

3 Congress Street Nashua, NH 03063 (603) 883-2057  
 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501  
 www.haynerswanson.com

Hayner/Swanson, Inc.



MAP 'T', LOT 38  
 SITE PLAN

# U-HAUL OF NASHUA

11 NORTHWEST BOULEVARD  
 NASHUA, NEW HAMPSHIRE

PREPARED FOR

**U-Haul Co. of Eastern Massachusetts**

1 MERRILL STREET, UNIT #14  
 SALISBURY, MASSACHUSETTS 01952  
 (978) 961-0170

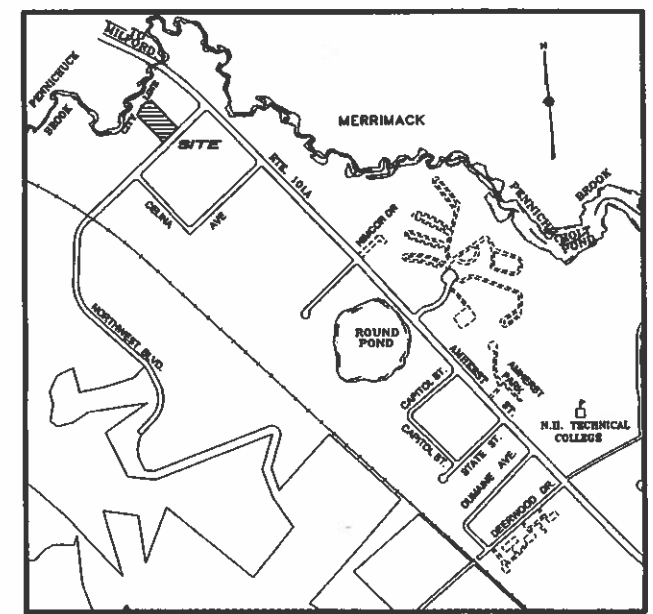
RECORD OWNER

**AMERCO REAL ESTATE CO.**

P.O. BOX 29046  
 PHOENIX, ARIZONA 85038-9046  
 (602) 263-6555

22 OCTOBER 2021

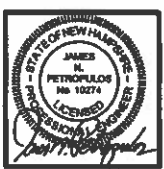
REVISED  
 16 DECEMBER 2021



VICINITY PLAN

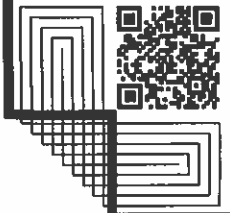
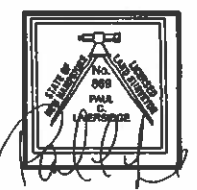
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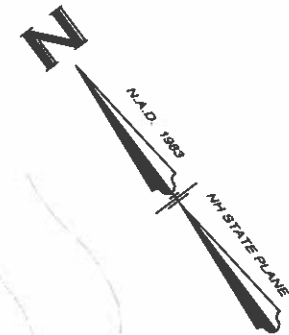
INDEX OF PLANS		
SHEET No.	TITLE	
1 OF 10	MASTER SITE PLAN	1"= 40'
2 OF 10	EXISTING CONDITIONS PLAN	1"= 30'
3 OF 10	SITE DEMOLITION PLAN & PAVING PLAN	1"= 20'
4 OF 10	SITE PLAN	1"= 20'
5 OF 10	EROSION CONTROL PLAN	1"= 30'
6 OF 10	DETAIL SHEET - EROSION CONTROL	
7-8 OF 10	DETAIL SHEET - GENERAL SITE	
9 OF 10	LANDSCAPE PLAN	1"= 30'
10 OF 10	PHOTOMETRIC SITE LIGHTING PLAN	1"= 30'



**HSI** Hayner/Swanson, Inc.

Civil Engineers/Land Surveyors  
 3 Congress Street Nashua, NH 03062 (603) 883-2057  
 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501  
 www.haynerswanson.com





MAP 1 LOT 39  
 NASH FAMILY INVESTMENT PROPERTIES  
 40 TEMPLE STREET  
 NASHUA, NH 03000-3427  
 BK 5491 PG 793  
 ZONE: GB  
 USE: COMMERCIAL

MAP 1 LOT 570  
 VALLEY PROPERTIES, INC.  
 875 EAST STREET  
 TEWKSBURY, MA 01876-1469  
 BK 2900 PG 787  
 ZONE: GB  
 USE: COMMERCIAL

MAP 1 LOT 32  
 DSM MB I, LLC  
 875 EAST STREET  
 TEWKSBURY, MA 01876-1469  
 BK 8716 PG 483  
 ZONE: GB  
 USE: COMMERCIAL

MAP 1 LOT 33  
 DSM MB I, LLC  
 875 EAST STREET  
 TEWKSBURY, MA 01876-1469  
 BK 8716 PG 483  
 ZONE: GB  
 USE: COMMERCIAL

MAP 1 LOT 35  
 NSA PROPERTY HOLDINGS, LLC  
 24801 DANA POINT HARBOR DRIVE  
 SUITE 200  
 DANA POINT, CA 92629  
 BK 8833 PG 2882  
 ZONE: PI  
 USE: WAREHOUSE

MAP 1 LOT 3  
 CITY OF NASHUA  
 P.O. BOX 2019  
 228 MAIN STREET  
 NASHUA, NH 03061-2019  
 BK 3035 PG 0253  
 ZONE: GB/PI  
 USE: MUNICIPAL

LIMIT OF WETLANDS AS FLAGGED BY WETLAND CONSULTING SERVICES AND SURVEYED BY HAYNES/SWANSON INC. JUNE 2021 (FLAGS AT THRU 48)

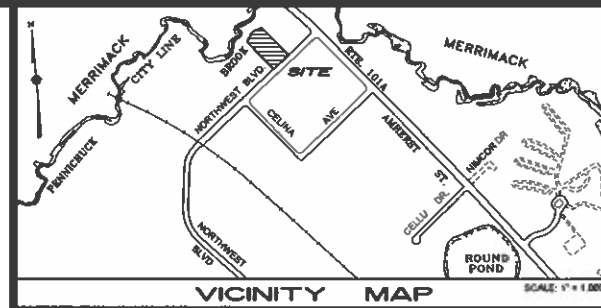
LIMIT OF WETLANDS AS FLAGGED BY WETLAND CONSULTING SERVICES AND SURVEYED BY HAYNES/SWANSON INC. AUGUST 2021 (FLAGS AT THRU 42)

PENNICHUCK BROOK

BROOK

GB - GENERAL BUSINESS  
 PI - PARK INDUSTRIAL

NORTHWEST BOULEVARD  
 (80 FT WIDE PUBLIC WAY ACCEPTED 1984)



**PLAN REFERENCE:**

LOT LINE RELOCATION & SUBDIVISION PLAN, LOTS 35 & 36, MAP 1, NORTHWEST BLVD, NASHUA, NEW HAMPSHIRE, PREPARED FOR: HASH - TAMPORE, SCALE: 1" = 100' DATED: 21 FEBRUARY 1984 AND PREPARED BY: ALLAN H. SWANSON, INC. RECORDED: NCRD PLAN No. 16487.

**NOTES:**

- LOT AREA: 2.53+ ACRES (110,204+ SF)
- PRESENT ZONING: PI - PARK INDUSTRIAL
- THE ENTIRE SITE PARCEL IS LOCATED IN THE WATER SUPPLY PROTECTION OVERLAY DISTRICT. LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAP 1.
- PURPOSE OF PLAN: TO AMEND MR-1909 TO CHANGE THE APPROVED USE FOR TRUCK AND TRAILER LEASING (USE #91) TO SELF-STORAGE (USE #93) AND TRUCK AND TRAILER LEASING (USE #91).
- PARKING: REQUIRED (TRUCK LEASING): MINIMUM 1 SPACE/500 SF x 400 SF = 1 SPACE; MAXIMUM 1 SPACE/150 SF x 400 SF = 3 SPACES; REQUIRED (SELF-STORAGE): MINIMUM 1 SPACE/1,000 SF x 7,820 SF = 8 SPACES; MAXIMUM N/A; PROVIDED (INCL 1 VAN ACCESSIBLE SPACE): CAR PARKING = 3 SPACES; TRUCK PARKING = 2 SPACES; \* WAIVER OF PARKING REQUIREMENTS REQUIRED.
- OPEN SPACE: REQUIRED 20%; PROVIDED 71.4%.
- THE MAJORITY OF THIS PARCEL IS DESIGNATED AS ZONE X AREA, EXCEPT FOR THE SWALE ALONG THE SOUTHWESTERLY (LEFT) SIDE LINE IS DESIGNATED ZONE AE ARSA AS DETERMINED FROM THE FLOOD INSURANCE RATE MAP (FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY No. 330077, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NUMBER: 33011C0410, EFFECTIVE DATE: SEPTEMBER 25, 2008.
- MONUMENTS, WHERE REQUIRED TO BE SET BY A LICENSED LAND SURVEYOR.
- ALL LANDSCAPING SHALL BE AS SHOWN ON THE PLANS AND CONFORM TO THE APPLICABLE CITY OF NASHUA ZONING REGULATIONS.
- ALL LIGHTING SHALL BE AS SHOWN ON THE PLANS, DIRECTED ONTO THE SITE AND CONFORM TO APPLICABLE CITY OF NASHUA ZONING REGULATIONS.
- ALL SIGNAGE SHALL CONFORM TO THE APPLICABLE CITY OF NASHUA REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
- SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION, GRADE AND NUMBER OF PARKING SPACES.
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY OF NASHUA PLANNING BOARD.
- PUBLIC STREET RESTORATION WORK, IF REQUIRED, SHALL BE IN ACCORDANCE WITH N.R.C. SECTION 285-13, LATEST EDITION.
- FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS, EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL-DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
- THIS PROPERTY IS CURRENTLY SERVICED BY PUBLIC SEWER AND WATER BY PENNICHUCK WATER WORKS. UTILITIES, INCLUDING ELECTRIC, TELEPHONE, CABLE TELEVISION AND OTHER COMMUNICATION LINES, BOTH MAIN AND SERVICE CONNECTIONS, SERVICING NEW DEVELOPMENTS SHALL BE PROVIDED BY UNDERGROUND WIRING WITHIN EASEMENTS OR DEDICATED PUBLIC RIGHT-OF-WAY, INSTALLED IN ACCORDANCE WITH THE BOARD OF PUBLIC WORKS SPECIFICATIONS.
- STREET ADDRESS SHALL BE POSTED ON SITE PRIOR TO THE OCCUPANCY OF THE NEW BUILDINGS.
- A PRE-CONSTRUCTION MEETING WITH THE CITY OF NASHUA PLANNING/ENGINEERING/FIRE DEPARTMENT STAFF SHALL TAKE PLACE PRIOR TO ANY WORK BEING PERFORMED.
- PRIOR TO A BUILDING PERMIT BEING ISSUED, BONDING FOR ALL PUBLIC STREET IMPROVEMENTS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEERING DEPARTMENT AND CORPORATION COUNSEL.
- PRIOR TO A BUILDING PERMIT BEING ISSUED, DOCUMENTS PERTAINING TO THE STORMWATER OPERATION AND MAINTENANCE PLAN SHALL BE RECORDED.
- AN ELECTRONIC FILE SHALL BE SUBMITTED TO THE CITY OF NASHUA PRIOR TO THE SIGNING OF THE FINAL MYLAR.
- HOURS OF OPERATION: MONDAY THRU SUNDAY: 24 HOURS.
- TRASH PICK-UP SHALL BE ON-SITE BY A PRIVATE CONTRACTOR.
- PRESENT OWNER OF RECORD: MAP 1, LOT 38; AMERCO REAL ESTATE CO.; P.O. BOX 26046; PHO ENX, AZ 85038-9046; BK 5828, PG 1980.

**LEGEND**

- EXISTING GROUND CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED GRADE
- PROPOSED SPOT GRADE
- STORM DRAIN & CATCH BASIN
- STORM DRAIN & MANHOLE
- STORM DRAIN & HEADWALL
- SANITARY SEWER & MANHOLE
- WATER MAIN & HYDRANT
- WATER MAIN & GATE VALVE
- GAS LINE & GATE VALVE
- UTILITY POLE WITH GUY SUPPORT
- STREET LIGHT
- OVERHEAD ELECTRIC & TELEPHONE
- UNDERGROUND ELECT/TEL & MANHOLES
- SIGN
- TREE LINE
- IRON PIN
- TEMPORARY BENCHMARK
- BUILDING SETBACK LINE
- WETLAND FLAGGING LIMIT
- WETLAND BUFFER LINE
- CHAINLINK FENCE
- CURBING
- VERTICAL GRANITE CURBING
- SLOPE GRANITE CURBING
- STORMWATER RUNOFF DIRECTION
- HANDICAP PARKING SPACE
- PARKING SPACE COUNT
- PAVEMENT SAWCUT
- REINFORCED CONCRETE
- PROPOSED FULL-DEPTH PAVEMENT
- RIPRAP / STONE
- CONIFEROUS TREE
- DECIDUOUS TREE
- SHRUBS

**ZONING NOTE #4**  
 THE ZONING BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNES/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDING OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

*[Signature]*  
 FOR AMERCO REAL ESTATE CO. DATE: 10/19/2021

THE UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE SITE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.  
*[Signature]*  
 FOR U-HAUL OF EASTERN MASSACHUSETTS DATE: 10/19/2021

**APPROVED**  
 NASHUA CITY PLANNING BOARD  
 CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

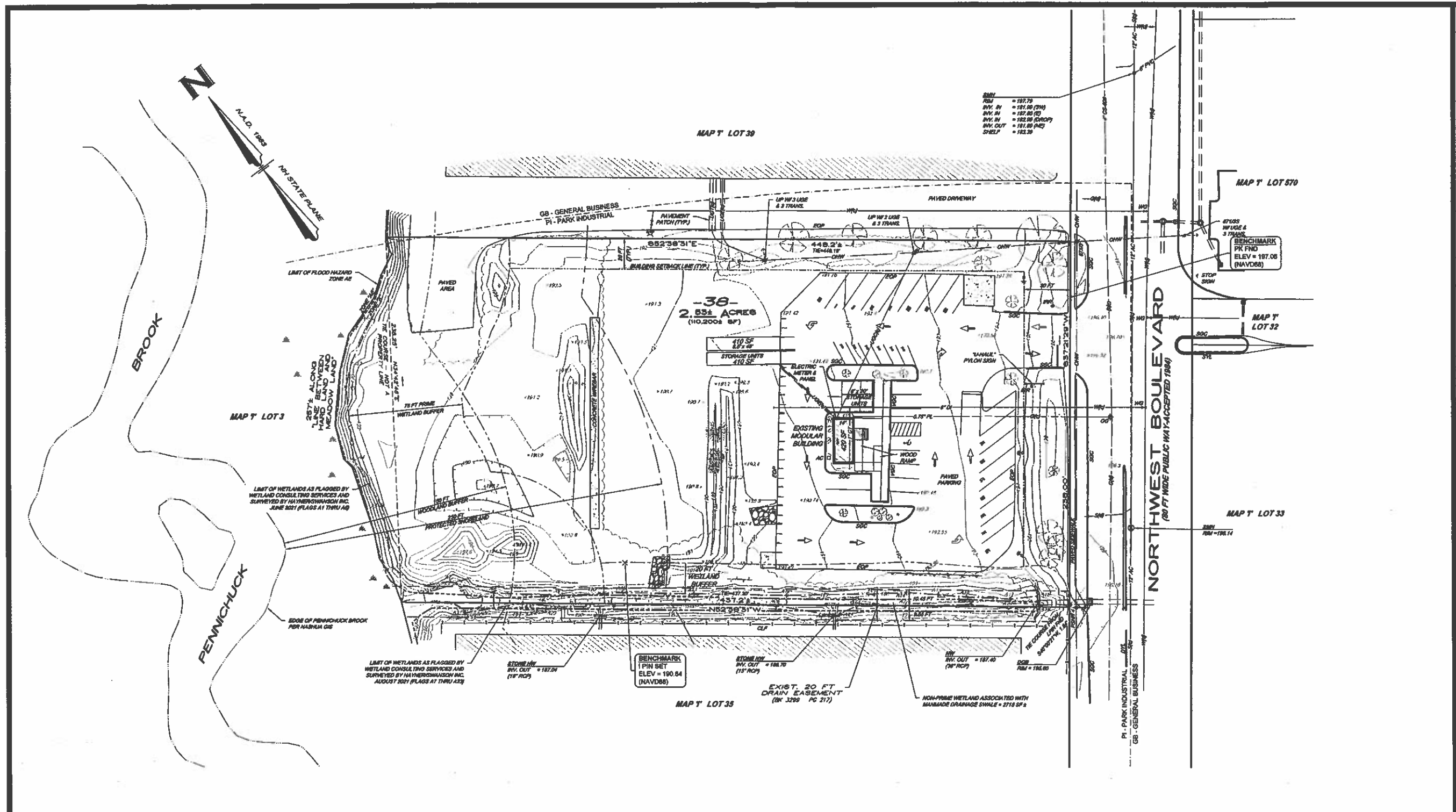


PREPARED FOR:  
**U-Haul Co. of Eastern Massachusetts**  
 1 WERRILL STREET, UNIT #14 SALISBURY, MA 01862 (978) 981-0170  
 RECORD OWNER:  
**AMERCO REAL ESTATE CO.**  
 P.O. BOX 26046 PHOENIX, ARIZONA 85038-9046 (602) 283-6555

**MASTER SITE PLAN**  
 (MAP 1, LOT 38)  
**U-HAUL OF NASHUA**  
 11 NORTHWEST BOULEVARD  
 NASHUA, NEW HAMPSHIRE

**HSI** Haynes/Swanson, Inc.  
 Chief Engineer/Lead Surveyor  
 3 Campbell Street  
 Concord, NH 03301  
 (603) 241-2027  
 www.haynes-swanson.com  
 FIELD BOOK: 1584  
 DATE: 10/19/2021  
 SCALE: 1" = 40'  
 SHEET: 1 OF 10  
 DATE: 22 OCTOBER 2021





BM1	= 187.79
RM	= 187.80 (3W)
INV. IN	= 187.80 (3W)
INV. IN	= 187.80 (3W)
INV. IN	= 187.80 (3W)
INV. OUT	= 187.80 (3W)
SH1P	= 183.39

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PREPARED FOR:  
**U-Haul Co. of Eastern Massachusetts**  
 1 HERRILL STREET, UNIT #14 SALESBURY, MA 01852 (978) 961-0770  
 RECORD OWNER:  
**AMERCO REAL ESTATE CO.**  
 P.O. BOX 29048 PHOENIX, ARIZONA 85028-9048 (602) 263-8555

EXISTING CONDITIONS PLAN  
 (MAP T LOT 38)  
**U-HAUL OF NASHUA**  
 11 NORTHWEST BOULEVARD  
 NASHUA, NEW HAMPSHIRE

**HESI** Engineers/Surveyors, Inc.  
 Civil Engineer/land Surveyor  
 100 Main Street, North Ferrisburgh, VT 05474  
 (802) 253-5500  
 www.hesi-engineers.com

FIELD BOOK: 1254  
 DATE: 12-16-21  
 SHEET: 2 OF 10  
 DATE: 22 OCTOBER 2021

**UTILITY NOTE**  
 THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

THIS IS TO CERTIFY THAT THE WETLANDS HAVE BEEN DELINEATED IN ACCORDANCE WITH THE U.S. ARMY CORPS OF ENGINEERS JANUARY 2012 REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST (REGION 2).  
 WETLAND DELINEATION PREPARED BY:  
 WETLAND CONSULTING SERVICES  
 ROBERT PROKOP  
 CERTIFIED WETLAND SCIENTIST (#0093)



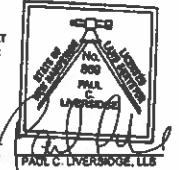
**SURVEY NOTES:**

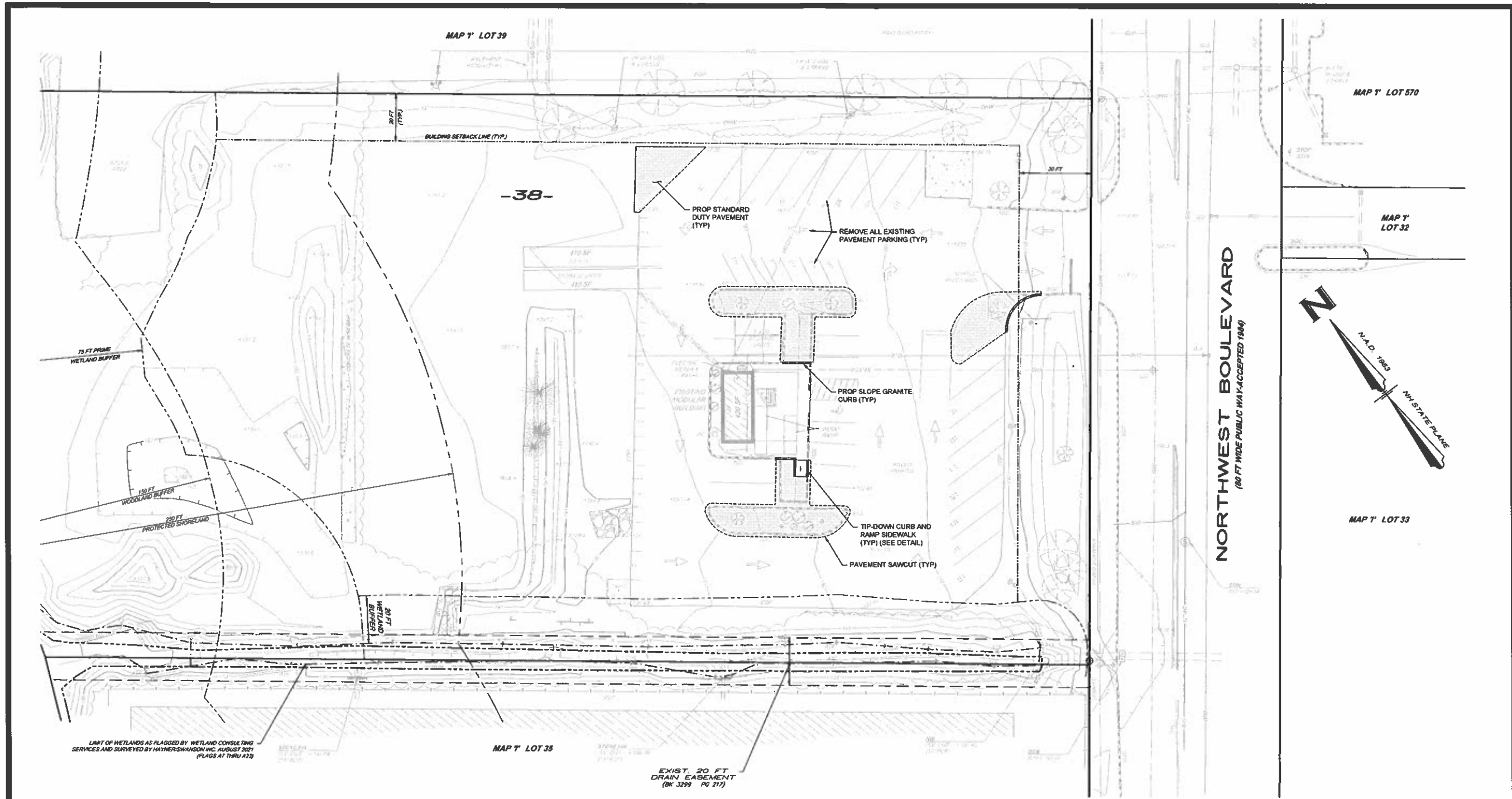
1. THE EXISTING PLANIMETRICS AND TOPOGRAPHY, AS SHOWN ON THESE PLANS, IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND IN JUNE 2021.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
3. THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.
4. SURVEY CONTROL INFORMATION:  
 HORIZONTAL DATUM: NAD83  
 HORIZONTAL PROJECTION: NH STATE PLANE  
 VERTICAL DATUM: NAVD83  
 UNITS: US SURVEY FEET

**CERTIFICATION**

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 902.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/03.  
 I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

12-16-21 DATE



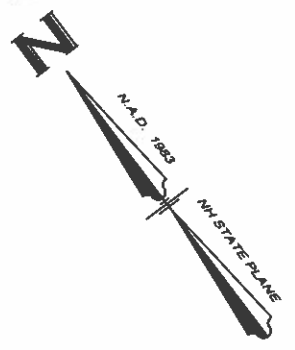


PART OF WETLANDS AS FLAGGED BY WETLAND CONSULTING SERVICES AND SURVEYED BY HAYNES SWANSON INC. AUGUST 2001 (PLANS AT DRAWING 23)

**CONSTRUCTION NOTES:**

1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF NASHUA, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, LATEST EDITION ARE HEREBY INCORPORATED BY REFERENCE.
2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-800-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
4. BLASTING, IF NEEDED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF NASHUA FIRE DEPARTMENT REGULATIONS.
5. ALL STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
6. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDING IMMEDIATELY UPON BEING CONSTRUCTED.
7. ANY CONSTRUCTION WORK WITHIN THE NORTHWEST BOULEVARD ROW SHALL BE COORDINATED WITH NASHUA CITY ENGINEER'S OFFICE BY THE CONTRACTOR.
8. GRADING, DRAINAGE, STORMWATER MANAGEMENT, UTILITIES, EROSION AND SEDIMENT CONTROL SHALL BE REVIEWED BY A PROFESSIONAL ENGINEER FOR SUBSTANTIAL COMPLIANCE WITH THE DESIGN.

**NORTHWEST BOULEVARD**  
(80 FT WIDE PUBLIC WAY ACCEPTED 1984)



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PREPARED FOR:  
**U-Haul Co. of Eastern Massachusetts**  
1 MERRILL STREET, UNIT #14 SALISBURY, MA 01922 (978) 961-0170

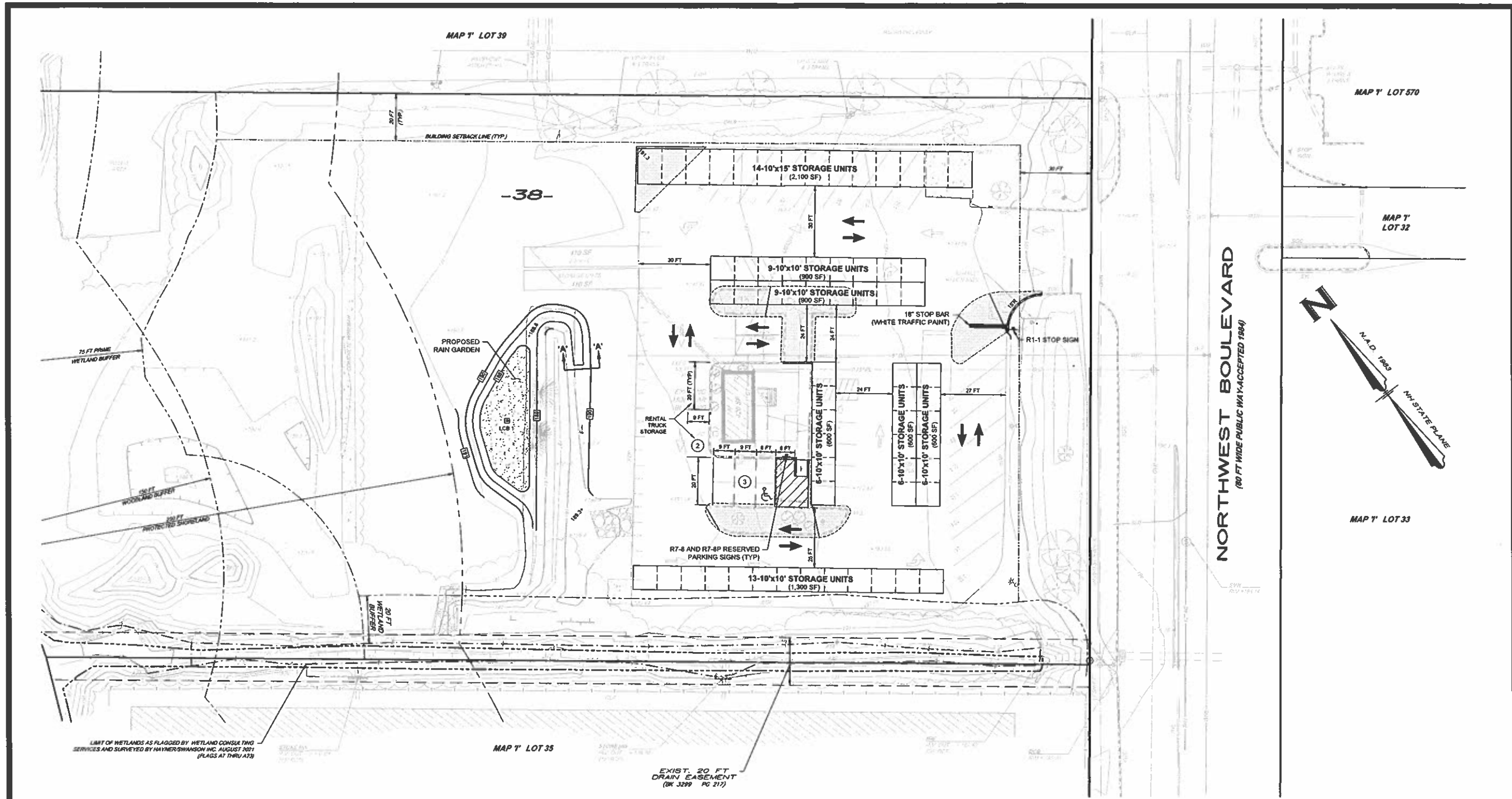
RECORD OWNER:  
**AMERCO REAL ESTATE CO.**  
P.O. BOX 29046 PHOENIX, ARIZONA 85038-0046 (602) 263-8555

**SITE DEMOLITION AND PAVING (MAP 1 LOT 39)**  
**U-HAUL OF NASHUA**  
11 NORTHWEST BOULEVARD  
NASHUA, NEW HAMPSHIRE

**HESI** Haynes Swanson, Inc.  
Civil Engineer/Land Surveyor  
120 Middlesex Turnpike  
Nashua, NH 03073  
(603) 882-2027  
www.hesiconsulting.com

**JAMES H. PETROPoulos**  
No. 10274  
LICENSED PROFESSIONAL ENGINEER  
CIVIL ENGINEERING

FIELD BOOK: 1254  
DATE: 07/21/24  
SCALE: 1" = 20'  
SHEET: 3 OF 10  
DATE: 22 OCTOBER 2021



**RAIN GARDEN/BIORETENTION BASIN:**

- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE RAIN GARDEN/BIORETENTION BASIN.
- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE RAIN GARDEN/BIORETENTION BASIN.
- AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES FOLLOWED BY A PASS WITH A LEVELING DRAG.
- VEGETATION SHOULD BE ESTABLISHED IMMEDIATELY.
- DO NOT PLACE INFILTRATION SYSTEM INTO SERVICE UNTIL THE CONTRIBUTION AREAS HAVE BEEN FULLY STABILIZED.

**SITE LAYOUT NOTES:**

- PRIOR TO COMMENCEMENT OF MAJOR CONSTRUCTION ACTIVITIES, THE ENGINEER SHALL PROVIDE THE CONTRACTOR WITH LAYOUT PLANS AND COORDINATE VALUES FOR STRATEGIC ELEMENTS OF THE SITE.
- ALL DIMENSIONS ARE FROM FACE OF CURB OR OUTSIDE FACE OF BUILDING UNLESS NOTED OTHERWISE.
- ALL STORAGE SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
- ALL PAVEMENT MARKINGS SHALL BE RETROREFLECTIVE TRAFFIC PAINT MEETING MHOOT SPECIFICATIONS.

**UTILITY NOTES:**

- DRAIN SYSTEMS SHALL BE INSTALLED BY A NASHUA LICENSED DRAIN LAYER, PER NRO SECTION 18-92 THROUGH SECTION 18-95.
- ALL POWER RELATED WORK SHALL CONFORM TO EVERSOURCE STANDARDS.
- ALL TELECOMMUNICATIONS WORK SHALL CONFORM TO CONSOLIDATED COMMUNICATIONS STANDARDS.
- ALL NATURAL GAS RELATED WORK SHALL COMPLY WITH LIBERTY UTILITIES STANDARDS.

**CITY OF NASHUA**

**PLANNING DEPARTMENT**  
COMMUNITY DEVELOPMENT DIVISION  
229 MAIN STREET  
NASHUA, NH 03060  
ATT: LINDA MCGHEE  
(603) 568-3110

**ENGINEERING DEPARTMENT**  
NASHUA DEPT. OF  
PUBLIC WORKS & ENGINEERING  
9 RIVERSIDE STREET  
NASHUA, NH 03062  
ATT: JOE MENDOLA, PE  
(603) 568-3124

**FIRE DEPARTMENT**  
NASHUA FIRE DEPARTMENT  
171 EAST HOLDS STREET  
NASHUA, NH 03060  
ATT: ADAM POLKJOT  
(603) 568-3400

**UTILITY CONTACTS**

**WATER:**  
PENNHUCK WATER WORKS  
25 MANCHESTER STREET  
MERRIMACK, NH 03054  
ATT: JOHN BOISVERT, PE  
(603) 813-2300

**GAS:**  
LIBERTY UTILITIES  
11 NORTHEASTERN BLVD  
SALEM, NH 03079  
ATT: RYAN LAHASSE  
(603) 327-7151

**TELEPHONE:**  
CONSOLIDATED COMMUNICATIONS  
257 DANIEL WEBSTER HWY  
MERRIMACK, NH 03054  
ATT: JOY MENDONCA  
(603) 648-2713

**POWER:**  
EVERSOURCE  
370 AMHERST STREET  
NASHUA, NH 03060  
ATT: MARG GAGNON  
(603) 882-5864



NO.	DATE	REVISION	BY
1	12/18/21	ADDRESS CITY COMMENTS	EDB
2			
3			
4			
5			
6			
7			
8			
9			
10			

PREPARED FOR:  
**U-Haul Co. of Eastern Massachusetts**  
1 HERRILL STREET, UNIT #4 SAUSSEBURY, MA 01952 (978) 981-0170

RECORD OWNER:  
**AMERCO REAL ESTATE CO.**  
P.O. BOX 29048 PHOENIX, ARIZONA 85038-9048 (602) 263-6555

**SITE PLAN LOT 38**  
**U-HAUL OF NASHUA**  
11 NORTHWEST BOULEVARD  
NASHUA, NEW HAMPSHIRE

**HESI** HaynesSwanson, Inc.  
Civil Engineering/Lead Surveyors  
3 Congress Street  
Nashua, NH 03063  
603.882.5864  
www.hesinc.com

ONE LINE, 2 WADSWORTH ST., 11 W. BLDG., NASHUA, NH 03063  
SCALE: 1" = 20'  
DATE: 12/18/21  
SHEET NO.: 4 OF 10  
DATE: 22 OCTOBER 2021



MAP T' LOT 39

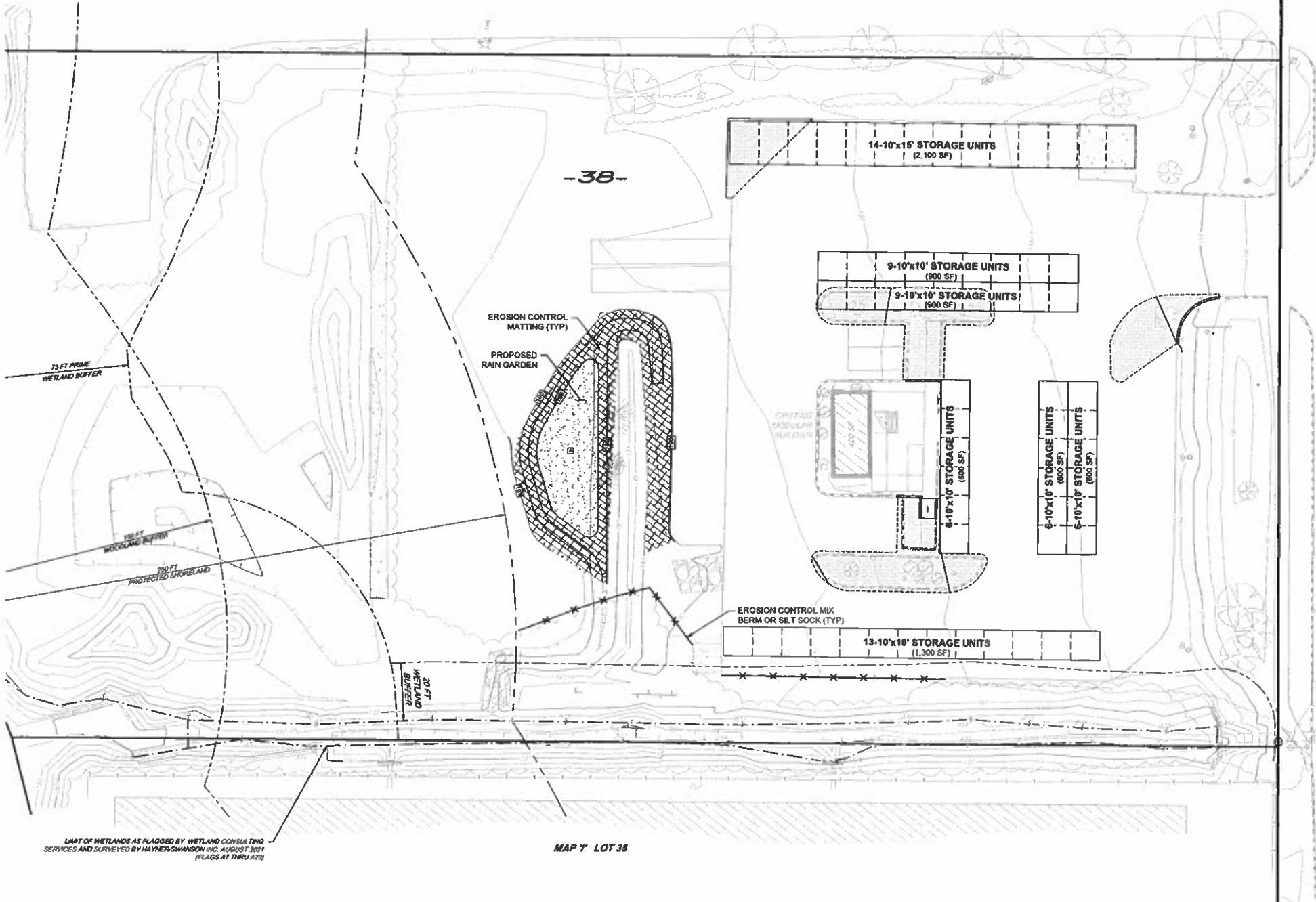
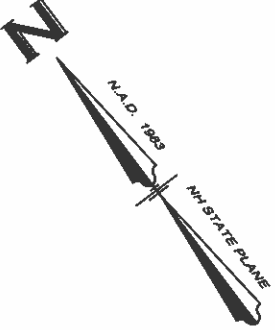
-38-

MAP T' LOT 570

MAP T' LOT 32

MAP T' LOT 33

NORTHWEST BOULEVARD  
(80 FT WIDE PUBLIC WAY-ACCEPTED 1984)



LIMIT OF WETLANDS AS FLAGGED BY WETLAND CONSULTING SERVICES AND SURVEYED BY HAYNES/SHANNON INC. AUGUST 2001 (PLACES AT TURN-AROUND)

MAP T' LOT 35

NO.	DATE	REVISION
1	12/16/11	ADDRESS CITY COMMENTS
2		
3		
4		
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7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		

PREPARED FOR:  
**U-Haul Co. of Eastern Massachusetts**  
1 MERRILL STREET, UNIT #14 SALESBURY, MA 01853 (978) 981-0770

RECORD OWNER:  
**AMERCO REAL ESTATE CO.**  
P.O. BOX 39046 PHOENIX, ARIZONA 85039-9048 (602) 263-8555

EROSION CONTROL PLAN  
(SCALE: 1" = 20')

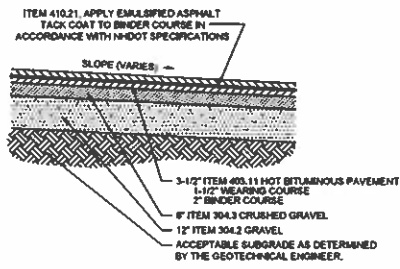
**U-HAUL OF NASHUA**  
11 NORTHWEST BOULEVARD  
NASHUA, NEW HAMPSHIRE

**HESI** Haynes/Shannon, Inc.  
Civil Engineer/Land Surveyor  
111 Middlebury Avenue  
Nashua, NH 03073  
(603) 882-2007  
www.haynes-shannon.com

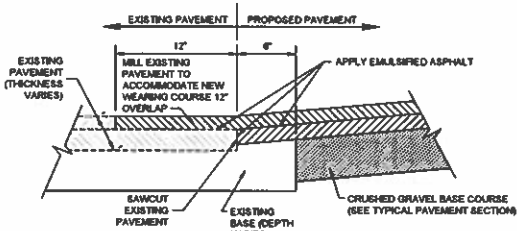
FIELD BOOK: 1254 | CIVIL LICENSE: J. MURPHY 11-1114, 11 IN ELIM. SURVAYOR LICENSE  
DATE: 07/18/2011 | SCALE: 1" = 20'  
SHEET: 5 OF 10 | DRAWING NO.: 5781  
DATE: 10/22/2011 | DATE: 22 OCTOBER 2011



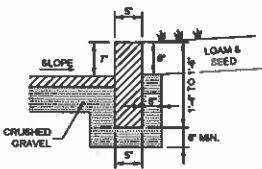




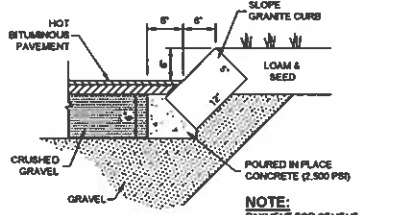
**TYPICAL PAVEMENT SECTION**  
NOT TO SCALE



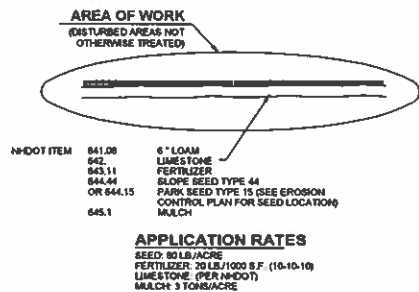
**SAWCUT PAVEMENT DETAIL**  
NOT TO SCALE



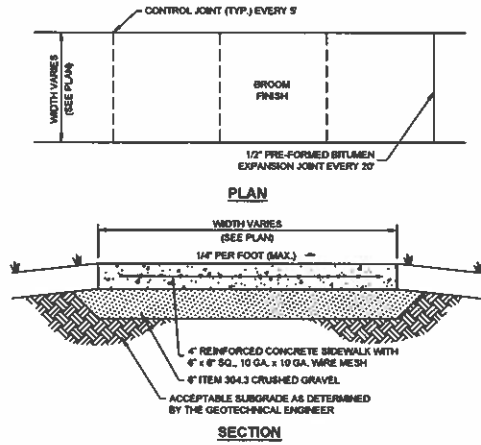
**STRAIGHT OR CURVED GRANITE CURB**  
(ITEM 808.1 OR 808.2400(FIELD))  
NOT TO SCALE



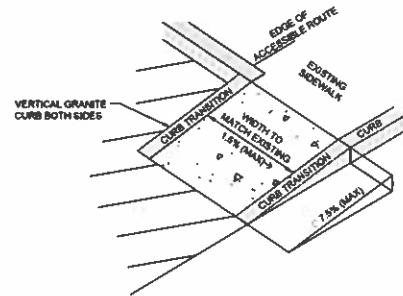
**SLOPE GRANITE CURB DETAIL**  
NOT TO SCALE



**LOAM AND SEED DETAIL**  
NOT TO SCALE

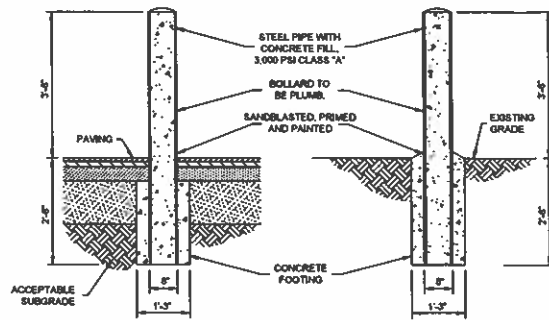


**REINFORCED CONCRETE SIDEWALK DETAIL (PEDESTRIAN TRAFFIC ONLY)**  
NOT TO SCALE

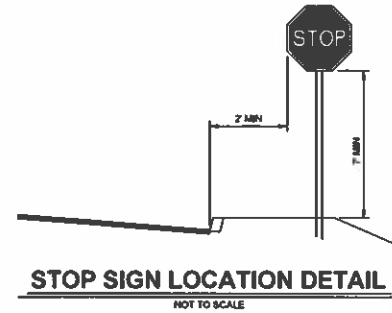


- NOTES:**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5% (1% MIN).
  2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
  3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 7.5%.
  4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (E.G., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
  5. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
  6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
  7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.

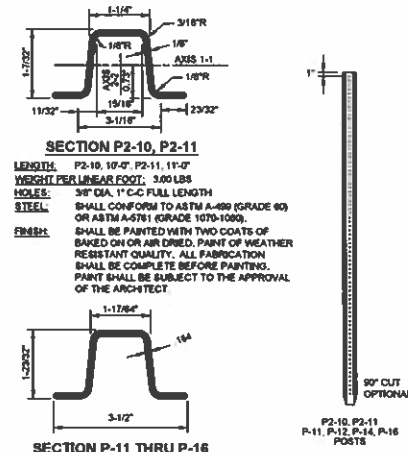
**HANDICAP ACCESSIBLE CURB RAMP DETAIL**  
NOT TO SCALE



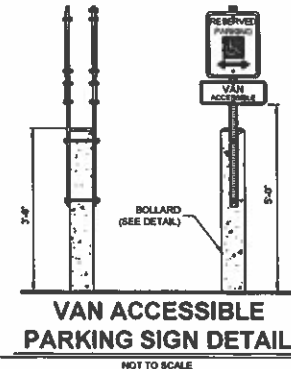
**BOLLARD DETAIL**  
NOT TO SCALE



**STOP SIGN LOCATION DETAIL**  
NOT TO SCALE

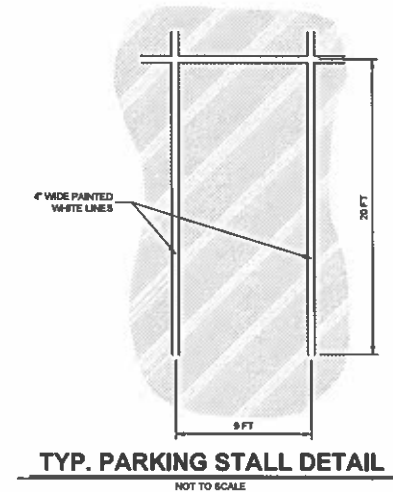


**TRAFFIC SIGN SUPPORT DETAIL**  
NOT TO SCALE

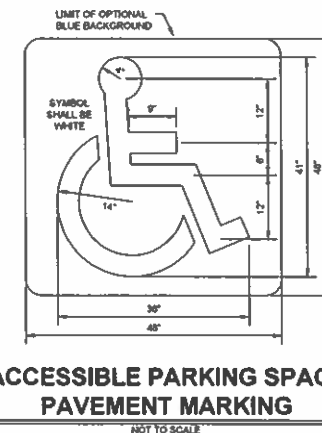


**VAN ACCESSIBLE PARKING SIGN DETAIL**  
NOT TO SCALE

SIGN LEGEND		
TEXT	IDENTIFICATION NUMBER	SIZE WIDTH/HEIGHT
SEE MUTCD FOR TEXT DIMENSIONS	TEXT DIMENSIONS	
	R1-1	30"/30"
	R7-8	12"/18"
	R7-8P	18"/9"
		SEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS



**TYP. PARKING STALL DETAIL**  
NOT TO SCALE



**ACCESSIBLE PARKING SPACE PAVEMENT MARKING**  
NOT TO SCALE



PREPARED FOR:  
**U-Haul Co. of Eastern Massachusetts**  
1 MERRILL STREET, UNIT #14, SALISBURY, MA 01852 (978) 961-0170

RECORD OWNER:  
**AMERCO REAL ESTATE CO.**  
P.O. BOX 29046 PHOENIX, ARIZONA 85028-9046 (602) 263-6555

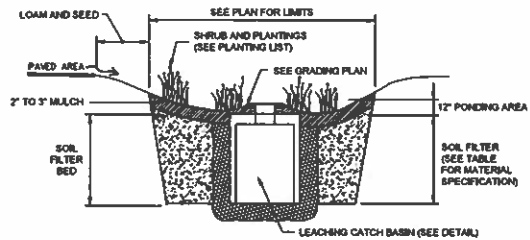
DETAIL SHEET - GENERAL SITE  
(SHEET 10 OF 35)  
**U-HAUL OF NASHUA**  
11 NORTHWEST BOULEVARD  
NASHUA, NEW HAMPSHIRE

**HESI** Hayner/Swanson, Inc.  
Civil Engineer/Land Surveyor  
13 Congress Street  
Amherst, MA 01001  
(413) 833-3337  
www.hesinc.com

FIELD BOOK: 1254  
DATE: 07/10/2021  
DRAWN BY: AS SHOWN  
CHECKED BY: J. SWANSON  
DATE: 07/10/2021

DATE: 22 OCTOBER 2021





RAIN GARDEN MATERIAL TABLE FOR BIORETENTION FILTER MEDIA

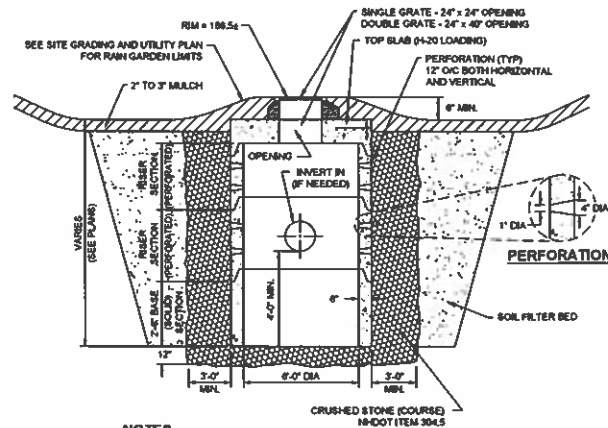
COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	GRADATION OF MATERIAL	
		PERCENT BY WEIGHT PASSING STANDARD SIEVE	PERCENT BY WEIGHT PASSING STANDARD SIEVE
FILTER MEDIA OPTION A			
ASTM C-33 CONCRETE SAND	50 TO 55		
LOAMY SAND TOPSOIL WITH FINES AS INDICATED	20 TO 30	200	15 to 25
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH WITH FINES AS INDICATED	20 TO 30	200	< 5
FILTER MEDIA OPTION B			
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH WITH FINES AS INDICATED	20 TO 30	200	< 5
LOAMY COARSE SAND	70 TO 80	10	85 to 100
		20	70 to 100
		80	15 to 40
		200	8 to 15

**RAIN GARDEN NOTES:**

- DO NOT PLACE THE RAIN GARDENS INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF WATER FROM EXCAVATIONS) TO THE RAIN GARDEN DURING ANY STAGE OF CONSTRUCTION.
- DO NOT EXPOSE SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
- IF FINE MATERIAL THAT WOULD PERCH THE WATER TABLE IS ENCOUNTERED DURING THE CONSTRUCTION OF RAIN GARDEN, THE UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH COARSE GRAVEL (9-400 ITEM No. 3042).

**TYPICAL SECTION-RAIN GARDEN**

NOT TO SCALE

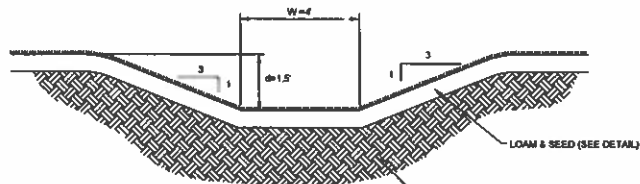


**NOTES**

- BASE SHALL BE SOLID. SEDIMENT SHALL BE REMOVED ON A REGULAR SCHEDULED BASIS BY OWNER.
- LOCATION OF DRAIN LINE OPENINGS VARY. CORE TO JOB SPECIFICATIONS (SEE DRAIN PROFILES).
- STRUCTURE DESIGN AND REINFORCEMENT SHALL CONFORM TO ASTM C478 AND A185. CONCRETE SHALL BE 4000PSI MINIMUM.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE BOTTOM OF THE PROPOSED LEACHING CATCH BASIN/RAIN GARDEN PRACTICES MAINTAIN A MINIMUM DEPTH OF 3'-0" TO SEASONAL HIGH WATER TABLE AND BEDROCK.

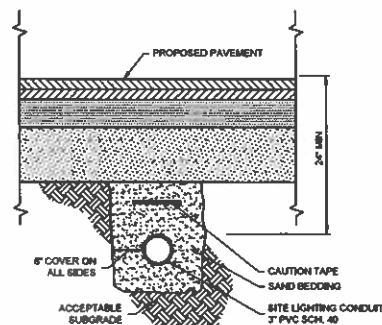
**LEACHING CATCH BASIN/  
RAIN GARDEN DETAIL**

NOT TO SCALE



**TYPICAL SWALE SECTION 'A' - 'A'**

NOT TO SCALE



**SITE LIGHTING CONDUIT  
TYPICAL TRENCH SECTION**

NOT TO SCALE

NO.	DATE	REVISION
1	12/18/21	ADDRESS CITY COMMENTS
		EDB
		BY

PREPARED FOR:  
**U-Haul Co. of Eastern Massachusetts**  
1 HEBBELL STREET, UNIT #4 SALISBURY, MA 01952 (978) 981-0170

RECORD OWNER:  
**AMERCO REAL ESTATE CO.**  
P.O. BOX 29048 PHOENIX, ARIZONA 85038-0048 (602) 263-8555

DETAIL SHEET - GENERAL SITE  
(MAP LOT 135)  
**U-HAUL OF NASHUA**  
11 NORTHWEST BOULEVARD  
NASHUA, NEW HAMPSHIRE

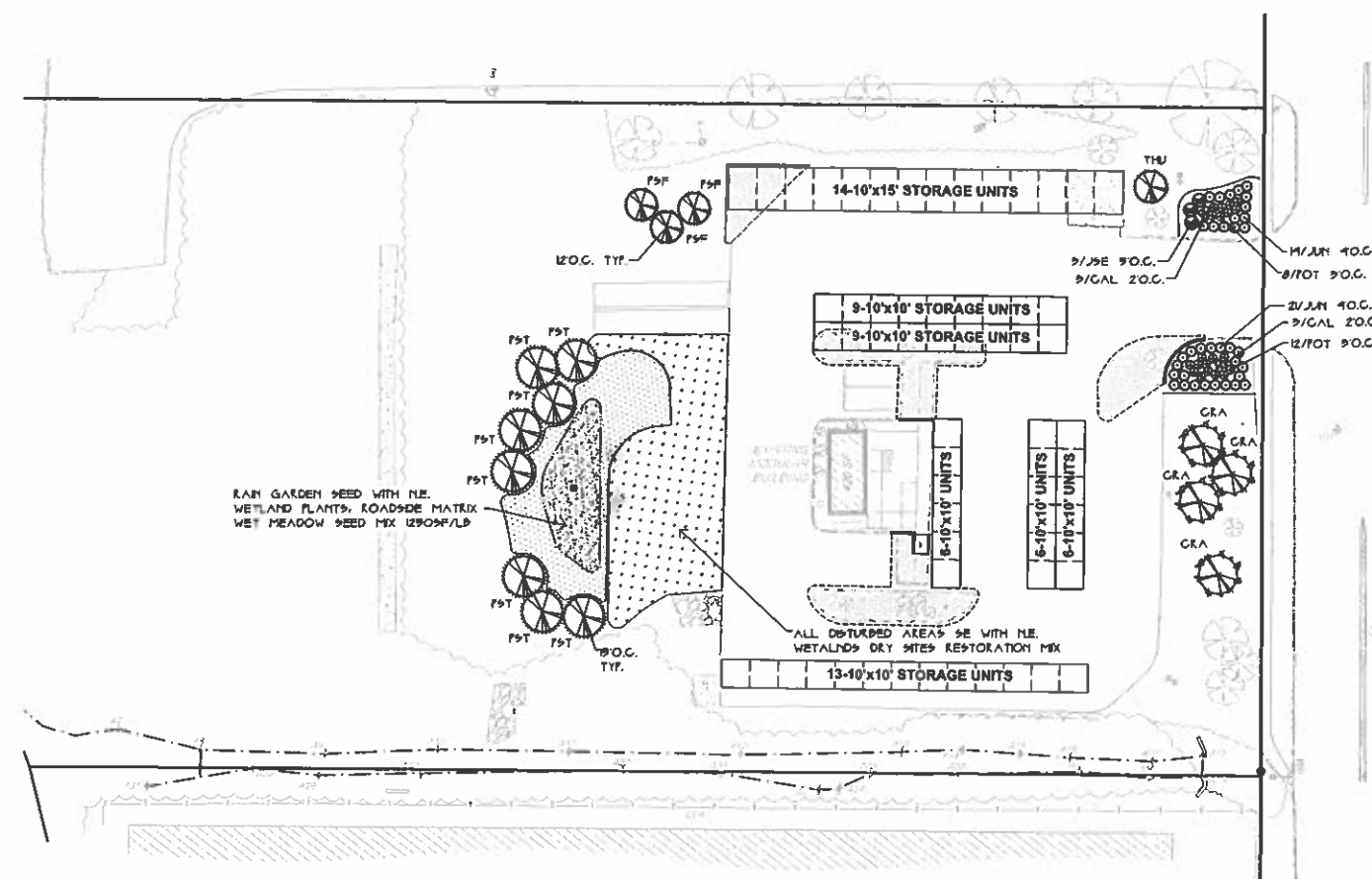
**HESI** Haynes Swanson, Inc.  
Civil Engineers/Land Surveyors  
121 Middlesex, Plymouth  
Newbury, NH 03055  
(603) 882-9297  
www.hesinc.com

ONE LIC. 1340000010-11-0001, 11 BY B.L.O. 10/10/2018  
Scale: AS SHOWN  
Date: 22 OCTOBER 2021  
Sheet: 5 of 10  
PLOT NUMBER: 5781

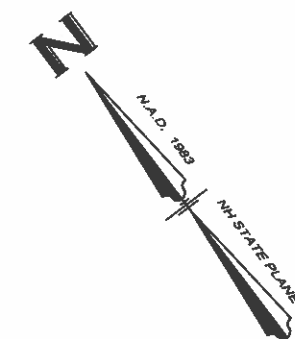


**General Specifications**

- The contractor shall at his expense furnish all the materials, supplies, machinery, equipment, tool, superintendent, labor, insurance, & other accessories and services necessary to complete the said project within the unit costs stated within the bid price.
- The work to be done under this contract is as shown and described on the drawings. Each bidder shall make a careful examination of the plans and specifications (the plan shall dictate quantities) and acquaint himself with all conditions before making his proposal. He will be held responsible for errors in his proposal resulting from his failure to make such an examination. All bidders shall visit the site and inform themselves of all conditions.
- The bids shall be based on materials and equipment complying with the drawings and the specifications. The contractor shall be responsible under this contract price, for furnishing and installing materials conforming to the bid items. Under no circumstances may a species 'hybrid' be substituted or size changed without written consent of the landscape architect.
- The contractor shall be responsible for the protection of such existing utilities as water mains, sewer systems, gas mains, electrical conduits, telephone lines and any other utilities and if any damage or destruction may occur to these utilities, he shall be responsible for their repair and/or replacement at his expense.
- The contractor shall make payment for all damages to buildings, structures, trees, shrubs and/or any other property outside the construction area or located within those limits but not designated for removal or reconstructed providing such damage shall result from accident caused by negligence for which the contractor shall be legally liable.
- If additional labor and/or materials is requested or required, the contractor shall submit a price to the owner, if the owner approves the price he shall prepare a change order for approval and signature. The contractor shall not proceed without a written authorization from the owner for the additional work. If the contractor proceeds with the additional work without this authorization he shall forfeit any claim for additional compensation.
- The landscape architect shall reserve the right to inspect the project work at any time deemed necessary to insure that the specifications and plans and any other contract documents are being followed.
- The L.A. shall have the right to reject any plant on-site based upon condition, size, or incorrect species or hybrid. LA must be contacted prior to install, to inspect materials delivered to the site, and to insure that soil amendments, bark mulch, roof ballast, etc. are to the written specifications.
- All seeded areas shall receive a minimum 6" topsoil blanket (by site contractor) while preparation, raking and general clean up prior to application. Operations shall include a preemergence type herbicide, 12-25-12 granular fertilizer @ 10 lbs./1000 sq. ft., and pelletized limestone @ 25 lbs./1000 sq. ft. power raked into the top 2" of soil prior to hydro-seeding. Ratios & application rates may change based upon the required soil analysis.
- Contractor is responsible for establishing a thick, weed free lawn. Seed shall be spread @ 4lbs./1000. Lawn germination shall be 95% free of noxious weeds for acceptance. Define differences in seed mixes (if applicable) with krigation flagging until 2nd mowing. Site review by LA is required.
- Review of the installed irrigation system by the designer is required prior to release of final payment.
- Hydroseeding operations shall be a one part process with a paper fiber mulch; a tackifier shall be applied on all slopes greater than 3:1. Excelsior Drainage mat shall be applied to all 2:1 slopes and drainage swales per plan.
- Contractor shall maintain, from acceptance date, the lawn areas through the first mowing. Contractor is not responsible for the first mowing.
- All plant materials shall be installed in accordance with A.L.C.C. Trees and shrubs shall have appropriate soil mixtures, fertilizer and soil retention granules.
- If the soil conditions are extremely sandy, all trees shall have a 6" layer of compacted topsoil (verify with Landscape Architect) placed in the base of the plant pit as a moisture retention layer. The plant pit sidewalls shall be over excavated by an additional 12" beyond the normal outside radius of the hole. A topsoil planting mixture shall be used to backfill as per spec # 22.
- Landscape architect shall have the right to reject and have ground removed any plant material not of proper size or of weak quality, i.e. thin, no lower branching, etc. Contractor must submit shipping lists (billing invoices) for verification, prior to installation.
- All plant material shall be guaranteed for a period of one (1) year from date of installation. Any material which dies or does not show a healthy appearance within this time shall be replaced at the contractor's expense; with same warranty requirements as the original. Warranty does not cover loss due mechanical damage, i.e. snow storage. Contractor should protect susceptible species from insect infestation. Use a liquid systemic application on birch, etc.
- Plant beds and saucers vary in dia. (refer to dwg). Trees and shrubs shall receive a 4" (settled) covering of pine/wood bark mulch; saucer diameters per drawing & details. Deciduous trees shall have a 6" dia. saucer (typ.), evergreen trees shall have a saucer 2" min. beyond it's outer branches. All edges shall have a 'V' groove.
- All B&B material which are encased in wire baskets shall have the wires cut loose and the top third removed prior to backfill operation.
- If road base is encountered in any plant bed areas, i.e. parking islands, it shall be removed and suitable amended soil installed per drawings and specifications.
- Soil planting mixture shall be a 60%-10% organic topsoil, amended with 10% wood ash, 10% % manure, & 30% % peatmoss or incorporate a dehydrated compost material. If planting in sand, gravel or other well drained soils, a 50% peatmoss to excavated soil. Other soil amendments shall include; Agriform tablets, Hydro-Gel or equal, and Roots growth enhancer to all trees and shrubs listed, per manufacturers specifications. All plant material pits will receive a min. 20% % in volume mix of a compost soil amendment. Submittal required. "Roots" STEP 1 can be substituted for the individual supplements. Install per manufacturer's specs.
- Landscape contractor shall not be responsible for topsoil spreading but shall coordinate with the site contractor adherence to the mound grades, plant bed soil depths and soil type per dwgs & spec. Landscape contractor shall power rake-out for seed.
- Landscape contractor shall provide a soil analysis of the topsoil planting mixture. Analysis to show soil classification (min. sandy loam) and nutrients.
- Contractor shall protect all B&B materials left above grade prior to installation from drying out. All plants shall be stored, covered in mulch, and irrigated until planted. Any plant left on the ground and whose outer ball surface dries out, shall be rejected by the landscape architect. Plants stored in shade and off pavement.
- Plan dictates, contractor shall alert Landscape Architect if any discrepancies exist between the plan, the material list, and as-built site conditions.
- Installer shall notify landscape architect prior to planting, to review plant locations and bedline configurations. If contractor installs without the placement approval of the L.A., said architect shall have the right to relocate any installed plants at the contractor's expense.
- Installer shall notify landscape architect prior to plant installation to review all materials. Any plants of poor condition, improper size, or species will be rejected.
- Upon one year review, contractor shall straighten any trees that have shifted. Any weak or bare spots in lawn shall be reseeded.
- All bedlines shall have a deep 'V' groove to define lawn to mulch edge. No 'Beehive' mounding of mulch is allowed, also keep mulch away from base of perennials.
- Do not plant materials too close to the edge of bedlines. Refer to drawings for center of plant to bedlines. At a minimum no outer branching of a shrub or perennial shall be closer than two feet from the bedlines. If the as-built does not comply contractor shall adjust the plant location or bedline at his expense.
- Seed mixes include: Sandy Soil Lawn Mix by: deercreekseed.com; New England Wetland Plants, Amherst, MA. refer to planting plan for designations.
- Any items not completed to the specifications will be required at contractors expense prior to final approvals. Contractor is to bid the work according to the specifications and not to what they may do under their standard practices. Special attention will be paid to soils, amendments, guy stakes, bedline & saucer configurations, seed mixtures, etc.
- Certain designated foundation edging is root ballast (washed rounds, non-crushed, natural) Size of stone is a range of 3/4"-1.5" dia. placed to a depth of 3", upon placement apply a coating of granular Green (preemergent).
- Any questions concerning this drawing shall be directed to Joseph Hochrain c/o Blackwater Design, 85 Frost Lane, Webster, NH 03303, 603-648-2541.



NORTHWEST BOULEVARD  
(80 FT WIDE PUBLIC WAY ACCEPTED 1984)



RAN GARDEN SEED WITH N.E. WETLAND PLANTS, ROADSIDE MIX, WET MEADOW SEED MIX (250K/LB)

ALL DISTURBED AREAS SE WITH N.E. WETLANDS DRY SITES RESTORATION MIX

**MATERIAL LIST**

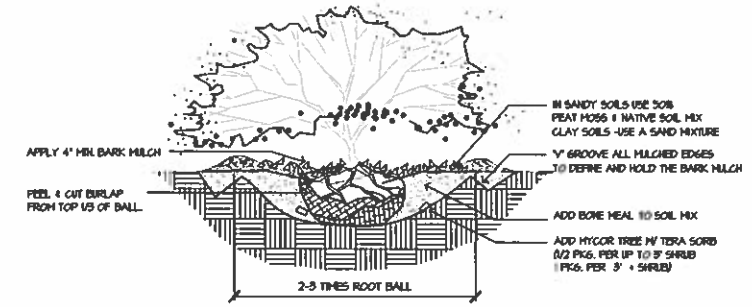
6/GAL GALAPAGOSIS A. CAUL ROSEYER (FEATHER GRASS)	#30AL
4/OEA GRASSHOPPER GI (GRASSHOPPER HATHORN)	2-25GAL
10/JAN ANTHELLA COMPENS (GREEN GARRET JUNE)	#30AL
11/JAN ANTHELLA COMPENS (GREEN GARRET JUNE)	2-25PP
20/POT POTENTILLA (MANGO TANGO POTENTILLA)	#35AL
8/PSA PAPA STELOBUS PASTIGATA (COLUMBIAN WHITE FINE)	7-8PP
8/PSA PAPA STELOBUS PASTIGATA (COLUMBIAN WHITE FINE)	6-7PP
6/THU THUJA PLICATA (WESTERN GREEN GANT ALBOVITIS)	6-7PP

**IRREGULARS**

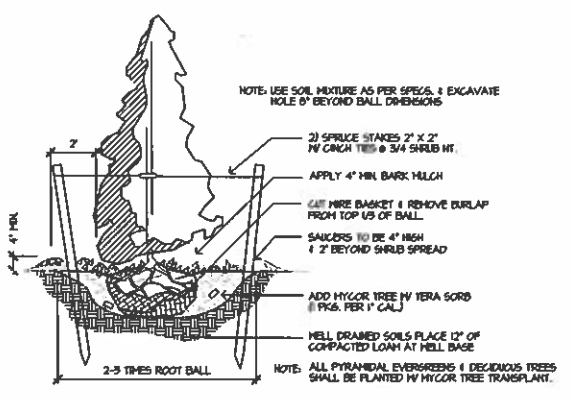
NEW ENGLAND WETLAND PLANTS ECOSYSTEM CONTROL RESTORATION MIX FOR DRY SITES (CALL DISTURBED AREAS)

N.E. WETLAND PLANTS (AMHERST, MA) #0-95-8000 ROADSIDE WET MEADOW MIX PER PLAN

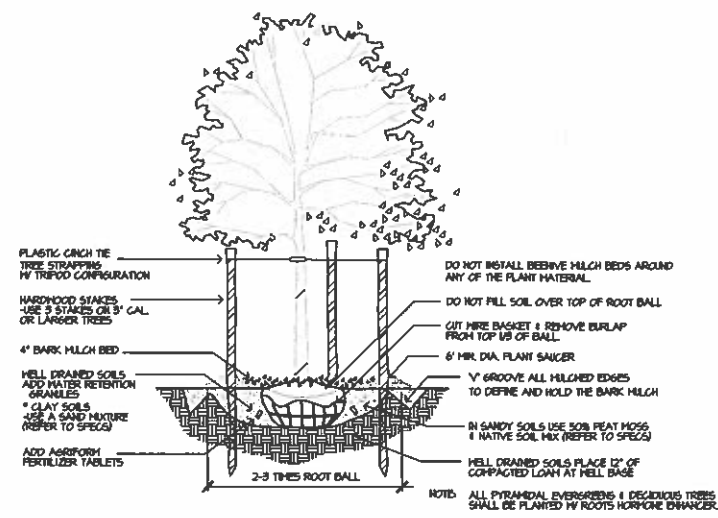
THE BEEHIVE BARK MULCH IN ALL PLANT BEDS



**B&B SHRUB PLANTING**  
NOT TO SCALE



**PYRAMIDAL EVERGREEN TREE PLANTING**  
NOT TO SCALE



**TREE PLANTING 2" + CAL.**  
NOT TO SCALE

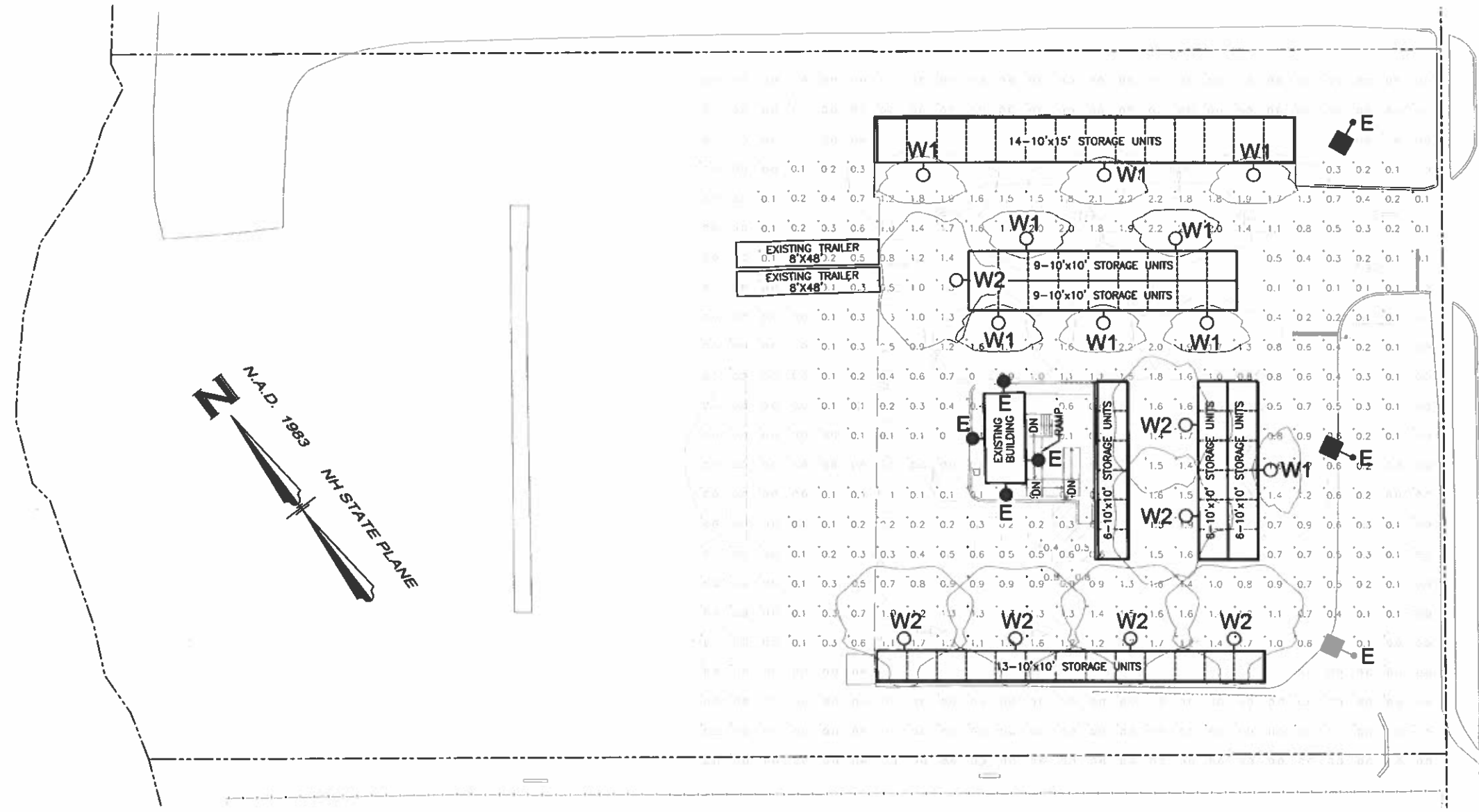
PREPARED FOR:  
**U-Haul Co. of Eastern Massachusetts**  
1 MERRILL STREET, UNIT #4 SAUBURY, MA 01952 (978) 961-0170

OWNER:  
**AMERCO REAL ESTATE CO.**  
P.O. BOX 29046 PHOENIX, ARIZONA 85038-9046 (602) 263-8555

LANDSCAPE PLAN  
(SAP 1, LOT 35)  
**U-HAUL OF NASHUA**  
11 NORTHWEST BOULEVARD  
NASHUA, NEW HAMPSHIRE

PREPARED BY:  
**BLACKWATER DESIGN**  
1000 ROUTE 101, WEBSTER, NH 03303  
Land Planning - Landscape Architecture  
85 Frost Lane, Webster, NH 03303

DATE: 10/22/2021  
SCALE: 1" = 30'  
SHEET: 9 OF 10  
PROJECT: U-HAUL LOT 35



**PHOTOMETRIC SITE LIGHTING PLAN**  
SCALE: 1" = 20'-0"

**Ordering Information** EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBTXD

Series	LED	Power	Color Temperature	Beam Spread	Mounting	Control Options
DSXW1 LED	10C	10 LEDs (one engine)	350 350mA	30K 3000K	T25 Type II Short	MVOLT <sup>1</sup>
	530	530mA	40K 4000K	T24 Type II Medium	120 <sup>1</sup>	
	700	700mA	50K 5000K	T35 Type II Short	200 <sup>1</sup>	
	20C	20 LEDs (two engines)	1000 1000mA (1A)	AMRQC Amber photoper converted	T34M Type IV Medium	240 <sup>1</sup>
				T44M Type IV Medium	277 <sup>1</sup>	
				TFTM Forward Throw Medium	347 <sup>1</sup>	
					480 <sup>1</sup>	

**Shipping Information**

Shipped installed	Shipped separately	Finish
SF Single face (120, 277 or 347V)	BSW Bird-screen spikes	0000K Dark bronze
DF Double face (200, 240 or 480V)	YG Vertical guard	00LXD Black
HS House-side shield	DOL Diffused drop lens	00AXD Natural aluminum
SPO Separate surge protection		00WXC White
		00AXD Textured natural aluminum
		00SSD Sandstone
		00BTD Textured dark bronze
		00LXD Textured black
		00WXC Textured white
		00STD Textured sandstone

**D-Series Size 1 LED Wall Luminaire**

**Specifications Luminaire**

Width: 13-3/4" (34.9 cm) | Depth: 10" (25.4 cm) | Height: 6-3/8" (16.2 cm)

**Back Box (BBW, E20WC)**

Width: 13-3/4" (34.9 cm) | Depth: 4" (10.2 cm) | Height: 6-3/8" (16.2 cm)

**Light Fixture Schedule**

Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
W1	W1	11	DSXW1-LED-10C-530-30K-T3M MVOLT-CONTROL OPTIONS-FINISH	LITHONIA D-SERIES SIZE 1 - LED WALL LUMINAIRE WITH TYPE III MEDIUM DISTRIBUTION - BOTTOM OF FIXTURE AT 8'-0" ABOVE FINISHED GRADE - BUG RATING = B1-U0-G1	LED	1	2,159	94	19.1
W2	W2	3	DSXW1-LED-10C-530-30K-TFTM MVOLT-CONTROL OPTIONS-FINISH	LITHONIA D-SERIES SIZE 1 - LED WALL LUMINAIRE WITH FORWARD THROW MEDIUM DISTRIBUTION - BOTTOM OF FIXTURE AT 8'-0" ABOVE FINISHED GRADE - BUG RATING = B1-U0-G1	LED	1	2,198	94	19.1
E	E	4	UNKNOWN	EXISTING WALL PACK	HPS	1	UNKNOWN		UNKNOWN
E	E	3	UNKNOWN	EXISTING POLE MOUNTED FLOOD LIGHT	LED	1	UNKNOWN		UNKNOWN

NOTE: THE LIGHTING CALCULATIONS DO NOT INCLUDE LIGHTING CONTRIBUTION FROM THE EXISTING LIGHT FIXTURES AT THIS SITE.

NORTHWEST BOULEVARD

PHOTOMETRIC SITE LIGHTING PLAN (SHEET 1 OF 3) LOT 36

**U-HAUL OF NASHUA**  
11 NORTHWEST BOULEVARD  
NASHUA, NEW HAMPSHIRE

PREPARED FOR:  
**U-Haul Co. of Eastern Massachusetts**  
1 WERNAL STREET, UNIT #4 SAUBURY, MA 01853 (978) 961-0170

RECORD OWNER:  
**AMERCO REAL ESTATE CO.**  
P.O. BOX 28046 PHOENIX, ARIZONA 85038-8046 (602) 243-8556

DATE: 10/22/2021

PROJECT: 22 OCTOBER 2021

SCALE: 1" = 30'

FIELD BOOK: 1524  
DRAWN: 5/21/21  
10 of 10