

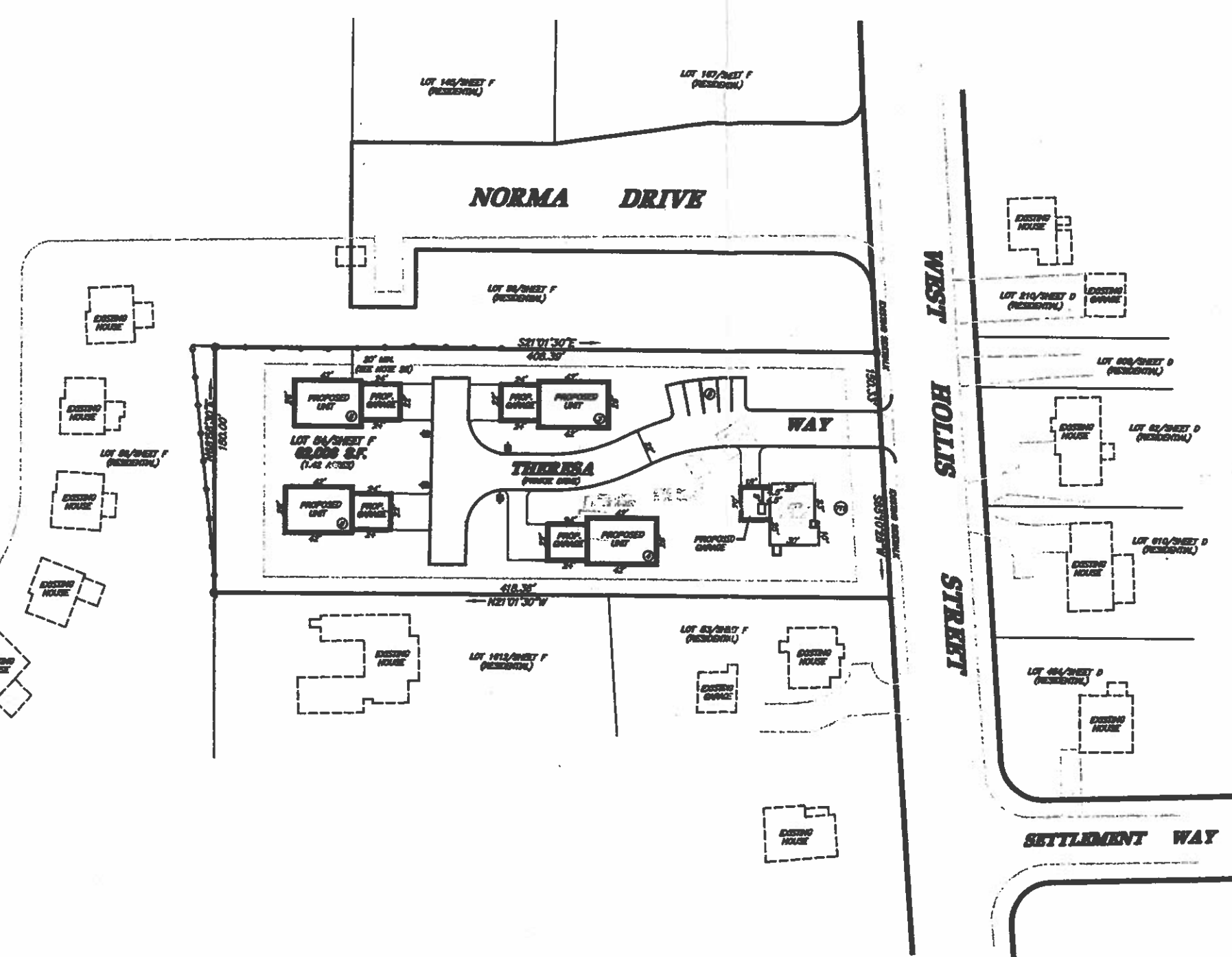
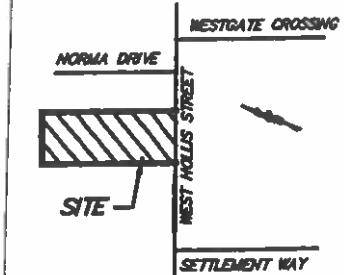
ABUTTERS:

- LOT 84 / SHEET F
711 WEST HOLLIS STREET REALTY TRUST
79 CONANT ROAD
NASHUA, NH 03062-1638
ACCT 80218
BK 8874/Pg. 1403
- LOT 83 / SHEET F
OL R. QUINN REVOCABLE TRUST
OL R. QUINN TRUSTEE
713 WEST HOLLIS STREET
NASHUA, NH 03062-1531
ACCT 82478
BK 8885/Pg. 182
- LOT 1012 / SHEET F
SHERWOOD S. MAHAJAN GARSPATI
715 WEST HOLLIS STREET
NASHUA, NH 03062
ACCT 82038
BK 8885/Pg. 2438
- LOT 88 / SHEET F
HOLLIS LANDING
8 BOSTON LANE
NASHUA, NH 03063
- LOT 484 / SHEET D
GLYN H. & PATRICK L. PRESTON
2 SETTLEMENT WAY
NASHUA, NH 03062-1438
ACCT 82820
BK 8887/Pg. 743
- LOT 810 / SHEET D
JAMES J. JONES
DORIAN BRUNSDEN
710 WEST HOLLIS STREET
NASHUA, NH 03062
ACCT 82434
BK 8888/Pg. 733
- LOT 82 / SHEET D
EDWARD K. & MARGARET M. WILU
708 WEST HOLLIS STREET
NASHUA, NH 03062-1382
ACCT 82884
BK 8878/Pg. 1128
- LOT 808 / SHEET D
BLAINE B. DE WOLF
LARRY B. SELBY
704 WEST HOLLIS STREET
NASHUA, NH 03062
ACCT 82433
BK 7084/1088
- LOT 210 / SHEET D
DAN & CYNTHIA KELLEY
704 WEST HOLLIS STREET
NASHUA, NH 03062
ACCT 82820
BK 8881/Pg. 881
- MAYNARD & PAQUETTE ENG. ASSOC., LLC
31 GUNNY STREET
NASHUA, NH 03060

PLAN REFERENCE:

- HOLLIS LANDING, NORMA DRIVE, NASHUA, NH; PREPARED FOR: ASHWOOD HOMES, INC.; BY: MAYNARD & PAQUETTE, INC. DATED: DECEMBER 1965; SCALE: 1" = 50'; H.C.R.D. NO. 18794
- SUBDIVISION PLAN, 713-715 WEST HOLLIS STREET, NASHUA, NH; PREPARED FOR: OL R. & DEBORAH DUBWAY; BY: MAYNARD & PAQUETTE ENG. ASSOC., LLC; DATED: OCTOBER 25, 2004; SCALE: 1" = 20'; H.C.R.D. NO. 33838

- LEGEND**
- STONE BOUND FOUND
 - STONE BOUND TO BE SET
 - IRON PIN FOUND
 - IRON PIN TO BE SET
 - MINIMUM BUILDING SETBACK
 - EXISTING BUILDING
 - (11) STREET ADDRESS
 - ◆ MAIL BOX



NOTES:

- PRESIDENT ZONING: R-10 RESIDENTIAL
- TOTAL LOT AREA: 62,006 S.F. (1.42 ACRES)
- EXISTING USE: RESIDENTIAL, SINGLE FAMILY HOME
- PROPOSED USE: 8 TOTAL UNITS: EXISTING SINGLE FAMILY AND 4 SINGLE FAMILY DETACHED UNITS
- SINGLE FAMILY INCLUDING COMMON FRIDGE CLOSET, GARAGE, ETC. (SEE NOTE 23)
- PROPOSED DIMENSIONS: 2 SPACES/UNIT; PROPOSED DIMENSIONS: 2 SPACES/UNIT IN GARAGE 7 DRIVEWAY PLUS 5
- MINIMUM DIMENSIONS: 14 TOTAL SPACES
- SETBACKS: FRONT - 20 FT., SIDE - 10 FT. (SEE NOTE 23), REAR - 30 FT.
- LOT AREA (MIN): 6,000 S.F., PROP. 62,006 S.F.
- LOT WIDTH (MIN): 80 FT.
- LOT FRONTAGE (MIN): 75 FT.
- LOT DEPTH (MIN): 30 FT.
- OPEN SPACE (MIN): 600, PROP. 70%
- FLOOR AREA (MIN): N/A
- MAX. BLDG. HEIGHT: 35 FT.
- IF SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN IN ANY
- PLAN OR OTHERWISE, OR COMBINE OR ALTER A STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE
- THE USE PROVIDED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY OF NASHUA.
- THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND
- BOUNDARIES OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN, PRIOR TO THE START OF
- CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND TO DIFFER FROM
- THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL MEASURES SHALL BE TAKEN BEFORE
- PROCEEDING WITH THE WORK.
- ALL CONSTRUCTION SHALL CONFORM TO TITLE 111 OF THE AMERICAN WITH DISABILITIES
- ACT WITH REGARD TO CURBSIDE, GRADIENT AND NUMBER OF SPACES, NOT APPLICABLE.
- PERMITS AND APPROVALS ARE TO BE SET AT ALL LOT CORNERS AND STONE BOUND AT ALL POINTS
- OF CURBLINE AND TURNOUT ALONG THE WEST HOLLIS STREET ALLEY BY A LICENSED LAND SURVEYOR
- SECURED PRIOR TO INSTALLATION. NO NEW SIGNS PROPOSED.
- ALL SIDE LIGHTING SHALL BE SHOWN ON THE PLAN, DIRECTED ONTO SITE AND CONFORM TO APPLICABLE
- CITY OF NASHUA ZONING REGULATIONS. NO NEW LIGHTING PROPOSED.
- ALL LANDSCAPING SHALL BE SHOWN ON THE PLAN AND CONFORM TO THE APPLICABLE CITY OF NASHUA
- REGULATIONS. NO NEW LANDSCAPING PROPOSED.
- LOT IS SURVEYED BY MUNICIPAL ENGINEER AND FURNISHED UNDER WORK.
- ALL NEW BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN ON
- SITE INSPECTION BY A PROFESSIONAL ENGINEER DETERMINES THAT SPECIFIC BUILDING SITES ARE LOCATED
- BY WELL DRAINAGE SITES AND THAT SUCH SYSTEMS ARE NOT REQUIRED. NOT APPLICABLE.
- PRIOR TO ANY WORK BEING CONDUCTED ON SITE A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH
- THE PLANNING DEPT AND OTHER CITY DEPARTMENTS AS NECESSARY TO REVIEW THE PROPOSED WORK.
- THE SITE IS LOCATED WITHIN THE DIVISION OF THE OLD ANNEAL CHANGE FLOOD PLAN,
- PER PLANNING DEPARTMENT MAP NUMBER 3301 (REVISED, DATED: SEP. 28, 2004).
- THE SITE IS NOT LOCATED WITHIN THE UNINCORPORATED PROTECTION DISTRICT.
- STREET RESURFACING SHALL BE IN ACCORDANCE WITH NHD 285-15.
- ROOF DRAIN INS AND DOWN LINES WILL BE INSPECTED PRIOR TO BACKFILLING & FINISH.
- THERE ARE NO WETLANDS ON SITE.
- THIS PLAN COMPLIES WITH THE MINIMUM SETBACK REQUIREMENTS.
- ON DECEMBER 15, 2016 THE NASHUA ZONING BOARD GRANTED A VARIANCE TO EXCEED
- NUMBER OF ONE PRINCIPAL STRUCTURE PERMITTED ON A LOT, ONE EXISTING FOUR DETACHED
- UNITS PROPOSED FOR A TOTAL OF FIVE UNITS SERVED BY A 2X FT. COMMON FRIDGE DRIVEWAY WITH THE
- FOLLOWING REGULATIONS:
1. PROVIDE A MINIMUM OF 30-FOOT SETBACK FROM THE PROPERTY LINES TO THE REAR OF THE
- STRUCTURES, 30 IN TOTAL, THE SIDE YARD SETBACK IS 50 FEET INSIDE OF THE 10 FEET.
2. TWO "NO PARKING" SIGNS ON EACH SIDE OF COMMON DRIVEWAY SHALL BE POSTED/INSTALLED.
3. THE EXISTING SEWER PIPE IN WEST HOLLIS ST. IS APPROXIMATELY 18" DIA. AND SPECIAL HANDLING AND
- CONSTRUCTION PROCEDURES FOR EXISTING SHALL BE FOLLOWING: (SEE NOTE 23).
4. ALL LOTS, ESPECIALLY NO. 1, 2, 6, 10 & 11 WILL BE PROVIDED FROM SLOTTED / DIVISION
- UNTIL REVISION IS WELL ESTABLISHED.

**711 WEST HOLLIS STREET
NASHUA, NEW HAMPSHIRE**

OWNER:
711 WEST HOLLIS STREET REALTY TRUST, LLC
79 CONANT ROAD
NASHUA, NEW HAMPSHIRE 03062
(603) 321-6051

SCALE: 1" = 40' DATE: JANUARY 22, 2018

MP Maynard & Paquette
Engineering Associates, LLC
Consulting Engineers and Land Surveyors
81 Oakley Street, Nashua, NH 03060
Phone: (603)889-8488 Fax: (603)889-7827

KPM	APB	RAM		2	D	12459
DESIGN	DESIGN	DESIGN	DESIGN	REVIEW	CHK	JUN 2018

APPROVED BY THE CITY OF NASHUA PLANNING BOARD

SECRETARY _____ DATE _____

CHAIRMAN _____ DATE _____

I, THE UNDERSIGNED, DO HEREBY AGREE TO PERFORM ALL OF THE SITE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE CITY OF NASHUA PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

711 WEST HOLLIS STREET REALTY TRUST, LLC DATE _____

I CERTIFY THAT THIS PLAN WAS PREPARED FROM BOUNDARY INFORMATION SHOWN ON PLAN REFERENCE 1 AND A FIELD SURVEY MADE ON THE GROUND IN NOVEMBER 2016 HAVING A MAXIMUM ERROR OF CLOSURE OF 1:10,000.