

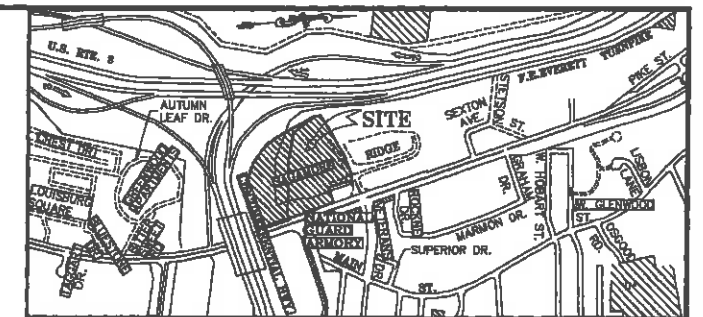
REFERENCE PLANS:

1. LOT LINE RELOCATION PLAN (LOTS 745 & 987, MAP 'A'), 147 & 153 DANIEL WEBSTER HIGHWAY, NASHUA, NEW HAMPSHIRE, PREPARED FOR RECORD OWNER: ROSCOMMON INVESTMENTS, LLC, RECORD OWNERS: TULLY BUICK-PONTIAC COMPANY, SCALE: 1"=100', DATED: SEPTEMBER 2006, RECORDED AT THE H.C.R.D. AS PLAN #35298

LEGEND

- ABUTTER LINE
- PROPERTY LINE
- WETLAND
- TREETLINE
- RETAINING WALL
- EDGE OF PAVEMENT
- BITUMINOUS CURB
- BUILDING SETBACK
- EASEMENT
- ZONE LINE

LIMITS OF JURISDICTIONAL WETLANDS DELINEATED BY JOSHUA BRIEN, CIVIL #256 OF KEACH-NORDSTROM ASSOCIATES, INC.



VICINITY MAP
NOT TO SCALE

NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED 17,600 SQUARE FOOT AUTO BODY SHOP ON MAP A LOT 745 IN NASHUA, NEW HAMPSHIRE AND NO OTHER PURPOSE.
 2. REFERENCE SUBJECT PARCEL AS THE CITY OF NASHUA ASSESSOR'S MAP A; LOT 745, WITH AN EXISTING APPROVED SITE PLAN NR1976.
 3. TOTAL SITE AREA: 611,265 SF. OR 11.737 ACRES.
 4. OWNER OF RECORD:
TULLY AUTOMOTIVE GROUP, INC.
ATTN: JACK TULLY
147 DANIEL WEBSTER HWY
NASHUA, N.H. 03060
BK. B506 PG. 947
 5. THE SUBJECT PARCEL IS LOCATED WITHIN THE GENERAL BUSINESS (GB) ZONING DISTRICT AND IS SUBJECT TO THE FOLLOWING DIMENSIONAL REQUIREMENTS:
- | DIMENSIONAL REQUIREMENTS | REQUIRED | EXISTING | PROPOSED |
|----------------------------|-----------|------------|------------|
| MINIMUM LOT AREA | 10,000 SF | 611,265 SF | 611,265 SF |
| MINIMUM LOT FRONTAGE | 50' | 413.45' | 413.45' |
| MINIMUM LOT WIDTH | 50' | 174.8'± | 174.8'± |
| MINIMUM LOT DEPTH | 75' | 870.0'± | 870.0'± |
| MINIMUM BUILDING SETBACKS: | | | |
| FRONT | 10' | 78.0'± | 78.0'± |
| SIDE | 7' | 36.0'± | 36.0'± |
| REAR | 10' | 215.0' | 128.0' |
| MAXIMUM BUILDING HEIGHT | 60' | <60' | <60' |
| MAXIMUM STORIES | 5 | 2.0 | <2.0 |
| OPEN SPACE | 10% | 13.2% | 14.8% |
| MAXIMUM FLOOR AREA RATIO | 1.25 | 0.17% | 0.23% |
6. PARKING CALCULATIONS:
EXISTING AUTO SALES BUILDING 1 SPACE / 500 SF x 115,850 = 231.7 SPACES
PROPOSED AUTO BODY SHOP 1 SPACE / 500 SF x 17,600 = 35.2 SPACES
REQUIRED SPACES = 267 SPACES
PROVIDED SPACES = 327 SPACES
 7. BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A FIELD SURVEY PERFORMED BY THIS OFFICE IN APRIL OF 2006 AND APRIL OF 2019.
 8. HORIZONTAL DATUM IS NAD83, VERTICAL DATUM IS NAVD83 OBTAINED THROUGH GPS OBSERVATIONS POST PROCESSED THROUGH NOAA-OPUS. NORTH ORIENTATION IS NAD83.
 9. EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR THE CITY OF NASHUA NEW HAMPSHIRE, HILLSBOROUGH COUNTY, MAP NUMBER 3301100512D PANEL 512 OF 701, EFFECTIVE DATE: SEPTEMBER 25, 2008 INDICATES THAT NO PORTION OF THE SUBJECT PREMISES IS LOCATED WITHIN A FLOOD HAZARD.
 10. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR OR OWNER SHALL CONTACT DIG SAFE AT 811.
 11. EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED HEREON ARE THOSE FOUND DURING RESEARCH AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. OTHER EASEMENTS, RIGHTS AND RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PREMISES MAY DETERMINE.
 12. THE APPLICANT'S ENGINEER AND/OR CONTRACTOR SHALL CONTACT THE CITY OF NASHUA TO SCHEDULE A PRECONSTRUCTION MEETING, WHICH WILL BE HELD WITH STAFF PRIOR TO STARTING CONSTRUCTION.
 13. ALL IMPROVEMENTS SHOWN ON THE SITE PLAN-OF-RECORD, INCLUDING NOTES 1-28, SHALL BE COMPLETED IN THEIR ENTIRETY AND AT THE EXPENSE OF THE APPLICANT OR HIS ASSIGNS.
 14. THE CITY SHALL RESERVE THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION.
 15. THIS SITE IS SERVED BY PENNACLUCK WATER AND SEWER.
 16. ALL LANDSCAPING SHALL BE AS SHOWN ON THE PLAN AND CONFORM TO THE APPLICABLE CITY OF NASHUA ZONING REGULATIONS.
 17. IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURES SHOWN ON THIS PLAN IN ANY WAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
 18. STREET RESTORATION TO BE IN ACCORDANCE WITH NRO 285-13.
 19. THIS PLAN COMPLIES WITH THE MINIMUM REQUIREMENTS SET FORTH IN THE NASHUA LAND USE CODE.
 20. DRAIN LINES WILL BE INSPECTED PRIOR TO BACKFILLING AND PAVING.
 21. ALL LIGHTING SHALL CONFORM TO THE NASHUA LAND USE CODE.
 22. A BOND WILL BE REQUIRED FOR ALL WORK WITHIN THE CITY'S RIGHT OF WAY.
 23. NEW UTILITIES, BOTH MAIN AND SERVICE CONNECTIONS, SHALL BE PROVIDED UNDERGROUND AND INSTALLED IN ACCORDANCE WITH THE BOARD OF PUBLIC WORKS SPECIFICATIONS.
 24. THE TOTAL AREA OF DISTURBANCE IS APPROXIMATELY 87,000 SQUARE FEET.
 25. SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM TO TITLE II OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSIONS, GRAD, AND NUMBER OF SPACES.
 26. HOURS OF OPERATION FOR THE PROPOSED AUTO BODY SHOP WILL BE SEVEN DAYS A WEEK FROM 8 AM TO 8 PM.
 27. THE FOLLOWING WAIVERS FROM THE LAND USE CODE HAVE BEEN REQUESTED OF THE PLANNING BOARD:
-SECTION 190-184(D)(1) TO ALLOW AN ALTERNATIVE LANDSCAPE PLAN IN LIEU OF PROVIDING A LANDSCAPED ISLAND EVERY TEN PARKING SPACES.
-SECTION 190-279(E) FOR THE REQUIREMENT OF SHOWING EXISTING CONDITIONS ADJACENT TO THE SITE.
 28. ALL SIGNAGE SHALL CONFORM TO APPLICABLE CITY OF NASHUA ZONING REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
 29. FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
 30. UTILITY INCLUDING ALL ELECTRIC, TELEPHONE, CABLE TELEVISION, AND OTHER COMMUNICATION LINES, BOTH MAIN AND SERVICE CONNECTIONS, SERVING NEW DEVELOPMENTS SHALL BE PROVIDED BY UNDERGROUND WIRING WITHIN EASEMENTS OR DEDICATED PUBLIC RIGHT-OF-WAY, INSTALLED IN ACCORDANCE WITH THE BOARD OF PUBLIC WORKS SPECIFICATIONS.
 31. THE ADDRESS OF THE PROPOSED BUILDING SHALL BE 151 DANIEL WEBSTER HIGHWAY.

OWNER OF RECORD

SIGNATURE: _____

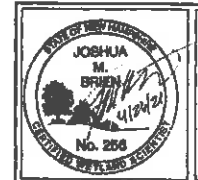
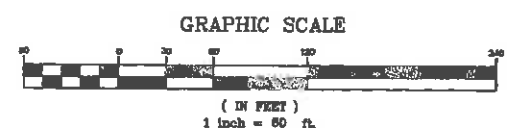
DATE: _____

THE UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

OWNER/APPLICANT

APPROVED - NASHUA CITY PLANNING BOARD

SECRETARY	DATE
CHAIRMAN	DATE



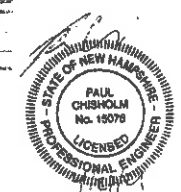
JOSHUA BRIEN, CERTIFIED WETLAND SCIENTIST #256 OF KEACH-NORDSTROM ASSOCIATES, INC. OF BEDFORD, NH PERFORMED THE DELINEATION OF JURISDICTIONAL WETLANDS ON JAN. 14, 2021 USING THE TECHNICAL CRITERIA IN THE CORPUS OF ENGINEERS WETLAND DELINEATION MANUAL (TECHNICAL REPORT Y-87-1, JANUARY 1987).

CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE BY THIS OFFICE IN APRIL OF 2006 AND APRIL OF 2019. SAID SURVEY HAS A RELATIVE ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) OR BETTER.

LICENSED LAND SURVEYOR

4/26/21
DATE



OVERVIEW PLAN

TULLY AUTO BODY SHOP

MAP A LOT 745
147 DANIEL WEBSTER HIGHWAY
NASHUA, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER/APPLICANT:
TULLY AUTOMOTIVE GROUP
147 DANIEL WEBSTER HIGHWAY
NASHUA, N.H. 03060
BK. B506 PG. 947
(603) 888-5050

KM KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscapes Architecture
10 Commerce Park North, Suite 35, Bedford, NH 03110 Phone (603) 687-8881

REVISIONS				
No.	DATE	REVISION	BY	PCB
1	4/27/21	REVISED PER PLANNER COMMENTS		

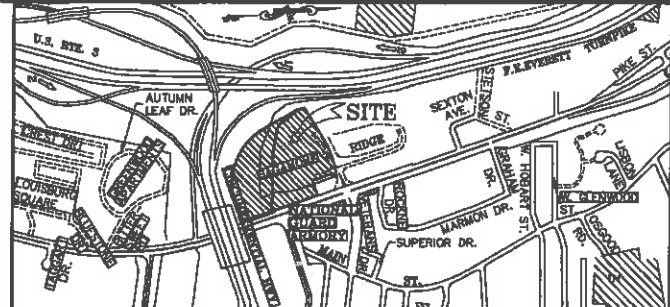
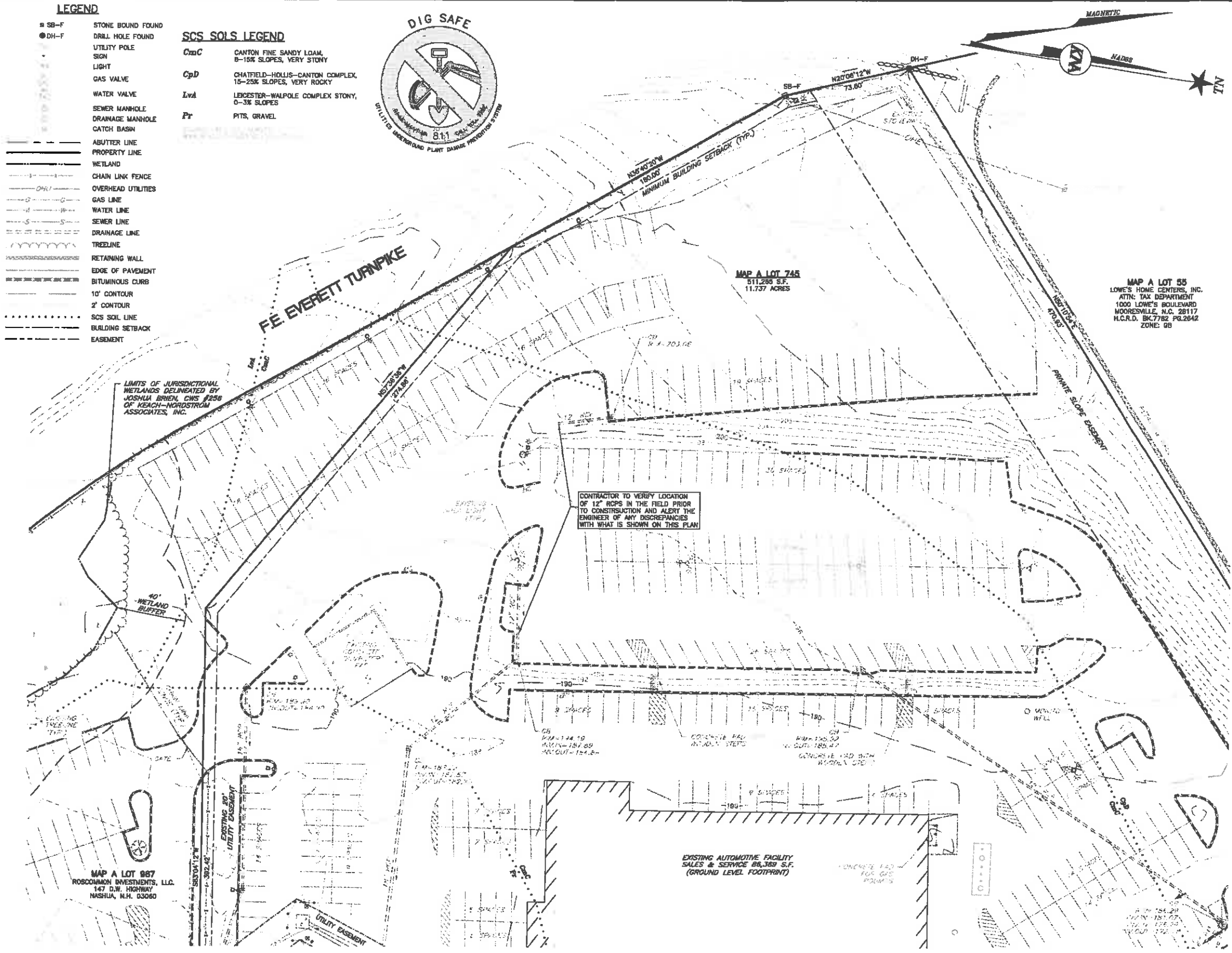
DATE: MARCH 25, 2021 SCALE: 1" = 60'
PROJECT NO: 06-0407-1 SHEET 1 OF 17

LEGEND

- SB-F STONE BOUND FOUND
- DH-F DRILL HOLE FOUND
- UTILITY POLE
- SIGN
- LIGHT
- GAS VALVE
- WATER VALVE
- SEWER MANHOLE
- DRAINAGE MANHOLE
- CATCH BASIN
- ABUTTER LINE
- PROPERTY LINE
- WETLAND
- CHAIN LINK FENCE
- OVERHEAD UTILITIES
- GAS LINE
- WATER LINE
- SEWER LINE
- DRAINAGE LINE
- TREELINE
- RETAINING WALL
- EDGE OF PAVEMENT
- BITUMINOUS CURB
- 10' CONTOUR
- 2' CONTOUR
- SCS SOIL LINE
- BUILDING SETBACK
- EASMENT

SCS SOILS LEGEND

- CmC CANTON FINE SANDY LOAM, 8-15% SLOPES, VERY STONY
- CpD CHATFIELD-HOLLIS-CANTON COMPLEX, 15-25% SLOPES, VERY ROCKY
- LvA LEICESTER-WALPOLE COMPLEX STONY, 0-3% SLOPES
- Pr PITS, GRAVEL



VICINITY MAP
NOT TO SCALE

SEE SHEET 1 FOR NOTES & REFERENCE PLANS

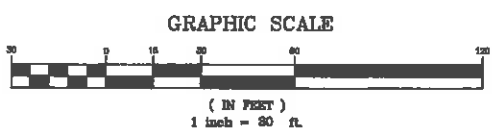
SEE REFERENCE PLAN #1 FOR BOUNDARY DETAILS

MAP A LOT 55
LOWE'S HOME CENTERS, INC.
ATTN: TAX DEPARTMENT
1000 LOWE'S BOULEVARD
MOORESVILLE, N.C. 28117
H.C.R.D. 84-7782 PG.2642
ZONE: 08

CONTRACTOR TO VERIFY LOCATION OF 12" RIPS IN THE FIELD PRIOR TO CONSTRUCTION AND ALERT THE ENGINEER OF ANY DISCREPANCIES WITH WHAT IS SHOWN ON THIS PLAN

LIMITS OF JURISDICTIONAL WETLANDS DELINEATED BY JOSHUA BRIEN, CWS #258 OF KEACH-NORDSTROM ASSOCIATES, INC.

MAP A LOT 987
ROSCOMMON INVESTMENTS, LLC
147 D.W. HIGHWAY
NASHUA, N.H. 03060

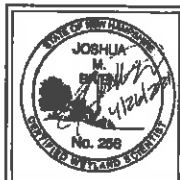


**EXISTING CONDITIONS PLAN
TULLEY AUTO BODY SHOP
MAP A LOT 745
147 DANIEL WEBSTER HIGHWAY
NASHUA, NEW HAMPSHIRE
HILLSBOROUGH COUNTY**

OWNER/APPLICANT:
TULLEY AUTOMOTIVE GROUP
147 DANIEL WEBSTER HIGHWAY
NASHUA, N.H. 03060
BK. 8506 PG. 847
(603) 888-5050

KM KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 202, Bedford, NH 03110 Phone (603) 687-2881

UTILITY NOTE
THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN DRAWN FROM FIELD SURVEY INFORMATION AND OR PLOTTED FROM EXISTING DRAWINGS. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, KEACH-NORDSTROM ASSOCIATES, INC. DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. KEACH-NORDSTROM ASSOCIATES, INC. HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.



JOSHUA BRIEN, CERTIFIED WETLAND SCIENTIST #258 OF KEACH-NORDSTROM ASSOCIATES, INC. OF BEDFORD, NH PERFORMED THE DELINEATION OF JURISDICTIONAL WETLANDS ON JAN. 14, 2021 USING THE TECHNICAL CRITERIA IN THE CODES OF ENGINEERS WETLAND DELINEATION MANUAL (TECHNICAL REPORT Y-87-1, JANUARY 1987).

CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE BY THIS OFFICE IN APRIL OF 2008 AND APRIL OF 2018. SAID SURVEY HAS A RELATIVE ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) OR BETTER.

[Signature]
LICENSED LAND SURVEYOR
DATE

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	4/27/21	REVISED PER PLANNER COMMENTS	PCM

DATE: MARCH 25, 2021
PROJECT NO: 06-0407-1
SCALE: 1" = 30'
SHEET 2 OF 17

PLANT LIST

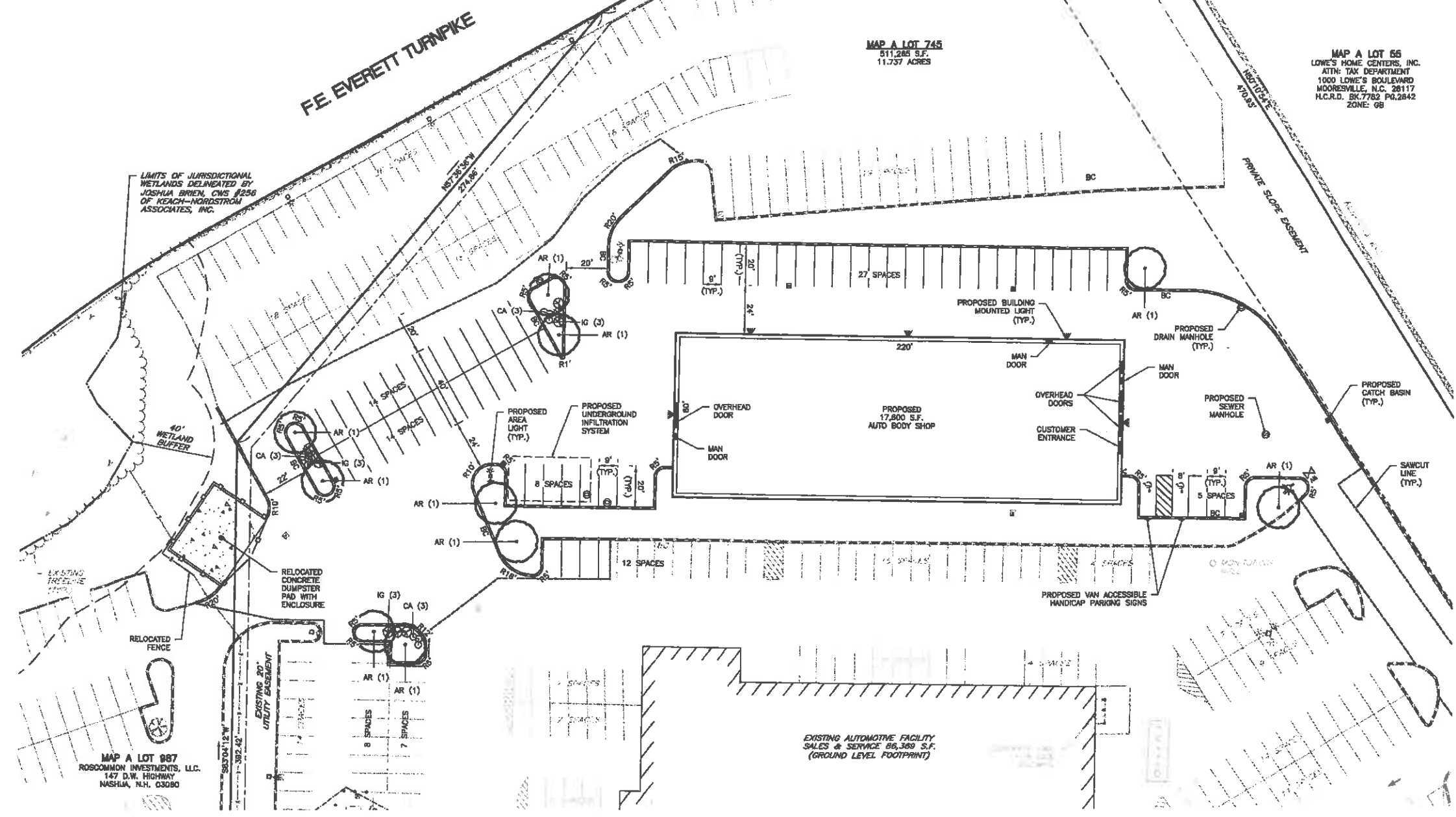
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MATURE HEIGHT
TREES					
AR	10	ACER RUBRUM 'REDPOINTE'	REDPOINTE RED MAPLE	2.5-3" CAL	40-60'
SHRUBS					
CA	1	CLETHRA ALNIFOLIA 'COMPACTA'	COMPACT SUMMERSWEET	2-2.5'	3-4'
IG	1	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	2.5-3" B&B	5-6'

- LANDSCAPE NOTES:**
- ALL PLANT MATERIALS USED SHALL BE NURSERY STOCK AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INSTALLATION. ANY MATERIAL WHICH DIES OR DOES NOT SHOW HEALTHY APPEARANCE WITHIN THIS TIME SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, WITH SAME WARRANTY REQUIREMENTS AS THE ORIGINAL. WARRANTIES TYPICALLY DO NOT COVER LOSS DUE TO INSECT INFESTATION OR MECHANICAL DAMAGE (I.E. SNOW STORAGE).
 - IF THE SOIL CONDITIONS ARE EXTREMELY SANDY, ALL TREES SHALL HAVE A 6" LAYER OF COMPACTED TOPSOIL PLACED IN THE BASE OF THE PLANT PIT AS A MOISTURE RETENTION LAYER. THE PLANT PIT SIDEWALLS SHALL BE OVER EXCAVATED BY AN ADDITIONAL 12" BEYOND THE NORMAL OUTSIDE RADIUS OF THE HOLE. A TOPSOIL MIXTURE SHALL BE USED TO BACKFILL THE HOLE AS FOLLOWS: ORGANIC TOPSOIL, AMENDED WITH 10% WOOD ASH, 10% MANURE, 30% COMPOST AND A GRANULAR HYDROGEL TO ABSORB AND RETAIN WATER.
 - PLANTING BEDS AND SAUCERS SHALL RECEIVE A FOUR INCH (4") MINIMUM THICKNESS OF PINE/HEMLOCK BARK MULCH OVER A 5 OZ. POLYPROPYLENE WEED CONTROL FABRIC.
 - MINIMUM TOPSOIL DEPTH IN LAWN AREAS AND ALL OTHER DISTURBED AREAS SHALL BE 6".
 - MULCH SHALL BE MINIMUM 3" THICKNESS CONSISTING OF 50% SHREDDED BARK AND 50% WOOD CHIPS, 3/4 TO 2 INCH IN SIZE, UNIFORMLY MIXED AND FREE OF ELM WOOD. MULCH TO BE PLACED UNIFORMLY OVER THE PLANTING BED ALLOWING NO WEED BARRIER TO BE SEEN.
 - PAYMENT AND ROAD BASE MATERIAL ENCOUNTERED IN ANY LAWN OR PLANTING BED SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR AND SUITABLE AMENDED SOIL INSTALLED AS SPECIFIED IN THE TURF ESTABLISHMENT SCHEDULE.
 - THE APPLICANT OR THEIR SUCCESSORS SHALL BE RESPONSIBLE FOR THE REGULAR MAINTENANCE OF ALL PLANTING AND OTHER LANDSCAPE FEATURES. PLANT MATERIALS SHALL BE MAINTAINED ALIVE, HEALTHY AND FREE FROM PESTS AND DISEASE.
 - ONLY LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZERS SHOULD BE USED.
 - ALL LANDSCAPED AREAS SHALL BE IRRIGATED.

- LANDSCAPE CALCULATIONS**
- REQUIRED INTERIOR LANDSCAPE AREAL ISLANDS:**
- 5 REQUIRED ISLANDS (20' - 40' LENGTH EACH)
 - SHADE TREES REQUIRED: 2 SHADE TREES / ISLAND = 2 x 5 = 10 SHADE TREES REQUIRED
 - SHRUBS REQUIRED: 1 SHRUB + 1 SHRUB / 5' OF ISLAND LENGTH = 20 / 5 = 4 + 1 = 5 SHRUBS REQUIRED PER 20' ISLAND, OR = 40 / 5 = 8 + 1 = 9 SHRUBS REQUIRED PER 40' ISLAND = 60 FEET TOTAL ISLAND LENGTH / 5 = 16 + 1 = 17 SHRUBS REQUIRED
- PROPOSED INTERIOR LANDSCAPE AREAL ISLANDS:**
- 2 PROPOSED ISLANDS (40' LENGTH EACH)
 - SHADE TREES REQUIRED: 2 SHADE TREES / ISLAND = 2 x 2 = 4 SHADE TREES REQUIRED
 - SHRUBS REQUIRED: 1 SHRUB + 1 SHRUB / 5' OF ISLAND LENGTH = 40 / 5 = 8 + 1 = 9 SHRUBS REQUIRED PER ISLAND = 18 TOTAL SHRUBS PROVIDED

LEGEND

SB-F	STONE BOUND FOUND
IPIN-F	IRON PIN FOUND
U	UTILITY POLE
S	SIGN
L	LIGHT
SM	SEWER MANHOLE
DM	DRAINAGE MANHOLE
CB	CATCH BASIN
---	ABUTTER LINE
---	PROPERTY LINE
---	WETLAND
---	CHAIN LINK FENCE
---	OVERHEAD UTILITIES
---	TREELINE
---	RETAINING WALL
---	EDGE OF PAVEMENT
---	VERTICAL GRANITE CURB
---	BITUMINOUS CURB
---	STONEWALL
---	BUILDING SETBACK
---	EASEMENT
SM	PROPOSED SEWER MANHOLE
DM	PROPOSED DRAINAGE MANHOLE
CB	PROPOSED CATCH BASIN
---	PROPOSED CHAIN LINK FENCE
---	PROPOSED EDGE OF PAVEMENT
---	PROPOSED BITUMINOUS CURB



DETAIL SITE PLAN
TULLEY AUTO BODY SHOP
 MAP A LOT 745
 147 DANIEL WEBSTER HIGHWAY
 NASHUA, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER/APPLICANT:
 TULLEY AUTOMOTIVE GROUP
 147 DANIEL WEBSTER HIGHWAY
 NASHUA, N.H. 03050
 BK. 8505 PG. 947
 (603) 888-5050

KMA KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 301, Bedford, NH 03110 Phone (603) 627-8881

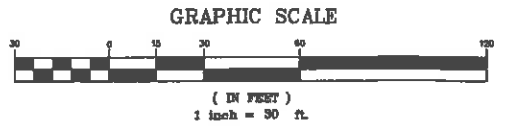
REVISIONS

No.	DATE	DESCRIPTION	BY
1	4/27/21	REVISED PER PLANNER COMMENTS	PCM

DATE: MARCH 25, 2021 **SCALE:** 1" = 30'
PROJECT NO: 06-0407-1 **SHEET:** 4 OF 17



SEE SHEET 1 FOR NOTES & REFERENCE PLANS
 SEE REFERENCE PLAN #1 FOR BOUNDARY DETAILS

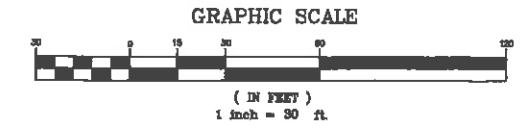


- LIGHTING NOTES:**
1. ALL LIGHTS/FIXTURES SHALL BE AS SPECIFIED BY CHARRON LIGHTING.
 2. ALL PROPOSED LIGHTS/FIXTURES ARE TO BE FULL CUTOFF.
 3. FIXTURES SHALL BE MOUNTED AT HEIGHTS AS SPECIFIED IN TABLE.
 4. PRIOR TO CONSTRUCTION, THE SITE CONTRACTOR SHALL COORDINATE WITH THE PROJECT ELECTRICIAN FOR THE EXACT LOCATION, LAYOUT, CONDUIT SIZE AND CIRCUITS ASSOCIATED WITH THE SITE LIGHTING.

LUMINAIRE SCHEDULE				
SYMBOL	QTY	LABEL	ARRANGEMENT	DESCRIPTION
▶	5	W	SINGLE	GLEON-AF-02-LED-E1-8.1/ WALL MTD 15' AFG
◀▶	2	SS-2	BACK-BACK	GLEON-AF-02-LED-E1-5W/ SSS4A205FR2 (20 AFG)

LEGEND

- SB-F STONE BOUND FOUND
- IPIN-F IRON PIN FOUND
- UTILITY POLE
- ▽ SIGN
- LIGHT
- SEWER MANHOLE
- DRAINAGE MANHOLE
- CATCH BASIN
- ABUTTER LINE
- PROPERTY LINE
- WETLAND
- CHAIN LINK FENCE
- OVERHEAD UTILITIES
- TREELINE
- RETAINING WALL
- EDGE OF PAVEMENT
- VERTICAL GRANITE CURB
- BITUMINOUS CURB
- STONEWALL
- BUILDING SETBACK
- EASEMENT
- PROPOSED SEWER MANHOLE
- PROPOSED DRAINAGE MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED CHAIN LINK FENCE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED BITUMINOUS CURB



IN ASSOCIATION WITH:

P.O. BOX 4550
MANCHESTER, NH 03108
(603) 824-6827
FAX (603) 824-9704
SALES@CHARRONINC.COM

LIGHTING PLAN
TULLEY AUTO BODY SHOP
MAP A LOT 745
147 DANIEL WEBSTER HIGHWAY
NASHUA, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

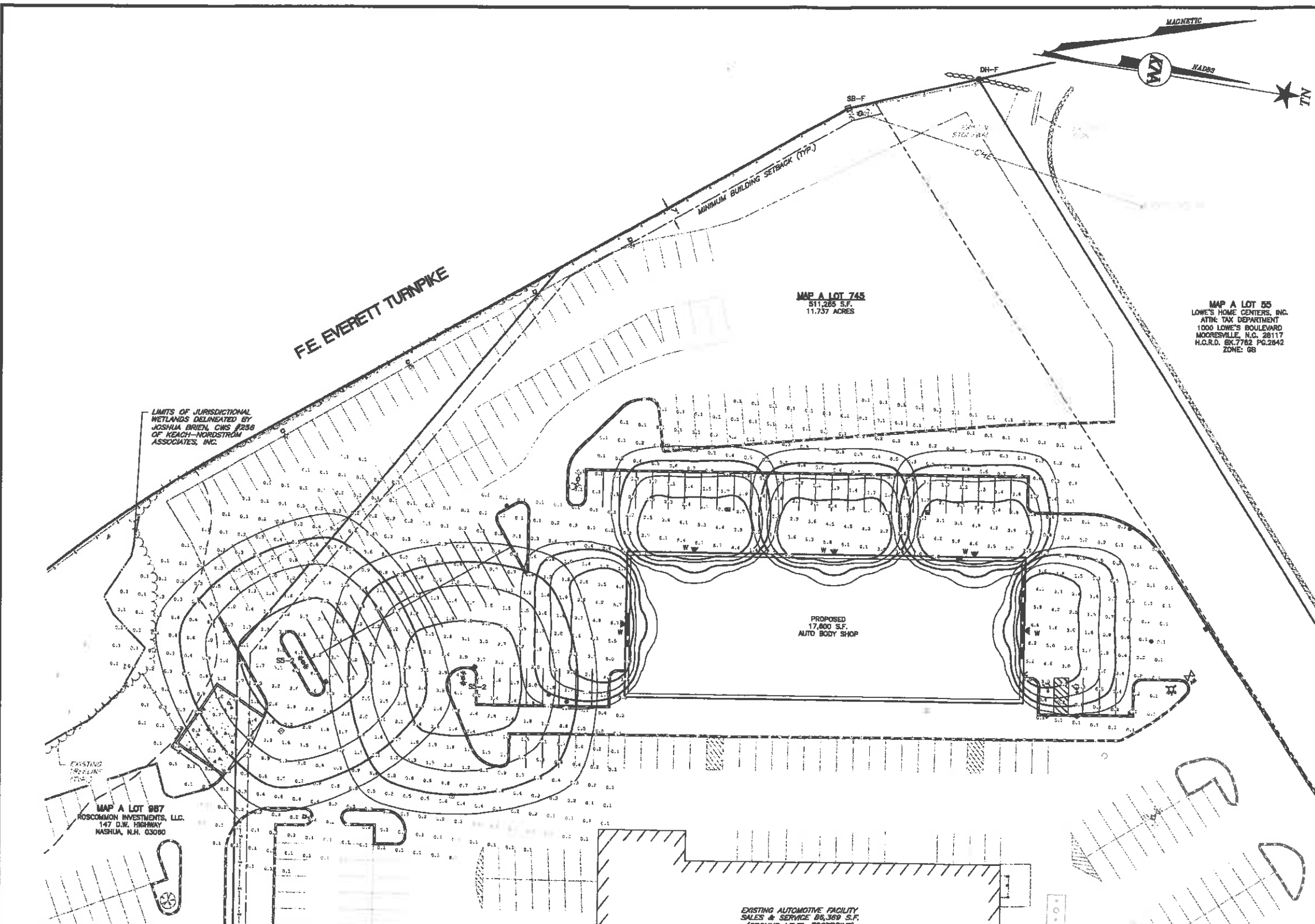
OWNER/APPLICANT:
TULLEY AUTOMOTIVE GROUP
147 DANIEL WEBSTER HIGHWAY
NASHUA, N.H. 03080
BK. 8506 PG. 947
(603) 888-5050

K/A KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2801

REVISIONS

No.	DATE	DESCRIPTION	BY
1	4/27/21	REVISED PER PLANNER COMMENTS	PCM

DATE: MARCH 25, 2021 SCALE: 1" = 30'
PROJECT NO: 06-0407-1 SHEET 8 OF 17



GLEON GALLEON LED



SSS SQUARE STRAIGHT STEEL



GWC GALLEON WALL

