

MAP E, LOT 6  
SITE PLAN

# PROPOSED MODULAR CLASSROOM

591 WEST HOLLIS STREET  
NASHUA, NEW HAMPSHIRE

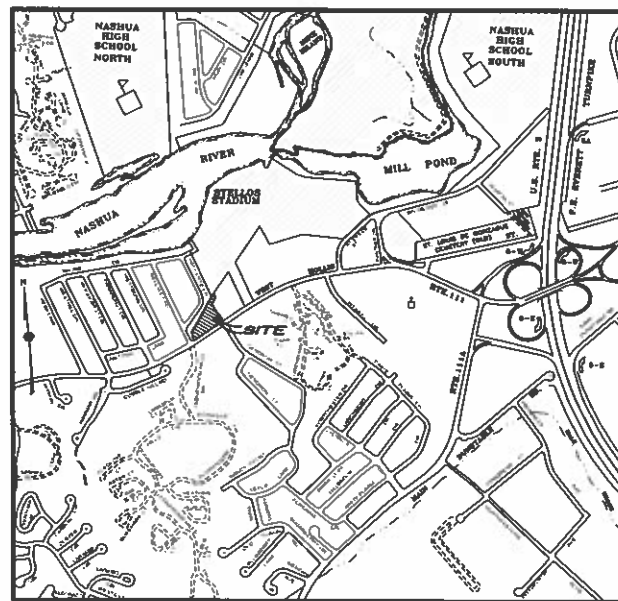
PREPARED FOR/ RECORD OWNER

## MICROSOCIETY ACADEMY CHARTER SCHOOL

591 WEST HOLLIS STREET  
NASHUA, NEW HAMPSHIRE 03062

28 APRIL 2022

No.	DATE	REVISION	BY
PRELIMINARY DESIGN REVIEW			



VICINITY PLAN SCALE: 1"=1,000'

### INDEX OF PLANS

SHEET No.	TITLE	SCALE
1 OF 6	MASTER SITE PLAN	1"= 30'
2 OF 6	EXISTING CONDITIONS PLAN	1"= 20'
3 OF 6	SITE PLAN	1"= 20'
4-5 OF 6	DETAIL SHEET - GENERAL SITE	
6 OF 6	DETAIL SHEET - SEWER	
MODULAR BUILDING PLANS (BY OTHERS)		

**HSI** Hayner/Swanson, Inc.

Civil Engineers/Land Surveyors  
3 Congress Street  
Nashua, NH 03062  
(603) 883-2057  
www.hayner-swanson.com

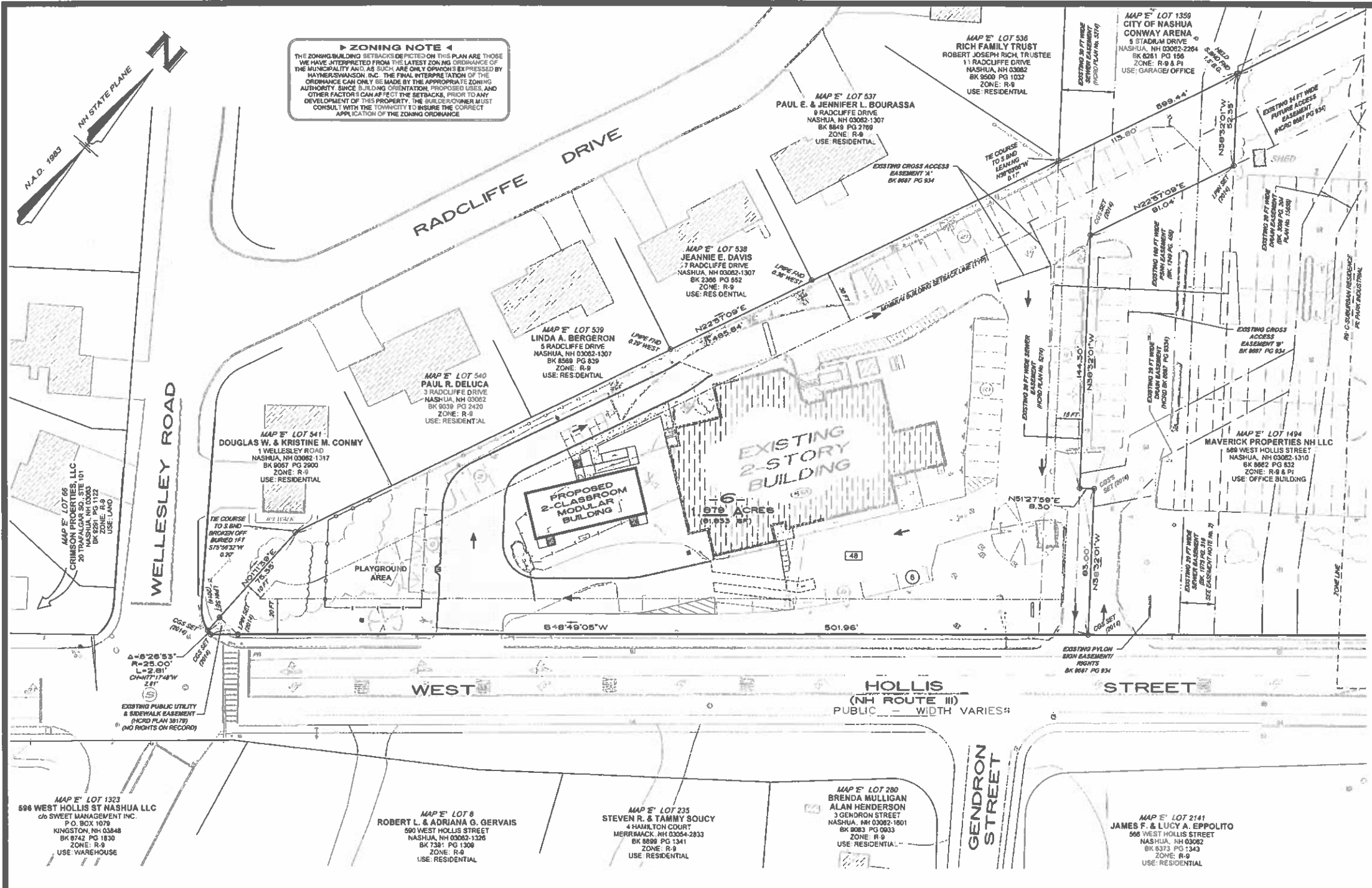
131 Middlesex Turnpike  
Burlington, MA 01803  
(781) 203-1501

3 Congress Street Nashua, NH 03062 (603) 883-2057  
131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501  
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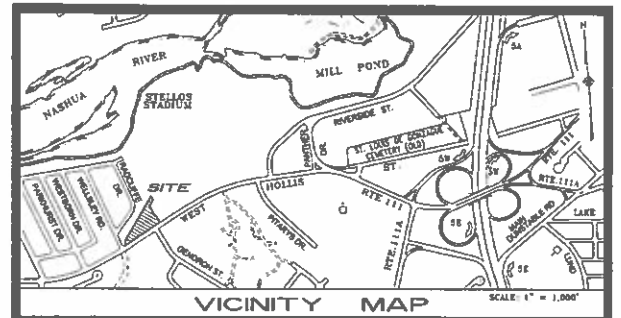
Hayner/Swanson, Inc.

HSI





**ZONING NOTE**  
 THE ZONING BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNES/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDING OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.



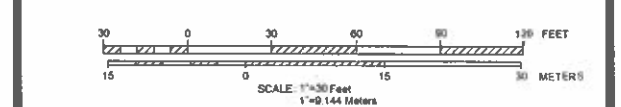
- NOTES:**
- LOT AREA: 1.879 ACRES (81,833 SF)
  - PRESENT ZONING: R-9; C-URBAN RESIDENCE
  - MINIMUM LOT REQUIREMENTS: RECORDED vs. PROPOSED
  - PURPOSE OF PLAN: TO SHOW A PROPOSED 2-CLASSROOM MODULAR BUILDING ALONG WITH ASSOCIATED SITE IMPROVEMENTS.
  - PARKING: REQUIRED: MINIMUM 1 SPACE/CLASSROOM X 15 CLASSROOMS = 15 SPACES; MAXIMUM 2 SPACES/CLASSROOM X 15 CLASSROOMS = 30 SPACES.
  - OPEN SPACE: REQUIRED (MIN.): 50.0%; EXISTING: 37.3%; PROPOSED: 39.4%.
  - SITE SHALL BE SERVICED BY MUNICIPAL SEWER, WATER BY PENNACUK WATER WORKS AND UNDERGROUND TELEPHONE, ELECTRIC AND GAS UTILITIES.
  - ALL LANDSCAPING SHALL BE AS SHOWN ON THE PLANS AND CONFORM TO THE APPLICABLE CITY OF NASHUA LAND USE CODE UNDER ARTICLE XXVII. ALL LIGHTING SHALL BE AS SHOWN ON THE PLANS, DIRECTED ONTO THE SITE AND CONFORM TO APPLICABLE CITY OF NASHUA LAND USE CODE REGULATIONS.
  - ALL SIGNAGE SHALL CONFORM TO THE APPLICABLE CITY OF NASHUA REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
  - SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE 80-A OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSIONS, GRADE, AND NUMBER OF PARKING SPACES. IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
  - PUBLIC STREET RESTORATION WORK SHALL BE IN ACCORDANCE WITH N.H.R.C. SECTION 285-13, LATEST EDITION. THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FROM THE CITY OF NASHUA ENGINEERING DEPARTMENT PRIOR TO ANY WORK WITHIN THE RIGHT-OF-WAY.
  - PRIOR TO ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL SUBMIT AN ELECTRONIC FILE OF THE PLAN AND EASEMENT DOCUMENTS PERTAINING TO THE SITE TO THE WATER OPERATOR AND MAINTENANCE PLAN SHALL BE RECORDED.
  - HOURS OF OPERATION: MONDAY-FRIDAY, 8:30 AM - 4 PM.
  - THE PARCEL IS NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE RATE MAP (FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY NO. 330077, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 330105822, DATED: SEPTEMBER 25, 2009.
  - MECHANICAL APPURTENANCES, IF ANY, SHALL BE SCREENED AND FINISHED TO MATCH THE BUILDING EXTERIOR. MECHANICAL APPURTENANCES SHALL NOT EXCEED 50 DECIBELS BETWEEN 7 AM-8 PM AND 45 DECIBELS AT NIGHT 8 PM-7 AM ALONG RESIDENTIAL ZONING DISTRICTS.
  - SNOW SHALL BE STORED IN OPEN AREAS OF THE SITE. IN THE EVENT THAT ACCUMULATED WINTER SNOW VOLUMES EXCEED ON-SITE STORAGE CAPABILITIES, EXCESS SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
  - PRESENT OWNER OF RECORD: MAP 'E', LOT 8; MICRO SOCIETY ACADEMY CHARTER SCHOOL, 591 WEST HOLLIS STREET, NASHUA, NH 03062, BK 9276, PG 2316.

**PRELIMINARY DESIGN REVIEW**

NO.	DATE	REVISION	BY

**MASTER SITE PLAN (MAP 'E', LOT 8)**  
**PROPOSED MODULAR CLASSROOM**  
 591 WEST HOLLIS STREET  
 NASHUA, NEW HAMPSHIRE

PREPARED FOR/ RECORD OWNER:  
**MICROSOCIETY ACADEMY CHARTER SCHOOL**  
 591 WEST HOLLIS STREET NASHUA, NEW HAMPSHIRE 03062

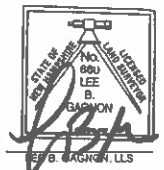


28 APRIL 2022

**H/S/I Hayner/Swanson, Inc.**  
 Civil Engineers/Land Surveyors  
 3 Congress Street  
 Nashua, NH 03062  
 (603) 893-2077  
 www.haynerswanson.com

**CERTIFICATION**  
 I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "UP (URBAN)" AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSES FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/09.  
 I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

4/28/22 DATE



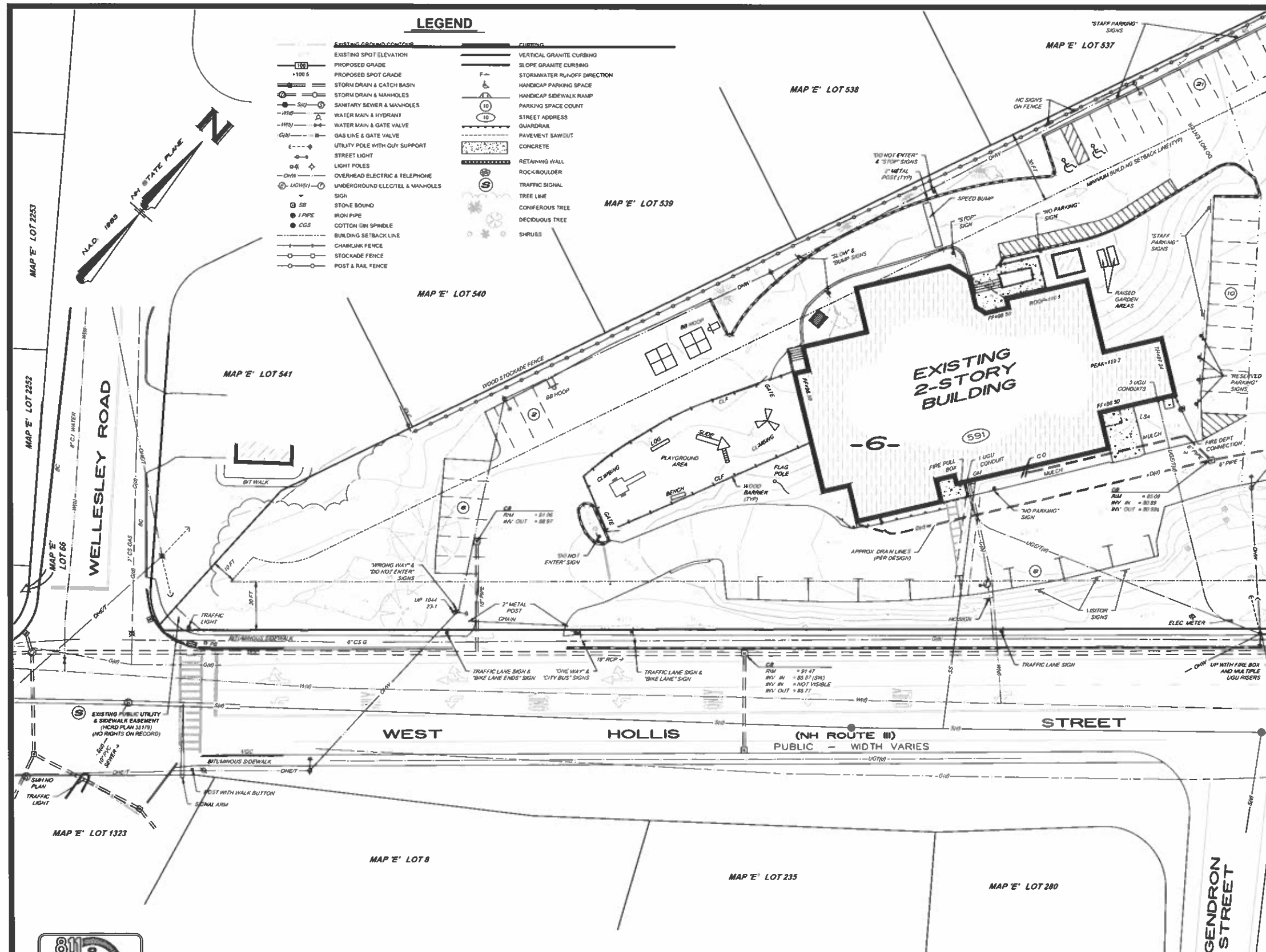
**APPROVED NASHUA CITY PLANNING BOARD**

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

- PLAN REFERENCES:**
- LOT LINE RELOCATION PLAN, MAP 'E', LOTS 8 & 1494, 588 & 591 WEST HOLLIS ST., NASHUA, NEW HAMPSHIRE, PREPARED FOR: DARTMOUTH-HITCHCOCK, RECORD OWNER: DARTMOUTH-HITCHCOCK CLINIC, SCALE: 1"=40', DATED: 3 FEBRUARY 2014 WITH REVISIONS THRU 08/16/14 AND PREPARED BY THIS OFFICE. RECORDED: HCRD - PLAN No. 38179.
  - RE-SUBDIVISION PLAN OF LOTS E-137 AND E-135B, RIVERSIDE DRIVE, NASHUA, NEW HAMPSHIRE, OWNER OF RECORD: NASHUA NEW HAMPSHIRE FOUNDATION, PLAN PREPARED FOR: CITY OF NASHUA, NH, SCALE: 1"=50', DATED 24 JUNE 1977 WITH REVISIONS THRU OCTOBER 21, 1977 AND PREPARED BY: ALLAN H. SWANSON, INC. RECORDED: HCRD - PLAN No. 10810.
  - FINAL SUBDIVISION PLAN (MAP 'E', LOT 8), 591 WEST HOLLIS STREET, NASHUA, NEW HAMPSHIRE, PREPARED FOR: MATTHEW THORNTON HEALTH PLAN, INC., SCALE: 1"=50', DATED OCTOBER 21, 1985, AND PREPARED BY: CUOCO & CORAMER, INC. RECORDED: HCRD - PLAN No. 18628.
  - SUBDIVISION PLAN OF LAND IN NASHUA, NEW HAMPSHIRE, BELONGING TO NASHUA NEW HAMPSHIRE FOUNDATION, DATED FEBRUARY 22, 1977, SCALE: 1"=100' AND PREPARED BY: HAMILTON ENGINEERING ASSOCIATES, INC. RECORDED: HCRD - PLAN No. 11628.
  - DRAINAGE EASEMENT PLAN LOT 8, WEST HOLLIS STREET NASHUA NH, MATTHEW THORNTON HEALTH PLAN, INC., SCALE: 1"=50', DATED MARCH 1983 BY MAYNARD & PAQUETTE, INC. RECORDED: HCRD - PLAN No. 10595.
  - PLAN OF SEWER EASEMENT FOR HASSELLS BROOK INTERCEPTOR PARCEL NO. 24, SCALE: 1"=100', DATED SEPTEMBER 1986 BY CAMP, DRESSER & WICKES, ON FILE WITH THE CITY OF NASHUA ENGINEERS OFFICE.
  - STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS PLANS OR PROPOSED FEDERAL AID PROJECT S-28 (15) NH PROJECT No. 5-7688 RECORDED: HCRD - PLAN No. 5020.
  - ADDRESS EASEMENT PLAN, MAP 'E', LOTS 8 & 1494, 588 & 591 WEST HOLLIS ST., NASHUA, NEW HAMPSHIRE, PREPARED FOR: DARTMOUTH-HITCHCOCK, RECORD OWNER: DARTMOUTH-HITCHCOCK CLINIC, SCALE: 1"=50', DATED 29 APRIL 2014 WITH REVISIONS THRU 01/01/14 AND PREPARED BY THIS OFFICE. RECORDED: HCRD PLAN No. 38182.

- EASEMENTS, RIGHTS AND RESTRICTIONS:**
- AGREEMENT AND COVENANTS BETWEEN MATTHEW THORNTON HEALTH PLAN, INC. AND THE CITY OF NASHUA FOR ACCESS, UTILITY, CROSS PARKING AND DRAINAGE EASEMENTS AS SHOWN ON PLAN No. 18639. RECORDED: HCRD - BK 3428 PG. 114.
  - CONDEMNATION AND RESOLUTION FOR HASSELLS BROOK SEWER INTERCEPTOR RECORDED: HCRD - BK 1975 PG. 318.
  - THE SUBJECT HAS BENEFICIAL RIGHTS TO A 20 FOOT WIDE DRAINAGE EASEMENT TO THE CITY OF NASHUA WITH CERTAIN RIGHTS AND RESTRICTIONS RECORDED: HCRD - BK 3088 PG. 204 SEE PLAN 15556.
  - 100 FOOT WIDE PUBLIC SERVICE EASEMENT WITH RIGHTS TO ACCESS AND MAINTENANCE RECORDED: HCRD - BK 1248 PG. 456.
  - AGREEMENT IN SUPPORT OF A 30 FOOT WIDE DRAINAGE EASEMENT OVER LOT 1359 TO BENEFIT LOTS 8 AND 1494 RECORDED: HCRD - BK 2663 PG. 631.
  - RIGHTS TO EXTEND AND MAINTAIN SLOPES AND EMBANKMENTS WITH RIGHTS TO CONSTRUCT AND MAINTAIN PIPES OR DITCHES AS NECESSARY TO REPOSE AGAINST ORDINARY EROSION AS GRANTED TO THE STATE OF NEW HAMPSHIRE RECORDED: HCRD - BK 1550 PG. 498.
  - FLOWAGE RIGHTS TO THE STATE OF NEW HAMPSHIRE OVER THE PREMISES TO LAY DRAINAGE PIPES AND OR A DITCH RECORDED: HCRD - BK 1486 PG. 357.
  - SUBJECT TO COMMISSIONERS RETURN @ LAYOUT, NASHUA, S-28(15)-87663 RECORDED: HCRD - BK 2081 PG. 184 AS EMENDED BK 2087 PG. 331.
  - DECLARATION OF RECIPROCAL EASEMENTS WITH COVENANTS AFFECTING LAND OF DARTMOUTH-HITCHCOCK CLINIC RECORDED: HCRD - BK 8867 PG. 854.
  - MATTERS AS DEFINED IN DEED FROM DARTMOUTH-HITCHCOCK CLINIC TO HAVEN NNN INVESTMENTS LLC RECORDED: HCRD - BK 8770 PG. 555.





**LEGEND**

- |  |   |
|--|---|
| <p>EXISTING GROUND CONTOUR</p> <p>PROPOSED SPOT ELEVATION</p> <p>PROPOSED SPOT GRADE</p> <p>STORM DRAIN &amp; CATCH BASIN</p> <p>STORM DRAIN &amp; MANHOLES</p> <p>SANITARY SEWER &amp; MANHOLES</p> <p>WATER MAIN &amp; HYDRANT</p> <p>WATER MAIN &amp; GATE VALVE</p> <p>GAS LINE &amp; GATE VALVE</p> <p>UTILITY POLE WITH GUY SUPPORT</p> <p>STREET LIGHT</p> <p>LIGHT POLES</p> <p>OVERHEAD ELECTRIC &amp; TELEPHONE</p> <p>UNDERGROUND ELECTRIC &amp; MANHOLES</p> <p>SSA</p> <p>STONE BOUND</p> <p>IRON PIPE</p> <p>COTTON GIN SPINDLE</p> <p>BUILDING SETBACK LINE</p> <p>CHAINLINK FENCE</p> <p>STOCKADE FENCE</p> <p>POST &amp; RAIL FENCE</p> | <p>CURBING</p> <p>VERTICAL GRANITE CURBING</p> <p>SLOPE GRANITE CURBING</p> <p>STORMWATER RUNOFF DIRECTION</p> <p>HANDICAP PARKING SPACE</p> <p>HANDICAP SIDEWALK RAMP</p> <p>PARKING SPACE COUNT</p> <p>STREET ADDRESS</p> <p>GUARDRAIL</p> <p>PAVEMENT SAWCUT</p> <p>CONCRETE</p> <p>RETAINING WALL</p> <p>ROCK/BOULDER</p> <p>TRAFFIC SIGNAL</p> <p>TREE LINE</p> <p>CONIFEROUS TREE</p> <p>DECIDUOUS TREE</p> <p>SHRUBS</p> |
|--|---|

- SURVEY NOTES:**
- 1 THE EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND BETWEEN DECEMBER 2013 AND MARCH 2022.
  - 2 SURVEY CONTROL  
HORIZONTAL DATUM: NAD83  
HORIZONTAL PROJECTION: NH STATE PLANE  
VERTICAL DATUM: NASHUA CITY DATUM  
UNITS: US SURVEY FEET
  - 3 IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
  - 4 THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.

**CITY OF NASHUA CONTACTS**

- PLANNING DEPARTMENT**  
COMMUNITY DEVELOPMENT DIVISION  
229 MAIN STREET  
NASHUA, NH 03060  
ATT: LINDA MCGHEE  
(603) 568-3110
- ENGINEERING DEPARTMENT**  
NASHUA DEPT. OF PUBLIC WORKS - ENGINEERING  
9 RIVERSIDE STREET  
NASHUA, NH 03062  
ATT: JOE MENDOLIA  
(603) 568-3124
- FIRE DEPARTMENT**  
NASHUA FIRE DEPARTMENT  
111 EAST HOLLIS STREET  
NASHUA, NH 03060  
ATT: ADAM POLIOT  
(603) 568-3460

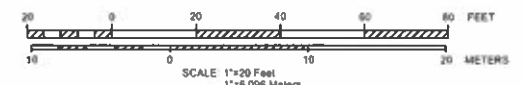
**UTILITY CONTACTS**

- WATER:**  
PENNECHUCK WATER WORKS  
25 MANCHESTER STREET  
MERRIMACK, NH 03054  
ATT: JOHN BOISVERT, PE  
(603) 913-2300
- GAS:**  
LIBERTY UTILITIES  
11 NORTHEASTERN BLVD  
SALEM, NH 03079  
ATT: ANDREW MORGAN  
(603) 327-5397
- TELEPHONE:**  
CONSOLIDATED COMMUNICATIONS  
100 GAY STREET  
MANCHESTER, NH 03103  
ATT: REBECCA BONHAR  
(603) 327-9129
- POWER:**  
EVERSOURCE  
370 AMHERST STREET  
NASHUA, NH 03060  
ATT: MARC GAGNON  
(603) 882-5894

PRELIMINARY DESIGN REVIEW

EXISTING CONDITIONS PLAN (MAP 'E', LOT 6)  
**PROPOSED MODULAR CLASSROOM**  
591 WEST HOLLIS STREET  
NASHUA, NEW HAMPSHIRE

PREPARED FOR/ RECORD OWNER:  
**MICROSOCIETY ACADEMY CHARTER SCHOOL**  
591 WEST HOLLIS STREET NASHUA, NEW HAMPSHIRE 03062



28 APRIL 2022



**UTILITY QUALITY LEGEND 4**  
SUBSURFACE UTILITIES AS DEPICTED ON THIS PLAN ARE IDENTIFIED BY QUALITY LEVELS DEFINED BY CHANCE 38-02 "ASCE STANDARD GUIDELINE FOR COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA"

LEVEL A (a) PRECISE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES OBTAINED BY ACTUAL EXPOSURE AND SUBSEQUENT MEASUREMENTS OF SUBSURFACE UTILITIES.

LEVEL B (b) INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES (IE DIGSAFE).

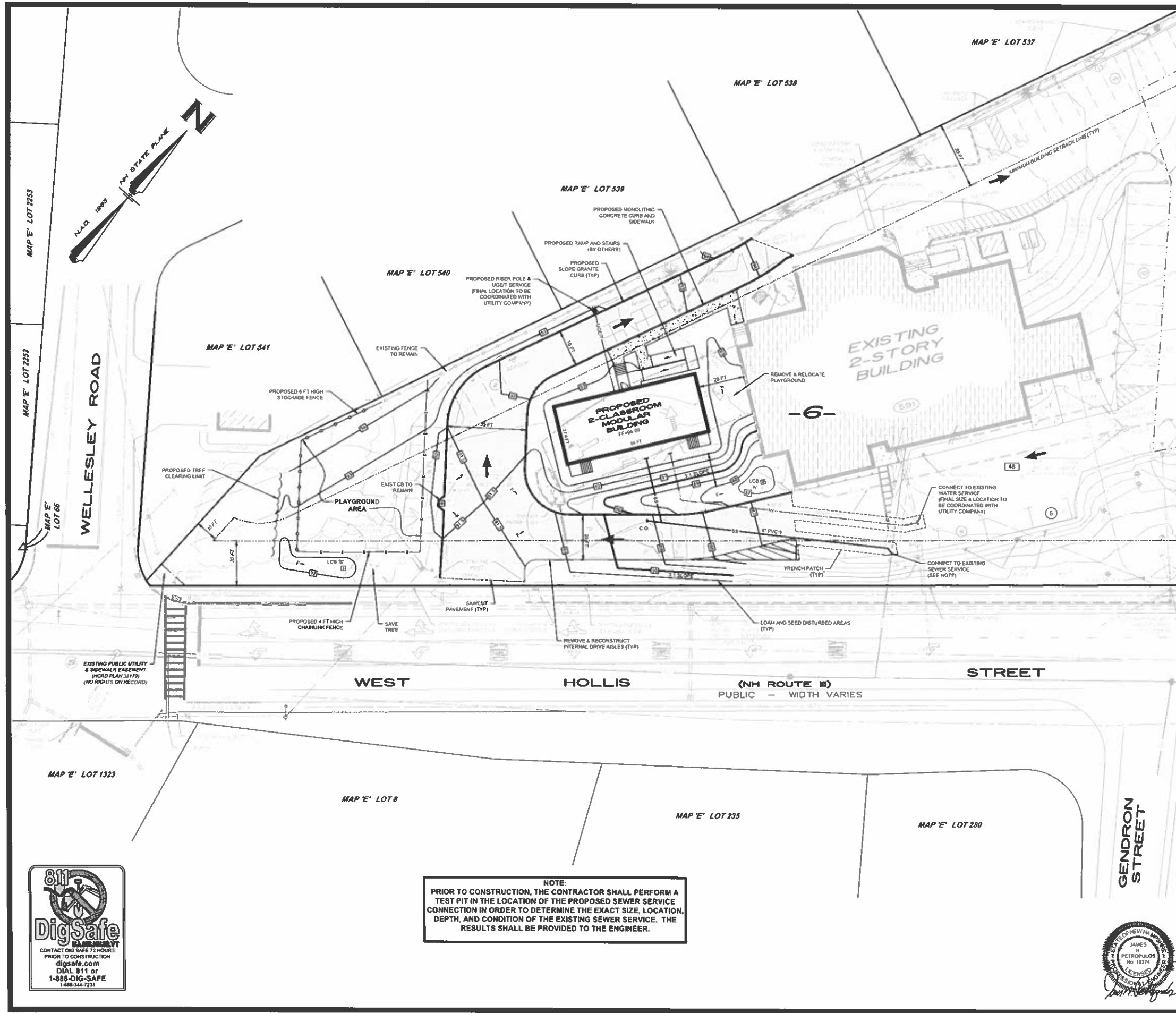
LEVEL C (c) INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGEMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D INFORMATION.

LEVEL D (d) INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS.

**UTILITY NOTE 4**  
THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

**ZONING NOTE 4**  
THE ZONING BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNES/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDING OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.





**CONSTRUCTION NOTES:**

- 1 ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF NASHUA, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS THE STANDARD SPECIFICATIONS FOR ROAD CONSTRUCTION BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, LATEST EDITION ARE HEREBY INCORPORATED BY REFERENCE
- 2 ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE
- 3 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DRIVING
- 4 BLASTING IF NEEDED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF NASHUA FIRE DEPARTMENT REGULATIONS
- 5 ALL STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER
- 6 ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED
- 7 FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED. DRAINS SHALL NOT OUTLET OR FLOW OVERLAND ONTO A CITY STREET FOUNDATION DRAINS, IF NECESSARY SHALL BE COORDINATED WITH THE ARCHITECT AND ENGINEER PRIOR TO CONSTRUCTION
- 8 EXISTING PAVEMENT SHALL BE SAWCUT AS NECESSARY. CONTRACTOR SHALL ENSURE SMOOTH TRANSITION BETWEEN NEW AND EXISTING PAVEMENT
- 9 PRIOR TO COMMENCEMENT OF MAJOR CONSTRUCTION ACTIVITIES, THE ENGINEER SHALL PROVIDE THE CONTRACTOR WITH LAYOUT PLANS AND COORDINATE VALUES FOR STRATEGIC ELEMENTS OF THE SITE, INCLUDING THE FOLLOWING:
  - (A) BASE LINE CONTROLS FOR THE BUILDING AREA
  - (B) PARKING LOT CORNERS AND MAJOR RADIUS POINTS
  - (C) CATCH BASINS AND MANHOLE CENTERLINE POINTS
- 10 THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT BUILDING DIMENSIONS AND DETAILS
- 11 ALL DIMENSIONS ARE FROM FACE OF CURB OR OUTSIDE FACE OF BUILDING UNLESS NOTED OTHERWISE
- 12 BUILDING AND DOORWAY LOCATIONS AS SHOWN ARE FOR REFERENCE ONLY. REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS
- 13 ALL PAVEMENT MARKINGS SHALL BE 4-INCH WHITE PAINT UNLESS NOTED OTHERWISE. 4-INCH YELLOW PAINT SHALL BE USED FOR ROADWAY CENTERLINES AND HANDICAP PARKING SPACES
- 14 ALL TRAFFIC SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION
- 15 PRIOR TO ANY WORK BEING STARTED, THE APPLICANT AND THEIR CONTRACTORS SHALL HOLD A PRE-CONSTRUCTION MEETING WITH STAFF.

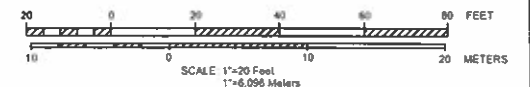
**UTILITY NOTES:**

- 1 SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH PLANS AND SPECIFICATIONS AND WITH THE REQUIREMENTS OF THE DEPARTMENT OF ENVIRONMENTAL SERVICES, WS & POC AND ANY STRicter REQUIREMENTS OF DIVISION 3 - SANITARY SEWERS, OF THE STANDARD SPECIFICATIONS OF SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE LATEST EDITION
- 2 SEWER SHALL BE SOLID WALL PVC UNLESS OTHERWISE REQUIRED BY THESE SPECIFICATIONS. SEWER SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY AND 18 INCHES VERTICALLY FROM WATER LINES. WHENEVER SEWER MUST CROSS WATER MAINS, SEWER SHALL BE CONSTRUCTED AS FOLLOWS:
  - (A) SEWER PIPE SHALL BE CLASS S2 DUCTILE IRON FOR A MINIMUM DISTANCE OF 9 FEET EACH SIDE OF THE CROSSING
  - (B) JOINTS SHALL BE MECHANICAL TYPE WATER PRESSURE RATED WITH ZERO LEAKAGE WHEN TESTED AT 25 POUNDS PER SQUARE INCH FOR GRAVITY SEWERS AND 1-1/2 TIMES WORKING PRESSURE FOR FORCE MAINS. JOINTS SHALL NOT BE LOCATED WITHIN 9 FEET OF THE CROSSING.
- 3 ALL WATER LINE HYDRANT VALVES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE TECHNICAL SPECIFICATIONS FOR THE INSTALLATION OF MATERIALS, MAIN PIPING, SERVICE CONNECTIONS IN THE PENNSHUCK WATER WORKS FRANCHISED AREAS OF NASHUA AND MERRIMACK, NEW HAMPSHIRE
- 4 PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL COORDINATE WATER SERVICE SIZES, LOCATIONS AND VALVES WITH PENNSHUCK WATER WORKS AND THE PROJECT MEP CONSULTANT
- 5 THE CONTRACTOR SHALL COORDINATE THE EXACT SIZE, LOCATION AND ELEVATION OF ALL WATER AND SEWER SERVICE CONNECTIONS PRIOR TO THE CONSTRUCTION OF THE BUILDING
- 6 ALL ELECTRIC WORK SHALL CONFORM TO EVERSOURCE SPECIFICATIONS
- 7 ALL TELECOMMUNICATIONS WORK SHALL CONFORM TO CONSOLIDATED COMMUNICATIONS SPECIFICATIONS (OR THE RESPECTIVE UTILITY COMPANY)
- 8 THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION OF SITE UTILITIES TO WITHIN FIVE (5) FEET OF THE PROPOSED BUILDINGS. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING THE FINAL UTILITY SERVICE CONNECTIONS
- 9 ROOF DRAIN TIE-INS AND DRAIN LINES WILL BE INSPECTED PRIOR TO BACKFILLING AND PAVING
- 10 ALL PIPE WORK WITHIN THE CITY OF NASHUA RIGHT-OF-WAY SHALL BE PERFORMED BY A LICENSED DRAIN LAYER

PRELIMINARY  
DESIGN REVIEW

SITE PLAN  
(MAP 'E', LOT 6)  
**PROPOSED MODULAR CLASSROOM**  
591 WEST HOLLIS STREET  
NASHUA, NEW HAMPSHIRE

PREPARED FOR/ RECORD OWNER:  
**MICROSOCIETY ACADEMY CHARTER SCHOOL**  
591 WEST HOLLIS STREET NASHUA, NEW HAMPSHIRE 03062



28 APRIL 2022

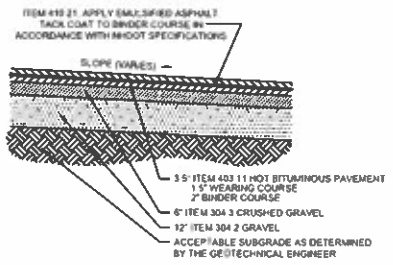
**HSI** Hayner/Swanson, Inc.  
Civil Engineers/Lead Surveyors

131 Middlesex Turnpike  
Burlington, MA 01803  
Nashua, NH 03062  
(603) 883-2057 (781) 303-1901  
www.haynerswanson.com

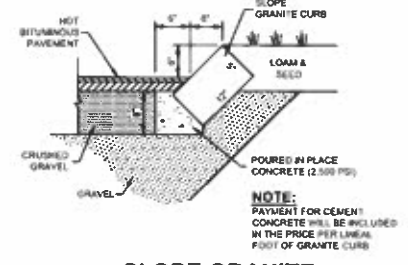


**NOTE:**  
PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PERFORM A TEST PIT IN THE LOCATION OF THE PROPOSED SEWER SERVICE CONNECTION IN ORDER TO DETERMINE THE EXACT SIZE, LOCATION, DEPTH, AND CONDITION OF THE EXISTING SEWER SERVICE. THE RESULTS SHALL BE PROVIDED TO THE ENGINEER.

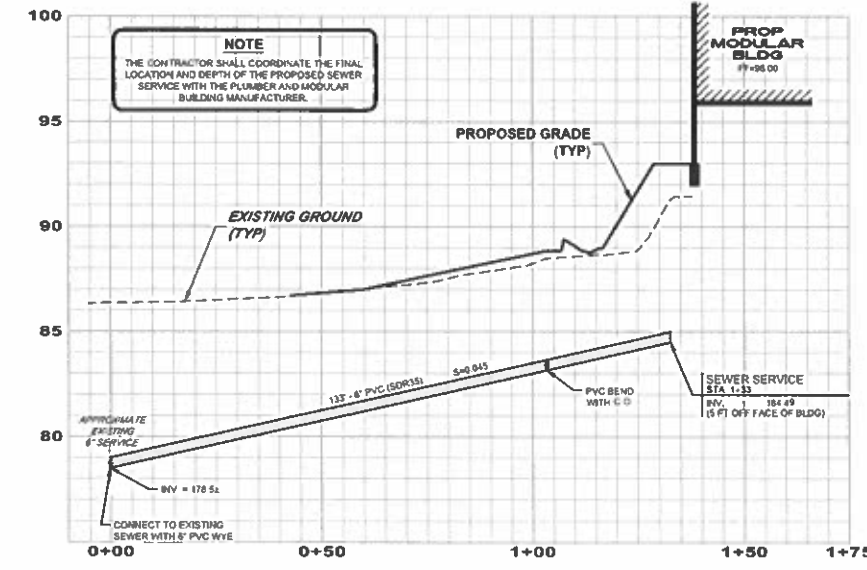




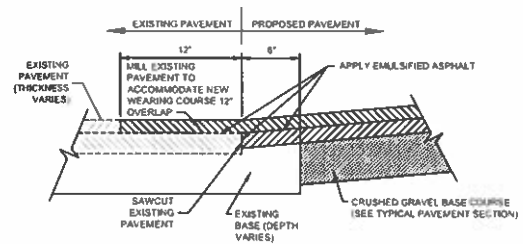
**TYPICAL PAVEMENT SECTION**  
NOT TO SCALE



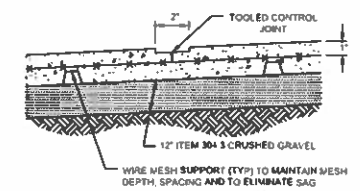
**SLOPE GRANITE CURB DETAIL**  
NOT TO SCALE



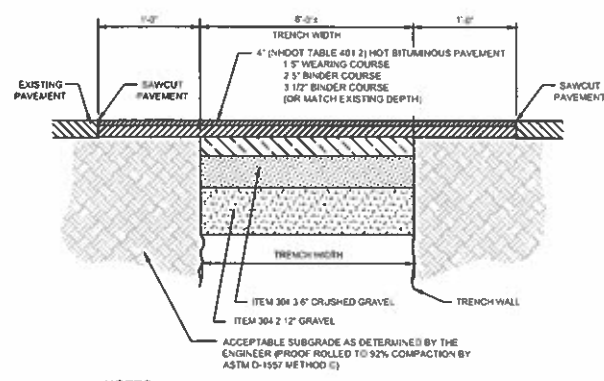
**SEWER SERVICE**  
Horizontal Scale 1" = 20'  
Vertical Scale 1" = 4'



**SAWCUT PAVEMENT DETAIL**  
NOT TO SCALE

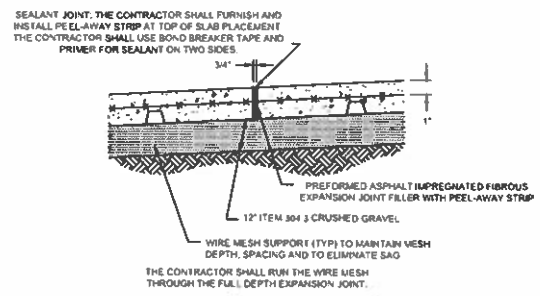


**CONCRETE SIDEWALK CONTROL JOINT DETAIL**  
NOT TO SCALE

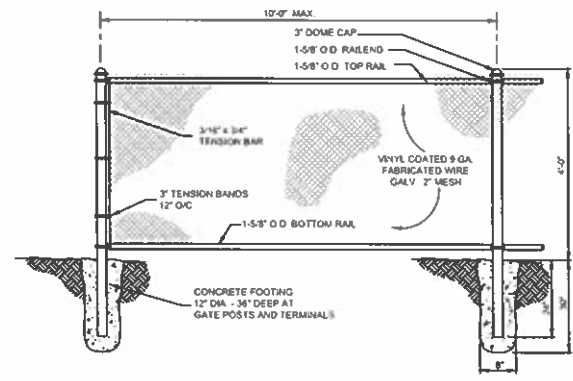


- NOTES:**
- 1 THE CONTRACTOR SHALL SAWCUT PAVEMENT FOR TRENCH CONSTRUCTION PER THE PLAN
  - 2 THE CONTRACTOR SHALL INSTALL UTILITIES IN ACCORDANCE WITH THE PLANS, DETAILS AND UTILITY COMPANY/MUNICIPAL STANDARDS
  - 3 THE CONTRACTOR SHALL BACKFILL TRENCHES AS SHOWN ON THE DETAIL AND BINDER COURSE PAVEMENT THE DISTURBED TRENCH SURFACES. THE BINDER SURFACES SHALL BE FLUSH WITH THE SURROUNDING PAVEMENT AND SHALL REMAIN FOR 90 DAYS
  - 4 AFTER 90 DAYS THE CONTRACTOR SHALL MILL 1.5 INCHES OF ASPHALT OVER THE ENTIRE WIDTH OF MYRTLE STREET AS SHOWN ON THE PLAN AND THEN FILL WITH 1.5 INCHES OF WEARING COURSE PAVEMENT

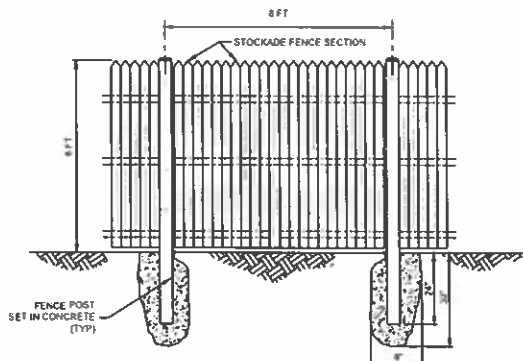
**TRENCH PATCH DETAIL**  
NOT TO SCALE



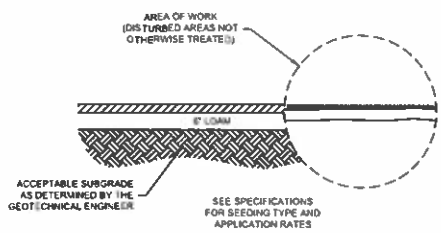
**CONCRETE SIDEWALK EXPANSION JOINT DETAIL**  
NOT TO SCALE



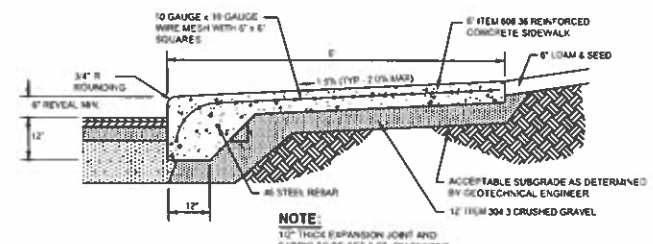
**CHAINLINK FENCE DETAIL**  
NOT TO SCALE



**STOCKADE FENCE DETAIL**  
NOT TO SCALE



**LOAM AND SEED DETAIL**  
NOT TO SCALE



**CONCRETE SIDEWALK AND CURB DETAIL**  
NOT TO SCALE

<b>PRELIMINARY</b> DESIGN REVIEW		
No.	DATE	REVISION
<b>DETAIL SHEET - GENERAL SITE</b> (MAP 'E', LOT 6) <b>PROPOSED MODULAR CLASSROOM</b> 591 WEST HOLLIS STREET NASHUA, NEW HAMPSHIRE		
PREPARED FOR/ RECORD OWNER: <b>MICROSOCIETY ACADEMY CHARTER SCHOOL</b> 591 WEST HOLLIS STREET NASHUA, NEW HAMPSHIRE 03062		
<b>SCALE AS SHOWN</b>  <b>28 APRIL 2022</b>		

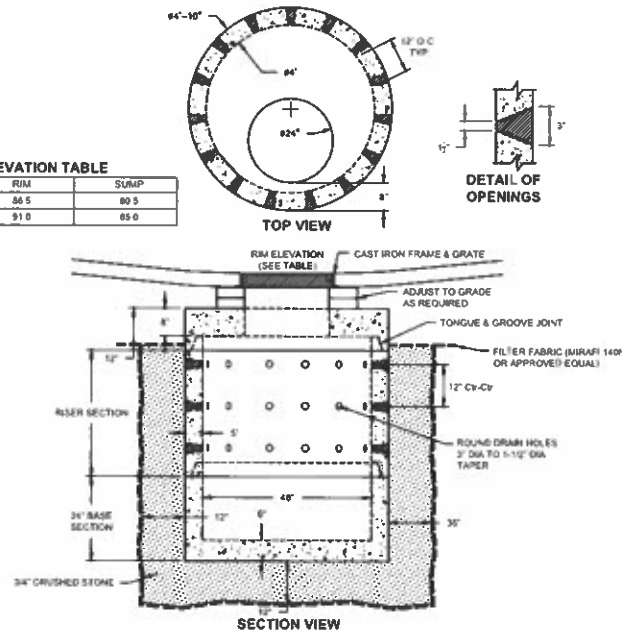


**HSI** *Hayner/Swanson, Inc.*  
 Civil Engineers/Land Surveyors  
 3 Congress Street  
 Nashua, NH 03062  
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121 Middlebury Turnpike  
 Burlington, MA 01803  
 (781) 203-1901

FIELD BOOK: 1250	DRAWING NAME: 5372SITE-05/11	5272 SITE	4 OF 6
DRAWING LOC.: V5000\5272\5372\5372 SITE		PLC Number	Sheet

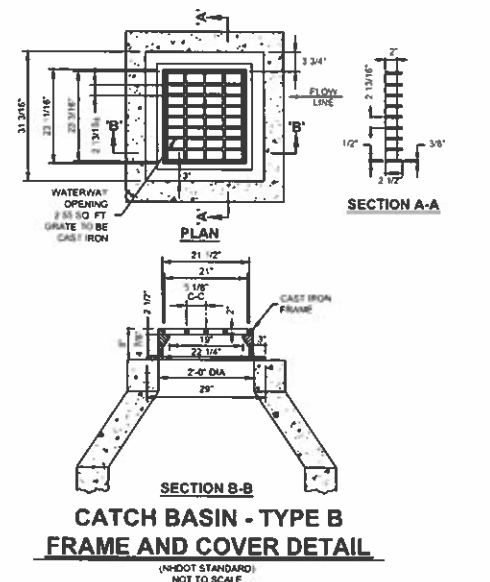
LOCATION	RIM	SUMP
LCB 'A'	86.5	80.5
LCB 'B'	91.0	85.0



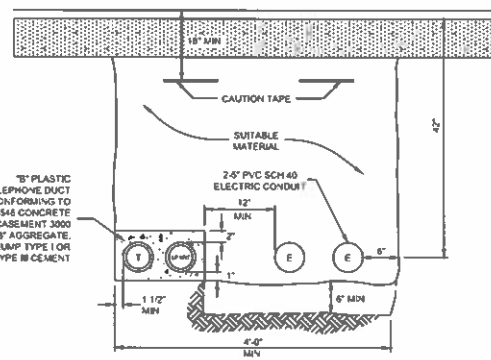
**GENERAL NOTES**

- 1) STEEL REINFORCEMENT CONFORMS TO LATEST ASTM SPECIFICATIONS  
ASTM A-615 GRADE 60 REBAR  
ASTM A-185 WELDED WIRE FABRIC @ 12 SQUARE INCH LINEAL FOOT AND 9 1/2 SQUARE INCH (BOTH WAY) BASE BOTTOM
- 2) CONCRETE, FC = 4,000 PSI @ 28 DAYS MINIMUM
- 3) DESIGN LOADING: AASHTO-HS20-44
- 4) HOLE CORING AVAILABLE FOR LARGER DIAMETER PIPES

**LEACHING CATCH BASIN (LCB) DETAIL**  
NOT TO SCALE



**CATCH BASIN - TYPE B FRAME AND COVER DETAIL**  
NOT TO SCALE



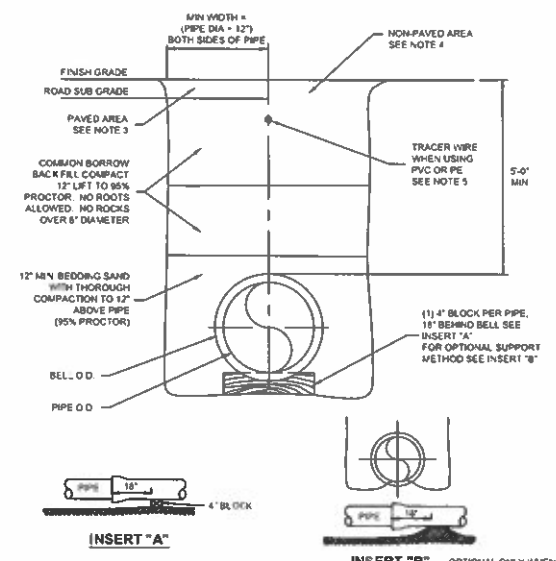
**NOTE:**

1. CONDUIT SHALL BE INSTALLED IN THE FORMATION AS SHOWN ON THE PLANS AND ENCASED IN CONCRETE. CURVES, SWEEPS AND GRADE CHANGES SHALL BE MADE GRADUALLY AND UNIFORM (MAXIMUM HORIZONTAL RADIUS = 150'). THE CONTRACTOR SHALL UTILIZE SPACERS TO MAINTAIN DUCT FORMATION AFTER BACKFILLING, BUT BEFORE PAVING. ALL DUCTS SHALL BE MANDRELLED AS SPECIFIED. ALL WORK SHALL CONFORM TO AT&T CD STANDARD SECTION 622-340-290, '8' PLASTIC CONDUIT - ENCASED.
2. THE CONTRACTOR SHALL INSTALL PULL-IN LINES IN ALL DUCTS, AND A GREEN/BLUE CONDUIT MEASURING TAPE IN THE TOP RIGHT (RIT) ALONG ALL DUCT RUNS.
3. BACKFILL SHALL BE FREE OF FROZEN LUMPS, ROCKS, STONES, DEBRIS OR RUBBISH.
4. REFER TO SITE PLAN FOR DIAGRAMATIC UTILITY LAYOUT AND GRADES.

**TYPICAL UTILITY TRENCH SECTION**  
NOT TO SCALE

**WATER NOTES:**

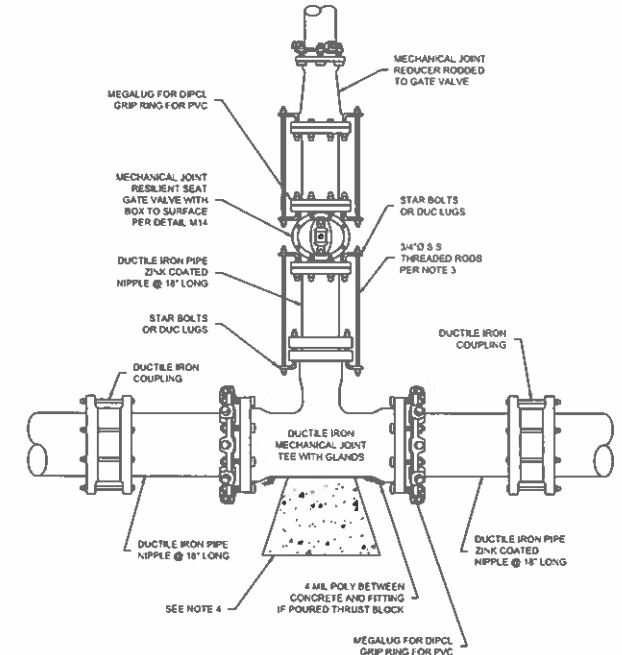
1. REFERENCE PENNICHUCK WATER WORKS SPECIFICATIONS FOR INSTALLATION OF ALL WATER LINES.
2. ALL SPRINKLER AND DOMESTIC LEADS TO BUILDING SHALL END 5'-0" OUTSIDE THE FACE OF BUILDING WALL, UNLESS NOTED, AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END (FOR OTHERS TO REMOVE AND EXTEND AS NECESSARY).
3. THRUST BLOCKS AND MEGALUG RESTRAINTS SHALL BE PROVIDED AT ALL HORIZONTAL BENDS, TEES, AND FIRE HYDRANTS. SEE DETAIL.
4. MINIMUM COVER ON ALL WATER LINES IS 5'-0".
5. CONTRACTOR SHALL MAINTAIN A 5'-0" HORIZONTAL (UNLESS OTHERWISE NOTED) AND 12" VERTICAL SEPARATION BETWEEN WATER SERVICE AND UTILITIES OTHER THAN SANITARY SEWER.
6. INSPECTIONS ON WATER SERVICE INSTALLATION DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE SITE CONTRACTOR AND SHALL BE COORDINATED WITH PENNICHUCK WATER WORKS, AND ALL INSPECTION FEES SHALL BE PAID BY THE CONTRACTOR.
7. CONTRACTOR SHALL HAVE BACTERIOLOGICAL AND PRESSURE TESTING PERFORMED. CONTRACTOR SHALL GIVE PENNICHUCK WATER WORKS A COPY OF RESULTS. PENNICHUCK WATER WORKS SHALL BE ON-SITE TO WITNESS TEST.
8. ALL PIPE, VALVES, MISCELLANEOUS MATERIALS AND INSTALLATION SHALL CONFORM WITH PENNICHUCK WATER WORKS SPECIFICATIONS.
9. ALL FIRE HYDRANTS, VALVES, FITTINGS, PIPES, ETC. SHALL BE IN ACCORDANCE WITH PENNICHUCK WATER WORKS REQUIREMENTS.
10. METALLIC TAPE OR DETECTOR WIRE SHALL BE INSTALLED IN THE SAME TRENCH WITH ALL NON-METALLIC PIPE SUCH THAT THE PIPE MAY BE LOCATED WITH ELECTRONIC LOCATING EQUIPMENT. DETECTOR WIRE OR METALLIC TAPE SHALL BE INSTALLED APPROXIMATELY 12" TO 18" BELOW GRADE DIRECTLY ABOVE THE TOP OF THE PIPE. DETECTOR WIRE SHALL BE 14-GAUGE SOLID COPPER, SIMPLEX BW9001, OR EQUAL. METALLIC TAPE SHALL BE 2" MINIMUM METALLIZED TAPE, GRIFOLYN COMPANY, INC. TERRAPAPE OR EQUAL.
11. CONTRACTOR SHALL ENSURE ALL WATER VALVES ARE IN A FULLY-OPEN POSITION UPON COMPLETION OF PROJECT.
12. CONTRACTOR SHALL COORDINATE ALL WATER INTERRUPTIONS WITH THE PENNICHUCK WATER WORKS AND AFFECTED PROPERTY OWNERS.



**NOTES:**

1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO P.W.W. TECHNICAL SPECIFICATIONS.
2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.
3. REQUIREMENTS FOR SUBBASE AND BASE MATERIAL TYPE ARE TO BE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING LOCAL JURISDICTION IN PAVED AREAS.
4. REQUIREMENTS FOR GRAVEL, LOAM AND/OR SEED ARE TO BE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING LOCAL JURISDICTION IN NON-PAVED AREAS.
5. USE 10-GAUGE SOLID-CORE COATED BLUE TRACER WIRE PER P.W.W. TECHNICAL SPECIFICATIONS.

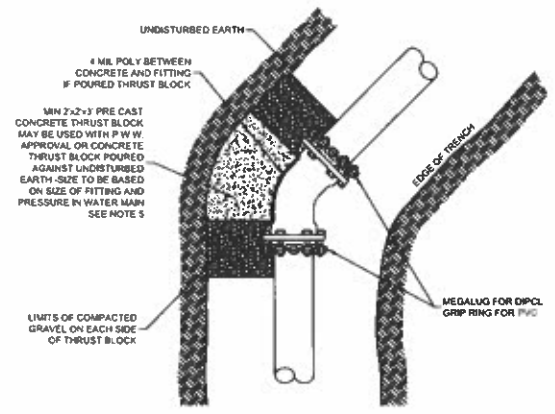
**TYPICAL TRENCH DETAIL**  
NOT TO SCALE



**NOTES:**

1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO P.W.W. TECHNICAL SPECIFICATIONS.
2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
3. 3/4" O.S.S. RODS SHALL BE USED IN CONJUNCTION WITH REQUIRED S.S. NUTS. RODS ARE TO BE ATTACHED TO FITTINGS WITH EITHER STAR BOLTS OR DUC LUGS.
4. 12" FITTING OR SMALLER = (2) 3/4" O.S.S. RODS & ASSOC. HARDWARE. 12" FITTING OR LARGER = (4) 3/4" O.S.S. RODS & ASSOC. HARDWARE. MIN 2x2x7 PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH P.W.W. APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN. SEE DETAIL 'M1'.

**TYPICAL TEE INSTALLATION ON EXISTING MAIN**  
NOT TO SCALE



**NOTES:**

1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO P.W.W. TECHNICAL SPECIFICATIONS.
2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.
3. 3/4" O.S.S. RODS SHALL BE USED IN CONJUNCTION WITH REQUIRED S.S. NUTS. RODS ARE TO BE ATTACHED TO FITTINGS WITH EITHER STAR BOLTS OR DUC LUGS.
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5. MIN 2x2x7 PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH P.W.W. APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN.
6. VOID BETWEEN PRECAST THRUST BLOCK AND VIRGIN SOIL TO BE FILLED AND CHECKED WITH STONE.

**TYPICAL THRUST BLOCK BEHIND FITTINGS INSTALLATION**  
NOT TO SCALE

DETAILS SHOWN SUPPLIED BY PENNICHUCK WATER WORKS, INC.



PRELIMINARY DESIGN REVIEW			
No.	DATE	REVISION	BY

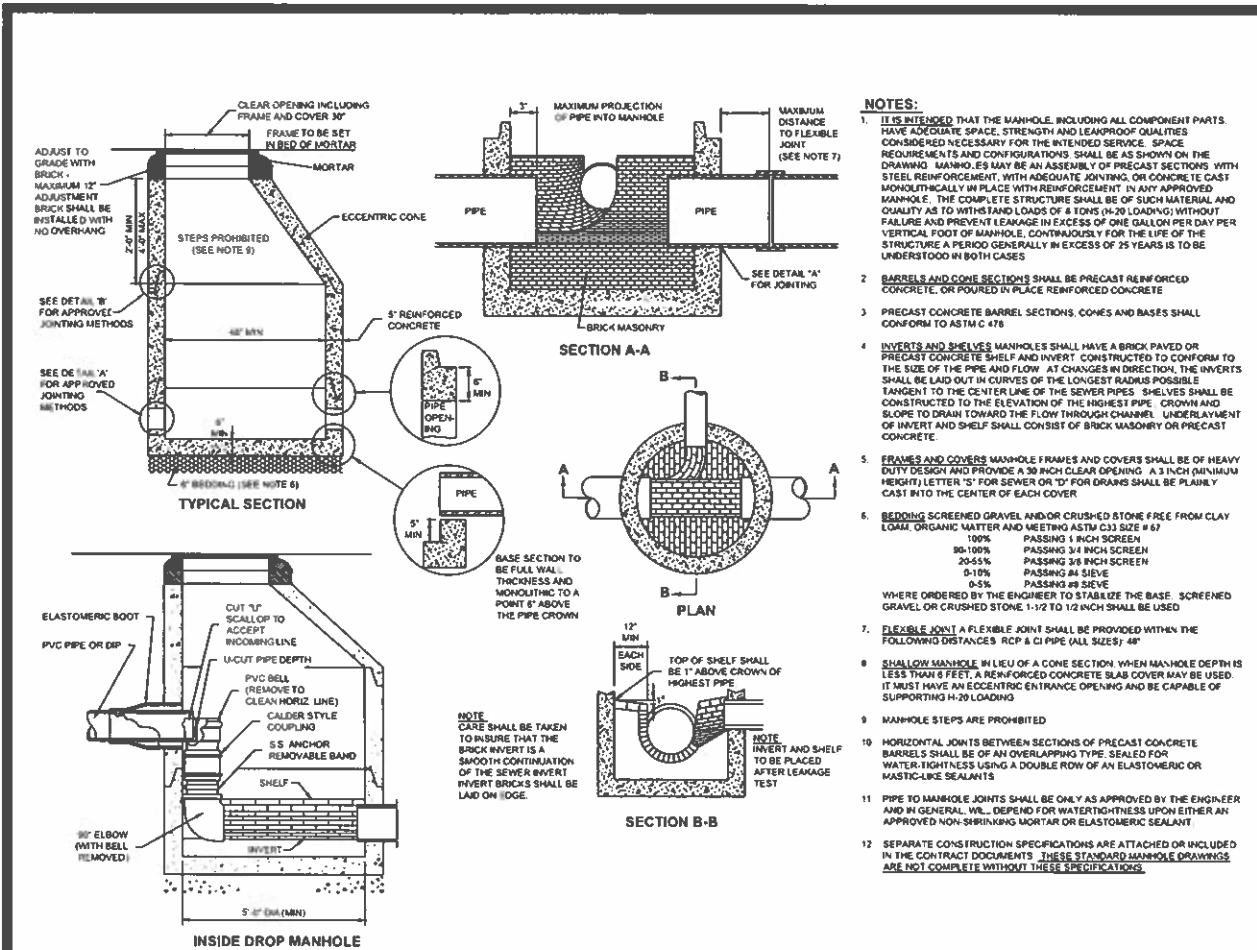
DETAIL SHEET - GENERAL SITE (MAP 'E', LOT 8)  
**PROPOSED MODULAR CLASSROOM**  
591 WEST HOLLIS STREET  
NASHUA, NEW HAMPSHIRE

PREPARED FOR/ RECORD OWNER:  
**MICROSOCIETY ACADEMY CHARTER SCHOOL**  
591 WEST HOLLIS STREET NASHUA, NEW HAMPSHIRE 03062

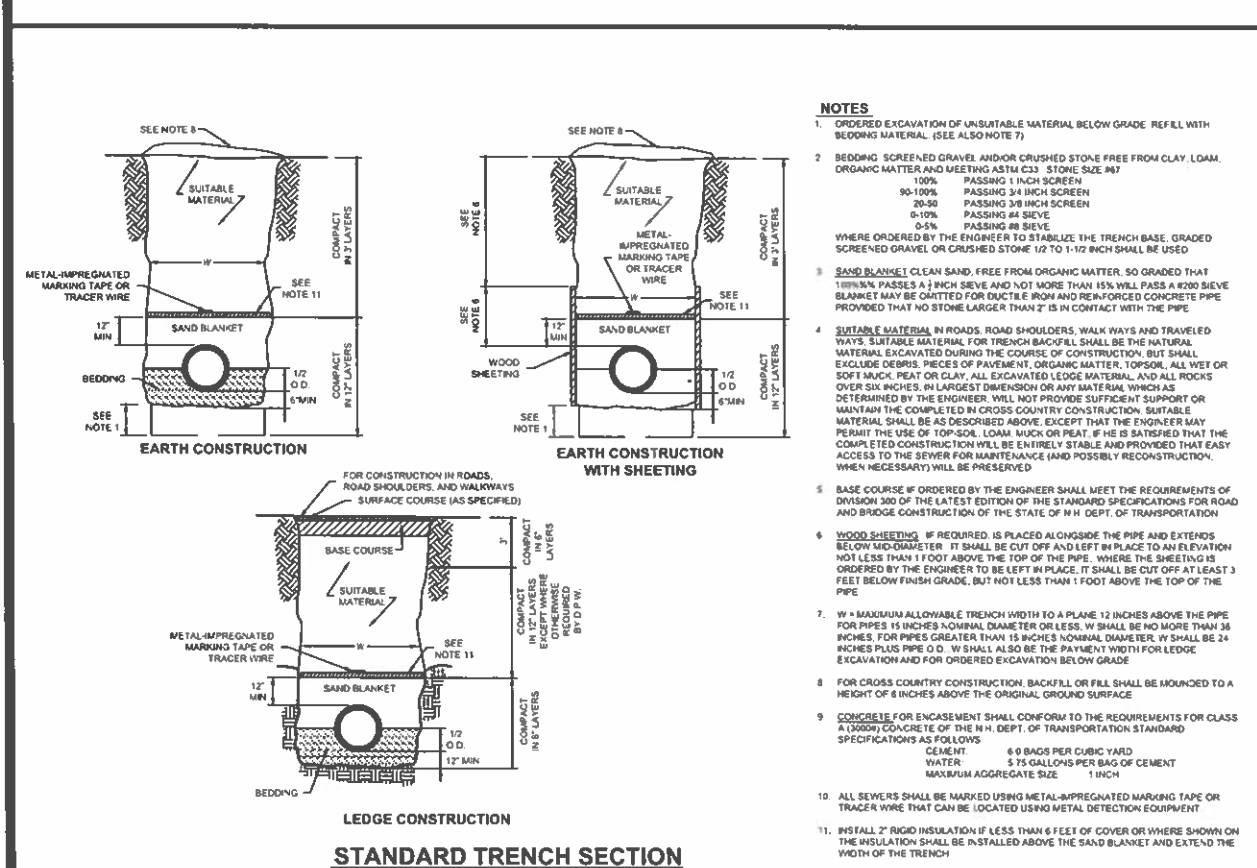
SCALE AS SHOWN

28 APRIL 2022

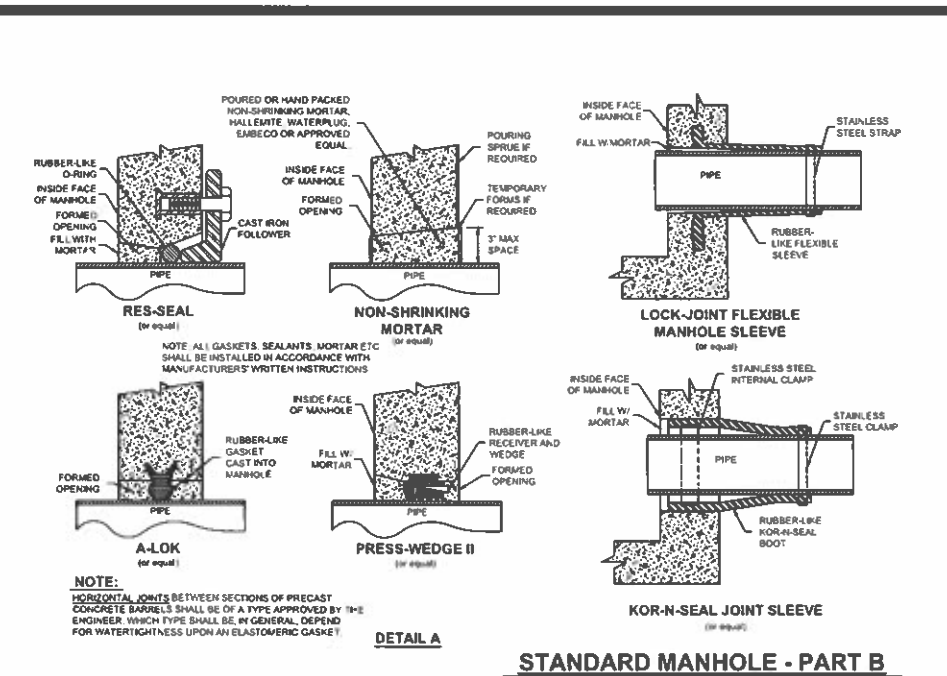
**HSI** Hayner/Swanson, Inc.  
Civil Engineers/Lead Surveyors  
117 Middlesex Turnpike  
Nashua, NH 03062  
(603) 883-2037  
www.hayner-swanson.com



**STANDARD MANHOLE - PART A**



**STANDARD TRENCH SECTION**



**STANDARD MANHOLE - PART B**



**PRELIMINARY DESIGN REVIEW**

No.	DATE	REVISION	BY

**DETAIL SHEET - SEWER (MAP LOT 8)**

# PROPOSED MODULAR CLASSROOM

591 WEST HOLLIS STREET  
NASHUA, NEW HAMPSHIRE

PREPARED FOR/ RECORD OWNER:  
**MICROSOCIETY ACADEMY CHARTER SCHOOL**  
591 WEST HOLLIS STREET NASHUA, NEW HAMPSHIRE 03062

**NO SCALE**

28 APRIL 2022

**HSI** Hayner/Swanson, Inc.  
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131 Middlesex Turnpike  
Nashua, NH 03062  
(603) 883-2057  
www.hsi-nh.com

FIELD BOOK: 1256 DRAWING NAME: 52729E-021 5272 SITE 6 OF 6  
DRAWING LOC.: S:\000\5272\DWG\5272 SITE



**MICROSOCIETY CHARTER SCHOOL  
CLASSROOM**  
WILLIAMS SCOTSMAN, INC.

ISSUE	DATE	DESCRIPTION
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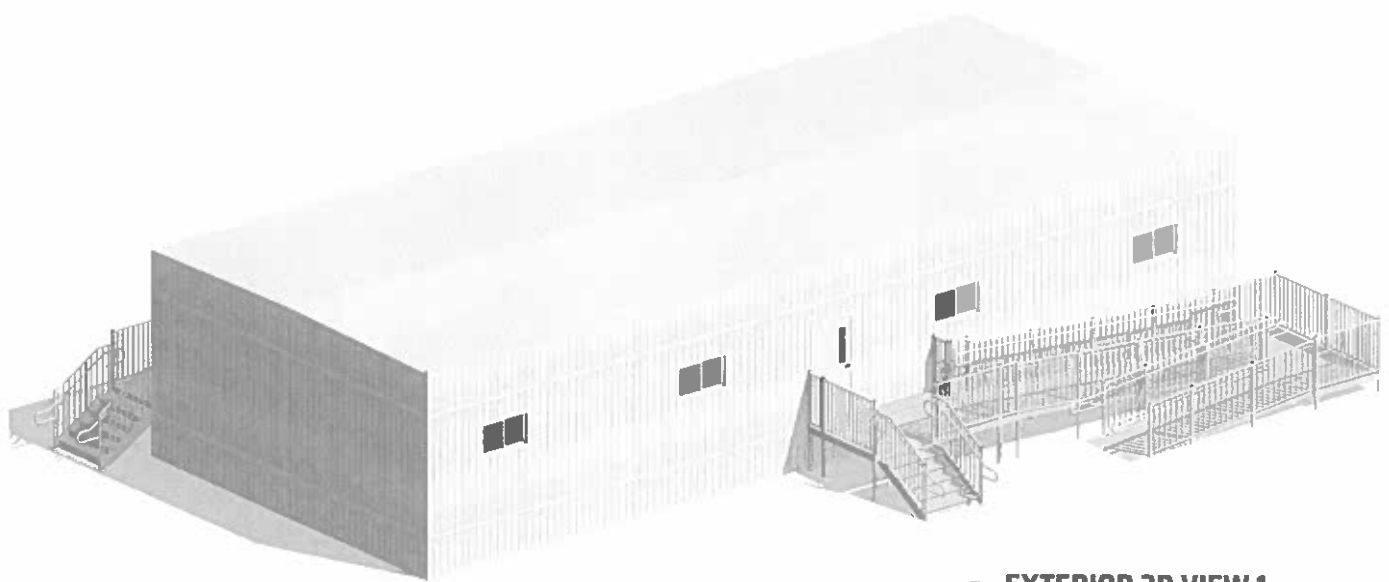
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DRAWN BY:	TNH
DATE:	4/14/2022
REP:	A. STEPHENS
ASSET #:	
ASSET TYPE:	
MODEL:	

FLOOR PLAN

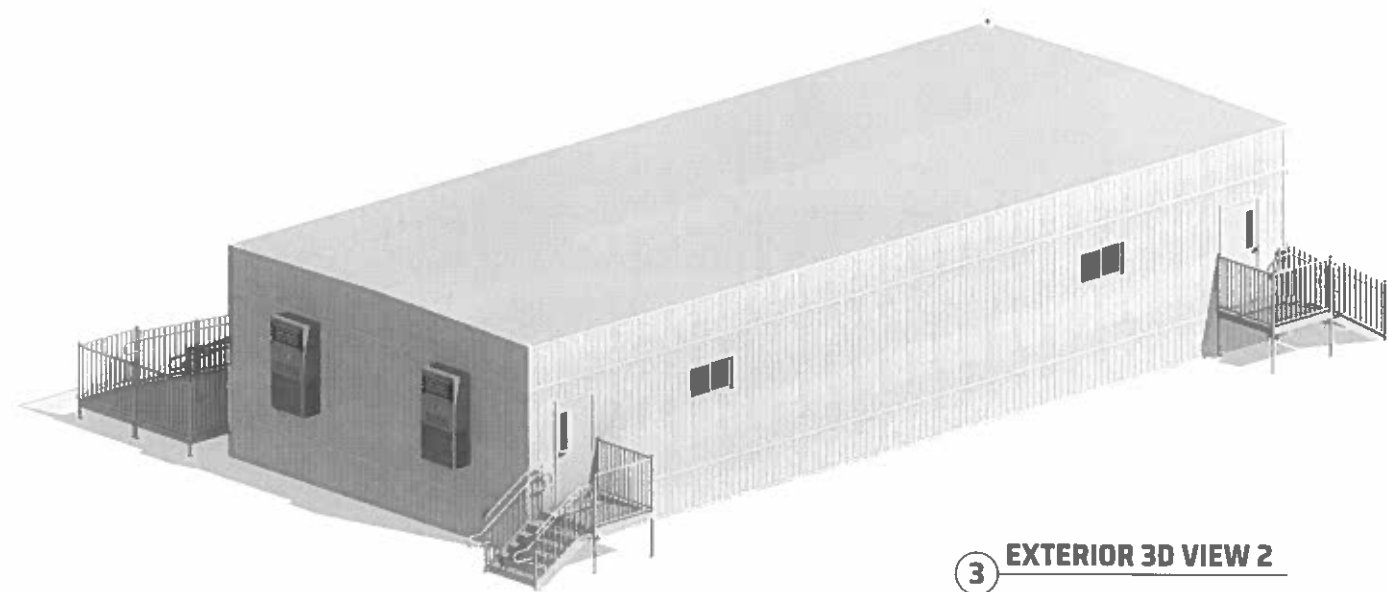
**A-101**

EXTERIOR ESSENTIALS SCHEDULE		
TYPE MARK	DESCRIPTION	QTY.
EX-1	VAP EXT_ADA RAMP_BASE SECTION	1
EX-2	VAP EXT_ADA RAMP_MID SECTION	4
EX-3	VAP EXT_ADA RAMP_TOP SECTION	2
EX-4	VAP EXT_ADA RAMP_SWITCHBACK LANDING	2
EX-5	VAP EXT_18x62 PLATFORM EXTENSION	3
EX-6	VAP EXT_62x62 PLATFORM WITH OPT CANOPY1	4
EX-7	VAP EXT_30-36 INCH STAIR SECTION	3
Grand total: 19		

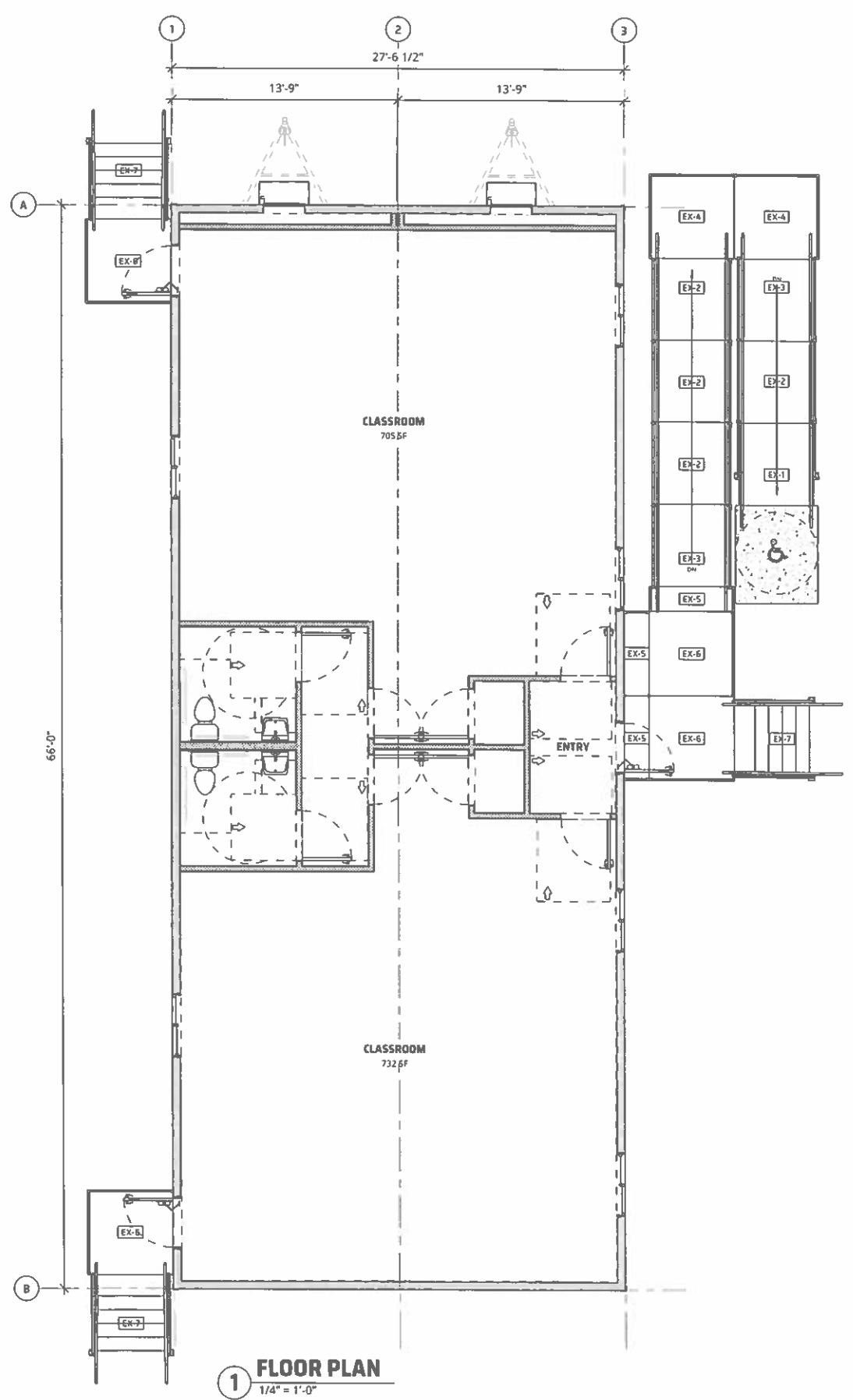
- GENERAL NOTES:
- EGRESS EXITS BASED ON OCCUPANCY LOAD.
  - IF NEW WALLS HAVE BEEN ADDED, THE ADJUSTMENT OF EXISTING LIGHTING AND SUPPLY AND/OR RETURN VENTS MAY BE REQUIRED. (SEE EXISTING MANUFACTURER PLANS)
  - ELECTRICAL PANEL WORKING CLEAR FLOOR SPACE IS 30"(W)x36"(D)x78"(H)
  - IF ADDITIONAL RESTROOMS ARE REQUIRED IN EXCESS OF WHAT IS SHOWN ON THIS PLAN, IT IS THE RESPONSIBILITY OF THE OWNER TO PROVIDE ADDITIONAL FIXTURES NO MORE THAN 500'-0" WITHIN RANGE OF THIS STRUCTURE IN ACCORDANCE WITH THE PLUMBING CODE.
  - PORTABLE FIRE EXTINGUISHERS TO BE PROVIDED AND INSTALLED BY OTHERS UNLESS NOTED OTHERWISE IN CONTRACT.
  - DRINKING FOUNTAINS AND/OR WATER DISPENSER STATIONS, IF REQUIRED, SHALL BE PROVIDED AND INSTALLED ON SITE BY OWNER IN ACCORDANCE WITH THE PLUMBING CODE. UNLESS NOTED OTHERWISE IN CONTRACT.
  - SERVICE SINK, IF NOT SHOWN, IS PROVIDED ON SITE BY OWNER - WHERE REQUIRED.
  - DECKS, STAIRS & RAMPS: IF REQUIRED, ADA ACCESSIBLE RAMPS SHALL BE PROVIDED AT EACH REQUIRED EGRESS DOOR. STAIRS TO BE INSTALLED AT SERVICE DOORS ONLY. PROVIDED AND INSTALLED ON SITE BY OWNER UNLESS NOTED OTHERWISE IN CONTRACT.
  - SECOND AND ADDITIONAL EGRESS DOORS ARE REQUIRED IN SPACES WITH OVER 49 OCCUPANTS AND CONTAINING MORE THAN 75'-0" OF TRAVEL DISTANCE.
  - BUILDING IS TO BE LOCATED A MINIMUM OF 10'-0" FROM ACTUAL AND IMAGINARY PROPERTY LINES.
  - WHEN FURNITURE IS SHOWN, IT IS SHOWN FOR SPACE PLANNING PURPOSES ONLY. REFER TO PROPOSAL FOR ITEMS TO BE INCLUDED IN PRICING. SUBJECT TO APPROVAL BY THE LOCAL AUTHORITY HAVING JURISDICTION.



**2 EXTERIOR 3D VIEW 1**



**3 EXTERIOR 3D VIEW 2**



**1 FLOOR PLAN**  
1/4" = 1'-0"

- NOTES:
- EXTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.
  - INTERIOR DIMENSIONS ARE FROM WALL FINISH TO WALL FINISH AND COULD VARY BASED ON FLEET AVAILABILITY.

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 WILLSCOT.COM 800.782.1500  
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