

AIMCO ROYAL
CREST-NASHUA LLC
DB 6697 PG 2735
PIN: A-504

EXISTING UTILITY
POLE (TYP)

EXISTING OVERHEAD
UTILITIES (TYP)

EXISTING
TREE (TYP.)

BAE SYSTEMS
INFO & ELEC
SYSTEM
DB 6322 PG 353
PIN: A-12

EXISTING
WOODED
AREA

EXISTING
TREE LINE
(TYP.)

G6 HOSPITALITY
PROPERTY LLC
DB 8473 PG 869
PIN: A-223

EXISTING
MOTEL
BUILDING

OVERALL SITE PLAN
11" X 17": 1" = 80'
22" X 34": 1" = 40'

40 20 0 40 80 120 160

SPIT BROOK ROAD

SUBJECT PROPERTY LINE
10' FRONT YARD SETBACK

EXISTING PAD
MOUNTED
TRANSFORMER (TYP.)

PROPOSED 10' WIDE
UTILITY EASEMENT

EXISTING 102' x 62'
FOUR STY. OFFICE
BUILDING (REFER
TO SITE PLAN
NR0979 BY DAVIS
BENOIT & TESSIER,
INC. DATED
9/16/2013)

BAE SYSTEMS INFO &
ELEC SYSTEM
DB 6322 PG 353
PIN: A-12

EXISTING EDGE
OF PAVEMENT
(TYP)

PROPOSED 30'
WIDE ACCESS,
& UTILITY
EASEMENT

SUBJECT
PROPERTY
FIRST BUILDING
PARTNERSHIP
DB 2986 PG 779
PIN: A-194
ZONING: R-C

EXISTING CURBED
ISLAND (TO
BE MODIFIED)

EXISTING
PROPERTY
LINE (TYP.)

180±

PROPOSED TREE
LINE (TYP.)

ZONING: R-C (C URBAN RESIDENCE)
ZONING: PI (PARKING INDUSTRIAL)

SUBJECT PROPERTY LINE

EXISTING LIGHT POLE
(TYP.)

PROPOSED 49' x 51' FENCED COMPOUND
WITHIN A 49' x 51' LEASE AREA
(SEE DETAIL, SHEET C-3, C-4, & C-5)

PROPOSED DUMPSTER
ENCLOSURE (STOCKADE FENCE)

EXISTING WOODED AREA

PROPOSED 175-FT MONOPOLE
(APPROX. TOWER CENTER LOCATION
42.70709° N, 71.44842° W)

ZONING: R-C (C URBAN RESIDENCE)
ZONING: PI (PARKING INDUSTRIAL)

EXISTING
POND

EXISTING DRAINAGE EASEMENT
(LOCATION SHOWN PER THE
STREET DEDICATION PLAN BY
DAVIS, BENOIT & TESSIER, INC.
DATED JANUARY 12, 1983)

FUTURE BUILDING CONSTRUCTION
SHALL INCORPORATE FOUNDATION
DRAINAGE SYSTEMS EXCEPT WHERE AN
INVESTIGATION ESTABLISHES THAT
SPECIFIC BUILDING SITES ARE LOCATED
IN ELL DRAINED SOILS AND THAT SUCH
SYSTEMS ARE NOT REQUIRED.

BULK REQUIREMENTS

ZONING DISTRICT: R-C URBAN RESIDENTIAL

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MIN LOT AREA	5,000 SF	1.74 AC	No Change
MAX. COVERAGE	65%		No Change
MIN. FRONT YARD	10'	96.6'	No Change
MIN. SIDE YARD	7'	17'	2'
MIN. REAR YARD	20'	218.7'	1.3'
MAX. BUILDING HEIGHT	100'	50'	No Change

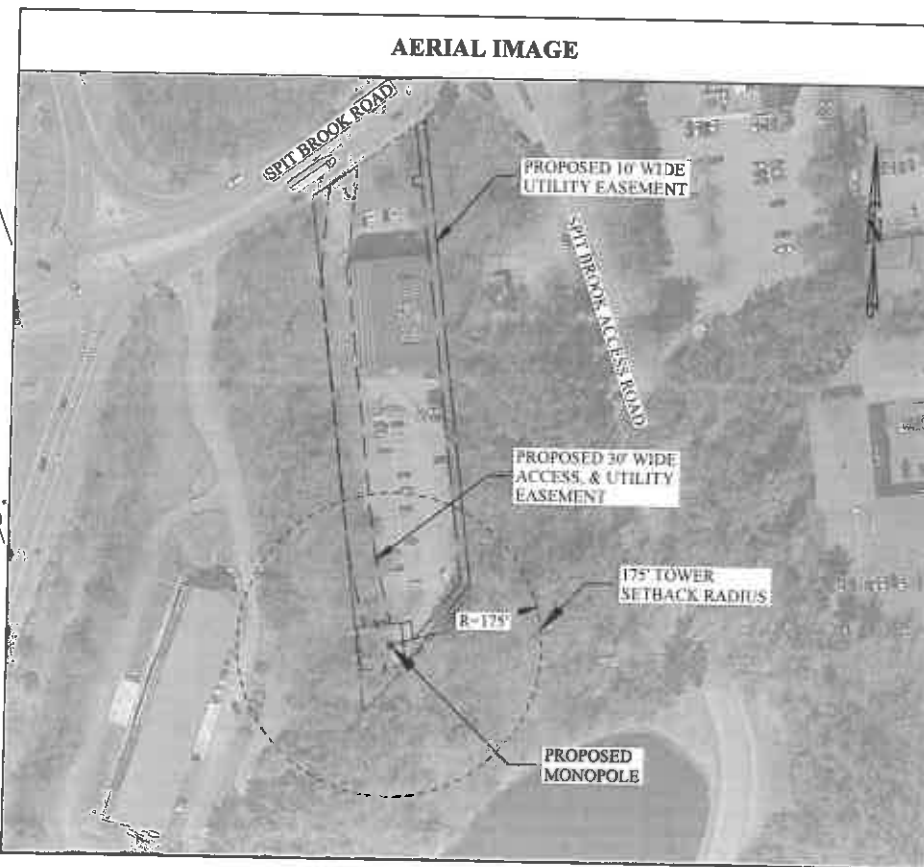
SITE DATA TABLE

TOWER LEASE AREA:	0.05 ACRES (2,499 SF)
EASEMENT AREA:	0.50 ACRES (21,580 SF)
PARCEL AREA:	1.68 ACRES
ZONING:	R-C (C URBAN RESIDENCE)
PROPOSED USE:	175-FT MONOPOLE TELECOMMUNICATIONS FACILITY
BUILDING FOOTPRINT:	TBD
PARKING REQUIRED:	1 SPACE

OVERALL SITE PLAN NOTES:

- THIS PLAN WAS PREPARED USING SURVEY ENTITLED "AS-BUILT SURVEY" BY GEOLINE SURVEYING INC., AND CITY OF NASHUA GIS. NEIGHBORING PARCEL LINES, STREET, AND OFF-SITE UTILITY LOCATIONS SHOULD BE CONSIDERED APPROXIMATE.
- THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE PROPOSED EQUIP. & TOWER AREA.
- VEGETATED AREAS DISTURBED BY THE WORK OF THIS PROJECT SHALL BE GRADED TO UNIFORM SLOPE, FERTILIZED, SEEDED, AND STABILIZED AS SPECIFIED.
- AUTHORIZATION FOR WORK WITHIN PUBLIC R.O.W. SHALL BE OBTAINED BY THE CONTRACTOR.
- EROSION CONTROL MEASURES SHALL BE INSTALLED IN CONFORMANCE WITH LOCAL, COUNTY, AND STATE GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
- THE PROPOSED PROJECT WILL NOT RESULT IN A SIGNIFICANT AREA OF DISTURBANCE AND WILL NOT SIGNIFICANTLY INCREASE STORM WATER RUNOFF.
- NO SIGNIFICANT NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
- THE SITE WILL GENERATE APPROX. 4 TRIPS PER MONTH BY TECHNICIANS PERFORMING ROUTINE MAINTENANCE.
- PRIOR TO ANY WORK BEING CONDUCTED A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PLANNING STAFF AND OTHER CITY DEPARTMENTS AS NECESSARY TO REVIEW WORK PROPOSED.
- ALL PROPOSED UTILITIES FOR THIS PROJECT SHALL BE ROUTED UNDERGROUND.
- STREET RESTORATION TO BE IN ACCORDANCE WITH NRO 285-12, IF ANY.
- THE PROPOSED TOWER LEASE AREA IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE (OR LOCATED IN FLOOD ZONE X) PER FEMA FIRM#33011C0654D WITH EFFECTIVE DATE OF SEPTEMBER 25, 2009.

AERIAL IMAGE



PREPARED FOR:

**CROWN
CASTLE**

CROWN CASTLE USA, INC.
2000 CORPORATE DRIVE
CANONSBURG, PA 15317
PHONE: (724) 416-2000

PREPARED BY:



DELTA OAKS GROUP
4904 PROFESSIONAL COURT, 2ND FLOOR
RALEIGH, NC 27609
PHONE: (919) 342-8247



JOSEPH V. BORRELLI, JR., P.E.
NEW HAMPSHIRE LICENSE NO. 14342

02/08/21

DRAWN BY: NN
CHECKED BY: BJW
APP'VD: JVB
PROJECT NO: 19-05351

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY
03/27/20	FOR REVIEW	1	BJW
04/01/20	FOR REVIEW	2	BJW
04/22/20	FOR REVIEW	3	BJW
05/05/20	FINAL ZDs	4	BJW
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11/04/20	FINAL ZDs	7	BJW
12/21/20	FINAL ZDs	8	BJW
02/08/21	FINAL ZDs	9	BJW

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. REPRODUCTION OR CAUSING TO BE REPRODUCED THE WHOLE OR ANY PART OF THESE DRAWINGS WITHOUT THE PERMISSION OF THE DELTA OAKS GROUP, PLLC IS PROHIBITED.

SITE NAME:

COSTCO RELO

SITE ADDRESS:

71 SPIT BROOK ROAD
NASHUA, NEW HAMPSHIRE 03060

SITE ID:

BU# 830168

SHEET TITLE

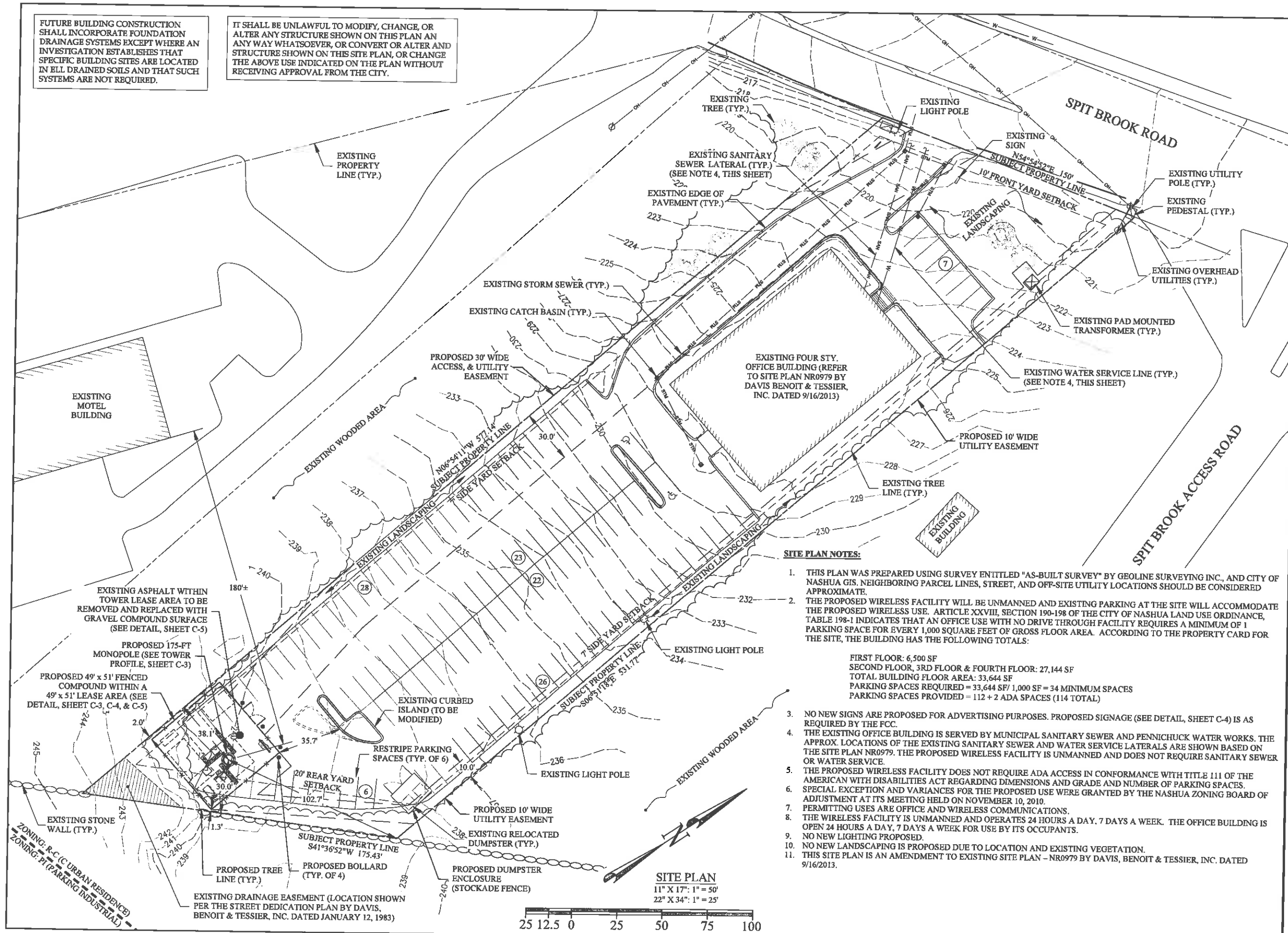
OVERALL SITE PLAN

SHEET NUMBER

C-1.1

FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN BLL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.

IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN AN ANY WAY WHATSOEVER, OR CONVERT OR ALTER AND STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.



SITE PLAN NOTES:

1. THIS PLAN WAS PREPARED USING SURVEY ENTITLED "AS-BUILT SURVEY" BY GEOLINE SURVEYING INC., AND CITY OF NASHUA GIS. NEIGHBORING PARCEL LINES, STREET, AND OFF-SITE UTILITY LOCATIONS SHOULD BE CONSIDERED APPROXIMATE.
2. THE PROPOSED WIRELESS FACILITY WILL BE UNMANNED AND EXISTING PARKING AT THE SITE WILL ACCOMMODATE THE PROPOSED WIRELESS USE. ARTICLE XXVIII, SECTION 190-198 OF THE CITY OF NASHUA LAND USE ORDINANCE, TABLE 198-1 INDICATES THAT AN OFFICE USE WITH NO DRIVE THROUGH FACILITY REQUIRES A MINIMUM OF 1 PARKING SPACE FOR EVERY 1,000 SQUARE FEET OF GROSS FLOOR AREA. ACCORDING TO THE PROPERTY CARD FOR THE SITE, THE BUILDING HAS THE FOLLOWING TOTALS:
 FIRST FLOOR: 6,500 SF
 SECOND FLOOR, 3RD FLOOR & FOURTH FLOOR: 27,144 SF
 TOTAL BUILDING FLOOR AREA: 33,644 SF
 PARKING SPACES REQUIRED = 33,644 SF / 1,000 SF = 34 MINIMUM SPACES
 PARKING SPACES PROVIDED = 112 + 2 ADA SPACES (114 TOTAL)
3. NO NEW SIGNS ARE PROPOSED FOR ADVERTISING PURPOSES. PROPOSED SIGNAGE (SEE DETAIL, SHEET C-4) IS AS REQUIRED BY THE FCC.
4. THE EXISTING OFFICE BUILDING IS SERVED BY MUNICIPAL SANITARY SEWER AND PENNICHUCK WATER WORKS. THE APPROX. LOCATIONS OF THE EXISTING SANITARY SEWER AND WATER SERVICE LATERALS ARE SHOWN BASED ON THE SITE PLAN NR0979. THE PROPOSED WIRELESS FACILITY IS UNMANNED AND DOES NOT REQUIRE SANITARY SEWER OR WATER SERVICE.
5. THE PROPOSED WIRELESS FACILITY DOES NOT REQUIRE ADA ACCESS IN CONFORMANCE WITH TITLE 111 OF THE AMERICAN WITH DISABILITIES ACT REGARDING DIMENSIONS AND GRADE AND NUMBER OF PARKING SPACES.
6. SPECIAL EXCEPTION AND VARIANCES FOR THE PROPOSED USE WERE GRANTED BY THE NASHUA ZONING BOARD OF ADJUSTMENT AT ITS MEETING HELD ON NOVEMBER 10, 2010.
7. PERMITTING USES ARE OFFICE AND WIRELESS COMMUNICATIONS.
8. THE WIRELESS FACILITY IS UNMANNED AND OPERATES 24 HOURS A DAY, 7 DAYS A WEEK. THE OFFICE BUILDING IS OPEN 24 HOURS A DAY, 7 DAYS A WEEK FOR USE BY ITS OCCUPANTS.
9. NO NEW LIGHTING PROPOSED.
10. NO NEW LANDSCAPING IS PROPOSED DUE TO LOCATION AND EXISTING VEGETATION.
11. THIS SITE PLAN IS AN AMENDMENT TO EXISTING SITE PLAN - NR0979 BY DAVIS, BENOIT & TESSIER, INC. DATED 9/16/2013.

SITE PLAN

11" X 17": 1" = 50'
 22" X 34": 1" = 25'



PREPARED FOR:

CROWN CASTLE
 CROWN CASTLE USA, INC.
 2000 CORPORATE DRIVE
 CANONSBURG, PA 15317
 PHONE: (724) 416-2000

PREPARED BY:

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 RALEIGH, NC 27609
 PHONE: (919) 342-8247

JOSEPH V. BORRELLI, JR., P.E.
 NEW HAMPSHIRE LICENSE NO. 14342

02/08/21

DRAWN BY: NN
 CHECKED BY: BJW
 APP'D: JVB
 PROJECT NO: 19-05351

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SITE NAME:
 COSTCO RELO

SITE ADDRESS:
 71 SPIT BROOK ROAD
 NASHUA, NEW HAMPSHIRE 03060

SITE ID:
 BU# 830168

SHEET TITLE
 SITE PLAN

SHEET NUMBER
 C-1.2

EROSION AND SEDIMENT CONTROL LEGEND

- SF — SF — (SF) PROPOSED SILT FENCE
- LOD — LOD — LIMITS OF DISTURBANCE

- NOTES**
1. SEE NOTES ON SHEETS GN-1
 2. NO CUT OR FILL SLOPE SHALL BE STEEPER THAT 2H:1V
 3. CONTRACTOR TO ADHERE TO ALL NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION REQUIREMENTS AND SPECIFICATIONS DURING CONSTRUCTION

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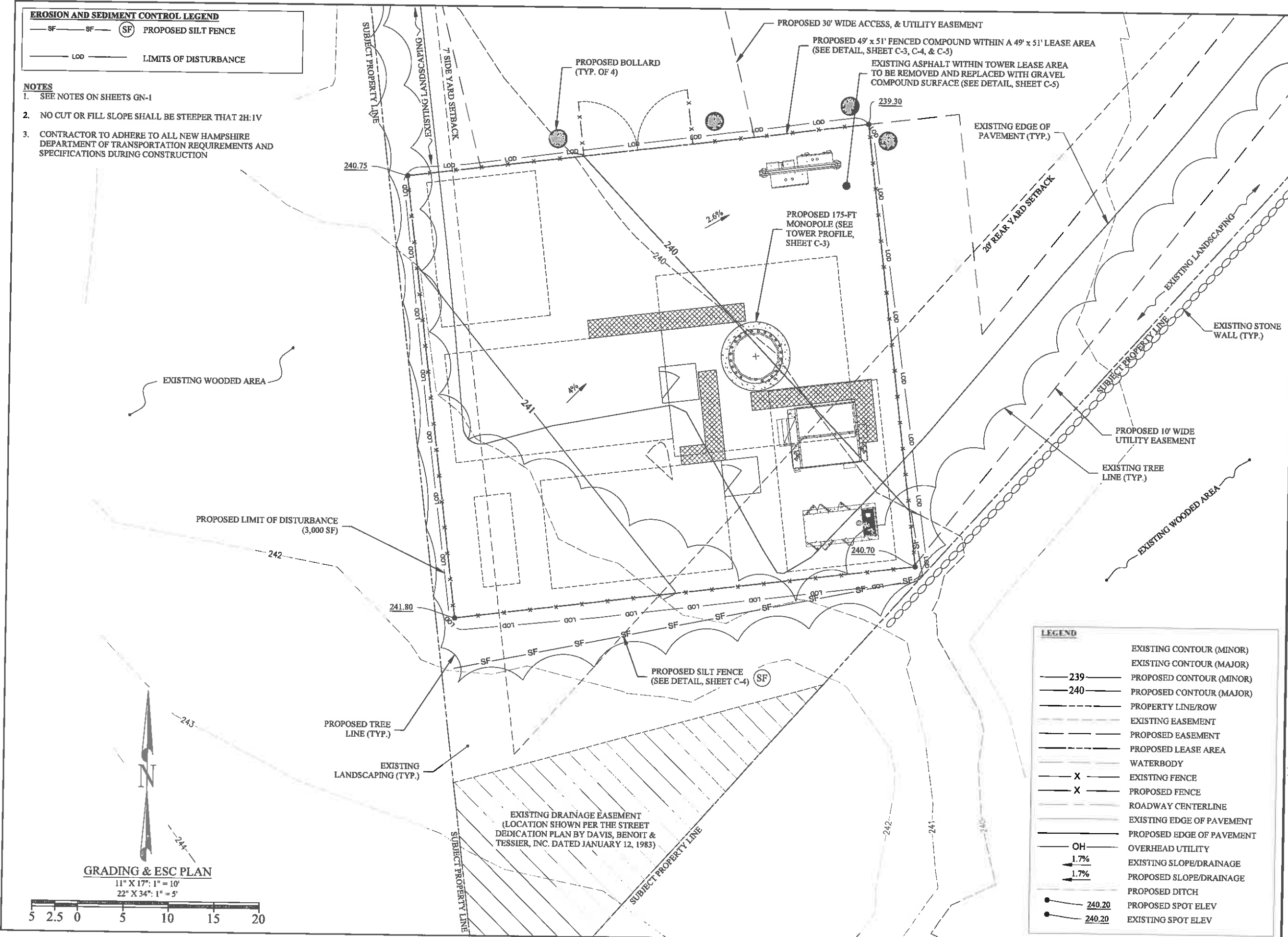
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 COSTCO RELO

SITE ADDRESS:
 71 SPIT BROOK ROAD
 NASHUA, NEW HAMPSHIRE 03060

SITE ID:
 1817 830168

SHEET TITLE
 GRADING & EROSION CONTROL PLAN

SHEET NUMBER
 C-2



LEGEND

- 239 — EXISTING CONTOUR (MINOR)
- 240 — EXISTING CONTOUR (MAJOR)
- 239 — PROPOSED CONTOUR (MINOR)
- 240 — PROPOSED CONTOUR (MAJOR)
- — — PROPERTY LINE/ROW
- — — EXISTING EASEMENT
- — — PROPOSED EASEMENT
- — — PROPOSED LEASE AREA
- — — WATERBODY
- X — EXISTING FENCE
- X — PROPOSED FENCE
- — — ROADWAY CENTERLINE
- — — EXISTING EDGE OF PAVEMENT
- — — PROPOSED EDGE OF PAVEMENT
- OH — OVERHEAD UTILITY
- 1.7% — EXISTING SLOPE/DRAINAGE
- 1.7% — PROPOSED SLOPE/DRAINAGE
- — — PROPOSED DITCH
- 240.20 — PROPOSED SPOT ELEV
- 240.20 — EXISTING SPOT ELEV

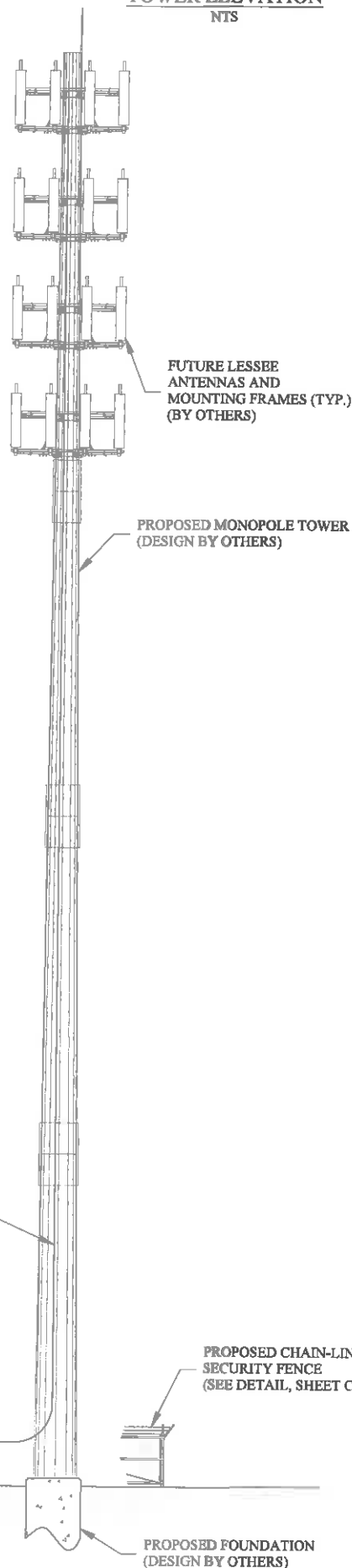
GRADING & ESC PLAN

11" X 17": 1" = 10'
 22" X 34": 1" = 5'



- ⊕ T/LIGHTNING ROD
ELEV. = 180'-0" ± AGL
- ⊕ T/TOWER
ELEV. = 175'-0" ± AGL
- ⊕ CL OF CARRIER 1 ANTENNAS
ELEV. = 170'-0" ± AGL
- ⊕ CL OF CARRIER 2 ANTENNAS
ELEV. = 158'-0" ± AGL
- ⊕ CL OF CARRIER 3 ANTENNAS
ELEV. = 146'-0" ± AGL
- ⊕ CL OF FUTURE ANTENNAS
ELEV. = 134'-0" ± AGL

TOWER ELEVATION
NTS



NOTES:

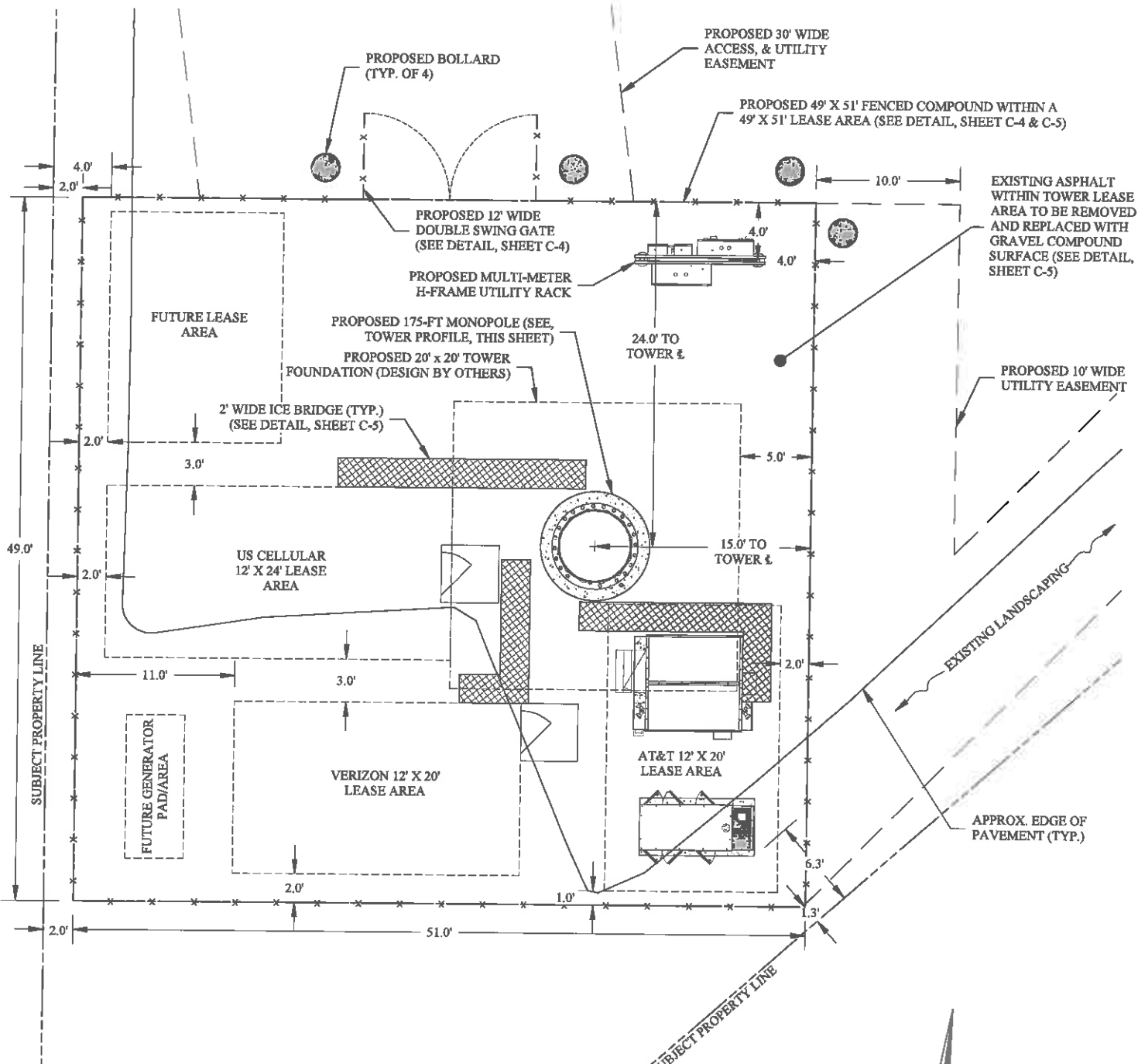
1. TOWER/ANTENNA MOUNT DESIGN BY OTHERS. NO WORK SHALL COMMENCE WITHOUT AN APPROVED TOWER/ANTENNA MOUNT STRUCTURAL ANALYSIS REPORT SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER UNDER SEPARATE COVER.
2. ALL PROPOSED CABLES SHALL BE ROUTED IN ACCORDANCE WITH THE APPROVED STRUCTURAL ANALYSIS.
3. THIS DRAWING IS A GRAPHICAL REPRESENTATION OF THE TOWER, THE RF RAD CENTER OF THE PROPOSED ANTENNAS AND PROPOSED MOUNTING PLATFORM/SECTOR FRAME BASED ON INFORMATION PROVIDED THROUGH CROWN CASTLE, AND/OR ANALYZED BY OTHERS. DELTA OAKS CERTIFIES ONLY THAT INFORMATION PROVIDED TO DELTA OAKS FOR THE PREPARATION OF THESE PLAN AND IS NOT CERTIFYING NOR WARRANTING THE DESIGN NOR VERIFYING THE ANALYTICAL RESULTS OF THE STRUCTURAL ANALYSIS PERFORMED BY OTHERS.

ROUTE PROPOSED CABLES INSIDE TOWER TO ANTENNA (TYP.) PER STRUCTURAL ANALYSIS (BY OTHERS)

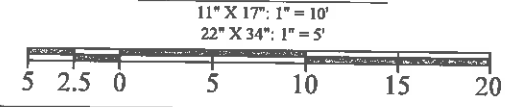
CONNECT CABLES TO EQUIPMENT PER TENANT REQUIREMENTS

PROPOSED CHAIN-LINK SECURITY FENCE (SEE DETAIL, SHEET C-4)

⊕ BASE OF TOWER
ELEV. = 0'-0" ± AGL



COMPOUND LAYOUT



PREPARED FOR:

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CROWN CASTLE USA, INC.
2000 CORPORATE DRIVE
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NEW HAMPSHIRE LICENSE NO. 14342

02/08/21

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CHECKED BY: BJW
APP'VD: JVB
PROJECT NO: 19-05551

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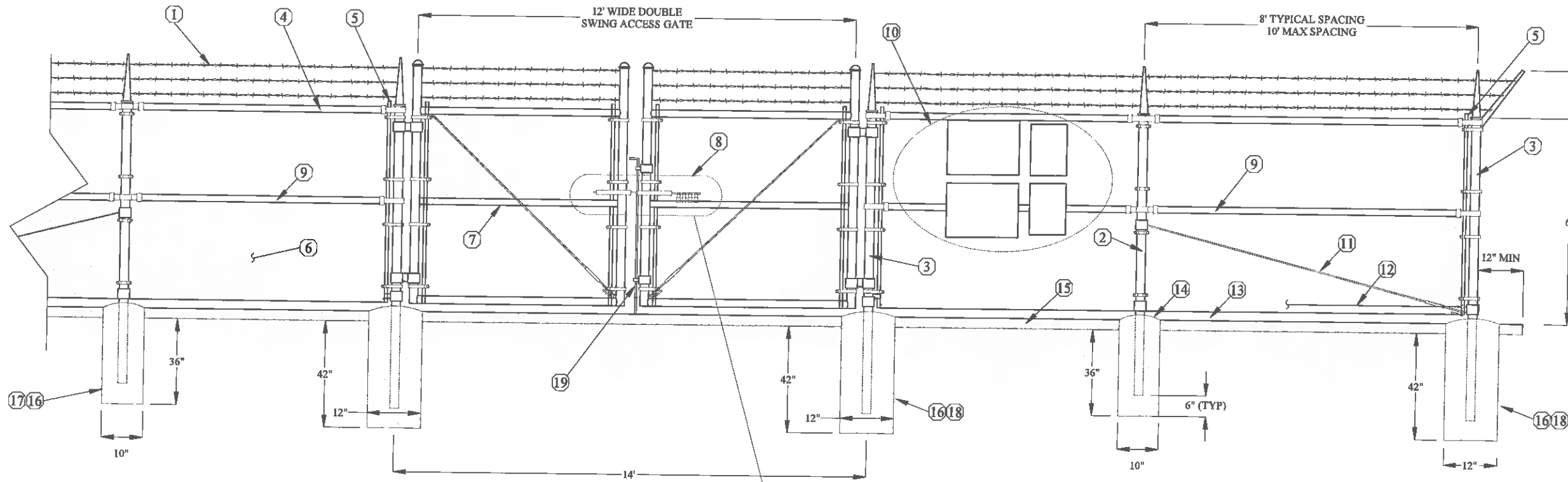
SITE ADDRESS:
71 SPIT BROOK ROAD
NASHUA, NEW HAMPSHIRE 03060

SITE ID:
BU# 830168

SHEET TITLE
TOWER PROFILE AND
COMPOUND LAYOUT

SHEET NUMBER
C-3

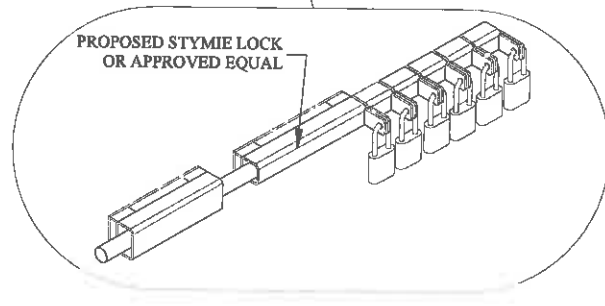
COMPOUND FENCE



KEYNOTES:

- ① 3 STRANDS OF DOUBLE 12 1/2 GAUGE TWISTED STRAND WIRE, WITH 4 POINT 14 GAUGE BARBS SPACED 5" O.C.
- ② 2-1/2" NOMINAL GALVANIZED STEEL, SCHEDULE 40 INTERMEDIARY LINE POSTS (PER ASTM-F1083). LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 10' O.C.
- ③ 3" O.D. GALVANIZED STEEL SCHEDULE 40 CORNER AND GATE POSTS (PER ASTM-F1083). IF GATE LEAF WIDTH GREATER THAN OR EQUAL TO 10-FT OR IF FENCE FABRIC EXTENDED OVER 6-FT AND GATE LEAF WIDTH OVER 6-FT, GATE POST SHALL BE 4" O.D. GALVANIZED STEEL SCHEDULE 40 (PER ASTM-F1083).
- ④ 1-5/8" O.D. SCHEDULE 40 ROUND TOP BRACE RAIL (PER ASTM-F1083)
- ⑤ STRETCHER BAR TO EXTEND FULL HEIGHT OF FENCE FABRIC; NOT LESS THAN 1 1/8" X 3/4" CROSS SECTION; PLACE ON ALL GATES AND POSTS
- ⑥ 9 GAUGE 2" x 2" FENCE FABRIC (TO CONFORM TO ASTM-A392)
- ⑦ GATE FRAME BRACE
- ⑧ STYMIE LOCK OR OTHER APPROVED MULTITENANT LOCKING DEVICE
- ⑨ 1-5/8" DIAMETER POST BRACE (AS REQUIRED)
- ⑩ GATE SIGNS (SEE DETAIL, THIS SHEET)
- ⑪ 3/8" DIAGONAL BRACE ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD
- ⑫ 9 GAUGE ALUMINUM TIE WIRE, PROVIDE HOG RING FABRIC TIES SPACED 12" O.C. FOR POSTS AND GATES AND 24" O.C. FOR RAILS AND WIRE.
- ⑬ MAINTAIN A 1" MAXIMUM CLEARANCE FROM FINISHED GRADE
- ⑭ PROVIDE CROWNED/PITCHED FINISH FOR FENCE POST PIER FOUNDATIONS
- ⑮ COMPOUND SECTION AND MATERIALS (SEE DETAIL, SHEET C-5)
CONCRETE PIER FOUNDATION: TO ACHIEVE A MINIMUM STRENGTH OF 3000 PSI AT 28 DAYS. CONCRETE DEPTH TO BE AS SPECIFIED HEREIN, AS SPECIFIED BY MANUFACTURER, OR A MINIMUM OF 6" BELOW FROST LINE, WHICHEVER IS GREATER
- ⑯ LINE POST CONCRETE PIER FOUNDATION
- ⑰ CORNER GATE POST CONCRETE PIER FOUNDATION
- ⑱ COMMERCIAL GRADE DROP ROD AND CENTERSTOP (HOOVER FENCE OR EQUIV)

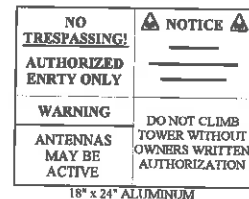
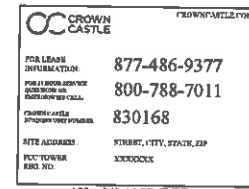
PROPOSED STYMIE LOCK OR APPROVED EQUAL



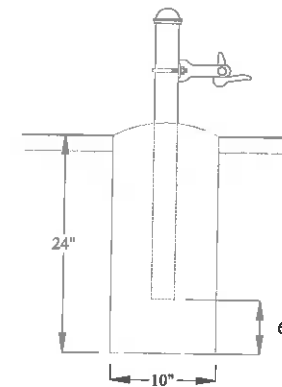
NOTES:

1. FENCE DESIGN AND INSTALLATION NOTES ARE INDUSTRY STANDARDS AND/OR MINIMUM REQUIREMENTS AND ARE FOR GENERAL GUIDANCE ONLY. REFER TO MANUFACTURER'S RECOMMENDATIONS OF THE SPECIFIED PRODUCT AND APPLICABLE GOVERNING CODES FOR FULL INSTALLATION DETAILS. IN THE EVENT OF DISCREPANCIES, MANUFACTURER'S RECOMMENDATIONS OR APPLICABLE CODE SHALL GOVERN, WHICHEVER IS MORE STRINGENT.
2. ALL FENCING TO BE INSTALLED PER ASTM F-567. ALL SWING GATES TO BE INSTALLED PER ASTM F-900.
3. BARBED WIRE PERMIT REQUIRED SHALL BE COMPLETED IF LOCAL ORDINANCE REQUIRES.
4. POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS. ALL PIPE TO BE GALVANIZED (HOT DIP, ASTM A120 GRADE "A" STEEL). ALL GATE FRAMES SHALL BE WELDED. ALL WELDINGS SHALL BE COATED WITH (3) COATS OF GOLD GALV. (OR EQUAL). ALL OPEN POSTS SHALL HAVE END-CAPS.
5. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC USING GALVANIZED HOG-RING WIRE.
6. ALL SIGNS AND SIGN PLACEMENT SHALL ADHERE TO THE REQUIREMENTS OF OSHA 1910.145 AND 1910.200 AND ALL APPLICABLE FCC CODES
7. DROP ROD AND CENTERSTOP REQUIRED FOR GATE. GENERAL CONTRACTOR RESPONSIBLE FOR GATE LOCK.

GATE SIGNS



GATE KEEPER



PREPARED FOR:

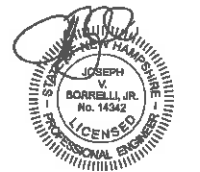


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CHECKED BY: BJW
APP'VD: JVB
PROJECT NO: 19-05351

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY
03/27/20	FOR REVIEW	1	BJW
04/01/20	FOR REVIEW	2	BJW
04/22/20	FOR REVIEW	3	BJW
05/05/20	FINAL ZDs	4	BJW
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SITE NAME:

COSTCO RELO

SITE ADDRESS:

71 SPIT BROOK ROAD
NASHUA, NEW HAMPSHIRE 03060

SITE ID:

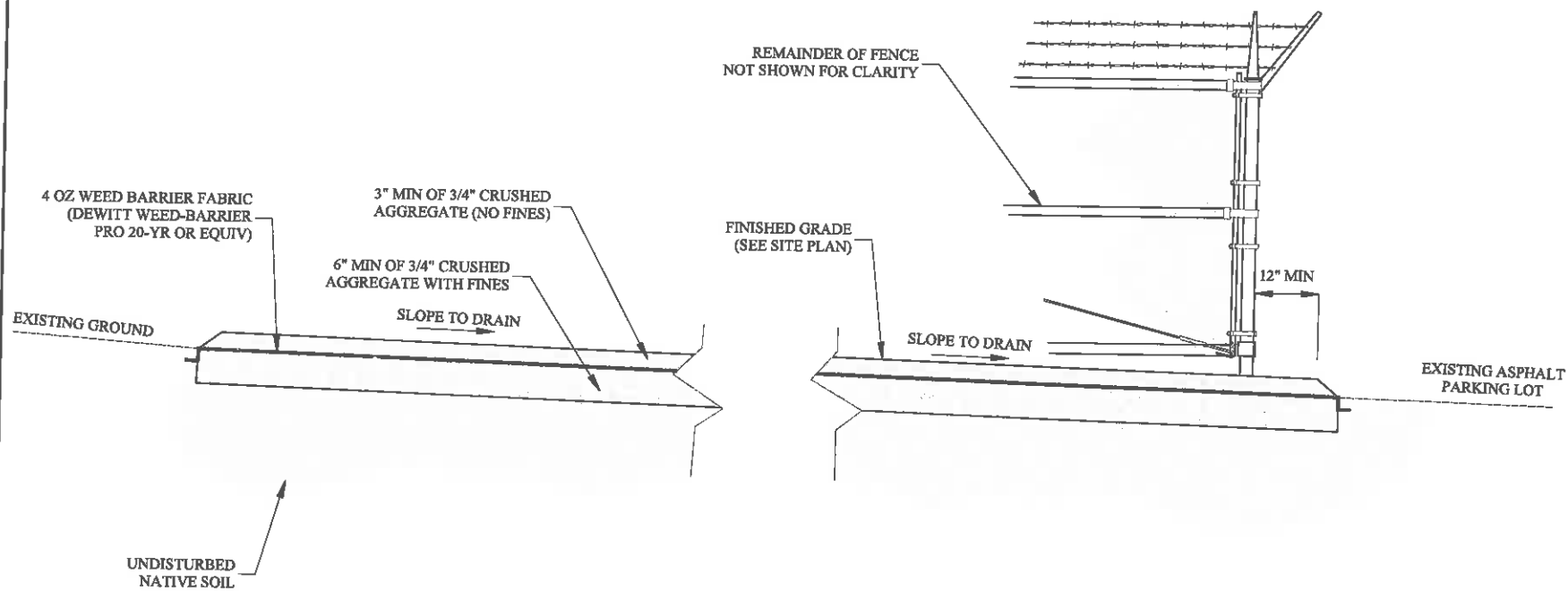
BU# 830168

SHEET TITLE CIVIL DETAILS

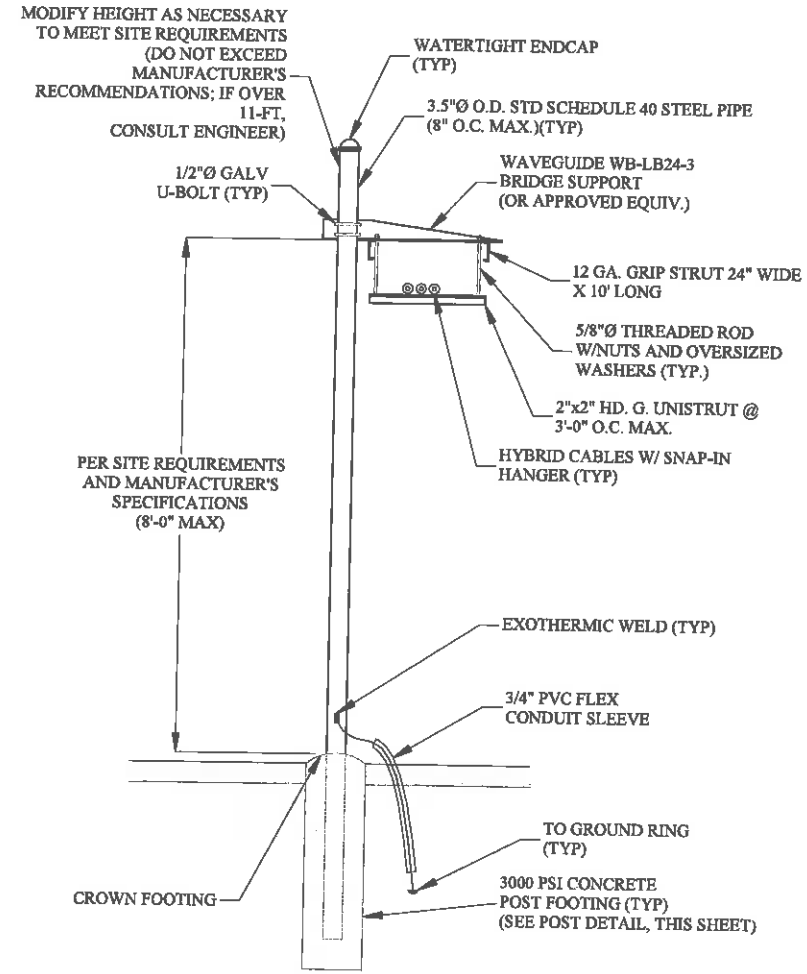
SHEET NUMBER

C-4

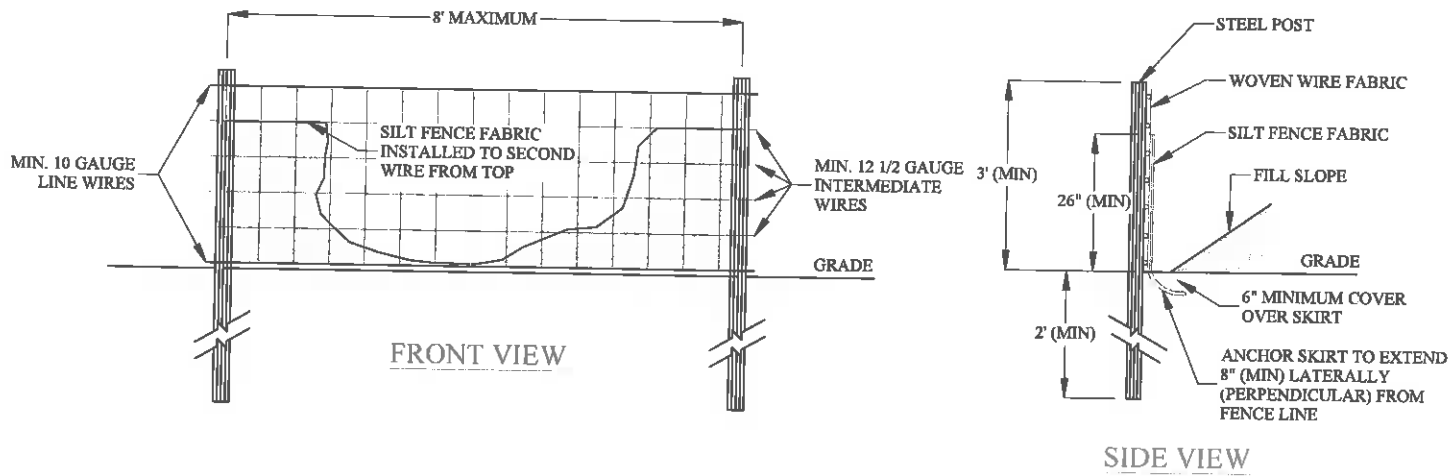
TOWER COMPOUND SECTION



ICE BRIDGE



TEMPORARY SILT FENCE



NOTE:
 1. USE SILT FENCE ONLY WHEN DRAINAGE AREA DOES NOT EXCEED 1/4 ACRE AND NEVER IN AREAS OF CONCENTRATED FLOW.

CONSTRUCTION SEQUENCE

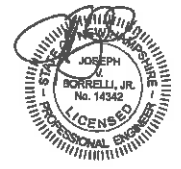
- CONSTRUCTION SEQUENCE**
- PROJECT STAKEHOLDERS TO CONDUCT PRE-CONSTRUCTION MEETINGS AS REQUIRED BY THE GOVERNING AUTHORITY
 - INSTALL SILT FENCE (AS SHOWN ON THE PLANS AND DOWNSTREAM OF ALL EXCAVATED AREAS), CONSTRUCTION ENTRANCE, AND/OR SOIL STOCKPILING AREAS PRIOR TO THE COMMENCEMENT OF GRADING
 - CLEAR AND GRUB REMAINING AREAS AND PROCEED WITH ROUGH GRADING. INSTALL ADDITIONAL EROSION CONTROL MEASURES AFTER GRADING BEGINS AS REQUIRED
 - INSTALL ON-SITE UTILITIES AND TEMPORARY STABILIZATION AS SHOWN ON PLANS
 - CONSTRUCT TOWER FOUNDATION AND COMMUNICATION FACILITIES AS APPLICABLE
 - FINISH GRADE PROPOSED TOWER COMPOUND
 - STABILIZE GRAVEL AND PAVED AREAS PER PLANS, TOPSOIL AND PERMANENTLY SEED DENUDED CUT/FILL SLOPES AND INSTALL EROSION CONTROL MATTING, SPECIFIED ON PLANS (PERMANENT COVER SHOULD BE INSTALLED WITHIN 7-DAYS AFTER FINISHED GRADES HAVE BEEN ESTABLISHED)
 - MAINTAIN PERIMETER SILT FENCE AND OTHER PERIMETER SOIL EROSION CONTROL MEASURES AS APPLICABLE UNTIL PERMANENT GROUND COVER IS ESTABLISHED
 - REMOVE ANY EROSION CONTROL MEASURES FROM AREAS THAT HAVE BEEN PERMANENTLY STABILIZED AND STABILIZE AREAS OF THE DEVICE(S) REMOVAL
 - FOR ANY DENUDED AREA TO BE CONSIDERED PERMANENTLY STABILIZED, THE DENUDED AREA SHOULD BE UNIFORMLY COVERED IN PERENNIAL VEGETATION WITH A DENSITY OF 85% OR GREATER, OR COVERED IN OTHER NON-VEGETATIVE MATERIAL WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION

PREPARED FOR:

CROWN CASTLE
 CROWN CASTLE USA, INC.
 2000 CORPORATE DRIVE
 CANONSBURG, PA 15317
 PHONE: (724) 416-2000

PREPARED BY:

DELTA OAKS GROUP
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JOSEPH V. BORRELLI, JR., P.E.
 NEW HAMPSHIRE LICENSE NO. 14342
 02/08/21
 DRAWN BY: NN
 CHECKED BY: BJW
 APP'D: JVB
 PROJECT NO: 19-05351

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 CIVIL DETAILS

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 C-5

GENERAL NOTES

- THE SCOPE OF WORK DEPICTED IN THIS PLANSET MUST BE COMPLETED UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE SUBSTANTIAL EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS PROJECT, THE CONTRACTOR IS CONFIRMING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY TO COMPLETE THE WORK, THAT HE IS KNOWLEDGEABLE OF THE SCOPE OF WORK TO BE PERFORMED AND THAT HE IS LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE AND/OR COUNTY IN WHICH IT IS TO BE PERFORMED.
- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST VERSION OF THE LOCAL AND NATIONAL BUILDING CODE, WHICHEVER IS MORE STRINGENT.
- SHOP DRAWINGS AND/OR MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS REGARDING ANY HARDWARE, INFRASTRUCTURE, OR MATERIALS SPECIFIED HEREIN SHALL BE FOLLOWED EXACTLY AND SHALL SUPERCEDE ANY CONFLICTING INFORMATION CONTAINED HEREIN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS NOT PROVIDED BY OWNER. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PERMITS AS ISSUED AND ANY AND ALL APPLICABLE STATE, COUNTY, AND LOCAL CODES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING TOPOGRAPHY, DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS ARE AS INDICATED ON THESE DRAWINGS. ADDITIONALLY, THE CONTRACTOR SHALL ESTABLISH THE LOCATION OF UNDERGROUND AND OVERHEAD UTILITIES AND SERVICES. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND OWNER'S ENGINEER FOR RESOLUTION AND/OR MODIFICATION PRIOR TO COMMENCEMENT OF THE WORK.
- EXISTING IMPROVEMENTS DAMAGED OR DESTROYED AS A RESULT OF CONSTRUCTION OPERATIONS SHALL BE REPLACED OR RESTORED TO THEIR ORIGINAL CONDITION OR BETTER, AND TO THE SATISFACTION OF THE OWNER OF THE IMPROVEMENTS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, AND/OR ANY OTHER REQUIREMENTS WHICH MUST BE MET TO FULFILL THE SCOPE OF WORK AS REPRESENTED IN THIS PLAN SET, OBTAIN A CERTIFICATE OF OCCUPANCY, OR OTHERWISE ALLOW FOR THE FULL INTENDED USE OF THE PROPOSED FACILITY.
- THESE PLANS/DRAWINGS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR ENGINEER SHALL NOT INCLUDE INSPECTION OF THE CONSTRUCTION PROCEDURES AND DOES NOT ALLEVIATE CONTRACTOR FROM THE FOREGOING. ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE AND IMPLEMENT BOTH THE ERECTION PROCEDURE AND SEQUENCE TO ENSURE THE SAFETY OF THE STRUCTURE, ALL SURROUNDING INFRASTRUCTURE, WORKSPACE, EMPLOYEES, AND PUBLIC DURING ERECTION AND/OR MODIFICATIONS. THIS INCLUDES BUT IS NOT LIMITED TO TEMPORARY BRACING, GUYS, TIE DOWNS, OR OTHER SUPPORTS THAT MAY BE NECESSARY DURING CONSTRUCTION.
- ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTION MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION.
- IF DEVIATIONS FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEVIATION AND REASONS THEREOF SHALL BE SUBMITTED TO THE OWNER AND ENGINEER FOR REVIEW. NO DEVIATIONS FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER AND/OR ENGINEER.
- THE CONTRACTOR MUST, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY HIM, HIS EMPLOYEES, OR HIS WORK. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
- CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS (INCLUDING THE GENERAL PUBLIC) AND PROPERTY (INCLUDING ADJOINING PROPERTIES). THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

GENERAL NOTES (CONT.)

- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL WORK ASSOCIATED WITH THIS PROJECT COMPLIES WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL SAFETY CODES AND OTHER REGULATIONS GOVERNING THE WORK.
- ACCESS TO THE PROPOSED SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER OR THE OWNER'S REPRESENTATIVE REGARDING ALL CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIAL ACCESS.

EXISTING INFRASTRUCTURE

- EXISTING TOPOGRAPHIC, UTILITY, PLANIMETRIC, AND BOUNDARY INFORMATION IS TAKEN FROM A DRAWING ENTITLED "COTCO/JLEE" AS-BUILT SURVEY BY GEOLINE SURVEYING, INC. OF 13430 NW 10TH TERRACE, SUITE A, ALACHUA, FL 32615; (386) 418-0500.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES IN THE AREA OF ANY PROPOSED CONSTRUCTION OR PROPOSED DISTURBANCE DUE TO CONSTRUCTION. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS LOCATE ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES AND IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS OR IF THERE APPEARS TO BE A CONFLICT BETWEEN EXISTING AND PROPOSED UTILITY LOCATIONS.

UTILITIES

- CONTRACTOR SHALL COORDINATE WITH THE OWNER REGARDING THE REQUIREMENTS AND LIMITS OF CLEARANCE FOR OVERHEAD AND/OR UNDERGROUND ELECTRICAL SERVICE.
- ALL UNDERGROUND UTILITIES SHALL BE INSTALLED AND TESTED SATISFACTORILY PRIOR TO COMMENCING ANY PAVING ACTIVITY WHERE SUCH UTILITIES ARE WITHIN THE LIMITS OF PAVEMENT.
- UNLESS OTHERWISE SPECIFIED HEREIN, MINIMUM COVER FOR CONDUITS SHALL BE 36-INCHES.

GRADING

- CONTRACTOR IS TO CONTACT DIG SAFE SYSTEM, INC AT 1-888-344-7233 FOR UNDERGROUND UTILITY LOCATION 48 HOURS PRIOR TO ANY GROUND DISTURBANCE.
- ALL CONSTRUCTION AREAS ARE TO BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL, ORGANICS AND UNSUITABLE MATERIALS PRIOR TO GRADING AND IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT.
- EXCAVATIONS SHOULD BE SLOPED OR SHORED IN ACCORDANCE AND COMPLIANCE WITH OSHA 29 CFR PART 1926, EXCAVATION TRENCH SAFETY STANDARDS AS WELL AS LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL FILL PLACEMENT INCLUDING SUITABILITY OF FILL MATERIALS AND COMPACTION OF MATERIALS SHOULD BE CONDUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. IN THE ABSENCE OF FILL SPECIFICATIONS, THE FOLLOWING MINIMUM REQUIREMENTS SHOULD BE ADHERED TO:
 - FILL LIFT THICKNESS SHOULD NOT EXCEED 8 INCHES LOOSE.
 - FILL MATERIALS SHOULD NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
 - FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER OBJECTIONABLE MATERIALS THAT WOULD PREVENT THE CONSTRUCTION AND/OR COMPACTION OF SATISFACTORY FILLS. THIS INCLUDES SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS.
 - ALL FILLS SHOULD BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE, OR OTHER RELATED PROBLEMS. ALL FILL AREAS WITHIN BUILDINGS OR OTHER STRUCTURES, TRAVEL/ACCESS ROUTES, PARKING AREAS AND EXTENDING 5-FT (MINIMUM) OUTSIDE OF THOSE AREAS' FOOTPRINT, SHOULD BE COMPACTED TO +/- 95% OF MAXIMUM DRY DENSITY OF THE MATERIAL AS OBTAINED BY THE STANDARD PROCTOR METHOD.

*DELTA OAKS GROUP MAKES NO CLAIM TO THE VALIDITY OF THESE RECOMMENDATIONS TO THE SITE'S SPECIFIC GEOTECHNICAL CONDITIONS AND STRONGLY RECOMMENDS A SITE-SPECIFIC GEOTECHNICAL INVESTIGATION BE PERFORMED. ANY AND ALL FILL RECOMMENDATIONS PRESENTED IN SUCH A REPORT WILL TAKE PRECEDENCE OVER THE INFORMATION PRESENTED HEREIN.

GRADING (CONT.)

- THE CONTRACTOR SHALL REWORK ALL MATERIALS NOT SUITABLE FOR USE IN THEIR PRESENT STATE DUE TO MOISTURE CONTENT VARIATION. IF THE MATERIAL REMAINS UNSUITABLE AFTER INITIAL REWORKING, THE CONTRACTOR SHALL REMOVE AND REPLACE WITH NEW MATERIAL IN ACCORDANCE WITH THE GEOTECHNICAL REPORT RECOMMENDATIONS.
- IN THE ABSENCE OF A GEOTECHNICAL REPORT A GEOTECHNICAL ENGINEER SHOULD BE RETAINED TO PROVIDE SITE SPECIFIC RECOMMENDATIONS/OVERSIGHT.
- DELTA OAKS GROUP MAKES NO CLAIMS TO THE SUITABILITY OF ANY ON-SITE MATERIALS FOR USE AS FILL TO SUPPORT ANY PROPOSED INFRASTRUCTURE.
- SPOT ELEVATIONS REPRESENT FINISHED GRADE UNLESS OTHERWISE NOTED.
- ALL TEMPORARY AND FINISHED GRADES MUST MAINTAIN ADEQUATE SURFACE DRAINAGE SO THAT RUN-OFF IS DIRECTED TO DEDICATED OFF-SITE AREAS OR TO ON-SITE COLLECTION POINTS SUCH AS SWALES, CATCH BASINS, DROP INLETS, CULVERTS, STORMWATER BMP'S, ETC. TO PREVENT SURFACE PONDING, STANDING WATER, OR EXTENDED PERIODS OF SOIL SATURATION.

EROSION AND SEDIMENT CONTROL

- THE PROJECT AREA IS APPROXIMATELY 3,000 SQUARE FEET.
- THE RECEIVING WATERCOURSE IS AN UNNAMED MERRIMACK RIVER.
- LEASE AREA IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. A PORTION OF THE PROPOSED ACCESS ROAD IS LOCATED IN FEMA SPECIAL FLOOD HAZARD AREA (ZONE AE) PER FIRM #33011C0654D WITH EFFECTIVE DATE SEPTEMBER 25, 2009.
- CUT AND FILL SLOPES SHOULD BE STABILIZED WITHIN 7 DAYS DURING ANY PHASE OF GRADING.
- STREETS ADJACENT TO THE PROJECT SHALL BE KEPT CLEAN AT ALL TIMES FROM SEDIMENT OR OTHER CONSTRUCTION GENERATED MATERIAL OR A WASH STATION WILL BE REQUIRED.
- THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS REGARDING EROSION AND SEDIMENT CONTROL FOR THE AGENCY HAVING JURISDICTION OVER CLEARING AND GRADING PROCEDURES. UTILIZE BEST MANAGEMENT PRACTICES (BMP'S) DESCRIBED IN THE GOVERNING AGENCY'S OR APPLICABLE STATE'S CODE IN ORDER TO BOTH PREVENT/MINIMIZE CONCENTRATED FLOWS THROUGH OR ACROSS UNSTABILIZED/DENUDED AREAS AND PREVENT/MINIMIZE SEDIMENT LADEN STORMWATER RUNOFF FROM LEAVING THE CONSTRUCTION SITE. SPECIFIC BMP EXAMPLES INCLUDE SILT FENCE, CONSTRUCTION ENTRANCE(S), PERIMETER DIVERSION SWALES, INLET PROTECTION, AND OTHER APPLICABLE MEASURES.
- CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL DEVICES SPECIFIED HEREIN AND ANY ADDITIONAL CONTROLS THAT MAY BECOME NECESSARY IN ORDER TO ENSURE THE PROTECTION OF ADJACENT PROPERTIES AND WATERWAYS. ALL TEMPORARY DEVICES SHALL BE APPROPRIATELY MAINTAINED UNTIL ALL EARTH DISTURBING ACTIVITIES HAVE CEASED AND THE PROJECT IS STABILIZED AND APPROVED.
- EROSION CONTROL MEASURES SHALL BE CHECKED DAILY AND IMMEDIATELY FOLLOWING ANY RAINFALL EVENTS. ANY NOTED DEFICIENCIES WILL BE CORRECTED IMMEDIATELY (NO LATER THAN THE END OF EACH DAY). IMMEDIATELY UPON THE DISCOVERY OF UNFORESEEN CIRCUMSTANCES THAT POSE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE CONTRACTOR SHALL IMPLEMENT APPROPRIATE BMP'S TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENTATION.
- ALL DENUDED CUT/FILL SLOPES STEEPER THAN OR EQUAL TO 2:1 SHALL BE PROTECTED WITH NORTH AMERICAN GREEN SCI25 OR EQUIVALENT UNLESS ALTERNATIVE SLOPE PROTECTION MEASURES ARE APPROVED.
- ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE VIA THE CONSTRUCTION ENTRANCES.

PANEL SCHEDULE

- SERVICE BOND IS TO BE MADE BY DEVICES (STRAPS, SCREWS, ETC. SUPPLIED BY EQUIPMENT MANUFACTURER. IF NO SUCH DEVICE IS SUPPLIED, BOND IS TO BE MADE IN ACCORDANCE WITH NEC ARTICLE 250.
- CONDUCTOR OVERCURRENT PROTECTION DEVICES ARE SELECTED IN ACCORDANCE WITH NEC ARTICLE 240-3.
- CONDUCTOR SIZING IS SELECTED FROM NEC ARTICLE 310-16.
- ALL LUGS THAT HOLD MORE THAN ONE WIRE SHALL BE LISTED FOR MULTI-BARREL CONNECTIONS.
- ALL CONDUCTORS SHALL BE INSULATED THHN WIRE.


CONSTRUCTION REQUIREMENTS

- UPON ISSUANCE OF BID AWARD, CONTRACTOR WILL BE REQUIRED TO PROVIDE PROOF OF LICENSE TO PERFORM WORK IN APPLICABLE JURISDICTION.
- CONTRACTOR WILL PROVIDE A CONSTRUCTION SCHEDULE PRIOR TO COMMENCEMENT OF CONSTRUCTION. SCHEDULE SHALL BE UPDATED IMMEDIATELY AND SUBMITTED TO OWNER IN EVENT OF DELAYS OR REQUIRED TIME EXTENSIONS. ALL DELAYS AND/OR TIME EXTENSIONS WILL BE ACCOMPANIED BY EXPLANATIONS FOR EACH OCCURRENCE.
- DURING CONSTRUCTION, CONTRACTOR SHALL PROVIDE OWNER OR OWNER'S REPRESENTATIVE WITH PHOTOGRAPHS OF MAJOR CONSTRUCTION MILESTONES AS THEY OCCUR.
- CONTRACTOR OR CONTRACTOR'S REPRESENTATIVE SHALL BE PREPARED TO ATTEND WEEKLY CONFERENCE CALLS WHERE SPECIFIC DETAILS, INCLUDING PROGRESS REPORTS, UNFORESEEN SITE CONDITIONS, SCHEDULE CHANGES, SAFETY CONCERNS, ETC. REGARDING THE SITE WILL BE DISCUSSED.
- CONTRACTOR WILL UTILIZE, ADHERE TO, AND SUBMIT (AS REQUIRED) ALL OWNER PROVIDED DOCUMENTATION.
- CONTRACTOR IS RESPONSIBLE FOR COMPLETION OF ALL CONCRETE COMPRESSIVE STRENGTH TESTING (INCLUDING THE SUBMITTAL OF FINAL TESTING RESULTS AND CLOSE-OUT BOOK).
- CONTRACTOR IS RESPONSIBLE FOR ALL GRADING AND FILL COMPACTION TESTING REQUIRED AS SET FORTH IN THE GEOTECHNICAL REPORT PROVIDED BY OWNER.
- CONTRACTOR IS RESPONSIBLE FOR GROUND MEG TESTING.
- CONTRACTOR SHALL ASSIST IN COORDINATING AND OBTAINING PRIMARY POWER TO THE SITE PRIOR TO TOWER ERECTION. CONTRACTOR SHALL ALSO ASSIST IN COORDINATING AND OBTAINING TELCO/FIBER SERVICE PRIOR TO PROJECT COMPLETION (ON SITE VISITS WITH UTILITY COMPANY REPRESENTATIVES AS NECESSARY).
- CONTRACTOR SHOULD BE PREPARED FOR RANDOM SAFETY INSPECTIONS AT ALL TIMES.
- CONTRACTOR IS EXPECTED TO MAINTAIN PROPER WORKING CONDITIONS AND PROCEDURES PER OSHA STANDARDS AT ALL TIMES.
- CONTRACTOR WILL BE REQUIRED TO OBTAIN ALL NECESSARY CONSTRUCTION AND/OR CLOSE-OUT RELATED PERMITS, INCLUDING ELECTRICAL PERMITS AND INSPECTIONS, CERTIFICATES OF OCCUPANCY, ETC. AS REQUIRED BY JURISDICTION.
- CONTRACTOR IS EXPECTED TO CLOSE-OUT THE JOB SITE AS QUICKLY AS POSSIBLE (OBTAINING A CERTIFICATE OF OCCUPANCY AND GETTING OWNER'S SIGN-OFF ON THE SITE).
- CONTRACTOR WILL PROVIDE A COMPLETED TOWER HEIGHT VERIFICATION FORM AND TAPE DROP WITHIN 24 HOURS OF REACHING OVERALL HEIGHT.

SEEDBED PREPARATION


- SCARIFY COMPACTED AREAS AND REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM. FILL ANY EXISTING RILLS AND GULLIES.
- IMMEDIATELY PRIOR TO SPREADING TOPSOIL, CORRECT PH OF THE SUBSOIL WITH LIME PER RECOMMENDATION OF SOILS TEST OR AT A RATE SUITABLE TO THE SITE CONDITIONS. LOOSEN THE SUBGRADE OF THE SITE TO RECEIVE THE TOPSOIL BY DISKING OR SCARIFYING TO A DEPTH OF AT LEAST 2-INCHES TO ENSURE BONDING OF THE TOPSOIL AND SUBSOIL.
- UNIFORMLY SPREAD TOPSOIL 3-INCHES DEEP IN AREAS AS REQUIRED.
- APPLY LIME AND/OR FERTILIZER AS NECESSARY AND TILL SOIL UNTIL A WELL-MIXED, PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED. THE PREPARED SEEDBED SHOULD BE 4 TO 6 INCHES DEEP.
- SEED A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
- MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
- INSPECT ALL SEEDBED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 70% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
- SEE PERMANENT SEEDING SPECIFICATION SHEET C-9.

PREPARED FOR:

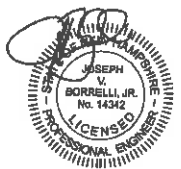


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JOSEPH V. BORRELLI, JR., P.E.
NEW HAMPSHIRE LICENSE NO. 14342

02/08/21

DRAWN BY: JVN
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