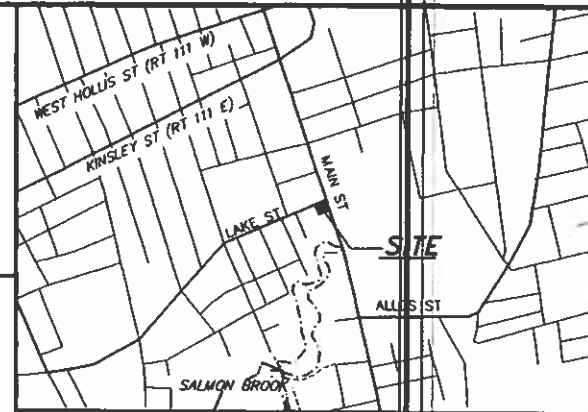


303 MAIN ST CHANGE OF USE SITE PLAN

303 MAIN ST NASHUA, NEW HAMPSHIRE

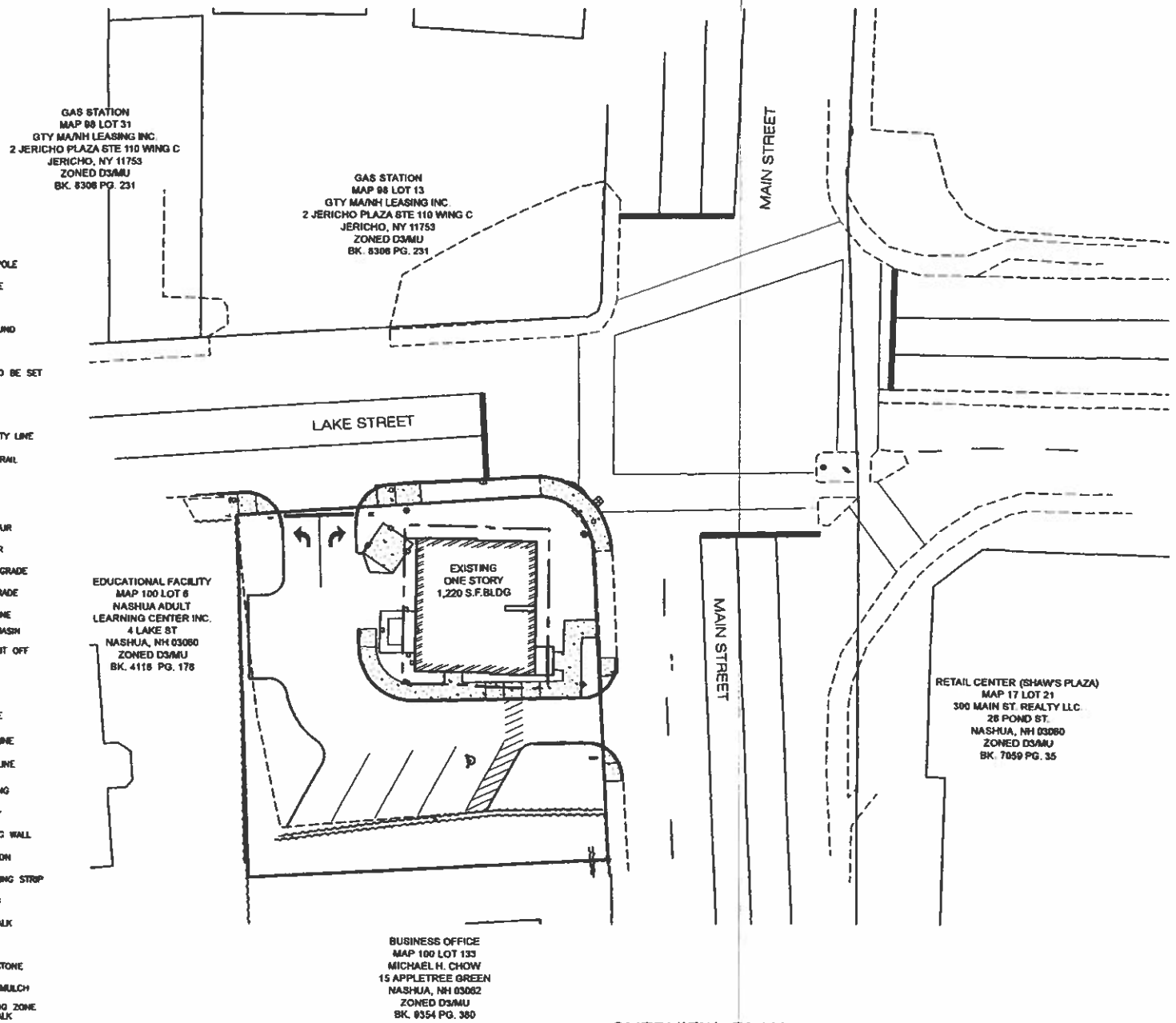
PLAN INDEX	SHEET NO
TITLE SHEET	1
EXISTING CONDITIONS PLAN	2
DEMOLITION PLAN	3
SITE PLAN	4
GRADING & EROSION PLAN	5
LANDSCAPE PLAN	6
CONSTRUCTION DETAILS	7-9



LOCUS MAP
(1" = 1,000')

LEGEND

- EXISTING UTILITY POLE
- EXISTING GUY WIRE
- REBAR FOUND
- STONE BOUND FOUND
- REBAR TO BE SET
- GRANITE BOUND TO BE SET
- IRON PIPE FOUND
- BENCHMARK SET
- ABUTTING PROPERTY LINE
- PROPOSED GUARDRAIL
- OVERHEAD WIRES
- SETBACK LINE
- PROPOSED CONTOUR
- EXISTING CONTOUR
- PROPOSED SPOT GRADE
- EXISTING SPOT GRADE
- PROPOSED LOT LINE
- EXISTING CATCH BASIN
- EXISTING GAS SHUT OFF
- LIGHT POLE
- SEWER MANHOLE
- EXISTING GAS LINE
- EXISTING WATER LINE
- EXISTING SEWER LINE
- PROPOSED CURBING
- EXISTING ROADWAY
- EXISTING RETAINING WALL
- EXISTING VEGETATION
- ACCESSIBLE WARNING STRIP
- EXISTING BUILDING
- PROPOSED SIDEWALK
- PROPOSED GRASS
- PROPOSED RIVERSTONE
- PROPOSED BARK MULCH
- PROPOSED LOADING ZONE AND CROSSWALK
- PROPOSED 6' VINYL FENCE
- PROPOSED SIGN
- # OF PARKING SPACES
- PR. SAW CUT LINE
- PR. SILT SOCK



OVERVIEW PLAN
SCALE: 1" = 20'

NOTES:

- THE PURPOSE OF THIS PLAN IS TO SHOW A CHANGE OF USE SITE PLAN FOR 1,220 S.F. SHAW'S SHOP AT 303 MAIN STREET INCLUDING PARKING, LANDSCAPING AND SIDEWALKS.
- OWNER OF RECORD:
TAX MAP 100 LOT 5
SD REALTY, LLC
482 S. BROADWAY
SALEM, NH 03079
BOOK 2427 PAGE 1382
- TOTAL PARCEL AREA = 9,897 S.F. OR 0.226 ACRES.
- THE PARCEL IS ZONED D3/MU (MIXED USE).
DIMENSIONAL REQUIREMENTS

	EXISTING	EXISTING
MINIMUM LOT AREA	-	~102'
MINIMUM FRONTAGE	-	~89'
MINIMUM LOT WIDTH	-	~89'
MINIMUM LOT DEPTH	-	~99'
FRONT BUILDING SETBACK	0'-10"	9.41'
SIDE SETBACK	0'-10"	4.7'
REAR SETBACK	10'	N.A.
MAX. BUILDING HEIGHT	80'	< 15'
MAX. STORES	4	1
MAX. FLOOR RATIO	-	-
MIN. OPEN SPACE	-	-

- THE EXISTING LOT WAS A RESTAURANT.
- HOURS OF OPERATION: 7:00AM TO 10:00PM MONDAY-SATURDAY, AND 8:00AM TO 8:00PM SUNDAY.
- NO EXISTING OR PROPOSED EASEMENTS ON PROPERTY.
- NO WETLANDS ON PROPERTY.
- LOT SERVICED BY CITY OF NASHUA SEWER, PENNACUCK WATER WORKS AND LIBERTY GAS.
- THERE ARE NO NEW SIGNS PROPOSED. THE EXISTING SIGN WILL REMAIN AND THE FACE REPLACED. SEE DETAIL SHEETS FOR SIGN INFORMATION.
- MINIMUM PARKING REQUIREMENTS:
ONE WAY ACCESS DRIVES WITH 45 DEGREE ANGLED PARKING.
8'x20' SPACES WITH 12' AISLES REQUIRED
1,220 S.F. SHAW'S SHOP @ 1 SP./300 S.F. = 4 SPACES REQUIRED
TOTAL PROPOSED = 5 SPACES (INCLUDES 1 VAN SPACE)
- THE SUBJECT PROPERTY IS NOT LOCATED IN THE 100-YR FLOOD PLAN AS PER THE FLOOD INSURANCE RATE MAP, HILLSBOROUGH COUNTY COMMUNITY PANEL 3301100514E, EFFECTIVE DATE APRIL 18TH, 2011.
- ONE DUMPSTER PAD IS LOCATED ON THE NORTHWEST OF THE SITE.
- "IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE CITY."
- "ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE CITY OF NASHUA SITE PLAN REGULATIONS AND THE LATEST ADDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION."
- SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION AND GRADES.
- PLOWED SNOW FROM THE FACILITIES DRIVEWAY, PARKING LOT AND SIDEWALKS SHALL BE STORED IN THE DESIGNATED AREA SHOWN IN THIS PLAN SET. WHEN SNOW STORAGE AREAS ARE AT CAPACITY, SUBSEQUENT SNOW SHALL BE HAULED OFF SITE AND DISPOSED OF IN AN ENVIRONMENTALLY SOUND FASHION AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED BY WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN IN ANY WAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
- PRIOR TO ANY WORK BEING CONDUCTED, A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PLANNING STAFF AND OTHER CITY DEPARTMENTS AS NECESSARY TO REVIEW WORK PROPOSED.
- A BOND OR OTHER FORM OF SECURITY SHALL BE REQUIRED FOR PROPOSED PUBLIC IMPROVEMENTS (ROADWAY/SIDEWALK) OR UTILITY EXTENSIONS.



THE UNDER-SIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

Kathleen... 11-9-21
OWNER for Bedford Design Cons. DATE

APPROVED - NASHUA CITY PLANNING BOARD
SIGNATURE _____ DATE _____
SIGNATURE _____ DATE _____

TAX MAP 100 LOT 5
COVER SHEET
303 MAIN ST CHANGE OF USE
LOCATED AT:
303 MAIN ST
NASHUA, NEW HAMPSHIRE
PREPARED FOR:
SD REALTY, LLC
238 LIBERTY AVE
NEW ROCHELLE, NY
(914) 424-3959

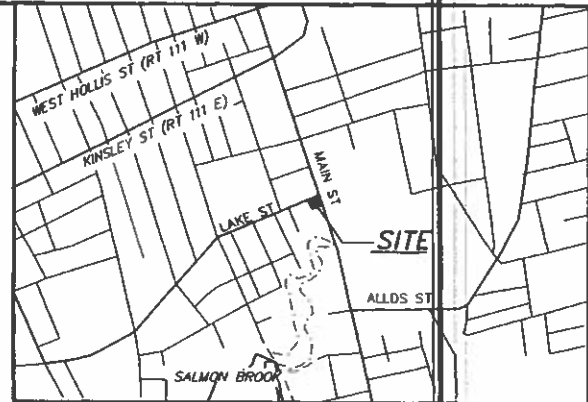
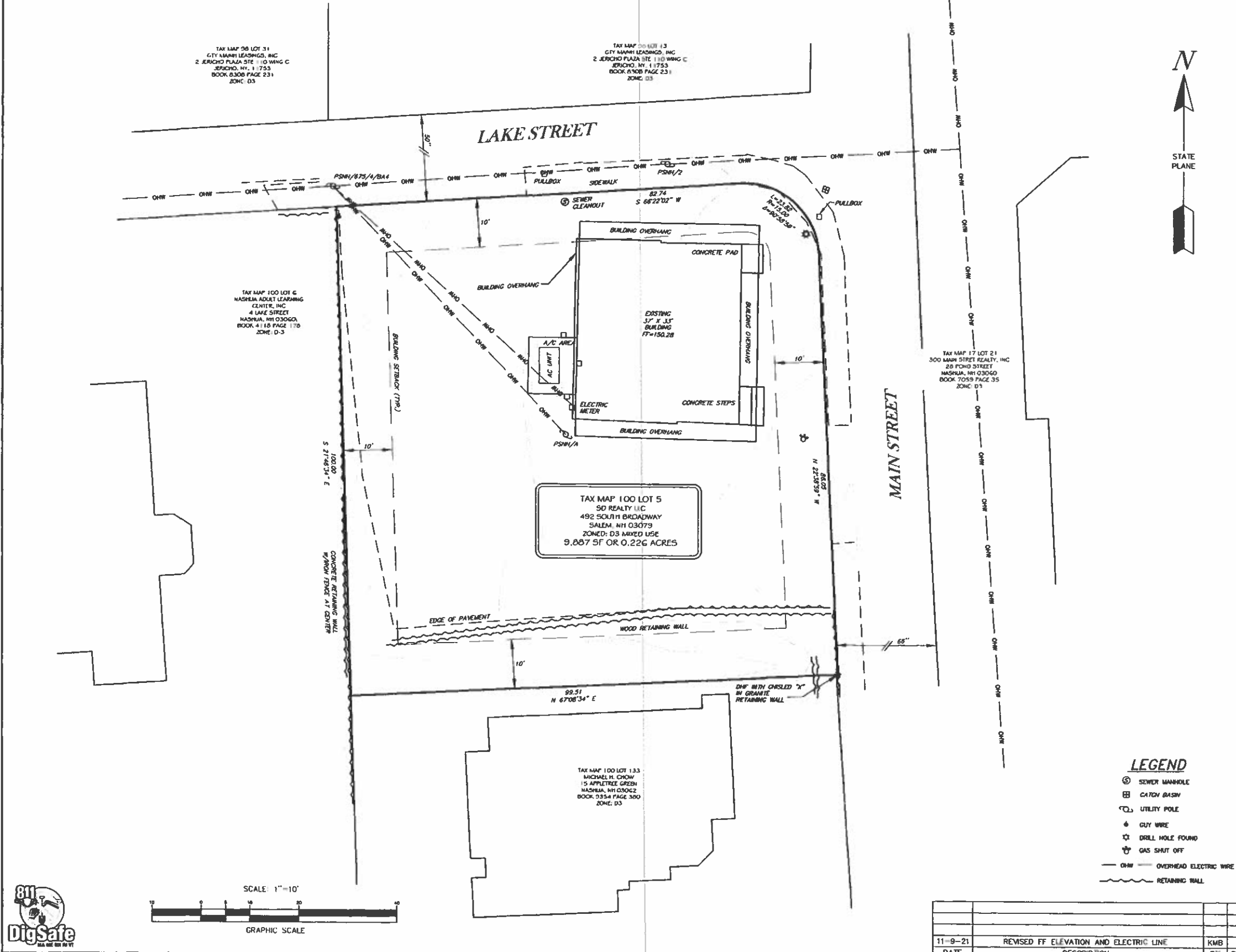
SCALE: 1" = 20' OCTOBER 7, 2021 SHEET 1 OF 9

DATE	DESCRIPTION	BY	REV.
11-9-21	REVISED PER ENGINEERING & FIRE COMMENTS	KAW	A

Bedford Design Consultants
ENGINEERS AND SURVEYORS
582 Harvey Road, Manchester, NH 03103
Telephone: (603) 622-5538
www.bedforddesign.com

PLAN REFERENCES:

1. "PLAN OF LAND MAIN STREET NASHUA, NH" PREPARED BY W. ROBERT HOLTE & ASSOCIATES LAND SURVEYORS, DATED OCTOBER 1973, HCRD PLAN #7700.
2. "LAND ON EAST & WEST SIDES OF MAIN STREET - VICINITY OF SALMON BROOK" PREPARED BY R.E. MAYNARD, C.E., DATED FEBRUARY 1966, HCRD PLAN #3461.



LOCUS MAP
1" = 1000'

NOTES

1. OWNERS OF RECORD:
TAX MAP 100 LOT 5
SD REALTY, LLC
492 SOUTH BROADWAY
SALEM, NH 03079
BOOK 9427 PAGE 1302
2. THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 100 LOT 5
3. THIS PARCEL IS ZONED: DOWNTOWN S/ MIXED USE
DIMENSIONAL REQUIREMENTS REQUIRED:
FRONT SETBACK 10'
SIDE SETBACK 10'
REAR SETBACK 10'
4. THIS SITE IS LOCATED OUTSIDE OF THE 100 YEAR FLOOD BOUNDARY AS SHOWN ON FLOOD INSURANCE RATE MAP HILLSBOROUGH COUNTY, NEW HAMPSHIRE MAP #3301100314E, EFFECTIVE DATE MARCH 10, 2021.
5. THIS PLAN IS THE RESULT OF FIELD SURVEYS PERFORMED SEPTEMBER 2021, ON THE SUBJECT PROPERTY. ALL OTHER INFORMATION WAS COPIED FROM OTHER SOURCES.



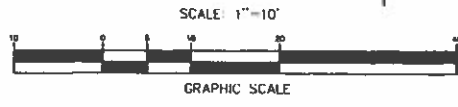
SURVEY CERTIFICATION

I HEREBY CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN TEN THOUSAND (1:10,000).

LICENSED LAND SURVEYOR DATE: 10/12/21

LEGEND

- ⊕ SEWER MANHOLE
- ⊞ CATCH BASIN
- ⊕ UTILITY POLE
- ◆ GUY WIRE
- ☆ DRILL HOLE FOUND
- ⊕ GAS SHUT OFF
- O.H.W. OVERHEAD ELECTRIC WIRE
- ~ RETAINING WALL

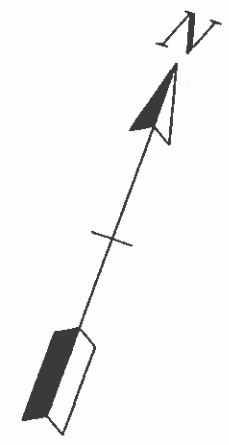


DESIGN:	DRAWN:	CHECKED:	FB:	PE:
C.A.F.	K.M.B.	CAF	598	48
11-9-21	REVISED FF ELEVATION AND ELECTRIC LINE	KMB	A	
DATE:	DESCRIPTION	BY	REV.	

TAX MAP 100 LOT 5
EXISTING CONDITIONS PLAN
LOCATED AT:
303 MAIN STREET
NASHUA, NEW HAMPSHIRE
PREPARED FOR/OWNER:
SD REALTY, LLC
238 LIBERTY AVENUE
NEW ROCHELLE, NY 10805

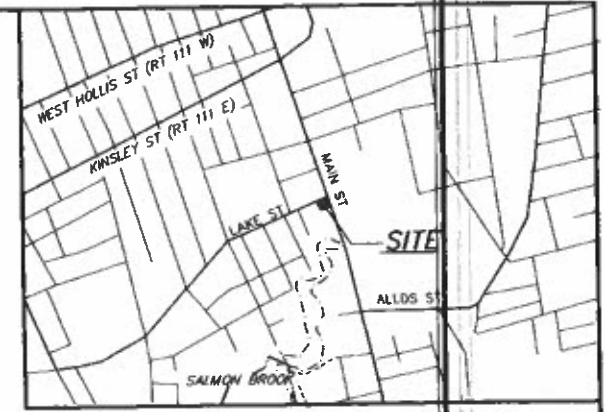
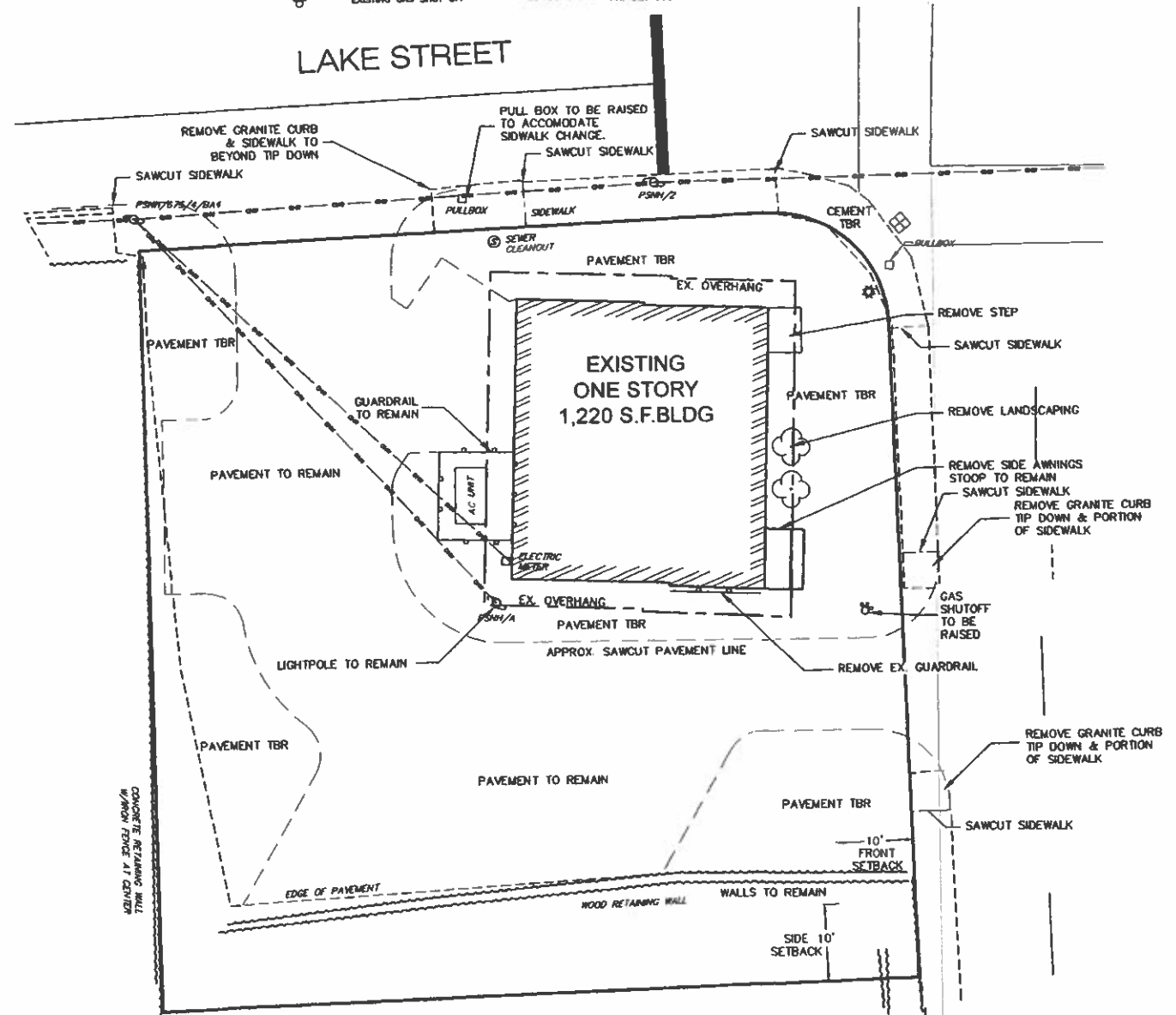
SCALE: 1" = 10' OCTOBER 7, 2021 SHEET 2 OF 9

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LEGEND

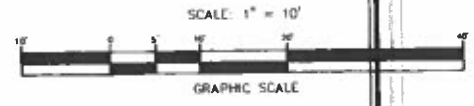
	EXISTING UTILITY POLE		LIGHT POLE
	EXISTING GUY WIRE		SEWER MANHOLE
	REBAR FOUND		EXISTING GAS LINE
	STONE BOUND FOUND		EXISTING WATER LINE
	REBAR TO BE SET		EXISTING SEWER LINE
	GRANITE BOUND TO BE SET		PROPOSED CURBING
	IRON PIPE FOUND		EXISTING ROADWAY
	BENCHMARK SET		EXISTING RETAINING WALL
	ABUTTING PROPERTY LINE		EXISTING VEGETATION
	PROPOSED GUARDRAIL		ACCESSIBLE WARNING STRIP
	OVERHEAD WIRES		EXISTING BUILDING
	SETBACK LINE		PROPOSED SIDEWALK
	PROPOSED CONTOUR		PROPOSED GRASS
	EXISTING CONTOUR		PROPOSED RIVERSTONE
	PROPOSED SPOT GRADE		PROPOSED BARK MULCH
	EXISTING SPOT GRADE		PROPOSED LOADING ZONE AND CROSSWALK
	PROPOSED LOT LINE		PROPOSED 6" VINYL FENCE
	EXISTING CATCH BASIN		PROPOSED SIGN
	EXISTING GAS SHUT OFF		# OF PARKING SPACES
			PR. PAVEMENT SAW CUT LINE
			PR. SILT SOCK



LOCUS MAP
(1" = 1,000')

DEMOLITION NOTES:

- THIS PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR SITE DEMOLITION. IT SHOULD BE NOTED THAT ALL MANMADE FEATURES, PAVEMENT, SIGNS, POLES, CURBING, CONCRETE WALKS, UTILITIES, ETC. SHALL BE REMOVED AS NECESSARY TO CONSTRUCT WORK, UNLESS OTHERWISE NOTED TO REMAIN.
- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
- THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCIES FROM THE DATA SHOWN ON THESE DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO THE START OF ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT LEAST 72 HOURS BEFORE DIGGING.
- ALL EXISTING STRUCTURES WITHIN THE CONSTRUCTION AREA, UNLESS OTHERWISE NOTED TO REMAIN, SHALL BE REMOVED. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
- CONTRACTOR TO INSTALL EROSION AND SEDIMENT CONTROL DEVICES AS NECESSARY IN ACCORDANCE WITH STORMWATER BEST MANAGEMENT PRACTICES PRIOR TO BEGINNING DEMOLITION ACTIVITIES.
- PROVIDE INLET PROTECT BARRIERS AT ALL EXISTING CATCH BASINS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS THAT MAY RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INLET PROTECT BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECT BARRIERS SHALL BE "HIGH FLOW SILT SOCK" BY ICF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH 0.5 INCH OR GREATER RAINFALL. SEDIMENT DEPOSITS TO BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.
- CONDUCT ALL DEMOLITION ACTIVITIES IN A MANNER WHICH WILL PREVENT INJURY, DAMAGE TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY THE CONSTRUCTION/DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING SERVICES INCLUDE, BUT ARE NOT LIMITED TO, ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL, AND UTILITY COMPANY STANDARDS.
- CONDUCT DEMOLITION SERVICES IN SUCH A MANNER AS TO INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT WRITTEN PERMISSION OF THE OWNERS AND APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATIVE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
- ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE MATERIALS. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON-SITE. REMOVAL OF HAZARDOUS OR COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT AND/OR OTHER APPROPRIATE REGULATORY AGENCIES AND DEPARTMENTS.
- MARK FOR POSITION ALL EXISTING UTILITY, DRAINAGE, AND SANITARY SEWER LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO INSURE THE CONTINUATION OF SERVICE.
- UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK. CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE, AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL A PERMANENT SOLUTION IS IN PLACE.
- THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL UNWANTED MATERIAL LOCATED IN THE AREA OF THE EXISTING LEACHFIELDS IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
- THE CONTRACTOR SHALL PROTECT ALL PROPERTY IMMEDIATELY THROUGHOUT THE DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, HE SHALL EMPLOY A LICENSED LAND SURVEYOR TO REPLACE IT.
- CONTRACTOR SHALL HAVE THE OPTION TO REMOVE DRAINAGE/SEWER STRUCTURES, OR REMOVE MANHOLE FRAME AND GRATE/COVER TO A MINIMUM OF 30" BELOW FRESH GRADE. FRACTURE BOTTOM AND FILL WITH COMPACTED BORROW.
- IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ADJUTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
- USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE EXISTING CONDITIONS PRIOR TO THE START OF WORK.
- COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL, AND SAND FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM WHICH DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS UNDERTAKE ALL NECESSARY ACTIONS TO INSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROZEN MATERIALS, TRASH AND DEBRIS. PLACE FILL MATERIALS IN LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER TO PLACEMENT TO MEET OPTIMUM DENSITY. GRADE SURFACE TO MEET ADJACENT CONTOURS AND PROVIDE SURFACE DRAINAGE.
- REMOVE ALL ASPHALT, VEGETATION, TREES, SHRUBS, UTILITIES, SIGNAGE AND STRUCTURES AS NOTED.
- STUMP, STOCKPILE AND REUSE ON SITE GRAVELS AND FILL WHERE APPROPRIATE IN ACCORDANCE WITH THE DESIGN ENGINEER.
- EXISTING ASPHALT REMOVED FROM THE SITE SHALL BE TRUCKED OFF SITE AND DISPOSED OF BY APPROVED METHODS. PAVEMENT SHALL BE SAWCUT AT ALL CHANGES AND LIMITS OF REMOVAL.
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY/TOWN OF NASHUA AND SHALL BE BUILT IN A WORKMAN LIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION APPROVED AND ADOPTED 2009 ARE HEREBY INCORPORATED BY REFERENCE.
- THE CONTRACTOR SHALL APPLY FOR AN EXCAVATION PERMIT FOR WORK WITHIN THE CITY/TOWN RIGHT-OF-WAY OR ON CITY/TOWN OWNED PROPERTY. CONTACT THE CITY/TOWN OF NASHUA DEPARTMENT OF PUBLIC WORKS PRIOR TO CONSTRUCTION TO APPLY FOR A PERMIT.
- THE CONTRACTOR SHALL REQUEST A PRECONSTRUCTION MEETING WITH THE DEPARTMENT OF PUBLIC WORKS AND THE PLANNING DEPARTMENT PRIOR TO THE START OF ANY CONSTRUCTION/DEMOLITION ACTIVITIES ON-SITE TO DISCUSS SITE INSPECTIONS, SCHEDULES, SPECIAL CONDITIONS, ETC.
- SEE SHEET 3 FOR EROSION CONTROL DEVICES AND LOCATIONS.



TAX MAP 100 LOT 5

DEMOLITION PLAN

303 MAIN ST CHANGE OF USE

LOCATED AT:

303 MAIN ST

NASHUA, NEW HAMPSHIRE

PREPARED FOR:

SD REALTY, LLC
238 LIBERTY AVE
NEW ROCHELLE, NY
(914) 424-3959

SCALE: 1"=10' OCTOBER 7, 2021 SHEET 3 OF 9

DESIGN:	DRAWN:	CHECKED:	FR:	PR:	
KAW	KAW	R.B	RH	DH	1633-01

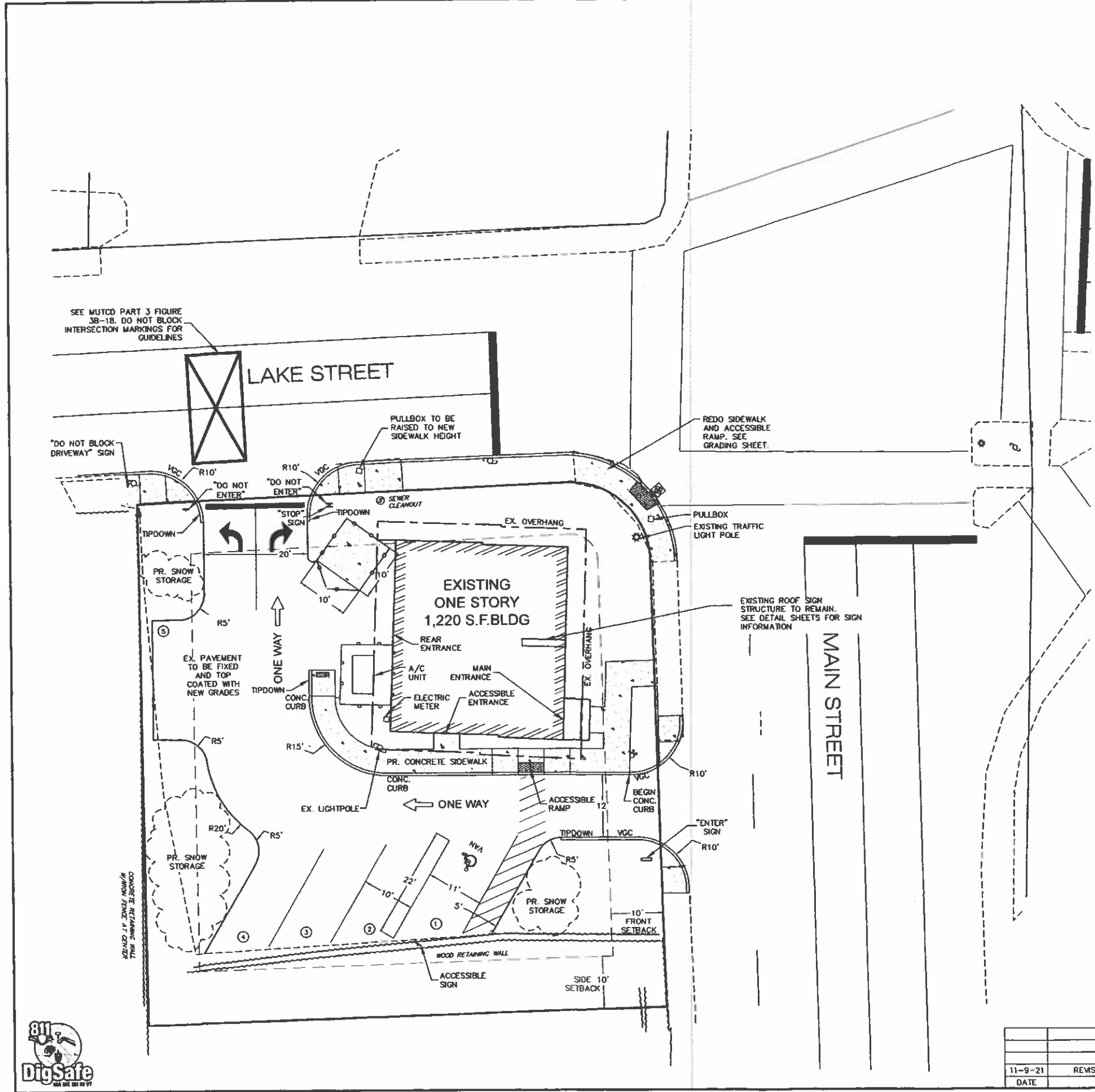
Bedford Design Consultants, Inc.

ENGINEERS AND SURVEYORS

592 Harvey Road, Manchester, NH 03103
Telephone: (603) 622-5533
www.bedforddesign.com



11-9-21	REVISED PER ENGINEERING & FIRE COMMENTS	KAW	A
DATE	DESCRIPTION	BY	REV.



SEE MUTCD PART 3 FIGURE 3B-18. DO NOT BLOCK INTERSECTION MARKINGS FOR GUIDELINES

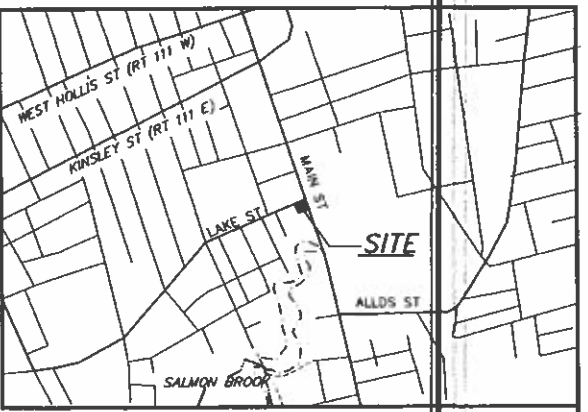
LAKE STREET

EXISTING ONE STORY 1,220 S.F. BLDG

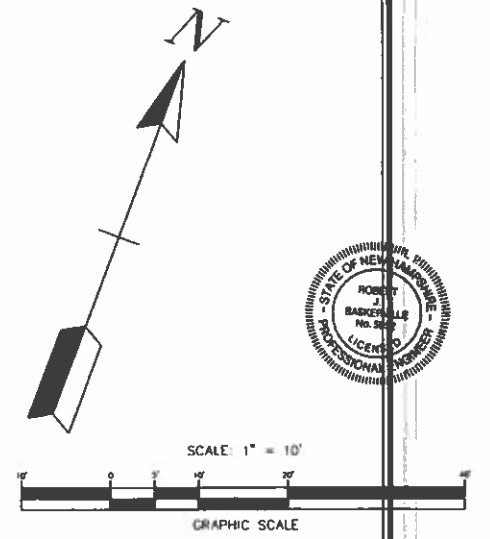
MAIN STREET

LEGEND

- EXISTING UTILITY POLE
- EXISTING GUY WIRE
- REBAR FOUND
- STONE BOUND FOUND
- REBAR TO BE SET
- GRANITE BOUND TO BE SET
- IRON PIPE FOUND
- BENCHMARK SET
- ABUTTING PROPERTY LINE
- PROPOSED GUARDRAIL
- OVERHEAD WIRES
- SETBACK LINE
- PROPOSED CONTOUR 290
- EXISTING CONTOUR 290
- PROPOSED SPOT GRADE 430.3
- EXISTING SPOT GRADE 282.6
- PROPOSED LOT LINE
- EXISTING CATCH BASIN
- EXISTING GAS SHUT OFF
- LIGHT POLE
- SEWER MANHOLE
- EXISTING GAS LINE
- EXISTING WATER LINE
- EXISTING SEWER LINE
- PROPOSED CURBING
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- PROPOSED SIGN
- # OF PARKING SPACES
- PR. SAW CUT LINE
- PR. SILT SOCK



LOCUS MAP
(1" = 1,000')



TAX MAP 100 LOT 5

SITE PLAN
303 MAIN ST CHANGE OF USE
LOCATED AT:
303 MAIN ST
NASHUA, NEW HAMPSHIRE

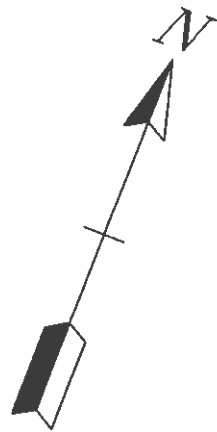
PREPARED FOR:
SD REALTY, LLC
238 LIBERTY AVE
NEW ROCHELLE, NY
(914) 424-3959

SCALE: 1"=10'	OCTOBER 7, 2021	SHEET 4 OF 9
DESIGN: KAW	DRAWN: KAW	CHECKED: RJB
		FR: M9
		1633-01

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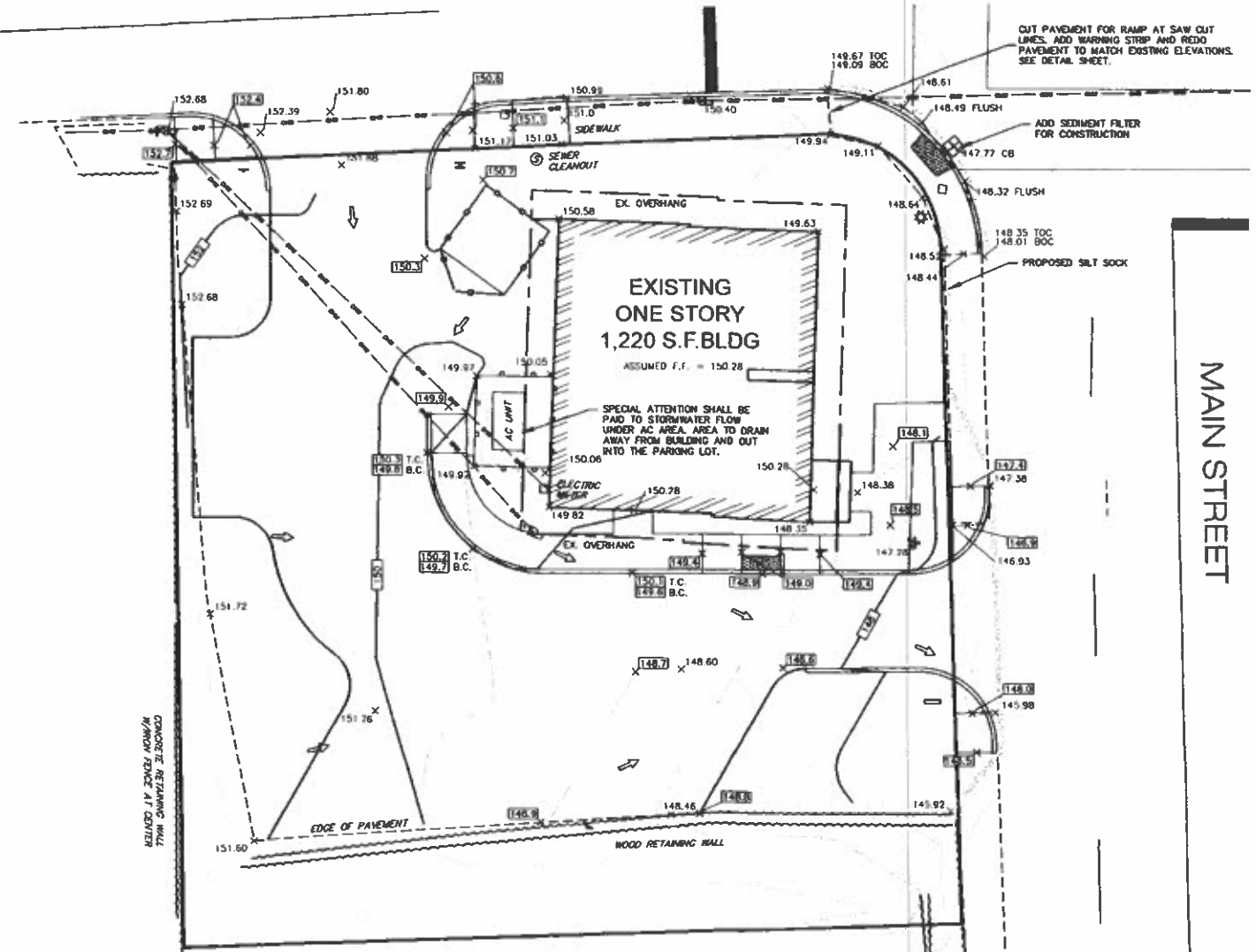


DATE	DESCRIPTION	BY	REV.
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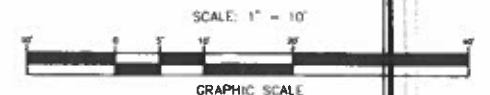
LEGEND

- EXISTING UTILITY POLE
- EXISTING GUY WIRE
- ⊙ REBAR FOUND
- ⊠ STONE BOUND FOUND
- ⊙ REBAR TO BE SET
- ⊙ GRANITE BOUND TO BE SET
- ⊙ IRON PIPE FOUND
- ⊙ BENCHMARK SET
- ABUTTING PROPERTY LINE
- PROPOSED GUARDRAIL
- OVERHEAD WIRES
- SETBACK LINE
- 250' PROPOSED CONTOUR
- 250' EXISTING CONTOUR
- ⊙ 282.6' PROPOSED SPOT GRADE
- ⊙ 282.6' EXISTING SPOT GRADE
- PROPOSED LOT LINE
- ⊠ EXISTING CATCH BASIN
- ⊙ EXISTING GAS SHUT OFF
- ⊙ LIGHT POLE
- ⊙ SEWER MANHOLE
- EXISTING GAS LINE
- EXISTING WATER LINE
- EXISTING SEWER LINE
- PROPOSED CURBING
- EXISTING ROADWAY
- EXISTING RETAINING WALL
- ⊙ EXISTING VEGETATION
- ACCESSIBLE WARNING STRIP
- EXISTING BUILDING
- PROPOSED SIDEWALK
- PROPOSED GRASS
- PROPOSED RIVERSTONE
- PROPOSED BARK MULCH
- PROPOSED LOADING ZONE AND CROSSWALK
- PROPOSED 6" VINYL FENCE
- ⊙ PROPOSED SIGN
- ⊙ # OF PARKING SPACES
- PR. SAW CUT LINE
- PR. SILT SOCK
- DRAINAGE FLOW ARROW



GRADING AND DRAINAGE NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE GRADING AND DRAINAGE IMPROVEMENTS ASSOCIATED WITH THE PROPOSED SITE PLAN.
2. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY/TOWN OF NASHUA AND SHALL BE BUILT IN A WORKMAN LIKE MANNER BY ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN IN THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE ADVISED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-800-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION AND/OR PROTECTION OF ALL UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTED AREA. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE WITH THE OWNER OF SAID UTILITIES.
5. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS CONSTRUCTION WORK AT ALL TIMES.
6. THE CONTRACTOR SHALL THOROUGHLY SECURE ALL EXCAVATIONS ON A DAILY BASIS AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
7. CONTRACTOR SHALL VERIFY T.B.M. ELEVATION PRIOR TO THE START OF CONSTRUCTION.
8. ALL PROPOSED AND EXISTING CATCH BASINS WHICH MAY RECEIVE STORMWATER RUNOFF FROM THE DEVELOPMENT DURING CONSTRUCTION SHALL BE OUTFITTED WITH STAIN INLET PROTECTION OR SILT SOCKS (SEE DETAILS SHEETS).
9. ALL CATCH BASIN Sumps AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN PAVED.
10. THE CONTRACTOR SHALL DISPOSE OF ANY UNSUITABLE MATERIAL FOUND ON-SITE (I.E. TRASH, STUMPS, ETC.) IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL REGULATIONS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN IN THE PLAN SET THROUGHOUT THE DURATION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE N.H.D.E.S. STANDARDS. IF DURING CONSTRUCTION IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE CITY/TOWN.
12. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THIS PLAN SET, PREPARED BY BEDFORD DESIGN CONSULTANTS, INC. DOES NOT EXTEND TO OR INCLUDE METHODS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REQUIREMENTS.
13. ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO LOCAL CITY/TOWN POLICE DEPARTMENT, AND DEPARTMENT OF PUBLIC WORKS SHALL BE EMPLOYED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
14. ADJUST ALL MANHOLES, CATCH BASIN, CURB BOXES, ETC. WITHIN THE LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.
15. THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE.
16. CONTRACTOR TO PROVIDE FINISHED PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS, AND LOADING AREAS.
17. ALL ELEVATIONS SHOWN AT THE CURB ARE TO THE BOTTOM OF THE CURB UNLESS OTHERWISE NOTED.
18. ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 8 INCHES. WHEN SIDEWALK IS TO BE FLUSH THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF ±1/8".
19. THE FINISHED GRADE AT THE BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH THE PAVEMENT, WITH A TOLERANCE OF PLUS OR MINUS 1/4".



TAX MAP 100 LOT 5
 GRADING & EROSION PLAN
 303 MAIN ST CHANGE OF USE
 LOCATED AT:
 303 MAIN ST
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR:
 SD REALTY, LLC
 238 LIBERTY AVE
 NEW ROCHELLE, NY
 (914) 424-3959



SCALE: AS NOTED OCTOBER 7, 2021 SHEET 5 OF 9

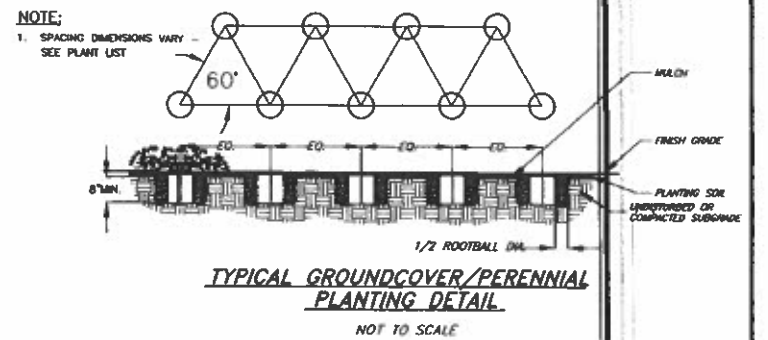
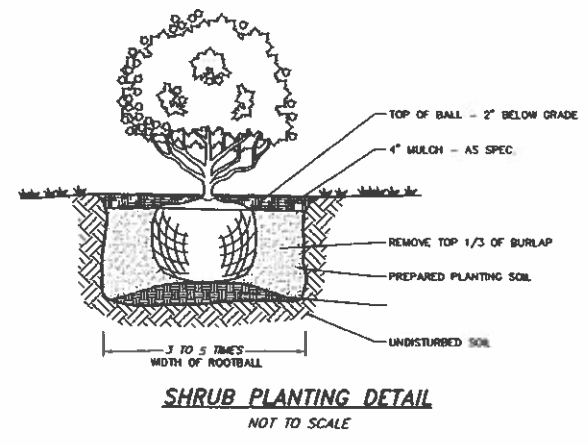
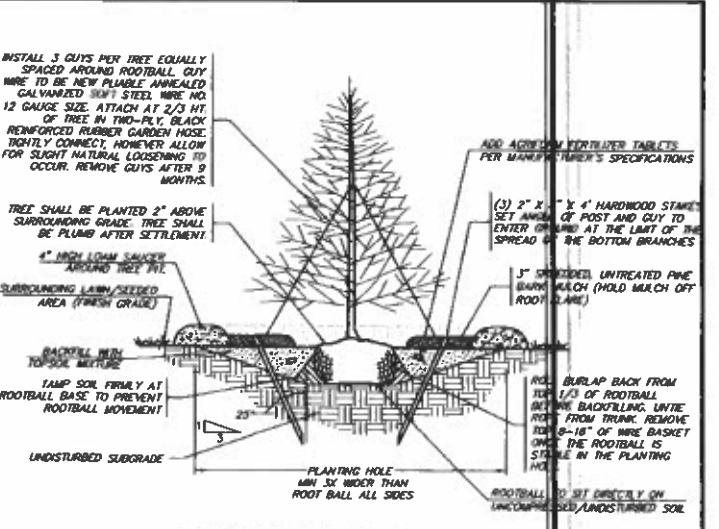
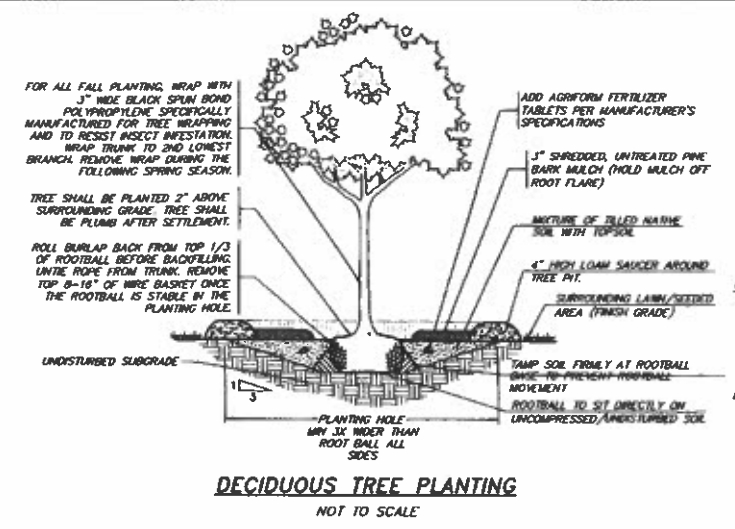
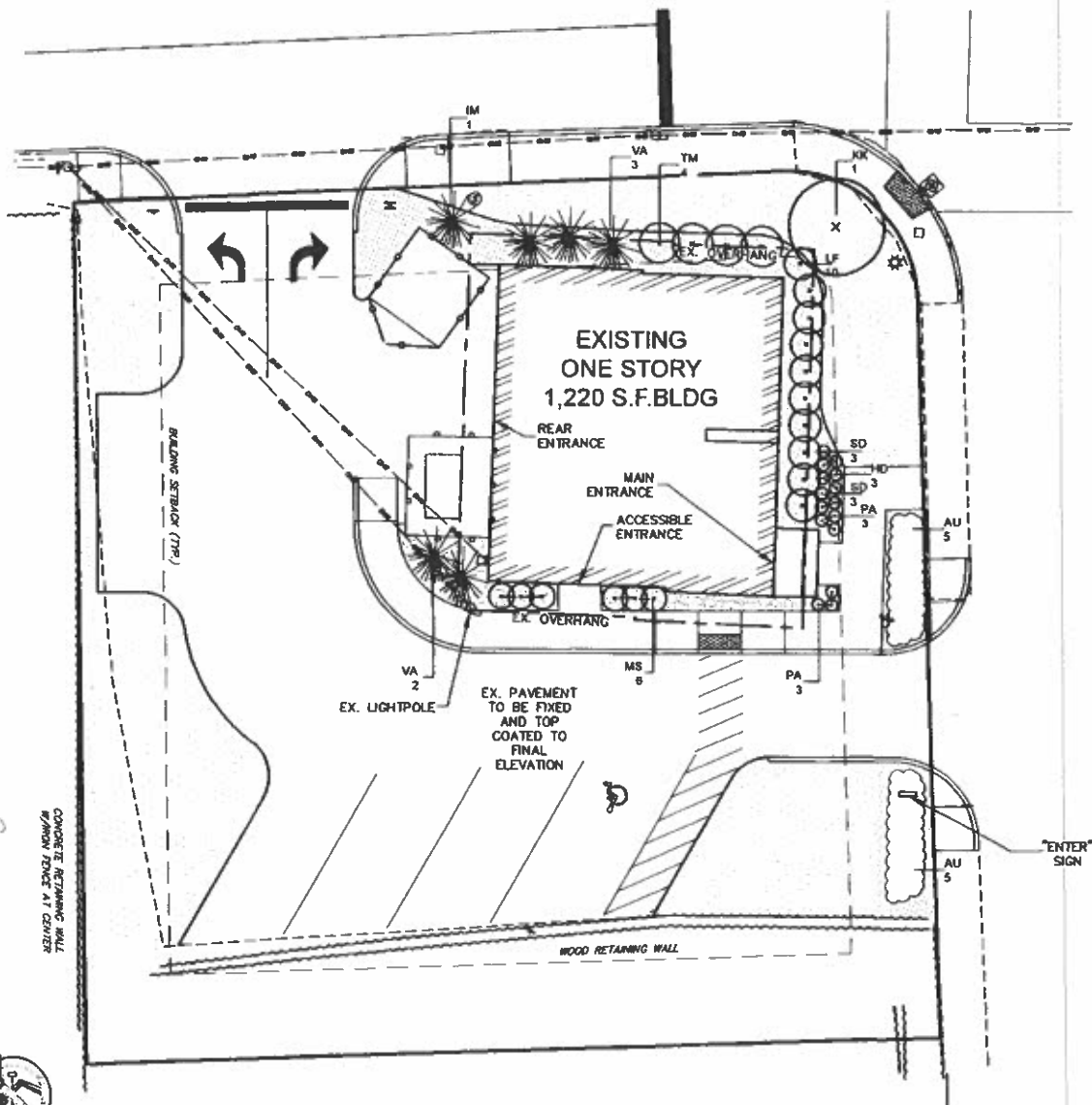


DESIGN:	DRAWN:	CHECKED:	FR:	DATE:
KAW	RJB	MH	HW	1633-01
Bedford Design Consultants, Inc.				
ENGINEERS AND SURVEYORS				
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Telephone: (603) 622-5533				
www.bedforddesign.com				

11-9-21	REVISED PER ENGINEERING & FIRE COMMENTS	KAW	A
DATE	DESCRIPTION	BY	REV.

LEGEND

	EXISTING UTILITY POLE		LIGHT POLE
	EXISTING GUY WIRE		SEWER MANHOLE
	REBAR FOUND		EXISTING GAS LINE
	STONE BOUND FOUND		EXISTING WATER LINE
	REBAR TO BE SET		EXISTING SEWER LINE
	GRANITE BOUND TO BE SET		PROPOSED CURBING
	IRON PIPE FOUND		EXISTING ROADWAY
	BENCHMARK SET		EXISTING RETAINING WALL
	ABUTTING PROPERTY LINE		EXISTING VEGETATION
	PROPOSED GUARDRAIL		ACCESSIBLE WARNING STRIP
	OVERHEAD WIRES		EXISTING BUILDING
	SETBACK LINE		PROPOSED SIDEWALK
	PROPOSED CONTOUR		PROPOSED GRASS
	EXISTING CONTOUR		PROPOSED RIVERSTONE
	PROPOSED SPOT GRADE		PROPOSED BARK MULCH
	EXISTING SPOT GRADE		PROPOSED LOADING ZONE AND CROSSWALK
	PROPOSED LOT LINE		PROPOSED 6" VINYL FENCE
	EXISTING CATCH BASIN		PROPOSED SIGN
	EXISTING GAS SHUT OFF		# OF PARKING SPACES
			PR. SAW CUT LINE
			PR. SILT SOCK

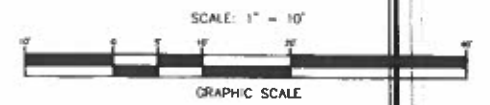


NOTES:

1. PLANT SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
2. PLANTS SELECTIONS ARE FROM MILLICAN NURSERIES 2021 CATALOGUE.
3. NASHUA DOES NOT REQUIRE ADHERENCE TO THE LANDSCAPE PARKING LOT REGULATIONS FOR PARKING LOTS UNDER 5 SPACES.

PLANT LIST

KEY	QUANTITY	LATIN NAME	COMMON NAME	MATURE SIZE	PURCHASE SIZE
TREES					
KK	1	KORNUS KOUSA 'HEART THROB'	HEART THROB HOUSA DOGWOOD	10'-15' H&W	2"-2.5" CAL
SHRUBS					
IM	1	ILEX MESERVEAE 'BLUE MAID'	BLUE MAID HOLLY	10'15"H X 6'-8"W	5'-6" B&B
LF	10	LEUCOTHOE FONTANESIANA 'SCARLETTA'	SCARLETTA LEUCOTHOE	12"-24"H X 3'-4"W	#3 POT
TM	4	TAXUS MEDIA 'EVER-LOW'	EVER-LOW YEW	12"-24"H X 5'-6"W	18-24" B&B
VA	3	VIBURNUM ACERIFOLIUM	MAPLE LEAF VIBURNUM	5'-6"H X 4'-5"W	#3 POT
PERENNIALS/GROUNDCOVERS					
AU	10	ARCTOSTEPHYLOS UVA-URSI	COMMON BEARBERRY	6"H X 4'-5"W	#1 POT
HD	3	HEMERICOLLIS 'DYNAMITE RETURNS'	DYNAMITE RETURNS DAYLILY	18"-24" H&W	#2 POT
MS	6	MISCANTHUS SINENSIS 'ADAGIO'	DWARF MAIDEN GRASS	3'-4" H&W	#1 POT
PA	6	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	12" H&W	#1 POT
SD	6	SEDUM 'DARK MAGIC'	DARF MAGIC STONECROP	18" H&W	#1.5 POT



TAX MAP 100 LOT 5

LANDSCAPE PLAN
303 MAIN ST CHANGE OF USE
LOCATED AT:
303 MAIN ST
NASHUA, NEW HAMPSHIRE

PREPARED FOR:
SD REALTY, LLC
238 LIBERTY AVE
NEW ROCHELLE, NY
(914) 424-3959

SCALE: 1"=10' OCTOBER 7, 2021 SHEET 6 OF 9

DESIGN: KAW DRAWN: RJB CHECKED: RJB DATE: 10/7/21

1633-01

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GENERAL CONSTRUCTION NOTES:

- BOTH THE CONTRACTOR AND OWNER NEED TO SUBMIT A SEPARATE "NOTICE OF INTENT" TO BE COVERED BY THE N.H.D.E.S. GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
- A MANDATORY PRECONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN, CONTRACTOR, OWNER, AND ALL UTILITY REPRESENTATIVES PRIOR TO CONSTRUCTION. NO WORK SHALL BEGIN UNTIL APPROVAL BY THE HIGHWAY DEPARTMENT HAS BEEN OBTAINED.
- ALL CONSTRUCTION MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROPRIATE SECTION OF THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS (LATEST EDITION) AND LOCAL REGULATIONS.
- ANY SUBSTITUTIONS OF MATERIALS SHALL BE APPROVED BY THE ENGINEER IN WRITING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LOCAL AND STATE CONSTRUCTION PERMITS PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND ACTUAL FIELD CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
- SHOULD GROUND WATER OR UNSATURABLE MATERIALS BE ENCOUNTERED DURING CONSTRUCTION, THE ENGINEER SHALL BE CONTACTED IMMEDIATELY FOR DETERMINATION OF POSSIBLE CONSTRUCTION DESIGN CHANGES SUCH AS (BUT NOT LIMITED TO) UNDERDRAINS OR ALIGNMENT AND GRADE CHANGES.
- CLEARING THE SITE SHALL INCLUDE THE REMOVAL AND DISPOSAL OF DOWN TIMBER, RUBBISH AND DEBRIS FOUND EXISTING WITHIN THE AREAS TO BE CLEARED. CLEARING SHALL NOT TAKE PLACE UNTIL THE CONTRACTOR HAS DETERMINED FROM THE OWNER WHICH TREES ARE TO BE SAVED WITHIN THE CLEARING LIMITS.
- PAVEMENT OF THE ROADWAY SHALL CONSIST OF A HOT BITUMINOUS LAYER, A CRUSHED GRAVEL LAYER AND A GRAVEL SUBBASE LAYER.
 - BITUMINOUS TYPE F WEARING AND TYPE B BASE COURSES SHALL BE CONSTRUCTED PER N.H.D.O.T. SPECIFICATION 401 CONSTRUCTION REQUIREMENTS.
 - GRAVEL SHALL MEET THE REQUIREMENTS OF N.H.D.O.T. 304.2.
 - CRUSHED GRAVEL SHALL MEET THE REQUIREMENTS OF N.H.D.O.T. 304.3.
 - REFER TO THE TYPICAL ROAD CROSS SECTION DETAIL FOR DIMENSIONS.
- COMPACTION OF BACKFILL:
 - GRASSED AREAS: EMBANKMENT FILL AREAS SHALL CONSIST OF COMMON FILL PLACED IN 12 INCH LIFTS AND COMPACTED TO 90% ROADWAY. THE COMPACTION REQUIREMENTS FOR MATERIALS PLACED AS BACKFILL, SUBGRADE, BASE COURSE AND PAVEMENT SHALL BE AS SPECIFIED FOR EACH SEPARATE ITEM IN THE N.H.D.O.T. "STANDARD SPECIFICATIONS" FOR ROAD AND BRIDGE CONSTRUCTION.
- SHOULD FROZEN MATERIAL BE ENCOUNTERED, IT SHALL NOT BE PLACED IN THE BACKFILL NOR SHALL BACKFILL BE PLACED UPON FROZEN MATERIAL.
- THE DISTURBED AREA SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
- ALL SEEDED AREAS SHALL BE MULCHED WITHIN 24 HOURS AFTER SEEDING. A GOOD QUALITY OF STRAW MULCH SHOULD BE USED AND APPLIED AT THE RATE OF 2 TONS PER ACRE.
- ALL SLOPES GREATER THAN 3:1 MUST BE MATTED WITH NORTH AMERICAN GREEN S1509N EROSION CONTROL BLANKETING.
- THE SLOPE SHALL BE MANAGED TO MEET THE REQUIREMENTS OF AND INTENT OF RSA 430:51-57 AND ANY 1000 RELATIVE TO INVASIVE SPECIES; AND FUGITIVE DUST IS TO BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000.
- THE CITY OF NASHUA RESERVES THE RIGHT TO REQUIRE THAT ADDITIONAL EROSION CONTROL MEASURES BE INSTALLED DURING CONSTRUCTION BASED ON FIELD OBSERVATIONS/INSPECTIONS.

CONSTRUCTION SEQUENCE:

- A MANDATORY PRECONSTRUCTION MEETING SHALL BE HELD WITH THE CITY, CONTRACTOR, OWNER, AND ALL UTILITY REPRESENTATIVES PRIOR TO CONSTRUCTION. NO WORK SHALL BEGIN UNTIL APPROVAL BY THE PUBLIC WORKS DEPARTMENT HAS BEEN OBTAINED.
- CLEAR AREA FOR CONSTRUCTION ENTRANCE AND INSTALL STABILIZED CONSTRUCTION ENTRANCES AS SHOWN ON THESE PLANS.
- CUT AND CLEAR TREES IN CONSTRUCTION AREAS ONLY.
- CONSTRUCT TEMPORARY AND PERMANENT SEDIMENT, EROSION AND DETENTION CONTROL FACILITIES AS PER THE NOTES IN THESE DRAWINGS. EROSION, SEDIMENT, AND DETENTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION.
 - SILT FENCE
 - RIP RAP LINED SWALES
 - RIP RAP ARRANGED AT CURVE/OUTLETS
 - TREATMENT SWALES
 - DETENTION PONDS
- ALL DITCHES/SWALES/BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- DURING CONSTRUCTION, IF IT BECOMES APPARENT THAT ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION AND SEDIMENT CONTROL MEASURES.
- FINISH CLEARING AND GRUBBING.
- CONSTRUCT TEMPORARY DIVERSIONS AND DIVERSION CHANNELS, AS NECESSARY.
- CONSTRUCT CONSTRUCTION ENTRANCE FOR ACCESS TO DESIRED CONSTRUCTION AREAS.
- BEGIN CONSTRUCTION OF UTILITIES AND STORM DRAINAGE AS NECESSARY.
- UTILITY EROSION CONTROL MEASURES.
- BEGIN PERMANENT AND TEMPORARY INSTALLATION OF SEED AND MULCH. ALL CUT AND FILL SLOPES SHALL BE STABILIZED.
- MARK, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAIN DITCHES, SILT FENCES, SEDIMENT TRAPS, ETC., MULCH AND SEED AS NECESSARY.
- PAVE ALL PARKING AREAS AS SPECIFIED ON THE PLAN.
- INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. ALL EROSION AND SEDIMENT CONTROL MEASURES NEED TO BE INSPECTED WEEKLY AND AFTER EVERY 0.5" OF RAINFALL.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 72 HOURS OF FINISH GRADING. MAXIMUM EXPOSURE LENGTH FOR ALL DISTURBED AREAS IS 30 DAYS.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDED AREAS HAVE ESTABLISHED THEMSELVES AND SITE IMPROVEMENTS ARE COMPLETED.

FUELING AND MAINTENANCE OF CONSTRUCTION EQUIPMENT

- IF ANY CONSTRUCTION EQUIPMENT, INCLUDING BUT NOT LIMITED TO EARTHMOVING, EXCAVATION, AND BORING EQUIPMENT, WILL BE FUELED FROM A TANK TRUCK OR OTHER CONTAINER THAT IS MOVED AROUND THE SITE, THE FOLLOWING SHALL APPLY:
 - PORTABLE CONTAINMENT EQUIPMENT THAT IS SIZED TO CONTAIN THE MOST LIKELY VOLUME OF FUEL TO BE SPILLED DURING A FUEL TRANSFER SHALL BE USED, WHERE THE MOST LIKELY VOLUME TO BE SPILLED IS DETERMINED BASED ON THE FUEL TRANSFER RATE, THE AMOUNT OF FUEL BEING TRANSFERRED, THE DISTANCE BETWEEN THE NOSE, NOZZLE AND PUMP SHUT OFF SWITCH, AND THE RESPONSE TIME OF PERSONNEL AND EQUIPMENT AVAILABLE AT THE FACILITY.
 - THE CONTAINMENT EQUIPMENT SHALL BE POSITIONED TO CATCH ANY FUEL SPILLS DUE TO OVERTIPPING OF THE EQUIPMENT AND ANY OTHER SPILLS THAT MIGHT OCCUR AT OR NEAR THE FUEL FILLER PORT TO THAT EQUIPMENT.
 - THE TYPE OF CONTAINMENT EQUIPMENT USED AND ITS POSITIONING AND USE SHALL ACCOUNT FOR ALL OF THE DRAIN POINTS ASSOCIATED WITH THE FUEL FILLING PORT AND THE NOSE FROM THE FUEL DELIVERY TRUCK; AND
 - PERSONNEL SHALL NOT LEAVE THE IMMEDIATE AREA WHILE FUEL IS BEING TRANSFERRED, TO ENSURE THAT ANY SPILLS WILL BE OF LIMITED VOLUME.
- IF THE SITE WILL HAVE A FIXED LOCATION FOR FUELING CONSTRUCTION EQUIPMENT, THE FOLLOWING SHALL APPLY:
 - ALL FUEL CONTAINERS, INCLUDING BUT NOT LIMITED TO SKID-MOUNTED TANKS, DRUMS, AND FIVE GALLON CANS, SHALL HAVE SECONDARY CONTAINMENT THAT:
 - IS CAPABLE OF CONTAINING 110% OF THE VOLUME OF THE LARGEST FUEL STORAGE CONTAINER, AND
 - HAS AN IMPERVIOUS FLOOR.
 - SECONDARY CONTAINMENT FOR TANKS MAY COMPRISE A METAL, PLASTIC, POLYMER OR PRECAST CONCRETE VAULT PROVIDING 110 PERCENT OF THE VOLUME OF THE LARGEST FUEL STORAGE CONTAINER.
 - FOR FUEL CONTAINERS, SECONDARY CONTAINMENT MAY COMPRISE CONTAINMENT PALLETS.
 - THE AREA WHERE FUEL IS TRANSFERRED SHALL BE A FLAT, IMPERVIOUS AREA THAT:
 - IS ADJACENT TO THE FUEL CONTAINER(S); AND
 - EXTENDS BEYOND THE FULL REACH OR LENGTH OF THE FUEL HOSE; AND
 - SECONDARY CONTAINMENT AREAS MAY BE IN THE FORM OF A BASIN THAT IS:
 - SLOPED DOWN TO A CENTRAL LOW POINT OR BERMED ALONG THE PERIMETER;
 - LINED WITH A CONTINUOUS SHEET OF 20 MIL OR THICKER POLYMER MATERIAL OR APPROPRIATE GEOMEMBRANE LINER; AND
 - BACKFILLED WITH AT LEAST 6 INCHES OF SAND.

SITE MAINTENANCE AND INSPECTION PROGRAM

- REDEVELOPMENT**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT. MAINTENANCE PRACTICES SHALL INCLUDE, BUT ARE NOT LIMITED TO:

 - CLEANING OF CATCH BASINS TWICE PER YEAR OR MORE FREQUENTLY AS INDICATED BY WEEKLY INSPECTIONS AND/OR AFTER 0.5" RAINFALL EVENTS.
 - CLEANING OF SEDIMENT OR DEBRIS FROM STORM WATER MANAGEMENT AREA INLETS TWICE PER YEAR OR MORE FREQUENTLY AS INDICATED BY WEEKLY INSPECTIONS AND/OR AFTER 0.5" RAINFALL EVENTS.
 - WEEKLY SITE INSPECTIONS TO DETERMINE/IMPLEMENT NECESSARY REPAIR AND MAINTENANCE ACTIVITIES.
 - REMOVAL OF SEDIMENT BUILDUP ALONG SILT FENCES, STRAW BALE BARRIERS, GRASS SWALES, AND TREATMENT BASIN INLETS. REMOVE SEDIMENT BUILDUP IN BOTTOM OF TREATMENT BASINS SUCH THAT ALL OUTLETS ARE KEPT FREE FROM SEDIMENT AND DEBRIS.
 - INSPECTION/RECONSTRUCTION OF THE STABILIZED CONSTRUCTION ENTRANCE.
 - TREATMENT OF NON-STORMWATER RELATED DISCHARGES SUCH AS WATER LINE INSTALLATION FLUSH WATER OR GROUNDWATER FROM DEWATERING ACTIVITIES. THESE FLOWS SHOULD BE DIRECTED TO A TEMPORARY SEDIMENTATION BASIN OR CONSTRUCTED STORM WATER MANAGEMENT AREA WITH WATER QUALITY SPILLER OUTLETS.
 - SWEPT PAVED PARKING LOTS AND DRIVES REGULARLY TO MINIMIZE SEDIMENT ACCUMULATION.
- GOOD HOUSEKEEPING PRACTICES**

THE CONTRACTOR SHALL EMPLOY MEASURES AND PRACTICES TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS TO STORM WATER RUNOFF. THE CONTRACTOR SHALL USE CARE IN THE HANDLING, USE AND DISPOSAL OF MATERIALS SUCH AS PETROLEUM PRODUCTS, FERTILIZERS AND PAINTS TO ENSURE THAT THE RISK ASSOCIATED WITH THE USE OF THESE PRODUCTS IS MINIMIZED. THE FOLLOWING PRACTICES SHALL BE FOLLOWED DURING THE CONSTRUCTION OF THIS PROJECT:

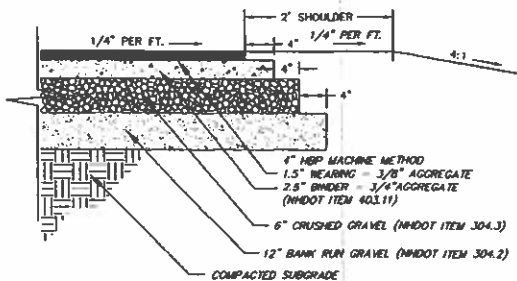
 - AN OFFICE SHALL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED FOR THIS SPECIFIC SITE.
 - MATERIALS STORED ON SITE SHALL BE STORED IN A HEAT, DRYLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER SUITABLE ENCLOSURE.
 - PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THEIR ORIGINAL LABELS.
 - WHENEVER POSSIBLE, ALL OF THE PRODUCT SHALL BE USED BEFORE DISPOSING OF THE CONTAINER.
 - THE MANUFACTURER'S RECOMMENDATIONS SHALL BE FOLLOWED IN REGARD TO THE PROPER USE AND DISPOSAL OF ALL PRODUCTS.
 - THE CONTRACTOR SHALL INSPECT DAILY TO ENSURE THE PROPER USE AND DISPOSAL OF ALL MATERIALS ON SITE.
- SPILL PREVENTION AND CLEANUP PRACTICES**

THE CONTRACTOR/OPERATOR SHALL BE RESPONSIBLE FOR THE SAFE HANDLING, USE AND DISPOSAL PROGRAM OF ALL HAZARDOUS MATERIALS FOR THE DURATION OF THIS PROJECT AND SHALL HAVE A SPECIFIC SPILL PREVENTION AND CLEANUP PROTOCOL FOR ALL HAZARDOUS MATERIALS, INCLUDING BUT NOT LIMITED TO:

 - MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THESE PROCEDURES AND THE LOCATION OF THE CLEANUP SUPPLIES.
 - MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIAL WILL INCLUDE, BUT NOT BE LIMITED TO, BROOMS, DUSTPANS, HOOPS, PAGES, GLOVES, GOGGLES, KITTY LITTER, SAND, SANDUST, AND PLASTIC/METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
 - ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
 - THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
 - SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
 - THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING, AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

COLD WEATHER STABILIZATION

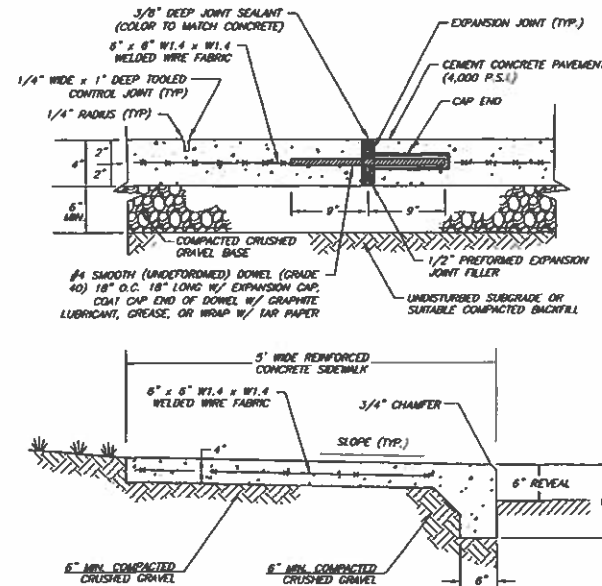
- TO ADEQUATELY PROTECT WATER QUALITY DURING COLD WEATHER AND DURING SPRING RUNOFF, THE ADDITIONAL STABILIZATION TECHNIQUES SPECIFIED IN THIS SECTION SHALL BE EMPLOYED DURING THE PERIOD FROM OCTOBER 15 THROUGH MAY 1.
- SUBJECT TO (C) BELOW, THE AREA OF EXPOSED UNSTABILIZED SOIL SHALL BE LIMITED TO ONE ACRE, AND PROTECTED AGAINST EROSION BY THE METHODS DESCRIBED IN THIS SECTION PRIOR TO ANY TPAW OR SPRING MELT EVENT.
- THE ALLOWABLE AREA OF EXPOSED SOIL MAY BE INCREASED IF A WINTER CONSTRUCTION PLAN IS DEVELOPED BY A QUALIFIED DESIGNER OR A CRESC SPECIADIST AND BY SUBMITTED TO THE DEPARTMENT FOR APPROVAL AS A REQUEST TO WAIVE THE ONE-ACRE LIMIT.
- SUBJECT TO (F) AND (G) BELOW, ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF LESS THAN 1:5E THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, OR THAT ARE DISTURBED AFTER OCTOBER 15, SHALL BE SEEDED AND COVERED WITH 3 TO 4 TONS OF HAY OR STRAW MULCH PER ACRE SECURED WITH ANCHORED NETTING OR TACKIFIER OR WITH AT LEAST 2 INCHES OF EROSION CONTROL MAT MEETING THE CRITERIA OF ENV-WO 1508.00(B).
- SUBJECT TO (F) AND (G) BELOW, ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF 1:5E OR GREATER THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, OR THAT ARE DISTURBED AFTER OCTOBER 15, SHALL BE SEEDED AND COVERED WITH A PROPOSED EROSION CONTROL MAT MEETING THE CRITERIA OF ENV-WO 1508.00(B).
- ANCHORED HAY MULCH OR EROSION CONTROL MAT THAT MEETS THE CRITERIA OF ENV-WO 1508.00(B) SHALL NOT BE INSTALLED OVER SNOW GREATER THAN ONE INCH IN DEPTH OR ON FROZEN GROUND.
- ALL PROPOSED STABILIZATION IN ACCORDANCE WITH (F) OR (G) ABOVE, SHALL BE COMPLETED WITHIN A DAY OF ESTABLISHING THE GRADE THAT IS FINAL OR THAT OTHERWISE WILL EXIST FOR MORE THAN 3 DAYS.
- ALL DITCHES OR SWALES THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, OR THAT ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS, AS DETERMINED BY THE OWNER'S ENGINEERING CONSULTANT.
- AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING AREAS WHERE ACTIVE CONSTRUCTION OF THE ROAD OR PARKING AREA HAS STOPPED FOR THE WINTER SEASON SHALL BE PROTECTED WITH A MINIMUM 3-INCH LAYER OF BASE COURSE GRAVELS MEETING THE GRAVATION REQUIREMENTS OF NDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, 2016, TABLE 304-1, ITEM 304.1, ITEM 304.1A, OR ITEM 304.1B.
- ALL EXPOSED STOCKPILES SHALL BE MULCHED PRIOR TO ANY SNOW EVENT. STANDARD PROTECTION OF STOCKPILES AS DESCRIBED IN OTHER SECTIONS APPLIES.
- IN THE EVENT OF SIGNIFICANT WIND OR CALM-LIKE WIND GREATER THAN 1 MPH DURING WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.



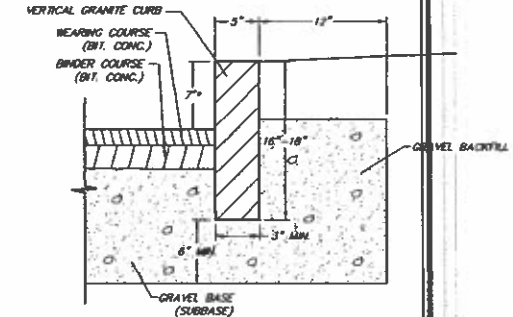
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SEEDING/MULCHING OF DISTURBED AREAS

- TEMPORARY AND PERMANENT MULCHING SHALL COMPLY WITH THE FOLLOWING:
- STRAW MULCHES SHALL BE ANCHORED WITH MULCH NETTING OR TACKIFIER SO THAT THEY ARE NOT BLOWN AWAY BY WIND OR WASHED AWAY BY FLOWING WATER.
 - MULCH MATERIALS SHALL BE SELECTED BASED UPON SOILS, SLOPE, FLOW CONDITIONS, AND TIME OF YEAR.
 - STRAW MULCH SHALL BE APPLIED AT A RATE OF 1.5 TO 2 TONS PER ACRE, EQUIVALENT TO 70 TO 90 POUNDS PER 1,000 SQUARE FEET.
 - WOOD CHIPS OR GROUND BARK SHALL BE APPLIED AT 2 TO 6 INCHES DEEP AT A RATE OF 10 TO 20 TONS PER ACRE, EQUIVALENT TO 400 TO 800 POUNDS PER 1,000 SQUARE FEET.
 - JUTE AND FIBROUS MATS AND WOOD CHIPS/DISKOR SHALL BE INSTALLED ACCORDING TO THE APPLICABLE MANUFACTURER'S INSTRUCTIONS; AND
 - EROSION CONTROL MAT SHALL:
 - MEET THE CRITERIA OF ENV-WO 1508.00(B); AND
 - BE PLACED AT A THICKNESS OF 2 INCHES OR MORE.
- VEGETATING DISTURBED AREAS SHALL BE COMPLETED ONLY AS SPECIFIED BELOW:
- ALL ESSENTIAL GRADING AND TEMPORARY STRUCTURES, SUCH AS DIVERSIONS, DAMS, DITCHES, AND DRAINS NEEDED TO PREVENT GULLING AND REDUCE SILTATION, SHOULD BE COMPLETED PRIOR TO SEEDING.
 - STONES AND TRASH SHALL BE REMOVED FROM THE AREA TO BE SEEDED SO AS NOT TO INTERFERE WITH THE SEEDING.
 - TILL THE SOIL TO A DEPTH OF ABOUT FOUR (4) INCHES TO PREPARE A SEEDBED AND MIX FERTILIZER INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
 - ON SLOPES 4:1 OR STEEPER, FINAL PREPARATION OF THE AREA TO BE SEEDED SHALL INCLUDE CREATING GROOVES IN THE SOIL, PERPENDICULAR TO THE DIRECTION OF THE SLOPE TO CATCH SEED AND REDUCE RUNOFF.
 - IF NEEDED TO ENSURE GROWTH, FERTILIZER OR OTHER ORGANIC SOIL AMENDMENTS SHALL BE APPLIED DURING THE GROWING SEASON.
 - FERTILIZER APPLIED TO ANY AREA WITHIN 100 FEET OF ANY RIVER, STREAM, POND, OR LAKE SHALL BE LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER ONLY.
 - FERTILIZER APPLIED TO ANY AREA THAT IS SUBJECT TO RSA 483-B, THE COMPREHENSIVE WATER QUALITY PROTECTION ACT (ACT), SHALL MEET OR BE MORE PROTECTIVE OF WATER QUALITY THAN THE MINIMUM STANDARDS OF THE ACT.
 - ALL SEEDED AREAS SHALL BE FERTILIZED. FERTILIZATION SHALL BE AT THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER.
 - ALL GRADED AREAS SHALL BE SEEDED WITH:
 - TALL FESCUE: 20 POUNDS PER ACRE
 - CREEPING RED FESCUE: 20 POUNDS PER ACRE
 - BIRDFOOT TREFOIL: 8 POUNDS PER ACRE
 - TOTAL: 48 POUNDS PER ACRE LIVE SEED
 - SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING, AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH 0.25 IN. OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
 - RUNOFF SHALL BE DIVERTED FROM THE SEEDED AREA.
 - SUBJECT TO (H) BELOW, SEEDING SHALL OCCUR PRIOR TO SEPTEMBER 15TH OF THE YEAR IN WHICH THE AREA BEING SEEDED WAS DISTURBED.
 - AREAS SEEDING BETWEEN MAY 15TH TO AUGUST 15TH SHALL BE COVERED WITH HAY OR STRAW MULCH MEETING THE CRITERIA OF ENV-WO 1508.00(A) THROUGH (C); AND
 - IF VEGETATED GROWTH COVERING AT LEAST 85% OF THE DISTURBED AREA IS NOT ACHIEVED PRIOR TO OCTOBER 15TH, ONE OR MORE ADDITIONAL EROSION CONTROL METHODS SHALL BE IMPLEMENTED.



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NOTES:
MINIMUM LENGTH OF STRAIGHT CURB STONES = 3'

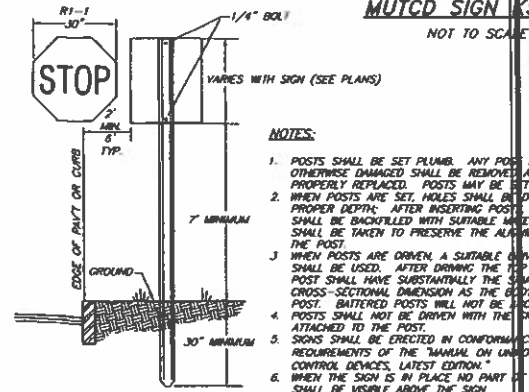
RADIUS	MAXIMUM LENGTH
< 2'	USE CURVED STONE
2' - 3'	3'
3' - 4'	4'
4' - 5'	5'
5' - 6'	6'
6' - 7'	7'
7' - 8'	8'
8' - 9'	9'
9' - 10'	10'

MINIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVE = SEE CHAIR
ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH
• 2" AT DRIVEWAYS AND 6" AT SIDEWALK RAMPS

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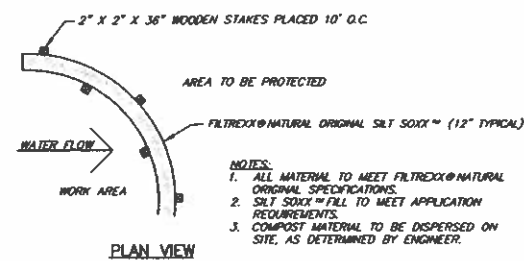
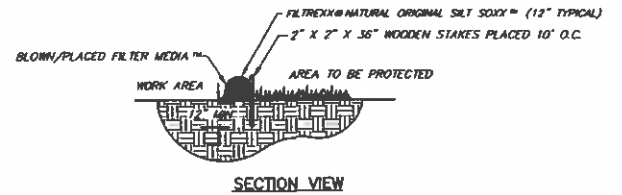
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TAX MAP 100 LOT 5
CONSTRUCTION DETAIL SHEET 1
303 MAIN ST CHANGE OF USE
LOCATED AT:
303 MAIN ST
NASHUA, NEW HAMPSHIRE
PREPARED FOR:
SD REALTY, LLC
238 LIBERTY AVE
NEW ROCHELLE, NY
(914) 424-3959

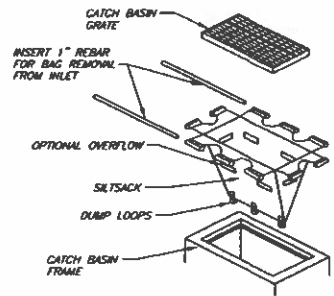


SCALE: AS NOTED	OCTOBER 7, 2021	SHEET 7 OF 9
DESIGN: KAW	DRAWN: KAW	CHECKED: RJB
DATE: 11-9-21	REVISION: REVISED PER ENGINEERING & FIRE COMMENTS	BY: KAW A

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FILTREXX NATURAL ORIGINAL SILT SOXX DETAIL
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- NOTES:**
1. INLET BASKETS SHALL BE USED ON ALL CATCH BASINS DURING CONSTRUCTION. INLET BASKETS SHALL BE "SILTSACK" OR APPROVED EQUAL.
 2. THE FILTER FABRIC SHALL BE A WOVEN POLYPROPYLENE GEO-TEXTILE FABRIC MEETING THE FOLLOWING SPECIFICATIONS:
 GRAB TENSILE STRENGTH: 300 LBS. MINIMUM (ASTM D-4832)
 GRAB ELONGATION: 20% MINIMUM (ASTM D-4832)
 PUNCTURE: 120 LBS. MINIMUM (ASTM D-4832)
 TENSILE TEAR STRENGTH: 120 LBS. MINIMUM (ASTM D-4533)
 MAXIMUM BURST STRENGTH: MINIMUM 800 PSF (ASTM D-3706)
 3. THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 40 U.S. STANDARD SIEVE AND MINIMUM PERMEABILITY OF 40 GPM/50 FT.
 4. THE INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM ENTERING THE DRAINAGE PIPING SYSTEM AND/OR CAUSING SURFACE FLOODING.
 5. INLET BASKET SHALL BE MAINTAINED IN PLACE UNTIL ALL PAVING IS COMPLETED AND ALL UNPAVED AREAS HAVE BEEN STABILIZED WITH VEGETATION.

INSTALLATION AND MAINTENANCE NOTES:

TO INSTALL THE SILTSACK® IN THE CATCH BASIN, REMOVE THE GRATE AND PLACE THE SACK IN THE OPENING. HOLD APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME. THIS IS THE AREA OF THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.

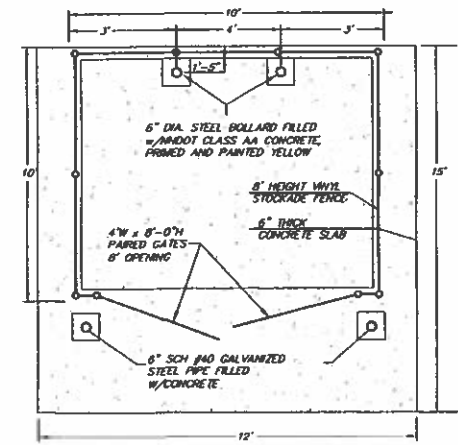
THE SILTSACK® IS FULL AND SHOULD BE EMPTIED WHEN THE YELLOW RESTRAINT CORD IS NO LONGER VISIBLE.

TO REMOVE THE SILTSACK®, TAKE TWO PIECES OF 1" DIAMETER REBAR AND PLACE THROUGH THE LIFTING STRAPS ON EACH SIDE OF THE SACK TO FACILITATE THE LIFTING OF THE SILTSACK®.

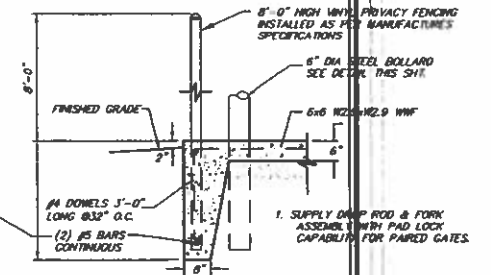
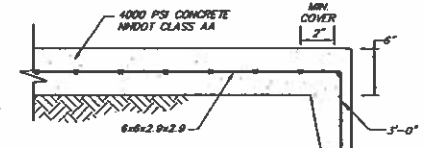
TO EMPTY THE SILTSACK®, PLACE IT WHERE THE CONTENTS WILL BE COLLECTED. PLACE THE REBAR THROUGH THE LEFT STRAPS (CONNECTED TO THE BOTTOM OF THE SACK) AND LIFT. THIS WILL TURN THE SILTSACK® INSIDE OUT AND EMPTY THE CONTENTS. CLEAN OUT AND RINSE. RETURN THE SILTSACK® TO ITS ORIGINAL SHAPE AND PLACE BACK IN THE BASIN.

THE SILTSACK® IS REUSABLE. ONCE THE CONSTRUCTION CYCLE IS COMPLETE, REMOVE THE SILTSACK® FROM THE BASIN AND CLEAN. THE SILTSACK® SHOULD BE STORED OUT OF THE SUNLIGHT WHEN NOT IN USE.

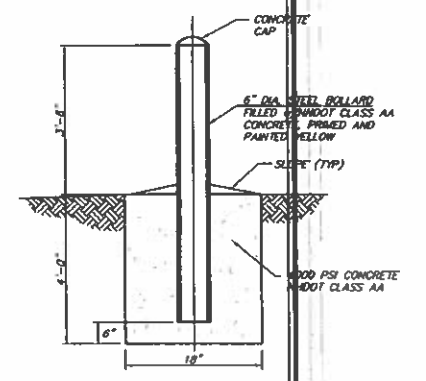
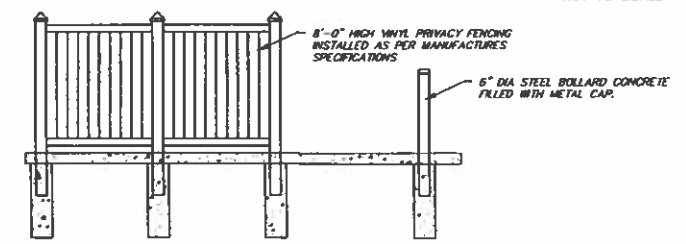
INLET SEDIMENT FILTER BASKET
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DUMPSTER ENCLOSURE DETAIL
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DUMPSTER ENCLOSURE SCREENING SECTION
 NOT TO SCALE



TYPICAL BOLLARD DETAIL FOR DUMPSTER PAD
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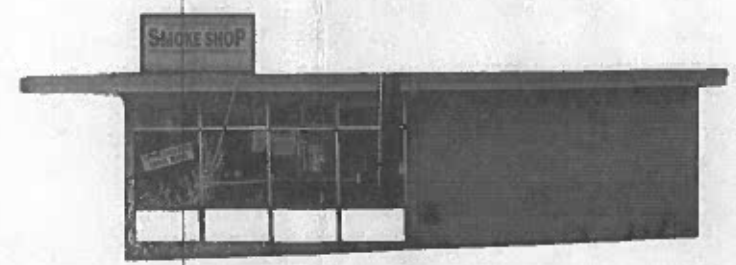
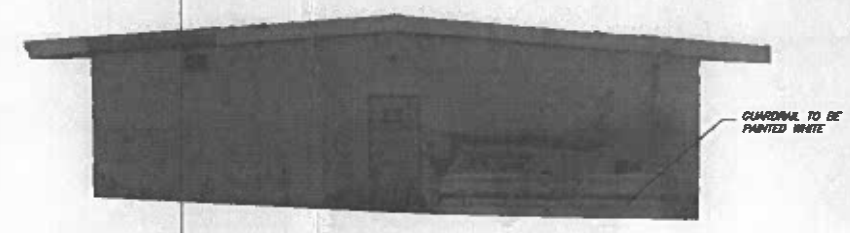
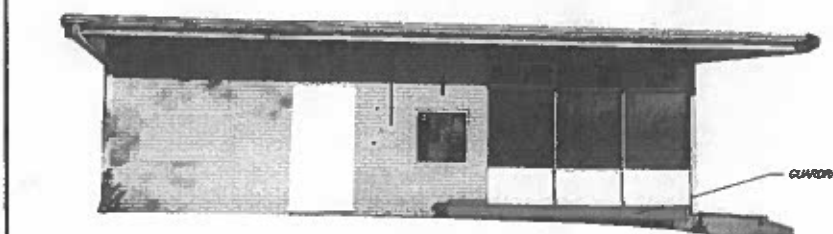
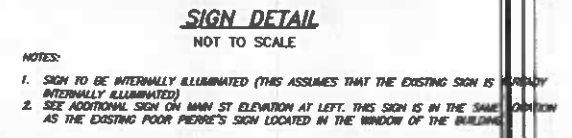
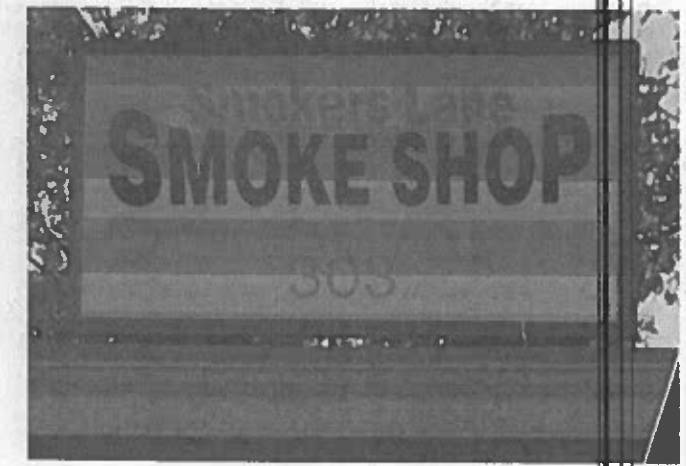
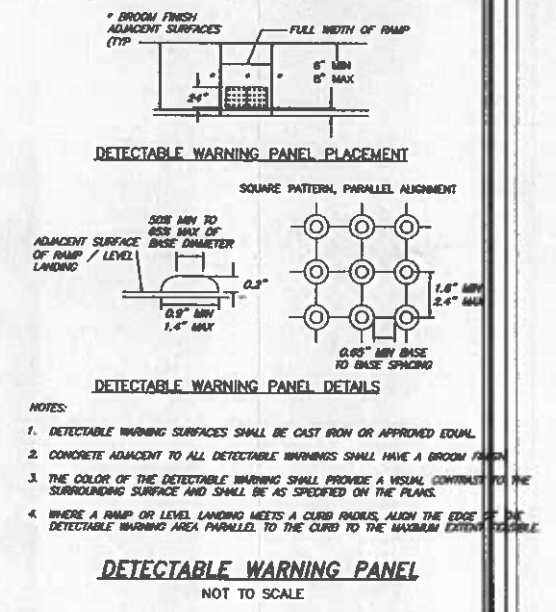
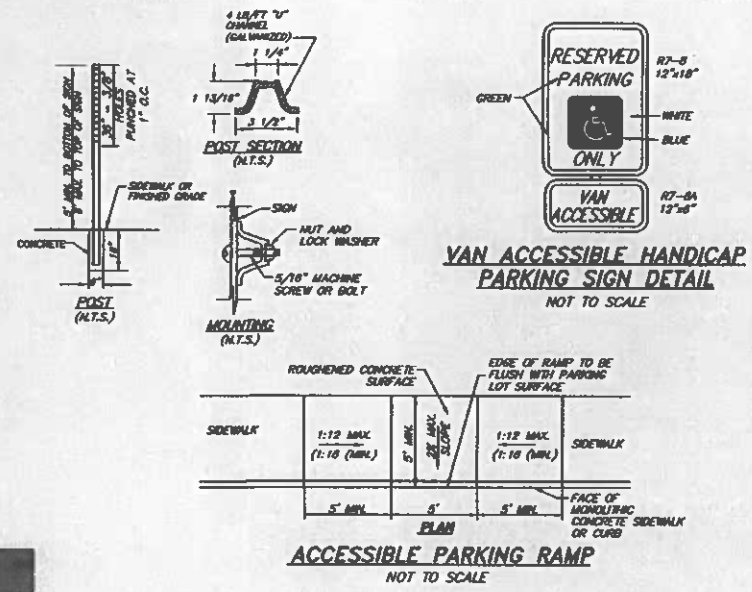
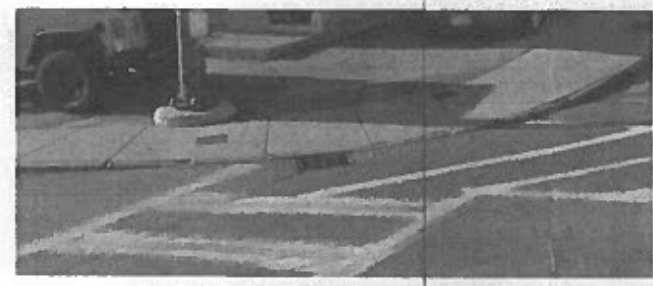
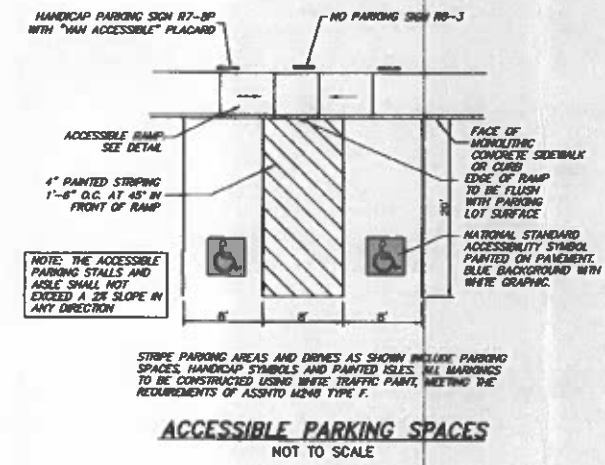
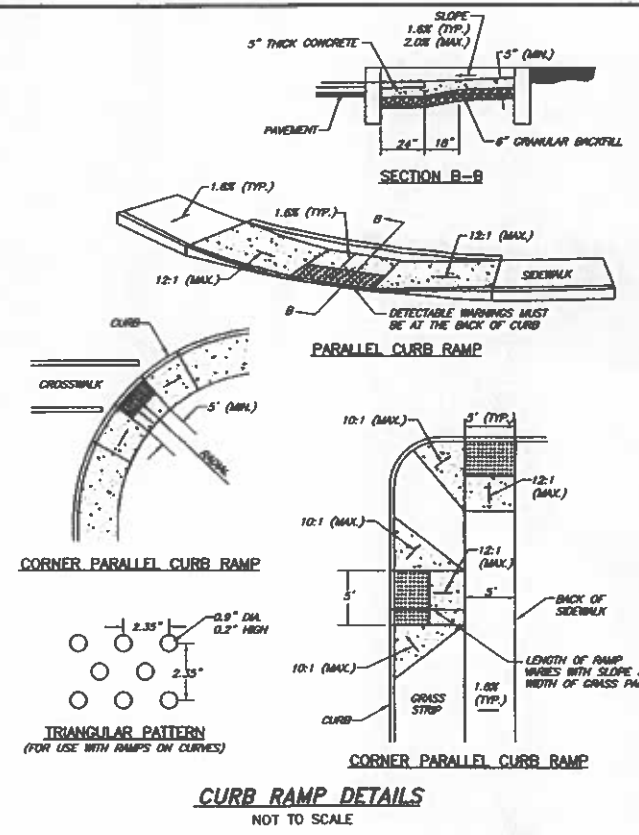
TAX MAP 100 LOT 5
CONSTRUCTION DETAIL SHEET 2
303 MAIN ST CHANGE OF USE
 LOCATED AT:
303 MAIN ST
NASHUA, NEW HAMPSHIRE
 PREPARED FOR:
 SD REALTY, LLC
 230 LIBERTY AVE
 NEW ROCHELLE, NY
 (914) 424-3959

SCALE: AS NOTED OCTOBER 7, 2021 SHEET 8 OF 9

DESIGN: KAW	DRAWN: KAW	CHECKED: RJB	DATE: 10/7/21	PROJECT: 1633-01
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DATE	DESCRIPTION	BY	REV.
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TAX MAP 100 LOT 5
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303 MAIN ST CHANGE OF USE
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NASHUA, NEW HAMPSHIRE
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NEW ROCHELLE, NY
(914) 424-3959

SCALE: AS NOTED
OCTOBER 7, 2021
SHEET 9 OF 9

DESIGN KAW	DRAWN KAW	CHECKED RJB	DATE 10/7/21	PROJECT NO. 1633-01
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