETAIL A-24. 10 GAUGE TRACER WIRE AS MANUFACTURED BY BMS, DIVISION OF ALBEMAR CORP., AVON, MA OR EQUIVALENT.

TYPICAL 1 1/4" - 2" SERVICE & VALVE BOX INSTALLATION DETAIL
NOT TO SCALE



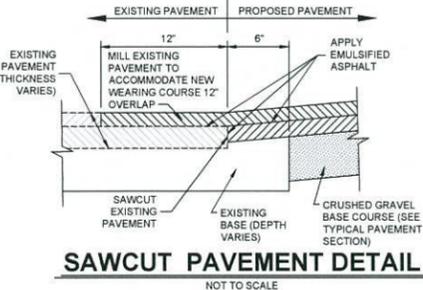
- NOTES:**
- ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO P.W.W. TECHNICAL SPECIFICATIONS.
 - ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.
 - REQUIREMENTS FOR SUBBASE AND BASE MATERIAL TYPE ARE TO BE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING LOCAL JURISDICTION IN PAVED AREAS.
 - REQUIREMENTS FOR GRAVEL, LOAM AND/OR SEED ARE TO BE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING LOCAL JURISDICTION IN NON-PAVED AREAS.
 - USE 10 GAUGE SOLID-ORE COATED BLUE TRACER WIRE PER P.W.W. TECHNICAL SPECIFICATIONS.

TYPICAL WATER MAIN TRENCH DETAIL
NOT TO SCALE



- NOTES:**
- THE SEWER TRENCH SECTION SHALL CONFORM TO THE NHDES STANDARD TRENCH SECTION, AND TO THE ADDITIONAL REQUIREMENTS OF THIS TYPICAL SECTION.
 - IN GENERAL, DISTURBED CROSS-COUNTRY AREAS SHALL BE RESTORED TO THE SATISFACTION OF THE ENGINEER AND SHALL BE LOAMED AND SEEDED IN ACCORDANCE WITH THE DETAIL AND SHALL BE MAINTAINED UNTIL A VIABLE STAND OF GRASS HAS BEEN ESTABLISHED.
 - ROADWAYS, DRIVEWAYS, AND OTHER PAVED AREAS SHALL BE RECONSTRUCTED IN ACCORDANCE WITH THE PLANS. THE BINDER COURSE SHALL BE PLACED IMMEDIATELY AFTER CONSTRUCTION, AND ALLOWED TO STAND FOR FOUR MONTHS. A LEVELING COURSE SHALL BE APPLIED OVER THE TRENCH AFTER FOUR MONTHS AND THE ENTIRE ROAD OR PAVED AREA OVERLAYED TO THE LIMITS SHOWN ON THE PLANS.

TYPICAL SEWER TRENCH SECTION
NOT TO SCALE



SAWCUT PAVEMENT DETAIL
NOT TO SCALE



PAVEMENT MILL/OVERLAY DETAIL
NOT TO SCALE



No.	DATE	REVISION	BY

DETAIL SHEET - GENERAL SITE
(MAP 62, LOT 190)
21 1/2 FAIRMOUNT STREET
NASHUA, NEW HAMPSHIRE
PREPARED FOR / RECORD OWNER:
BRUCE EDWARD KINVILLE
33 DEPOT ROAD HOLLIS, NEW HAMPSHIRE 03049 (857) 207-1717

SCALE AS SHOWN

1 AUGUST 2019

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**FY21 CDBG-HOME
Potential Activities**

CDBG Sources	
Entitlement Award (estimated 3% increase)	\$650,000.00
Estimated program income	\$45,000.00
Available for reprogramming:	
FY19 Admin	\$2,467.60
FY19 Nashua Center lighting project balance	\$420.44
FY19 Nashua PAL lighting project balance	\$4,329.00
FY19 Arlington St Center Director balance	\$20,333.46
FY19 Construction Management	\$1,052.08
FY18 Crown Hill Pool bal	\$4,024.00
FY18 Admin	\$73.40
FY17 Vietnam Vet's basketball court balance	\$8,827.71
Total Available	\$736,527.69
Requests:	
Public Services estimated (15% cap)	\$97,500.00
UPD Project Delivery	\$122,111.00
UPD, Administration (20% cap)	\$139,000.00
Ash Street Futsal Court - lighting	\$25,000.00
Boys & Girls Club - Pool decking/locker room rehab	\$68,373.00
Front Door Agency - Heat/hot water conversion @ 12 Concord St	\$60,000.00
Los Amigos Park improvements	\$35,000.00
Marguerite's Place - Window replacement 85-87 Palm St	\$48,150.00
Nashua Children's Home - WITHDRAWN	\$0.00
Opportunity Networks - Bathrooms in Unit A	\$60,000.00
Owner Occupied Housing Improvement	\$75,000.00
PLUS Company - ADA bathrom and entry	\$25,000.00
Rental Improvement Program	\$110,000.00
Sandy Pond Park improvements	\$30,000.00
Contingency	TBD
Subtotal Requests	\$895,134.00
Net difference	-\$158,606.31
HOME Grant (estimated)	\$380,000.00
Administration	\$38,000.00
CHDO	\$57,000.00
Home Buyer Assistance	\$55,000.00
Affordable Housing Development	\$230,000.00
Total HOME	\$380,000.00