

MAP 'E', LOT 930
SUBDIVISION PLAN

181-183 FLAGSTONE DRIVE

NASHUA, NEW HAMPSHIRE

PREPARED FOR/ RECORD OWNER

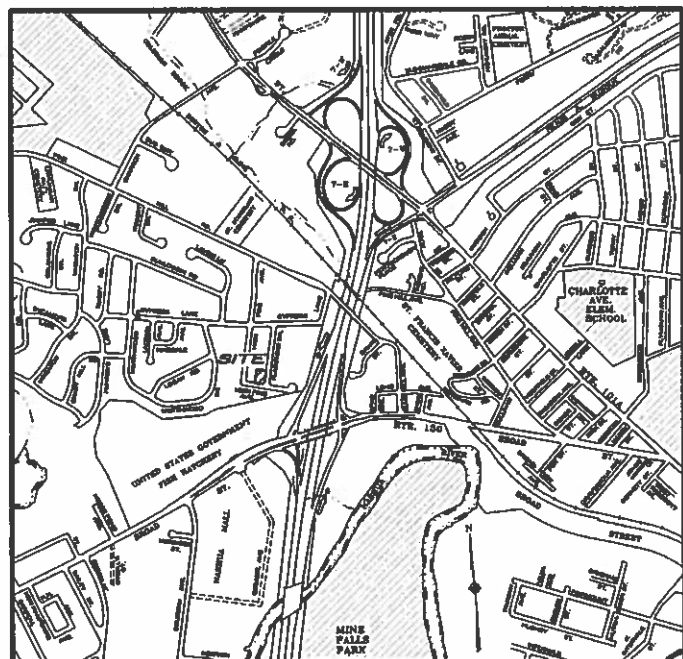
DANIEL F. WYATT

1465 WOODBURY AVENUE # 112
 PORTSMOUTH, NEW HAMPSHIRE 03801
 (603) 494-3549

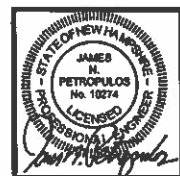
27 JANUARY 2022

INDEX OF PLANS

SHEET No.	TITLE	
1 OF 5	SUBDIVISION PLAN	1" = 20'
2 OF 5	TOPOGRAPHIC SUBDIVISION PLAN	1" = 20'
3 OF 5	LOT LAYOUT & GRADING PLAN	1" = 10'
4-5 OF 5	DETAIL SHEET - GENERAL SITE	

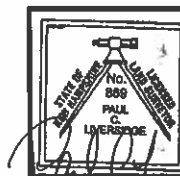


VICINITY PLAN
 SCALE 1" = 1,000'



HSI Hayner/Swanson, Inc.

Civil Engineers/Land Surveyors
 3 Congress Street
 Nashua, NH 03062
 (603) 883-2057
 131 Middlesex Turnpike
 Burlington, MA 01803
 (781) 203-1501
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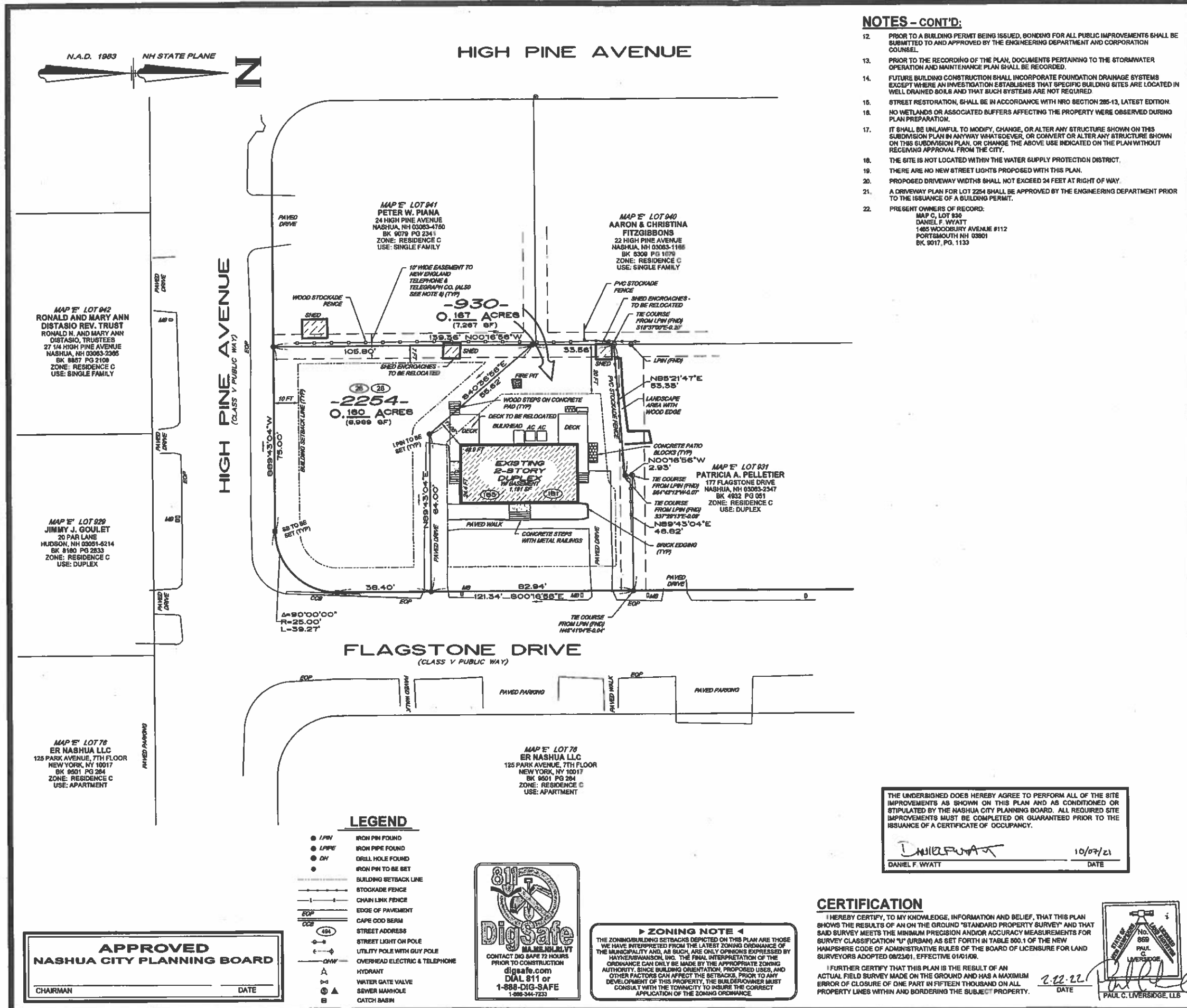


2.22.22

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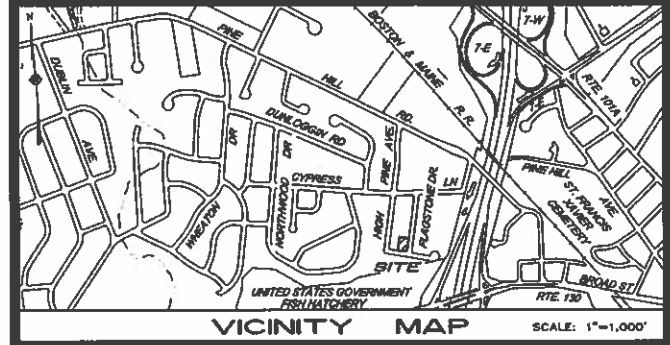
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NOTES - CONT'D:

- PRIOR TO A BUILDING PERMIT BEING ISSUED, BONDING FOR ALL PUBLIC IMPROVEMENTS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEERING DEPARTMENT AND CORPORATION COUNSEL.
- PRIOR TO THE RECORDING OF THE PLAN, DOCUMENTS PERTAINING TO THE STORMWATER OPERATION AND MAINTENANCE PLAN SHALL BE RECORDED.
- FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
- STREET RESTORATION, SHALL BE IN ACCORDANCE WITH NRD SECTION 205-13, LATEST EDITION.
- NO WETLANDS OR ASSOCIATED BUFFERS AFFECTING THE PROPERTY WERE OBSERVED DURING PLAN PREPARATION.
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS SUBDIVISION PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SUBDIVISION PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
- THE SITE IS NOT LOCATED WITHIN THE WATER SUPPLY PROTECTION DISTRICT.
- THERE ARE NO NEW STREET LIGHTS PROPOSED WITH THIS PLAN.
- PROPOSED DRIVEWAY WIDTHS SHALL NOT EXCEED 24 FEET AT RIGHT OF WAY.
- A DRIVEWAY PLAN FOR LOT 2254 SHALL BE APPROVED BY THE ENGINEERING DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- PRESENT OWNERS OF RECORD:
 MAP C, LOT 930
 DANIEL F. WYATT
 1465 WOODBURY AVENUE #112
 PORTSMOUTH, NH 03801
 BK 9017, PG. 1133



PLAN REFERENCES:

- PLAN OF LAND, 175-177 & 181-183 FLAGSTONE DR. NASHUA, NH 03003, DATED SEPTEMBER 11, 2018 AND REVISED 07/2019, PREPARED FOR DANIEL F. WYATT AND PATRICIA A. PELLETIER BY MEISNER BREEM CORPORATION.
RECORDED HCRD PLAN No. 41010.
- PINEHILL ACRES, PINEHILL ROAD, NASHUA, NH, DATED SEPT. 1984 BY A.E. MAYNARD, C.E.
RECORDED HCRD PLAN No. 2954.

NOTES:

- SITE AREA (PRIOR TO SUBDIVISION): 0.327 ACRES (14,236 SF)
- ZONING DISTRICT: RESIDENTIAL (R-4)
 MINIMUM LOT REQUIREMENTS:

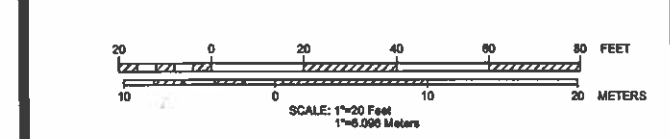
MIN LOT SIZE	REQUIRED	LOT 930	LOT 2254
MIN LOT WIDTH	50 FT	72 FT	65 FT
MIN LOT FRONTAGE	50 FT	82 FT	85 FT
MIN LOT DEPTH	75 FT	78 FT	99 FT

 MINIMUM YARD SETBACK REQUIREMENTS:

FRONT	REQUIRED	LOT 930	LOT 2254
FRONT	10 FEET	26 FEET	20 FEET
SIDE YARD	7 FEET	12 FEET	7.5 FEET
REAR YARD	20 FEET	40 FEET	12.5
MAX DENSITY	12.5	2 STORES	3 STORES
MAX BUILDING HEIGHT	100 FT (10 STORIES)	2 STORES	3 STORES
OPEN SPACE PERCENTAGE	35%	68%	74%
MAX FLOOR AREA RATIO	1.0	0.30	0.54
- LOT NUMBERS REFER TO THE CITY OF NASHUA, NH ASSESSOR'S MAP 'E'.
- PURPOSE OF PLAN IS TO SUBDIVIDE LOT 930 INTO TWO (2) RESIDENTIAL LOTS.
- PARKING:
 REQUIRED: 2 SPACES PER UNIT @ 4 UNITS = 8 SPACES
 EXISTING/PROPOSED = 8 SPACES
- SUBJECT PARCEL IS LOCATED IN ZONE X, AREA OF MINIMAL FLOOD HAZARD, AS GRAPHICALLY DEPICTED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR THE CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY NUMBER 330097, MAP NUMBER 33011C020D WITH AN EFFECTIVE DATE OF SEPTEMBER 25, 2009.
- SITE IS SERVICED BY MUNICIPAL SEWER, WATER BY PENNICHUCK WATER WORKS, AND TELEPHONE, ELECTRIC AND GAS UTILITIES.
- PROPERTY IS SUBJECT TO AN EASEMENT TO NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY TO OVERHANG WIRES AND CABLES ADJACENT TO FLAGSTONE DRIVE AND HIGH PINE AVENUE AS WELL AS AN EASEMENT WITHIN A STRIP OF LAND 10 FEET WIDE ALONG THE SIDE AND REAR LOT LINES AS DESCRIBED IN BOOK 2085, PAGE 268.
- MONUMENTS, WHERE REQUIRED, TO BE SET BY A LICENSED LAND SURVEYOR AS FOLLOWS:
 A. STONE BOUNDS: AT STREET INTERSECTIONS, POINTS OF CURVATURE AND TANGENCY OF PUBLIC STREET
 B. IRON PINS: AT LOT CORNERS
- THIS SUBDIVISION PACKAGE CONTAINS 6 SHEETS OF WHICH SHEET 1 SHALL BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. THE REMAINING SHEETS WILL BE ON FILE AT THE CITY OF NASHUA PLANNING DEPARTMENT.
- THE APPLICANT SHALL SUBMIT AN ELECTRONIC FILE OF THE SUBDIVISION PLAN (PLOT) PRIOR TO RECORDING OF THE PLAN.

No.	DATE	REVISION	BY

SUBDIVISION PLAN
 (MAP 'E', LOT 930)
181-183 FLAGSTONE DRIVE
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR / RECORD OWNER:
DANIEL F. WYATT
 1465 WOODBURY AVENUE # 112 PORTSMOUTH, NEW HAMPSHIRE 03801 (603) 494-3546



27 JANUARY 2022

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 131 Middlesex Turnpike
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 (781) 203-1501
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FIELD BOOK: 1255 DRAWING NAME: 5810SUB-F321 5810 1 OF 5
 DRAWING LOC.: J:\0000\5810\DWG\5810 SUB

THE UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE SITE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

Daniel F. Wyatt 10/07/21
 DANIEL F. WYATT DATE

CERTIFICATION

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/09.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

2.22.22 DATE
 PAUL C. LIVERSIDGE, LLS



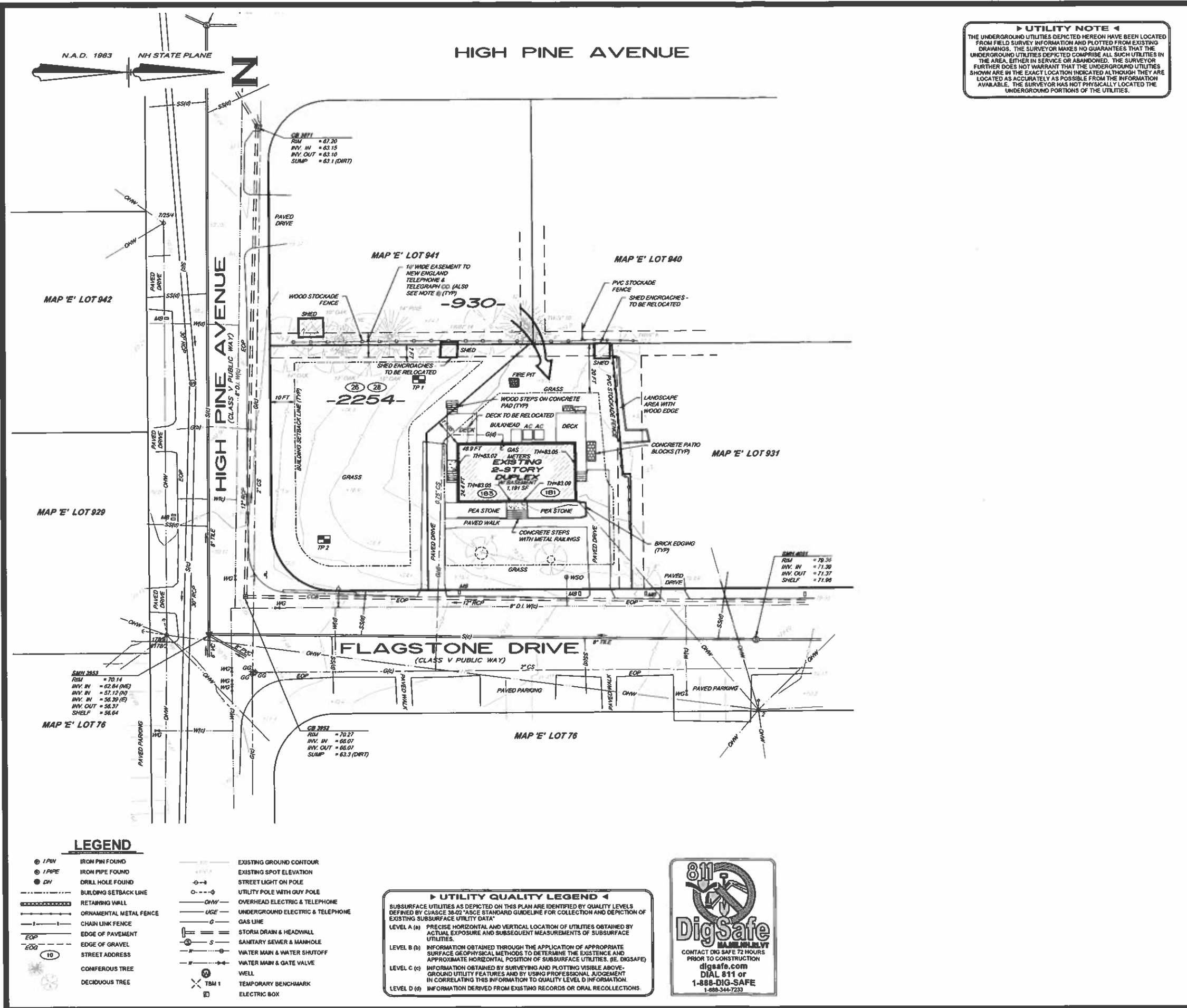
ZONING NOTE 4

THE ZONING BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

APPROVED
 NASHUA CITY PLANNING BOARD

CHAIRMAN DATE

- LEGEND**
- I/PIN IRON PIN FOUND
 - L/PPE IRON PIPE FOUND
 - OH DRILL HOLE FOUND
 - IRON PIN TO BE SET
 - BUILDING SETBACK LINE
 - STOCKADE FENCE
 - CHAIN LINK FENCE
 - EOP EDGE OF PAVEMENT
 - DCS CAPE ODD BERM
 - 484 STREET ADDRESS
 - STREET LIGHT ON POLE
 - UTILITY POLE WITH GUY POLE
 - OHW OVERHEAD ELECTRIC & TELEPHONE
 - △ HYDRANT
 - WATER GATE VALVE
 - SEWER MANHOLE
 - △ CATCH BASIN



SURVEY NOTES:

- BOUNDARY AND TOPOGRAPHY ARE BASED UPON A FIELD SURVEY PERFORMED IN AUGUST 2021 BY THIS OFFICE.
- VERTICAL DATUM NASHUA CITY DATUM (NASHUA CITY DATUM + 68.77 = NAVD83)
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR THE EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
- THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.

UTILITY CONTACTS

WATER:
 PENNICHUCK WATER WORKS
 25 WALNUT STREET
 NASHUA, NH 03060
 ATT: JOHN BOISVERT, PE
 (603) 913-2300

GAS:
 LIBERTY UTILITIES
 11 NORTHEASTERN BLVD.
 SALEM, NH 03079
 ATT: ANDREW MORGAN
 (603) 327-6367

TELEPHONE:
 CONSOLIDATED COMMUNICATIONS
 100 GAY STREET
 MANCHESTER, NH 03103
 ATT: ROBERTO DIAZ
 (603) 295-5985

POWER:
 EVERSOURCE
 370 AMHERST STREET
 NASHUA, NH 03060
 ATT: MARC GAGNON
 (603) 882-5694

CITY OF NASHUA

PLANNING DEPARTMENT
 COMMUNITY DEVELOPMENT DIVISION
 229 MAIN STREET
 NASHUA, NH 03060
 ATT: LINDA MCGHEE
 (603) 568-3110

ENGINEERING DEPARTMENT
 NASHUA DEPT. OF PUBLIC WORKS / ENGINEERING
 9 RIVERSIDE STREET
 NASHUA, NH 03062
 ATT: JOE MENDOLA
 (603) 565-3124

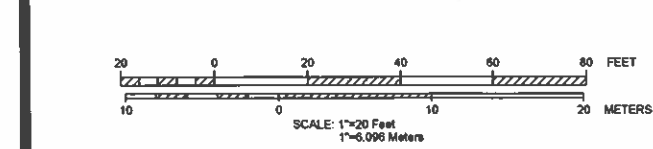
FIRE DEPARTMENT
 NASHUA FIRE RESCUE
 177 LAKE STREET
 NASHUA, NH 03062
 ATT: ADAM POUJOT, FIRE MARSHAL
 (603) 568-3460

NO.	DATE	REVISION	BY

TOPOGRAPHIC SUBDIVISION PLAN
 (MAP 'E', LOT 930)

181-183 FLAGSTONE DRIVE
 NASHUA, NEW HAMPSHIRE

PREPARED FOR / RECORD OWNER:
DANIEL F. WYATT
 1465 WOODBURY AVENUE # 112 PORTSMOUTH, NEW HAMPSHIRE 03801 (603) 494-3540

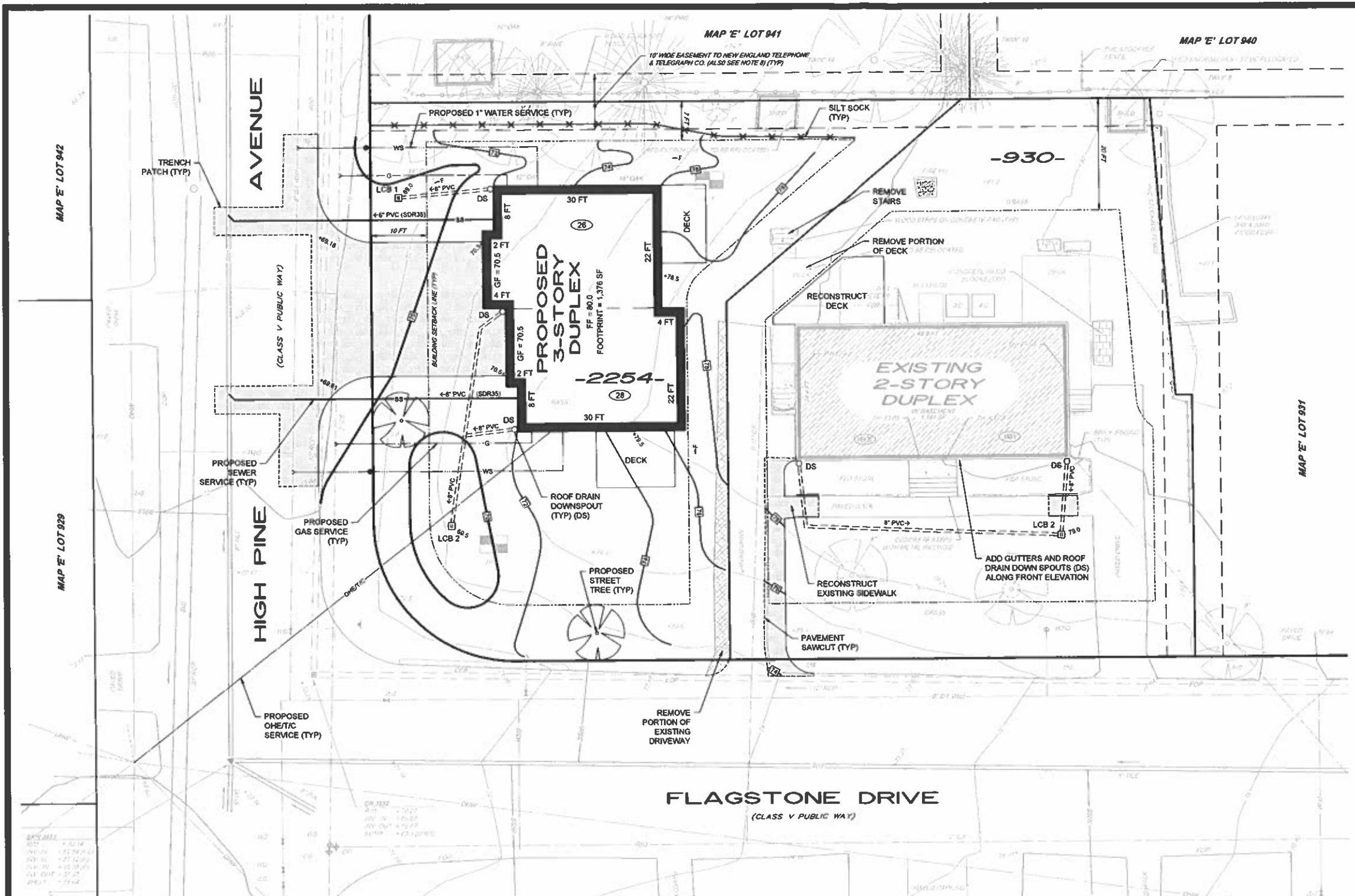


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FIELD BOOK: 1255 DRAWING NAME: 58109JB-FT21 5810 2 OF 5
 DRAWING LOC: \\S0001\5810\DWG\5810 SJB



CONSTRUCTION NOTES

1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF NASHUA, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, LATEST EDITION ARE HEREBY INCORPORATED BY REFERENCE.
2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
4. PRIOR TO ANY WORK BEING STARTED, THE APPLICANT AND THEIR CONTRACTORS SHALL HOLD A PRE-CONSTRUCTION CONFERENCE WITH PLANNING STAFF TO REVIEW SCHEDULING, EROSION AND TRAFFIC CONTROL, AND TREE PROTECTION, ETC.
5. BLASTING, IF NEEDED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF NASHUA FIRE DEPARTMENT REGULATIONS.
6. ALL STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
7. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED.
8. BASEMENTS MAY ENCOUNTER GROUNDWATER CONDITIONS THAT REQUIRE SUBSURFACE GROUNDWATER MITIGATION MEASURES. IT IS RECOMMENDED THAT SUBSURFACE CONDITIONS BE EVALUATED BY A GEOTECHNICAL ENGINEER, AND MITIGATION MEASURES BE IMPLEMENTED BY THE BUILDER ON A HOUSE BY HOUSE BASIS.
9. LOTS WILL BE SERVICED BY UNDERGROUND ELECTRIC AND COMMUNICATION UTILITIES. SERVICE CONNECTION LOCATIONS TO BE COORDINATED WITH UTILITY COMPANIES PRIOR TO CONSTRUCTION.
10. THE CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT FROM THE CITY OF NASHUA PRIOR TO RAZING THE EXISTING BUILDING.
11. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FROM THE CITY OF NASHUA DEPARTMENT OF PUBLIC WORKS.

EROSION CONTROL NOTES:

1. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORMWATER POLLUTION CONTROL SHALL OBTAIN A COPY OF THE STORMWATER POLLUTION CONTROL PLAN (SPP) AND NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) AND BECOME FAMILIAR WITH THEIR CONTENTS.
2. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY SITE CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
4. EARTH MATERIAL STOCKPILE AREAS AS SHOWN ARE APPROXIMATE AND SUBJECT TO CHANGE. STOCKPILE AREAS SHALL BE SURROUNDED BY SILT FENCE AND RE-SEEDED IF THEY ARE LEFT UNTOUCHED FOR MORE THAN TEN (10) DAYS.
5. ALL MEASURES STATED ON THIS EROSION CONTROL PLAN, AND IN THE STORMWATER POLLUTION CONTROL PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETE PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT WHICHEVER IS MORE STRINGENT.
6. SILT SOCKS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED.
7. THE CONTRACTOR SHALL INSTALL SILTSACKS IN ALL LEACHING CATCH BASINS UNTIL THE SITE IS STABILIZED.
8. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
9. ALL SEEDED AREAS SHALL BE CHECK REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED.
10. CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.

SITE MAINTENANCE PLAN

THE FOLLOWING PROVIDES AN ITEMIZATION OF SPECIFIC SITE MAINTENANCE PRACTICES THAT WILL BE EMPLOYED ON THE SITE TO MINIMIZE POLLUTANT GENERATION AND TRANSPORT FROM THE SITE. THE SITE MAINTENANCE PROGRAM INCLUDES ROUTINE INSPECTIONS, PREVENTATIVE MAINTENANCE AND "GOOD HOUSEKEEPING" PRACTICES.

- ROUTINE INSPECTIONS**
1. INSPECT SITE ON A QUARTERLY BASIS OR AFTER A SIGNIFICANT RAIN EVENT.
- PREVENTATIVE MAINTENANCE**
1. CLEAN RECHARGE AREA AND YARD DRAINS TWICE PER YEAR IF NEEDED OR MORE FREQUENTLY AS DICTATED BY QUARTERLY INSPECTIONS.
 2. IMPLEMENT OTHER MAINTENANCE OR REPAIR ACTIVITIES AS DEEMED NECESSARY BASED UPON INSPECTIONS.
- GOOD HOUSEKEEPING PRACTICES**
1. SWEEP DRIVEWAY REGULARLY TO MINIMIZE SEDIMENT ACCUMULATION. FREQUENCY WILL VARY SEASONALLY ACCORDING TO SEDIMENT ACCUMULATION ON PAVED SURFACES (E.G. MORE FREQUENT SWEEPING DURING THE WINTER AND SPRING).
 2. USE NO-SALT (NAC) ALTERNATIVES SUCH AS CLOSE PLOWING AND SANDING FOR DE-ICING ON THE DRIVEWAY.

UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

UTILITY QUALITY LEGEND

SUBSURFACE UTILITIES AS DEPICTED ON THIS PLAN ARE IDENTIFIED BY QUALITY LEVELS DEFINED BY CRANE 34-02 "ASCE STANDARD GUIDELINE FOR COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA"

LEVEL A (a) PRECISE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES OBTAINED BY ACTUAL EXPOSURE AND SUBSEQUENT MEASUREMENTS OF SUBSURFACE UTILITIES.

LEVEL B (b) INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES. (IE, DIGSAFE)

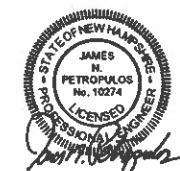
LEVEL C (c) INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGEMENT BY CORRELATING THIS INFORMATION TO QUALITY LEVEL D INFORMATION.

LEVEL D (d) INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS.



NOTE

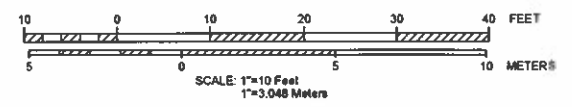
THE PURPOSE OF THE LOT GRADING PLAN IS TO SHOW THE INTENDED LOCATION OF THE PROPOSED DUPLEX RESIDENTIAL UNIT. THE DEVELOPER/BUILDER RESERVES THE RIGHT TO MAKE CHANGES TO THE DUPLEX RESIDENTIAL UNIT SIZE, TYPE, LOCATION, GARAGE CONFIGURATION, ELEVATION, DRIVEWAY, RETAINING WALLS AND UTILITY LOCATIONS AS LONG AS THE OVERALL INTEGRITY OF THIS PLAN IS MAINTAINED.



LOT LAYOUT AND GRADING PLAN
(MAP 'E', LOT 930)

181-183 FLAGSTONE DRIVE
NASHUA, NEW HAMPSHIRE

PREPARED FOR / RECORD OWNER:
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DRAWING LOC: J:\5000\5810\DWG\5810 SUB			

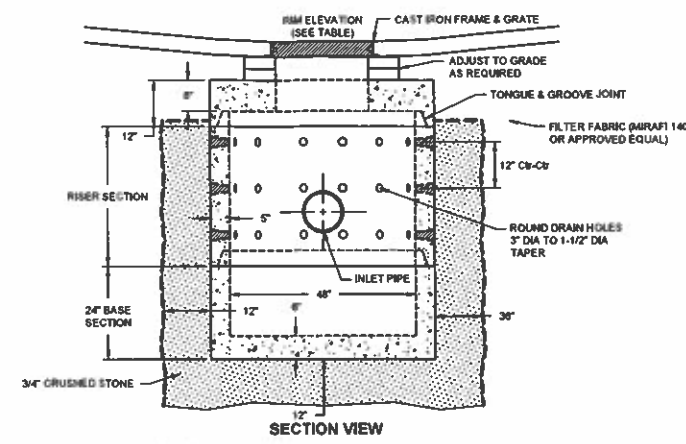
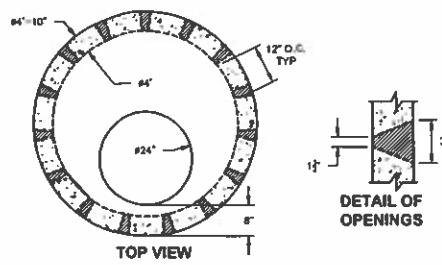
TEST PIT INFORMATION

TEST PIT # 1 DATE: 10/9/21
 0-17" 10YR 4/3, BROWN, SANDY LOAM FILL, FINE GRANULAR, VERY FRIABLE WITH FEW ROOTS (AREA WITHIN A MOWED LAWN AREA)
 17-20" 10YR 3/3, DARK BROWN, SANDY LOAM, FINE GRANULAR, VERY FRIABLE WITH FEW ROOTS
 20-31" 10YR 5/6, YELLOWISH BROWN, SANDY LOAM, GRANULAR, VERY FRIABLE WITH FEW ROOTS
 31-56" 10YR 7/4, VERY PALE BROWN, LOAMY SAND, FINE GRANULAR, FRIABLE WITH FEW ROOTS
 56-77" 10YR 8/4, LIGHT YELLOWISH BROWN, COARSE SAND, SINGLE GRAIN, LOOSE WITH FEW ROOTS TO 66"
 77-88" 10YR 7/3, VERY PALE BROWN, SAND, SINGLE GRAIN, LOOSE
 88-120" 10YR 6/4, LIGHT YELLOWISH BROWN, COARSE SAND, SINGLE GRAIN, LOOSE
 ESHWT: 120* CWT: NONE ROOTS: 06" LEDGE: NONE

TEST PIT # 2 DATE: 10/9/21
 0-95" 10YR 4/3, BROWN, SANDY LOAM FILL, FINE GRANULAR, VERY FRIABLE MIXED WITH 10YR 7/4, VERY PALE BROWN, LOAMY SAND FILL, FINE GRANULAR, FRIABLE AND FEW ROOTS WITHIN A MOWED LAWN AREA)
 55-80" 10YR 7/4, VERY PALE BROWN, LOAMY SAND, FINE GRANULAR, FRIABLE WITH FEW ROOTS
 80-74" 10YR 8/4, LIGHT YELLOWISH BROWN, COARSE SAND, 2% GRAVEL FRAGMENTS, SINGLE GRAIN, LOOSE WITH FEW ROOTS TO 88"
 74-120" 10YR 7/3, VERY PALE BROWN, SAND, SINGLE GRAIN, LOOSE
 ESHWT: 120* CWT: NONE ROOTS: 06" LEDGE: NONE

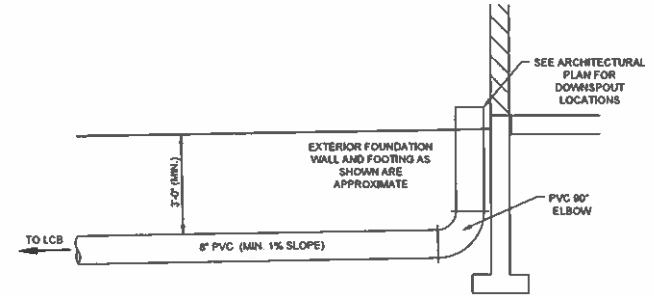
LCB ELEVATION TABLE

LOCATION	RIM	SUMP
LCB 1	66.0a	62.0a
LCB 2	69.5a	62.5a
LCB 3	78.0a	72.0a

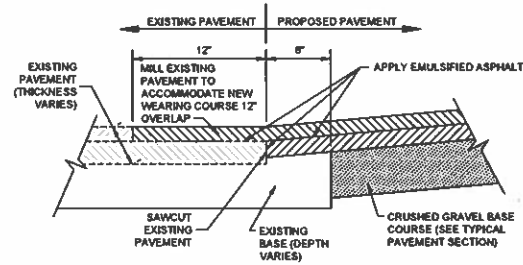


- GENERAL NOTES**
- 1) STEEL REINFORCEMENT CONFORMS TO LATEST ASTM SPECIFICATIONS
 ASTM A-615 GRADE 60 REBAR
 ASTM A-185 WELDED WIRE FABRIC 0.12 SQUARE INCH / LINEAL FOOT AND 0.12 SQUARE INCH (BOTH WAYS) BASE BOTTOM
 - 2) CONCRETE: FC = 4,000 PSI @ 28 DAYS MINIMUM
 - 3) DESIGN LOADING: AASHTO-HS20-44
 - 4) HOLE CORING AVAILABLE FOR LARGER DIAMETER PIPES

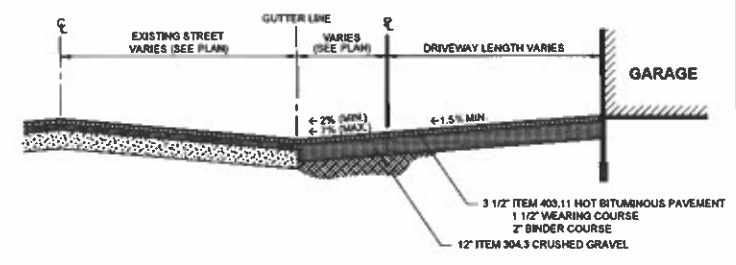
LEACHING CATCH BASIN (LCB) DETAIL
 NOT TO SCALE



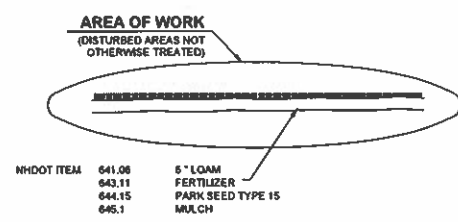
ROOF DRAIN DOWNSPOUT (DS) CONNECTION DETAIL
 NOT TO SCALE



SAWCUT PAVEMENT DETAIL
 NOT TO SCALE



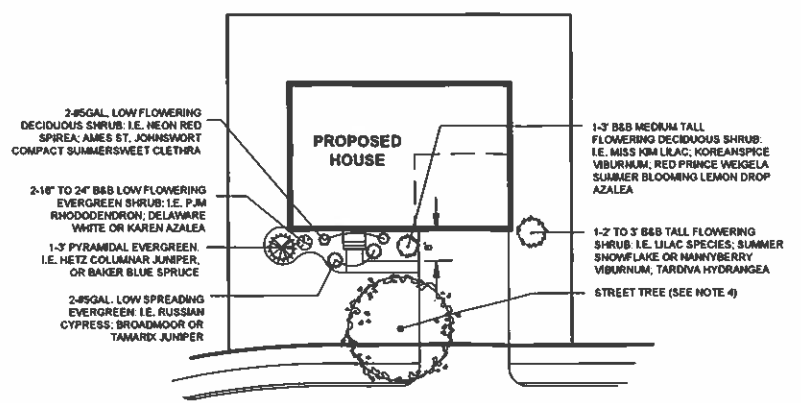
TYPICAL DRIVEWAY SECTION
 NOT TO SCALE



NO	ITEM	QTY	DESCRIPTION
641.06	6" LOAM FERTILIZER		
643.11	PARK SEED TYPE 15 MULCH		
644.15			
645.1			

APPLICATION RATES
 SEED: 80 LB / ACRE
 FERTILIZER: 20 LB / 1000 S.F. (10-10-10)

LOAM AND SEED DETAIL
 NOT TO SCALE



TYPICAL LOT LANDSCAPE DETAIL
 NOT TO SCALE

- NOTES:**
1. THE HOME BUILDER RESERVES THE RIGHT TO MODIFY THE TYPE, SIZE AND LOCATION OF THE FOUNDATION PLANT MATERIALS.
 2. STREET TREE - SEE SHEET 3 OF 5 FOR LOCATION.
 3. STREET TREES ARE INTENDED TO MEET THE REQUIREMENTS OF THE NASHUA LAND USE CODE SECTION 190-185.
 4. EXISTING TREES TO REMAIN IN FRONT OF LOT 930 SHALL COUNT AS A STREET TREE.

No.	DATE	REVISION

DETAIL SHEET - GENERAL SITE
 (MAP 'E', LOT 930)

181-183 FLAGSTONE DRIVE
 NASHUA, NEW HAMPSHIRE

PREPARED FOR / RECORD OWNER:
DANIEL F. WYATT
 1465 WOODBURY AVENUE # 112 PORTSMOUTH, NEW HAMPSHIRE 03801 (603) 494-3540

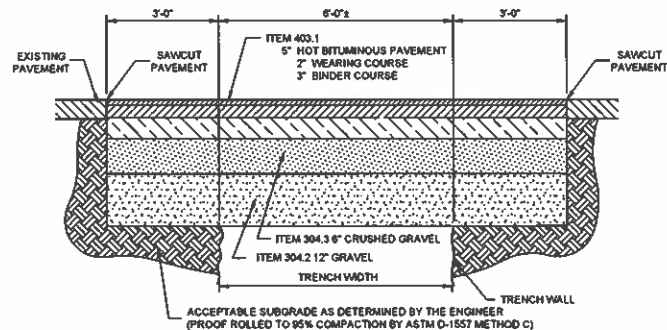
SCALE AS SHOWN

27 JANUARY 2022

HSI Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors
 3 Congdon Street
 Nashua, NH 03062
 (603) 883-2057
 www.hsi-nh.com

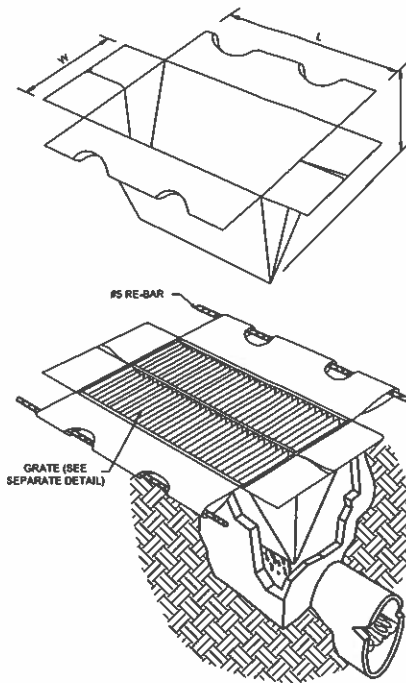
FIELD BOOK: 1255 DRAWING NAME: 5810SUB-DCT1 5810 4 OF 5
 DRAWING LOC: J:\5000\5810\DWG\5810 SUB





NOTE:
RESURFACE WORK SHALL BE DONE IN TWO PHASES. PHASE 1 IS A TEMPORARY SURFACE PATCH WITH 3\"/>

TRENCH PATCH DETAIL
NOT TO SCALE



SILTSAK® DETAIL
NOT TO SCALE

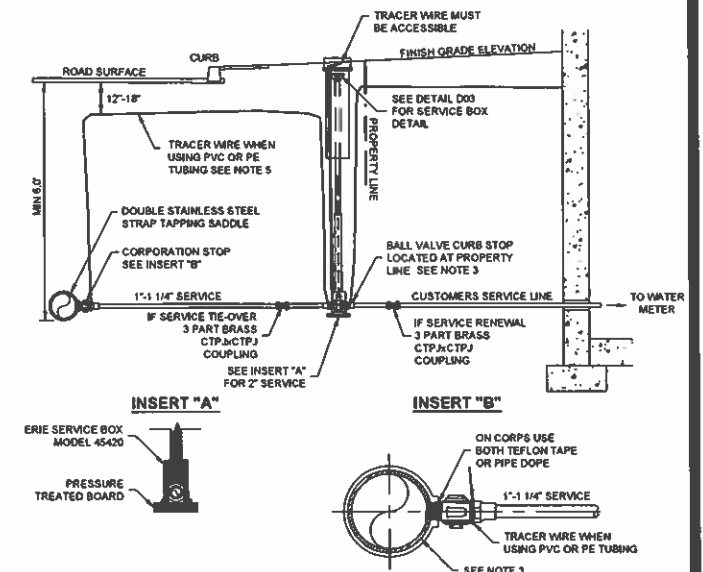
SILTSAK® NOTES:

- THE SILTSAK® SHALL BE MANUFACTURED FROM WOVEN POLYPROPYLENE AND SEWN BY A DOUBLE NEEDLE MACHINE, USING A HIGH STRENGTH NYLON THREAD.
- THE SILTSAK® SEAMS SHALL HAVE A CERTIFIED AVERAGE WIDE WIDTH STRENGTH PER ASTM D-4884 STANDARDS AS FOLLOWS:

SILTSAK® STYLE	TEST METHOD	TEST RESULT
REGULAR FLOW	ASTM D-4884	165.0 LBS/IN
HE-FLOW	ASTM D-4884	114.8 LBS/IN
- THE SILTSAK® WILL BE MANUFACTURED TO FIT THE OPENING OF THE CATCH BASIN OR DROP INLET. THE SILTSAK® WILL HAVE THE FOLLOWING FEATURES: TWO DUMP STRAPS ATTACHED AT THE BOTTOM TO FACILITATE THE EMPTYING OF THE SILTSAK®, THE SILTSAK® SHALL HAVE LIFTING LOOPS AS AN INTEGRAL PART OF THE SYSTEM TO BE USED TO LIFT THE SILTSAK® FROM THE BASIN. THE SILTSAK® SHALL HAVE A RESTRAINT CORD APPROXIMATELY HALFWAY UP THE SACK TO KEEP THE SIDES AWAY FROM THE CATCH BASIN WALLS. THIS YELLOW CORD IS ALSO A VISIBLE MEANS OF INDICATING WHEN THE SACK SHOULD BE EMPTIED, CLEANED, AND PLACED BACK INTO THE BASIN.
- THE GEOTEXTILE FABRIC SHALL BE WOVEN POLYPROPYLENE FABRIC WITH THE FOLLOWING PROPERTIES:

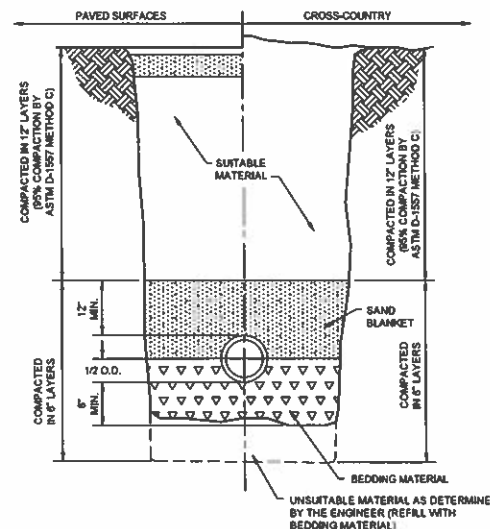
PROPERTY	TEST METHOD	TEST RESULT
ORAB TENSILE	ASTM D-4832	300 LBS
ORAB ELONGATION	ASTM D-4831	20%
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80%
APPARENT OPENING	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/FT ²
PERMITTIVITY	ASTM D-4491	0.55 SEC

PROPERTY	TEST METHOD	TEST RESULT
ORAB TENSILE	ASTM D-4832	285 LBS
ORAB ELONGATION	ASTM D-4832	20%
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90%
APPARENT OPENING	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/FT ²
PERMITTIVITY	ASTM D-4491	1.5 SEC



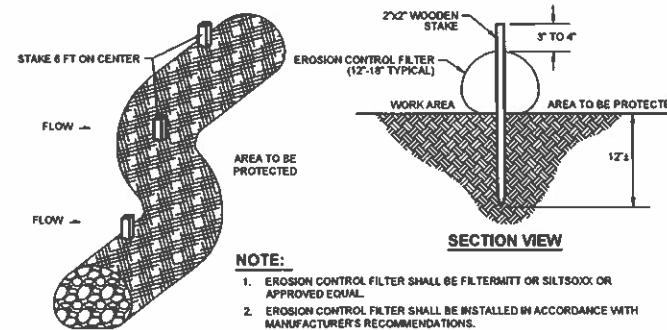
- NOTES:**
- ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO P.W.W. TECHNICAL SPECIFICATIONS.
 - ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 - IF WATER MAIN IS PVC OR TRANSITE, A DOUBLE STAINLESS STEEL STRAP TAPPING SADDLE MUST BE USED TO CONNECT THE CORPORATION TO THE WATER MAIN. CONFORM TO P.W.W. TECHNICAL SPECIFICATIONS.
 - IF TAPPING A FIRE SERVICE, THEN SEE P.W.W. DETAIL D15.
 - USE 10-GAUGE SOLID-CORE COATED BLUE TRACER WIRE PER P.W.W. TECHNICAL SPECIFICATIONS.

TYPICAL 1" - 1 1/4" SERVICE VALVE BOX INSTALLATION DETAIL
NOT TO SCALE



- NOTES:**
- THE SEWER TRENCH SECTION SHALL CONFORM TO THE NHDSS STANDARD TRENCH SECTION, AND TO THE ADDITIONAL REQUIREMENTS OF THIS TYPICAL SECTION.
 - IN GENERAL, DISTURBED CROSS-COUNTRY AREAS SHALL BE RESTORED TO THE SATISFACTION OF THE ENGINEER AND SHALL BE LOAMED AND SEEDED IN ACCORDANCE WITH THE DETAIL AND SHALL BE MAINTAINED UNTIL A VIABLE STAND OF GRASS HAS BEEN ESTABLISHED.
 - ROADWAYS, DRIVEWAYS, AND OTHER PAVED AREAS SHALL BE RECONSTRUCTED IN ACCORDANCE WITH THE PLANS.

TYPICAL SEWER TRENCH SECTION
NOT TO SCALE

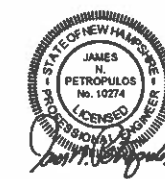


- NOTE:**
- EROSION CONTROL FILTER SHALL BE FILTERMITT OR SILTSOXX OR APPROVED EQUAL.
 - EROSION CONTROL FILTER SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - COMPOST TO BE REMOVED OR DISPOSED ON-SITE AS DETERMINED BY THE ENGINEER.

MAINTENANCE

- SILT SOCK BARRIER SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- IF THE SILT SOCK SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE BARRIER SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE BARRIER HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SILT SOCK DETAIL
NOT TO SCALE



NO.	DATE	REVISION	BY

DETAIL SHEET - GENERAL SITE
(MAP "E", LOT 930)

181-183 FLAGSTONE DRIVE
NASHUA, NEW HAMPSHIRE

PREPARED FOR / RECORD OWNER:
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SCALE AS SHOWN

27 JANUARY 2022

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street
Nashua, NH 03062
(603) 883-2037
www.haynerswanson.com

131 Middlesex Turnpike
Burlington, MA 01803
(781) 203-1501

FIELD BOOK: 1235 DRAWING NAME: 5810SUB-021 5810 5 OF 5
DRAWING LOC: \\S001\610\DWG\5810 SUB P/E Number Sheet