

**PLAN REFERENCES:**

- SUBDIVISION/LOT LINE RELOCATION PLAN (LOTS 119 & 120, MAP 'E', 670 & 672 WEST HOLLIS STREET, NH ROUTE 111, NASHUA, NEW HAMPSHIRE, PREPARED FOR: BK PROPERTIES, RECORD OWNER: VIKAR E. CORNAN & BRIAN D. PETERMAN, SCALE: 1"=40', DATED: 4 JUNE 1988 WITH REVISIONS THRU 07/26/88 AND PREPARED BY THIS OFFICE. RECORDED: MCRD - PLAN No. 20408
- LAND OF ALBERT J & EVA D. DUBE, NASHUA, NH, DATED JUNE 1946, AND PREPARED BY NED SPALDING, C.E.
- SITE PLAN (MAP 'E', LOTS 2101 & 2102, NASHUA, CROSSING, 674 WEST HOLLIS STREET, NASHUA, NEW HAMPSHIRE, PREPARED FOR: BENCHMARK SENIOR LIVING, RECORD OWNERS: IRENE M. NASHUA SH, LLC AND BRIAN D. DONNA M. PETERMAN, SCALE: AS SHOWN, DATED: 7 FEBRUARY 2015 WITH REVISIONS THRU 02/26/15 AND PREPARED BY THIS OFFICE ON FILE WITH THE CITY OF NASHUA, PLAN No. NR-1924

**NOTES:**

- SITE AREA: 3.732 ACRES (163,488 SF)  
THE ABOVE LISTED SITE AREA, AND THE SITE PLAN ARE PREMISED ON A VOLUNTARY LOT MERGER OF MAP 'E', LOTS 2150 AND 2151 UPON TRANSFER OF OWNERSHIP OF LOT 2150.
- PRESENT ZONING: R-8 SUBURBAN RESIDENTIAL  
MINIMUM LOT REQUIREMENTS REQUIRED PROVIDED  
- LOT AREA: 8,000 SF 161,456 FT  
- LOT FRONTAGE: 75 FT 280 FT  
- LOT WIDTH: 60 FT 220 FT  
- LOT DEPTH: 90 FT 453 FT  
MINIMUM YARD SETBACKS  
- FRONT YARD: 20 FT 39 FT  
- SIDE YARD: 10 FT 21 FT  
- REAR YARD: 30 FT 30.5 FT  
- MAX BUILDING HEIGHT: 35 FT 31 FT  
- MAX STORES: 2 2  
- OPEN SPACE (%): 50 47.5  
\* ON JULY 9, 2014 THE NASHUA ZONING BOARD OF ADJUSTMENT GRANTED A VARIANCE FROM SECTION 160-104 OPEN SPACE PERCENTAGE OF THE NASHUA LAND USE CODE TO ALLOW 45% OPEN SPACE WHERE 50% OPEN SPACE (MINIMUM) IS REQUIRED IN THE R-8 ZONING DISTRICT.
- LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSOR MAPS 'C', 'E', & 'F'.
- SITE IS SERVICED BY MUNICIPAL SEWER, WATER BY PENNICHUCK WATER WORKS AND UNDERGROUND TELEPHONE, ELECTRIC AND GAS UTILITIES.
- PURPOSE OF PLAN: TO AMEND SITE PLAN APPROVAL NH-1924 TO SHOW PROPOSED 14-UNIT BUILDING ADDITION WITH APPURTENANT SITE IMPROVEMENTS.
- THIS SITE IS NOT LOCATED IN THE WATER SUPPLY PROTECTION DISTRICT.
- PARKING: USE MINIMUM REQUIRED MAXIMUM REQUIRED  
(Elderly Housing, Nursing Care Facility) 1 SPACE/UNIT 1.9 SPACES/UNIT  
(USE No. 14)  
(IN EXISTING LOTS PL US 14 PROPOSED UNITS)  
TOTAL REQUIRED: = 96 SPACES = 107 SPACES  
PROVIDED: (INCLUDING 3 HANDICAP SPACES): 72 SPACES (WAIVER REQUESTED)
- LOADING: REQUIRED: 1 SPACE  
PROVIDED: 1 SPACE
- ALL LANDSCAPING SHALL BE AS SHOWN ON THE PLANS AND CONFORM TO THE APPLICABLE CITY OF NASHUA LAND USE CODE UNDER ARTICLE XXVII.
- ALL SIGNAGE SHALL CONFORM TO THE APPLICABLE CITY OF NASHUA REGULATIONS ALL PERMITS WITH SECURED PRIOR TO INSTALLATION.
- SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE II OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION, GRADE AND NUMBER OF PARKING SPACES.
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN IN ANY MANNER UNLESS, OR COMMENT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
- PUBLIC STREET RESTORATION WORK, IF ANY, SHALL BE IN ACCORDANCE WITH N.H.S. SECTION 285-13, LATEST EDITION.
- ALL LIGHTING SHALL BE AS SHOWN ON THE PLANS, DIRECTED ONTO THE SITE AND CONFORM TO APPLICABLE CITY OF NASHUA LAND USE CODE REGULATIONS.
- A PRE-CONSTRUCTION MEETING WITH THE CITY OF NASHUA PLANNING/ENGINEERING/FIRE OFFICIALS SHALL TAKE PLACE PRIOR TO ANY WORK BEING PERFORMED.
- THE FIRE LANES AND WALKS MADE FROM AQUABRIK™ PERMEABLE PAVERS WERE COUNTED AS OPEN SPACE.
- THE APPLICANT SHALL SUBMIT AN ELECTRONIC FILE OF THE SITE PLAN (PLOT) PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- PRIOR TO A BUILDING PERMIT BEING ISSUED, BONDING FOR ALL PUBLIC IMPROVEMENTS, IF ANY, SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEERING DEPARTMENT AND CORPORATION COUNSEL.
- PRIOR TO A BUILDING PERMIT BEING ISSUED, DOCUMENTS PERTAINING TO THE STORM WATER OPERATION AND MAINTENANCE PLAN SHALL BE RECORDED.
- THIS PARCEL IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE RATE MAP (FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY No. 330017, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33011C0202, DATED: SEPTEMBER 28, 2006.
- FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED. DRAINS SHALL NOT OUTLET OR FLOW OVERLAND ONTO A CITY STREET.
- ROOF DRAIN TIE-INS AND DRAIN LINES SHALL BE INSPECTED PRIOR TO BACKFILLING AND PAVING.
- MECHANICAL APPURTENANCES SHALL NOT EXCEED 60 DEGREES BETWEEN 7 AM - 8 PM AND 45 DEGREES AT NIGHT, 8 PM - 7 AM, ALONG RESIDENTIAL ZONING DISTRICTS.
- THE SUBJECT PROPERTY WAS INSPECTED BY A CERTIFIED WETLAND SCIENTIST ON JULY 8, 2014 AT THE DATE OF THE INSPECTION IT WAS DETERMINED THAT THERE ARE NO WETLANDS OR ASSOCIATED BUFFERS AFFECTING THE PROPERTY.
- ALL DRIVEWAYS, FIRE LANES, AND WALKS SHALL BE MAINTAINED AND CLEANED OF SNOW YEAR ROUND.
- PRESENT OWNERS OF RECORD:  
MAP 'E', LOT 2151  
KRE-BSL HUSKY NASHUA LLC  
6 WEST 57th STREET, SUITE 4200  
NEW YORK, NY 10019  
BK 7426, PG 1707  
BK 6980, PG 679  
BK 9011, PG 1923 (VOLUNTARY MERGER)  
MAP 'E', LOT 2150  
JOSEPH GLENN STRIGLE AND  
KIMBERLY BESKALO STEWART  
674 WEST HOLLIS STREET  
NASHUA, NH 03062  
BK 6255, PG 2300

PREPARED FOR:  
**BENCHMARK SENIOR LIVING**  
201 JONES ROAD - 3RD FLOOR WEST  
NASHUA, NEW HAMPSHIRE 03061  
RECORD OWNERS:  
**KRE-BSL HUSKY NASHUA LLC and**  
**Joseph Glenn Strigle, Jr. & Kimberly Beskalo Stewart**

MASTER SITE PLAN  
(MAP 'E', LOTS 2150 & 2151)  
**NASHUA CROSSINGS**  
672 & 674 WEST HOLLIS STREET  
NASHUA, NEW HAMPSHIRE

FILED BOOK 1178 02250 (ENG. LOG. 2) VOLUME 12001-12024-BA  
PAGE 0225-02-1011  
1 OF 8 4324-BA  
DATE FEBRUARY 2020

MAP 'F' LOT 1  
JOAN MORSE  
20 PARKER DRIVE  
NASHUA, NH 03062-1922  
BK 2030 PG 495  
ZONE: R-8  
USE: RESIDENTIAL

MAP 'F' LOT 61  
AHEPA 35, INC.  
661 WEST HOLLIS STREET  
NASHUA, NH 03062  
BK 7807 PG 0200  
ZONE: R-8  
USE: RESIDENTIAL

MAP 'F' LOT 59  
THE SPRINGS CONDOMINIUM  
ASSOCIATION  
22 BRADY DRIVE  
HUDSON, NH 03051-4270  
BK 8011 PG 2427  
ZONE: R-4  
USE: RESIDENTIAL

EXISTING ACCESS  
EASEMENT  
(BK. 5992 PG 1490)

LOWTHER PLACE  
MAP 'F' LOT 1813  
LOWTHER PLACE  
CONDOMINIUM ASSOCIATION  
c/o DONALD GARCIA, JR.  
P.O. BOX 837  
DRACUT, MA 01926  
ZONE: R-4  
USE: RESIDENTIAL

EXISTING SLOPE  
EASEMENT  
(BK. 2881 PG 194)

MAP 'F' LOT 58  
CARL G. STANCIK  
17 CRAWFORD LANE  
NASHUA, NH 03063-1501  
BK 2891 PG 0406  
ZONE: R-8  
USE: RESIDENTIAL



MAP 'E' LOT 446  
DONALD R. & GREGORIA J. DROUIN  
533 SKOPPER DRIVE  
SEMIPOLE, FL 33772  
BK 8220 PG 1022  
ZONE: R-8  
USE: RESIDENTIAL

MAP 'E' LOT 119  
DEREK F. BOBOLA  
688 WEST HOLLIS STREET  
NASHUA, NH 03062-1300  
BK 8448 PG 2344  
ZONE: R-8  
USE: RESIDENTIAL

MAP 'C' LOT 1475  
WEST GATE VILLAGE CONDOMINIUM ASSOCIATION  
ATTN: SEF PROPNCE  
ATTN: DANIEL WEBSTER HIGHWAY  
MERRIMACK, NH 03054  
ZONE: R-8  
USE: RESIDENTIAL

BE COURSE FROM  
LINE NO  
N42°34'4"E 2.14'  
L=50.85  
LPH NO  
LPH NO

UTILITY EASEMENT  
(ACCEPTED 1988 - PUBLIC)

MAP 'C' LOT 69  
WEST GATE VILLAGE ASSOCIATION  
ATTN: ROBYN MICHOLAS  
630 DANIEL WEBSTER HIGHWAY  
MERRIMACK, NH 03054  
ZONE: R-4  
USE: OPEN SPACE

**LEGEND**

- EXISTING GROUND CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED GRADE
- PROPOSED SPOT GRADE
- STORM DRAIN & CATCH BASIN
- STORM DRAIN & MANHOLE
- STORM DRAIN & HEADWALL
- SANITARY SEWER & MANHOLE
- WATER MAIN & HYDRANT
- WATER MAIN & GATE VALVE
- UTILITY POLE WITH GUY SUPPORT
- STREET LIGHT
- OVERHEAD ELECTRIC & TELEPHONE
- UNDERGROUND ELECTRIC & MANHOLES
- TRANSFORMER AND PAD
- SECTOR CABINET AND PAD
- HAND HOLE
- TELECOMMUNICATIONS PEDESTAL
- SIGN
- TREE LINE
- STONE BOUND
- IRON PIN
- IRON PIPE
- DRILL HOLE & STONE WALL
- STONE BOUND TO BE SET
- IRON PIN TO BE SET
- TEMPORARY BENCHMARK
- STORMWATER RUNOFF DIRECTION
- BUILDING SETBACK LINE
- WETLAND FLAGGING LIMIT
- WETLAND BUFFER LINE
- WIRE FENCE
- CHAINLINK FENCE
- SLOPE GRANITE CURBING
- GUARDRAIL
- PAVEMENT SAWCUT
- REINFORCED CONCRETE
- PROPOSED FULL-DEPTH PAVEMENT
- PROPOSED PAVEMENT OVERLAY
- RIPRAP / STONE
- TEXT PIT LOCATION & IDENTIFIER
- LIMIT OF WORK
- CENTER LINE STATIONING
- RETAINING WALL
- CONFEROUS TREE
- DECIDUOUS TREE
- SOIL BOUNDARY
- SOIL IDENTIFIER
- STREET ADDRESS
- UNIT NUMBER



**ZONING NOTE**  
THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND AS SUCH ARE ONLY OPINIONS EXPRESSED BY HAYMER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THE PROJECT, THE BUILDING OWNER MUST CONSULT WITH THE TOWNSHIP TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

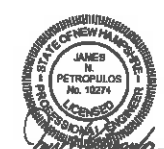
**APPROVED**  
**NASHUA CITY PLANNING BOARD**  
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

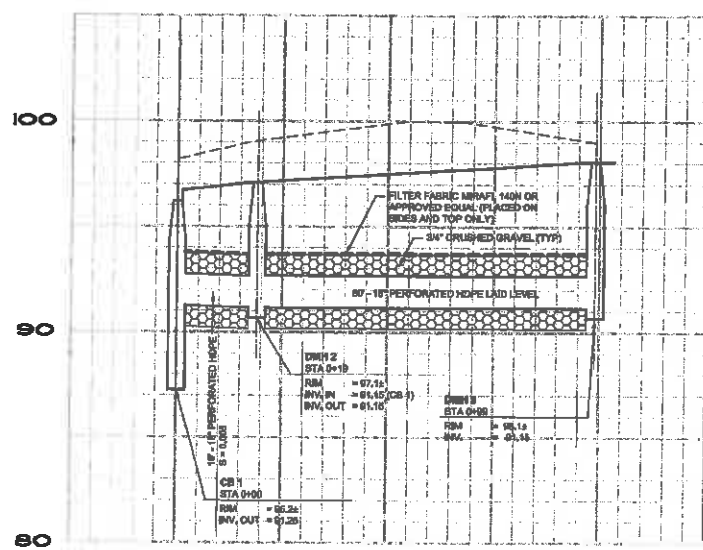
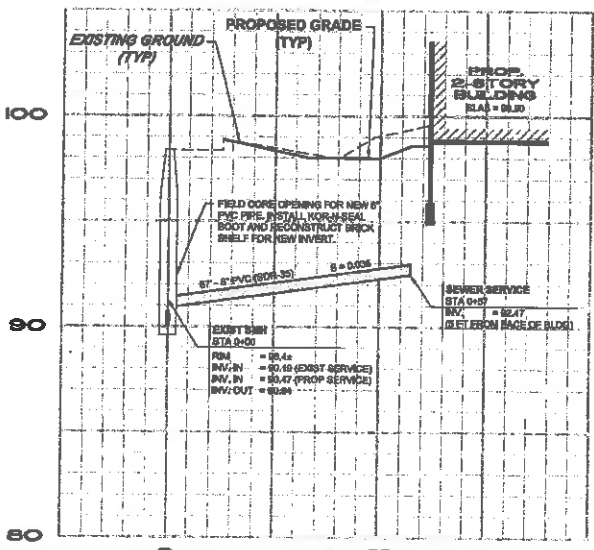
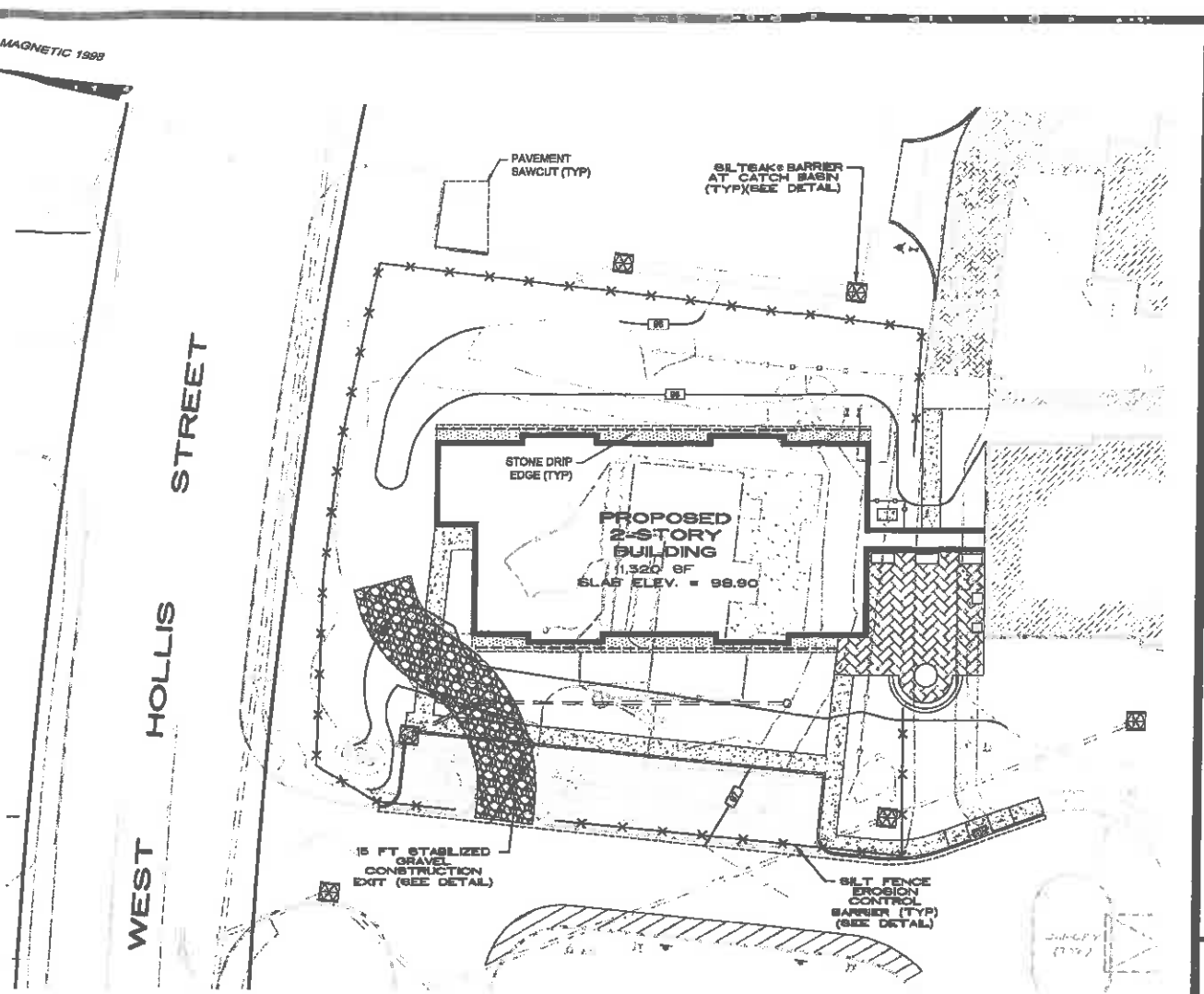
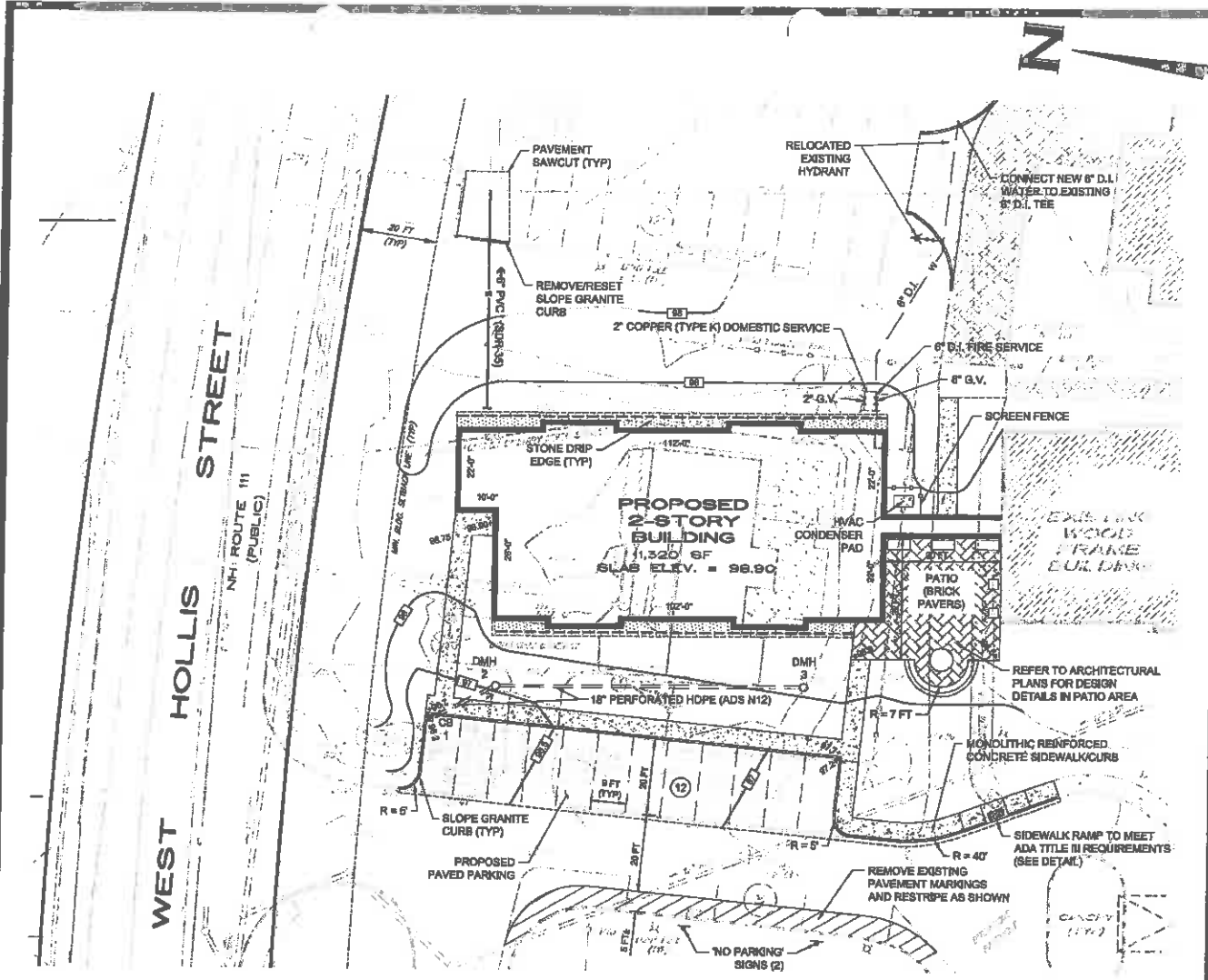
FOR KRE-BSL HUSKY NASHUA LLC  
JOSEPH GLENN STRIGLE, JR.  
KIMBERLY BESKALO STEWART  
DATE 4/7/20  
DATE 4/12/20  
DATE 4/16/20

THE UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE SITE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.  
DATE 4/16/20

**CERTIFICATION**

I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.  
DATE \_\_\_\_\_  
LEE B. GAGNON, LLS





- NOTES**
- STRUCTURE DIAMETERS AS SHOWN ON DRAINAGE PROFILES ARE CONSIDERED TO BE MINIMUM INSIDE DIMENSIONS. ALL STRUCTURES SHALL BE A MINIMUM INSIDE DIAMETER OF 48" UNLESS OTHERWISE INDICATED. LARGER STRUCTURES MAY BE NECESSARY DUE TO ALIGNMENT AND/OR PIPE SIZES. STRUCTURE MANUFACTURER SHALL DETERMINE FINAL SIZE.
  - PIPE LENGTHS ARE MEASURED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.
  - EXTERIOR FOUNDATION WALLS AND FOOTINGS AS SHOWN ARE APPROXIMATE.

**UTILITY NOTES:**

- ALL DRAINAGE PIPE SHALL BE HOPE (ADS N-12) FURNISHED AND INSTALLED WITH FLEXIBLE GASKETS. JOINTS SHALL BE MADE WITH OIL RESISTANT COMPRESSION RINGS OF AN ELASTOMERIC MATERIAL CONFORMING TO ASTM C-442. MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE FOLLOWED.
- ALL WATER LINE, HYDRANT VALVES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS FOR THE INSTALLATION OF MATERIALS, MAIN PIPING, SERVICE CONNECTIONS IN THE FENNERCHUCK WATER WORKS FRANCHISED AREAS OF NASHUA AND MERRIMACK, NEW HAMPSHIRE, LATEST EDITION.
- FOUNDATION DRAINS ARE NOT ALLOWED TO OUTLET OVERLAND ONTO ANY STREET.
- DRAIN SYSTEMS SHALL BE INSTALLED BY A NASHUA LICENSED DRAIN LAYER, PER NHD SECTION 18-82 THROUGH SECTION 18-80.
- ALL POWER RELATED WORK SHALL CONFORM TO EVERSOURCE STANDARDS.
- ALL TELECOMMUNICATIONS WORK SHALL CONFORM TO CONSOLIDATED COMMUNICATIONS STANDARDS.
- ALL NATURAL GAS RELATED WORK SHALL COMPLY WITH LIBERTY UTILITIES STANDARDS.
- SNOUT OIL AND DEBRIS STOPS SHALL BE INSTALLED IN ALL PROPOSED CATCH BASINS (SEE DETAIL ON SHEET 6).
- THE CONTRACTOR SHALL VIDEO THE EXISTING 8" SEWER SERVICE FROM THE ON-SITE MANHOLE TO THE SEWER MANHOLE ON THE MAIN LINE IN WEST HOLLIS STREET (80± FT).

(SEE SHEET 4 FOR EROSION CONTROL NOTES)

**CITY OF NASHUA**

**PLANNING DEPARTMENT**  
COMMUNITY DEVELOPMENT DIVISION  
228 MAIN STREET  
NASHUA, NH 03060  
ATT: LINDA MCGHEE  
(603) 580-3110

**ENGINEERING DEPARTMENT**  
NASHUA DEPT. OF PUBLIC WORKS / ENGINEERING  
9 RIVERVIEW STREET  
NASHUA, NH 03062  
ATT: JOE MENDOLA, PE  
(603) 580-5124

**FIRE DEPARTMENT**  
NASHUA FIRE DEPARTMENT  
171 EAST HOLLIS STREET  
NASHUA, NH 03060  
ATT: ADAM POULIOT  
(603) 580-3460

**UTILITY CONTACTS**

**WATER:**  
FENNERCHUCK WATER WORKS  
25 MANCHESTER STREET  
MERRIMACK, NH 03054  
ATT: JOHN BOISVERT, PE  
(603) 913-2300

**GAS:**  
LIBERTY UTILITIES  
11 NORTHEASTERN BLVD.  
SALEM, NH 03079  
ATT: RYAN LAGASSE  
(603) 327-7151

**TELEPHONE:**  
CONSOLIDATED COMMUNICATIONS  
257 DANIEL WEBSTER HWY.  
MERRIMACK, NH 03054  
ATT: JOY MENDONCA  
(603) 946-2713

**POWER:**  
EVERSOURCE  
370 AMHERST STREET  
NASHUA, NH 03060  
ATT: MARC GAGNON  
(603) 852-9894

**SITE AND EROSION CONTROL PLAN**  
(CONTRACT LOTS 2150 & 2151)

**NASHUA CROSSINGS**

672 & 674 WEST HOLLIS STREET  
NASHUA, NEW HAMPSHIRE

PREPARED FOR:  
**BENCHMARK SENIOR LIVING**  
301 JONES ROAD - 3RD FLOOR WEST  
WALTHAM, MASSACHUSETTS 02458

RECORD OWNERS:  
**KREBSL HUSKY NASHUA LLC and**  
*Joseph Glenn Struble, Jr. & Kimberly Reardon Stewart*

**FINAL DESIGN REVIEW**

NO.	DATE	REVISION
1		ADDRESS CITY COMMENTS

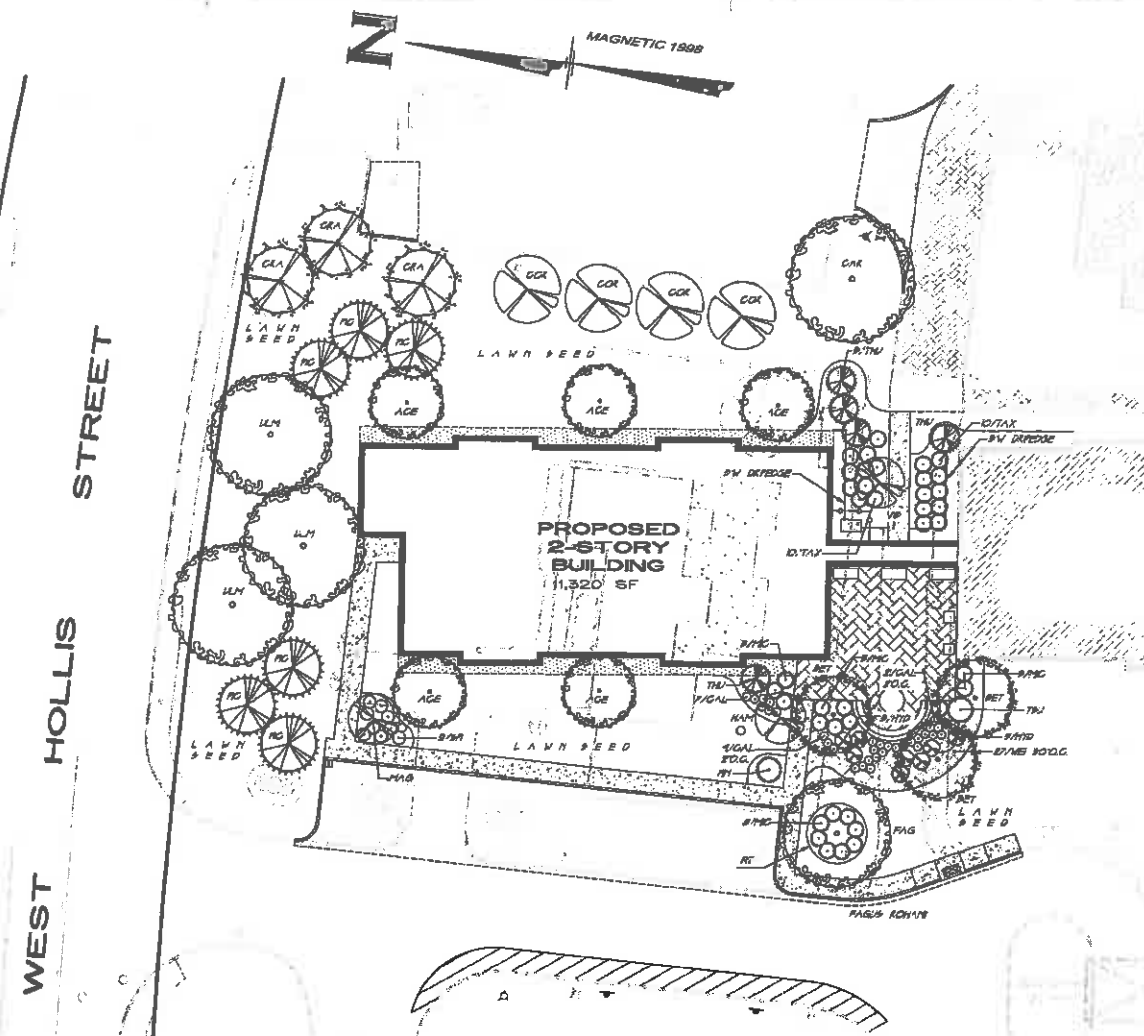
DATE: 12/17/2020

SCALE: 1" = 20'

**IHSII** *Engineering & Construction, Inc.*

3000  
1000  
500  
0

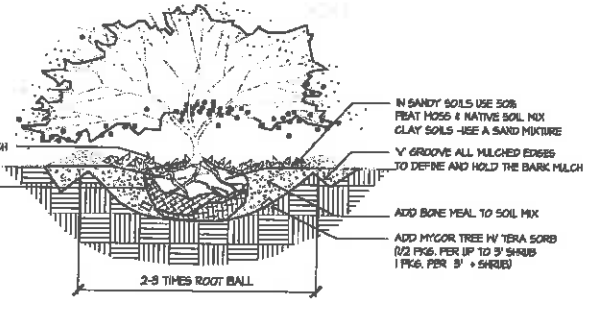
127 FEBRUARY 2020



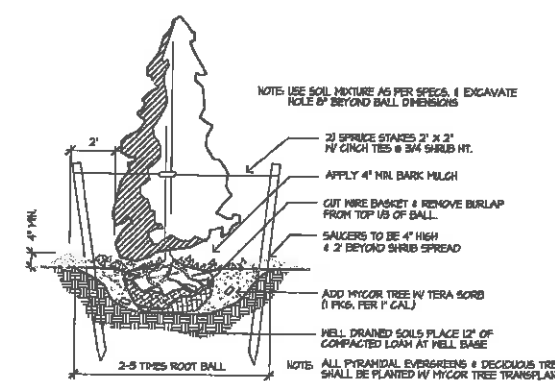
**LANDSCAPE PLAN**

**MATERIAL BID LIST**

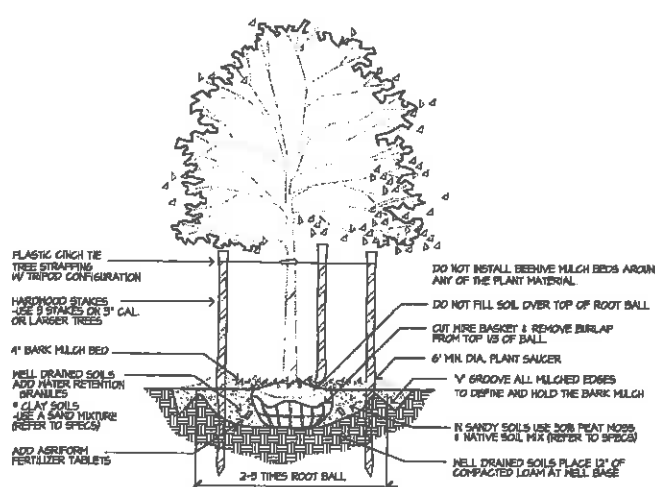
- THE PLANT MATERIAL BID LIST CANNOT BE ALTERED WITHOUT WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
- ANY PLANTS INSTALLED WITHOUT WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT THAT DO NOT CORRESPOND TO THE BID LIST SHALL BE REPLACED WITH THE BID LIST ITEM AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR MUST ADHERE TO THE SPECIES MIX AND THE AGE AS LISTED. CONTAINER PLANTS CANNOT BE SUBSTITUTED FOR BALLED AND BURLAPPED PLANTS WITHOUT WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
- PLANT BED CONSTRUCTION MUST ADHERE TO THE SPECIFICATIONS LAYED OUT ON THE PLAN. ANY ADJUSTMENTS REQUIRED BY THE LANDSCAPE ARCHITECT AFTER THE FINAL INSTALL SHALL BE ADJUSTED AT THE CONTRACTOR'S EXPENSE.
- THE OUTER BRANCHES OF SHRUBS SHALL NOT BE ANY CLOSER TO BUILDING EDGES THAN 2'. IF PLANTS ARE INSTALLED AGAINST THE BUILDING EDGE THE BRANCHES SHALL BE TRIMMED AND FLAGGED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROVIDE A ONE YEAR GUARANTEE FROM DATE OF OWNER ACCEPTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING APPROPRIATE WATERING AND MAINTENANCE OF THE INSTALLATION THROUGH THE FIRST GROWING SEASON.
- ALL BALLED AND BURLAPPED TREES/SHRUBS WITH WIRE BASKETS SHALL HAVE THE UPPER 1/3 OF THE BASKET REMOVED AND THE BASKET WIRE CUT DURING THE TREE INSTALL.



**B&B SHRUB PLANTING**  
NOT TO SCALE



**PYRAMIDAL EVERGREEN TREE PLANTING**  
NOT TO SCALE



**TREE PLANTING 2+ CAL.**  
NOT TO SCALE

**General Specifications**

- The contractor shall at his expense furnish all the materials, supplies, machinery, equipment, tool, superintendent, labor, insurance, & other accessories and services necessary to complete the said project within the unit costs stated within the bid price.
- The work to be done under this contract is as shown and described on the drawings. Each bidder shall make a careful examination of the plans and specifications (the plan shall dictate quantities) and acquaint himself with all conditions before making his proposal. He will be held responsible for errors in his proposal resulting from his failure to make such an examination. All bidders shall visit the site and inform themselves of all conditions.
- The bids shall be based on materials and equipment complying with the drawings and the specifications. The contractor shall be responsible under this contract price, for furnishing and installing materials conforming to the bid items. Under no circumstances may a species 'hybrid' be substituted or size changed without written consent of the landscape architect.
- The contractor shall be responsible for the protection of such existing utilities as water mains, sewer systems, gas mains, electrical conduits, telephone lines and any other utilities and if any damage or destruction may occur to these utilities, he shall be responsible for their repair and/or replacement at his expense.
- The contractor shall make payment for all damages to buildings, structures, trees, shrubs and/or any other property outside the construction area or located within those limits but not designated for removal or reconstructed providing such damage shall result from accident caused by negligence for which the contractor shall be legally liable.
- If additional labor and/or materials is requested or required, the contractor shall submit a price to the owner. If the owner approves the price he shall prepare a change order for approval and signature. The contractor shall not proceed without a written authorization from the owner for the additional work. If the contractor proceeds with the additional work without this authorization he shall forfeit any claim for additional compensation.
- The landscape architect shall reserve the right to inspect the project work at any time deemed necessary to insure that the specifications and plans and any other contract documents are being followed.
- The L.A. shall have the right to reject any plant on-site based upon condition, size, or incorrect species or hybrid. LA must be contacted prior to install, to inspect materials delivered to the site, and to insure that soil amendments, bark mulch, roof ballast, etc. are to the written specifications.
- All seeded areas shall receive a minimum 6" topsoil blanket (by site contractor) with preparation, raking and general clean up prior to application. Operations shall include a pre-emergence type herbicide, 12-25-12 granular fertilizer @ 10 lbs./1000 sq. ft. and pelletized limestone @ 25 lbs./1000 sq. ft. power raked into the top 2" of soil prior to hydro-seeding. Ratios & application rates may change based upon the required soil analysis.
- Contractor is responsible for establishing a thick, weed free lawn. Seed shall be spread @ 4lbs./1000. Lawn germination shall be 95% free of noxious weeds for acceptance. Define differences in seed mixes (if applicable) with irrigation flagging until 2nd mowing. Site review by LA is required.
- Review of the installed irrigation system by the designer is required prior to release of final payment.
- Hydroseeding operations shall be a one part process with a paper fiber mulch; a tackifier shall be applied on all slopes greater than 3:1. Excelsior Drainage mat shall be applied to all 2:1 slopes and drainage swales per plan.
- Contractor shall maintain, from acceptance date, the lawn areas through the first mowing. Contractor is not responsible for the first mowing.
- All plant materials shall be installed in accordance with A.L.C.C. Trees and shrubs shall have appropriate soil mixture, fertilizer and soil retention granules.
- If the soil conditions are extremely sandy, all trees shall have a 6" layer of compacted topsoil (verify with Landscape Architect) placed in the base of the plant pit as a moisture retention layer. The plant pit sidewalls shall be over excavated by an additional 12" beyond the normal outside radius of the hole. A topsoil planting mixture shall be used to backfill as per spec # 22.
- Landscape architect shall have the right to reject and have ground removed any plant material not of proper size or of weak quality, i.e. thin, no lower branching, etc. Contractor must submit shipping lists (billing invoices) for verification, prior to installation.

- All plant material shall be guaranteed for a period of one (1) year from date of installation. Any material which dies or does not show a healthy appearance within this time shall be replaced at the contractor's expense; with same warranty requirements as the original. Warranty does not cover loss due mechanical damage, i.e. snow storage. Contractor should protect susceptible species from insect infestation. Use a liquid systemic application on birch, etc.
- Plant beds and saucers vary in dia. (refer to dwg). Trees and shrubs shall receive a 4" (settled) covering of pine/bark mulch; saucer diameters per drawing & details. Deciduous trees shall have a 6" dia. saucer (typ.), evergreen trees shall have a saucer 2" min. beyond it's outer branches. All edges shall have a "V" groove.
- All B&B material which are encased in wire baskets shall have the wires cut loose and the top third removed prior to backfill operation.
- If road base is encountered in any plant bed areas, i.e. parking islands, it shall be removed and suitable amended soil installed per drawings and specifications.
- Soil planting mixture shall be a 6%-10% organic topsoil, amended with 10% wood ash, 10% peat moss, & 30% compost or incorporate a dehydrated compost material. If planting in sand, gravel or other well drained soils, a 50% peat moss to excavated soil. Other soil amendments shall include; Agriform tablets, Hydro-Gel or equal, and Roots growth enhancer to all trees and shrubs listed, per manufacturer's specifications. All plant material pits will receive a min. 20% in volume mix of a compost soil amendment. Submittal required. 'Roots' STEP 1 can be substituted for the individual supplements. Install per manufacturer's specs.
- Landscape contractor shall not be responsible for topsoil spreading but shall coordinate with the site contractor adherence to the mound grades, plant bed soil depths and soil type per dwgs & spec. Landscape contractor shall power rake-out for seed.
- Landscape contractor shall provide a soil analysis of the topsoil planting mixture. Analysis to show soil classification (min. sandy loam) and nutrients.
- Contractor shall protect all B&B materials left above grade prior to installation from drying out. All plants shall be etored, covered in mulch, and irrigated until planted. Any plant left on the ground and whose outer ball surface dries out, shall be rejected by the landscape architect. Plants stored in shade and off pavement.
- Plan dictates, contractor shall alert Landscape Architect if any discrepancies exist between the plan, the material list, and as-built site conditions.
- Installer shall notify landscape architect prior to planting, to review plant locations and bedline configurations. If contractor installs without the placement approval of the L.A., said architect shall have the right to relocate any installed plants at the contractor's expense.
- Installer shall notify landscape architect prior to plant installation to review all materials. Any plants of poor condition, improper size, or species will be rejected.
- Upon one year review, contractor shall straighten any trees that have shifted. Any weak or bare spots in lawn shall be reseeded.
- All bedlines shall have a deep "V" groove to define lawn to mulch edge. No "Beehive" mounding of mulch is allowed, also keep mulch away from base of perennials.
- Do not plant materials too close to the edge of bedlines. Refer to drawings for center of plant to bedline. At a minimum no outer branching of a shrub or perennial shall be closer than two feet from the bedline. If the as-built does not comply contractor shall adjust the plant location or bedline at his expense.
- Seed mixes include: Sandy Soil Lawn Mix by: deercreekseed.com; New England Wetland Plants, Amherst, Ma. refer to planting plan for designations.
- Any items not completed to the specifications will be required at contractor's expense prior to final approval. Contractor is to bid the work according to the specifications and not to what they may do under their standard practices. Special attention will be paid to soils, amendments, guy stakes, bedline & saucer configurations, seed mixtures, etc.
- Certain designated foundation edging is road ballast (washed rounds, non-crushed, natural) Size of stone is a range of 3/4"-1.6" dia. placed to a depth of 3", upon placement apply a coating of granular Preen (pre-emergent).
- Any questions concerning this drawing shall be directed to Joseph Hochrain c/o Blackwater Design, 85 Frost Lane, Webster, NH 03303, 603-648-2541.

**MATERIAL BID LIST**

8142C	ACER FREEMAN (FREEMAN MAPLE)	25'-0" CAL.
8142T	REILA NORA (HERITAGE RIVER BIRCH)	25'-0" CAL.
8142R	GARBUS BETULUS (EUROPEAN HORNBEAM)	25'-0" CAL.
8142S	CALAMAGROSTIS (REAL PRAIRIE REED GRASS)	25'-0" CAL.
8142G	CORUS MAJ (GOLDEN GLOVE CORNUS)	25'-0" CAL.
8142L	GRABESIA LAEVIFLORA (COMMON GLOB HAWTHORN)	25'-0" CAL.
8142M	PAGUS SILVATICA (ROMAN EUROPEAN BEECH)	25'-0" CAL.
8142N	HYDANGELIA INTERMEDIA (ORANGE OR YELLOW WITCHAMIEL)	25'-0" CAL.
8142D	HYDRANGEA (ENDLESS SUMMER BLOSSOM BRED)	25'-0" CAL.
8142H	MAGNOLIA LILIFLORA (BIG LILY MAGNOLIA)	25'-0" CAL.
8142P	FRAXINUS (AMERICAN WHITE OAK)	25'-0" CAL.
8142K	ROSA CHINQUA (HEAVEN BRIDGE)	25'-0" CAL.
8142J	FRAXINUS (AMERICAN WHITE OAK)	25'-0" CAL.
8142I	FRAXINUS (AMERICAN WHITE OAK)	25'-0" CAL.
8142A	FRAXINUS (AMERICAN WHITE OAK)	25'-0" CAL.

**BLACKWATER DESIGN**  
85 FROST LANE, WEBSTER, NH 03303  
TEL: 603-648-2541  
WWW.BLACKWATERDESIGN.COM

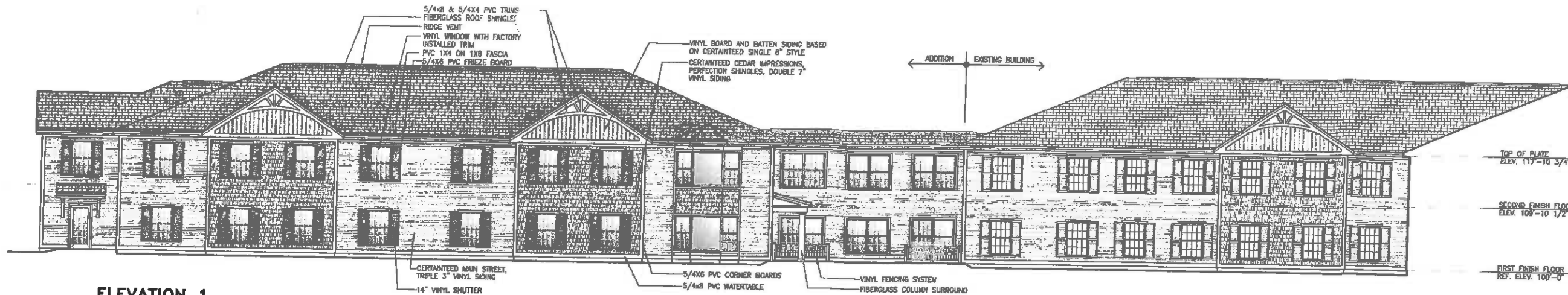
**NASHUA CROSSINGS**  
672 & 674 WEST HOLLIS STREET  
NASHUA, NEW HAMPSHIRE

**BENCHMARK SENIOR LIVING**  
201 JONES ROAD - 3RD FLOOR WEST  
WALTHAM, MASSACHUSETTS 02451

**FINAL DESIGN REVIEW**  
DATE: 02/27/2020  
BY: [Signature]

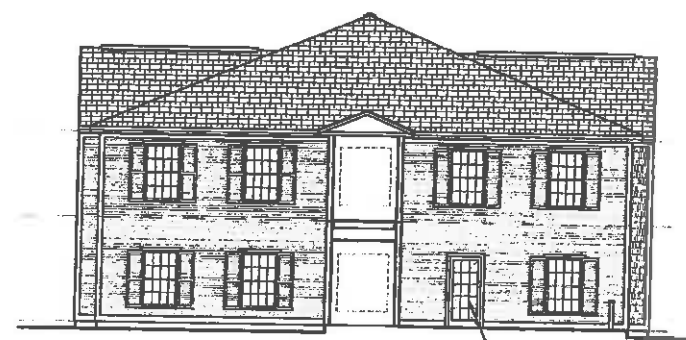






**ELEVATION 1**

TOP OF PLATE  
ELEV. 117'-10 3/4"  
SECOND FINISH FLOOR  
ELEV. 109'-10 1/2"  
FIRST FINISH FLOOR  
REF. ELEV. 100'-0"



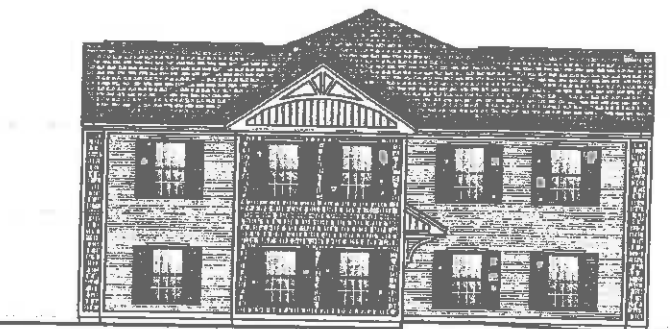
**ELEVATION 2 - EXISTING**

SCALE: 1/8"=1'-0"



**ELEVATION 3**

SCALE: 1/8"=1'-0"



**ELEVATION 4**

SCALE: 1/8"=1'-0"

TOP OF PLATE  
ELEV. 117'-10 3/4"  
SECOND FINISH FLOOR  
ELEV. 109'-10 1/2"  
FIRST FINISH FLOOR  
REF. ELEV. 100'-0"



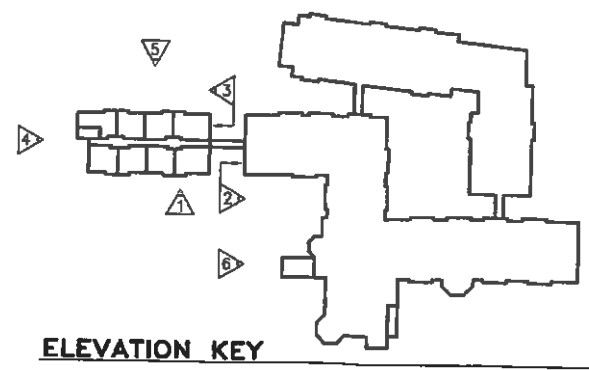
**ELEVATION 5**

TOP OF PLATE  
ELEV. 117'-10 3/4"  
SECOND FINISH FLOOR  
ELEV. 109'-10 1/2"  
FIRST FINISH FLOOR  
REF. ELEV. 100'-0"



**ELEVATION 6 - EXISTING**

SCALE: 1/8"=1'-0"



**ELEVATION KEY**

REV. NO.	REVISIONS	DATE

NEW HAMPSHIRE  
**BENCHMARK SENIOR LIVING  
NASHUA CROSSINGS ADDITION**  
NASHUA, NH  
DATE: 01/25/20  
SCALE: 1/8"=1'-0"

**U** **UDELSMAN  
ASSOCIATES**  
ARCHITECTURE • PLANNING • DESIGN  
161 FEDERAL HILL ROAD  
HOLLIS, NEW HAMPSHIRE 03049  
603-465-6960

PROJECT NO:  
**1989**

SHEET NO.:  
**A2**