

3 Congress Street, Nashua, NH 03063 (603) 883-2057
 131 Middlesex Turnpike, Burlington, MA 01803 (781) 203-1501
 www.hayner-swanson.com

Hayner/Swanson, Inc.



MAP E, LOT 66
 SUBDIVISION PLAN

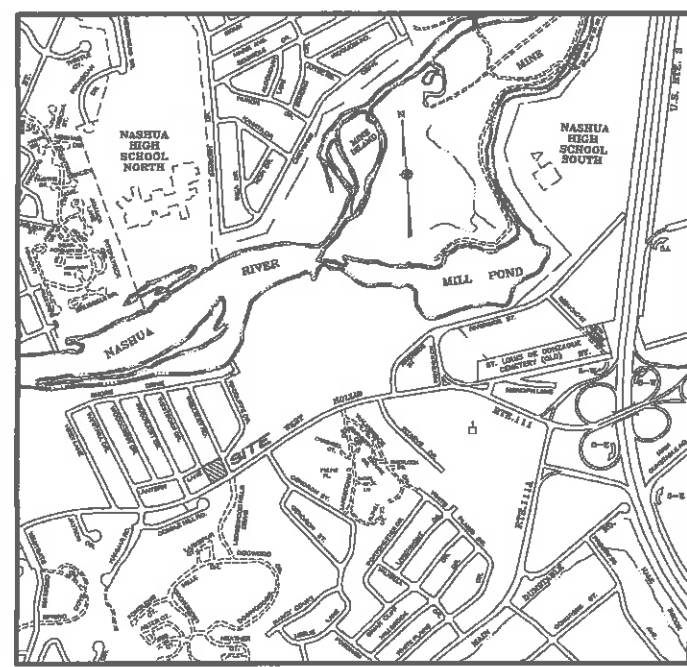
599 WEST HOLLIS STREET

NASHUA, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER

CRIMSON PROPERTIES, LLC

20 TRAFALGAR SQUARE, SUITE 101
 NASHUA, NEW HAMPSHIRE 03063
 (603) 234-4192

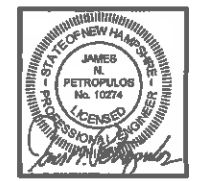


VICINITY PLAN

26 AUGUST 2020

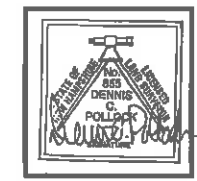
No.	DATE	REVISION	BY
1	08/26/20	ADDRESS CITY STAFF COMMENTS	TEZ

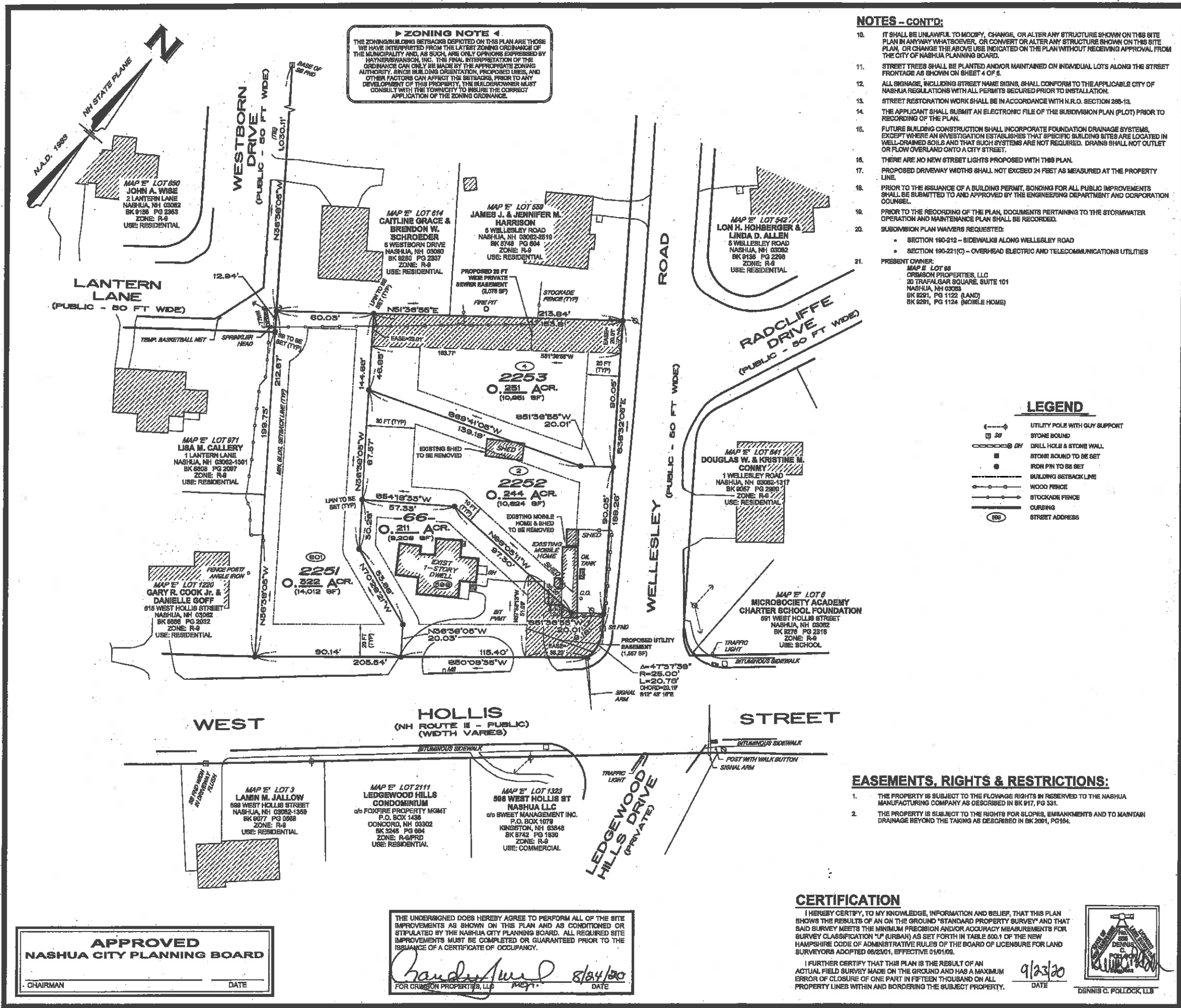
INDEX OF PLANS		
SHEET No.	TITLE	
1 OF 5	SUBDIVISION PLAN	1" = 30'
2 OF 5	TOPOGRAPHIC SUBDIVISION PLAN	1" = 30'
3 OF 5	LOT GRADING AND UTILITY PLAN	1" = 30'
4 OF 5	DETAIL SHEET - GENERAL SITE	
5 OF 5	DETAIL SHEET - SEWER	



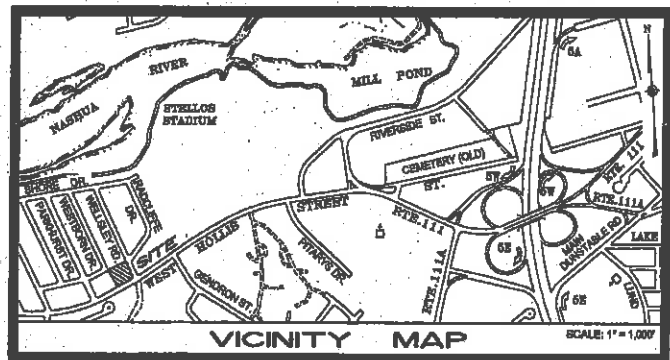
HSI Hayner/Swanson, Inc.

Civil Engineers/Land Surveyors
 3 Congress Street, Nashua, NH 03062 (603) 883-2057
 131 Middlesex Turnpike, Burlington, MA 01803 (781) 203-1501
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- NOTES - CONT'D:**
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY OF NASHUA PLANNING BOARD.
 - STREET TREES SHALL BE PLANTED AND/OR MAINTAINED ON INDIVIDUAL LOTS ALONG THE STREET FRONTAGE AS SHOWN ON SHEET 4 OF 8.
 - ALL SIGNAGE, INCLUDING STREET NAME SIGNS, SHALL CONFORM TO THE APPLICABLE CITY OF NASHUA REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
 - STREET RESTORATION WORK SHALL BE IN ACCORDANCE WITH N.H.R.O. SECTION 288-13.
 - THE APPLICANT SHALL SUBMIT AN ELECTRONIC FILE OF THE SUBDIVISION PLAN (PLOT) PRIOR TO RECORDING OF THE PLAN.
 - FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS, EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL-DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED. DRAINS SHALL NOT OUTLET OR FLOW OVERLAND ONTO A CITY STREET.
 - THERE ARE NO NEW STREET LIGHTS PROPOSED WITH THIS PLAN.
 - PROPOSED DRIVEWAY WIDTHS SHALL NOT EXCEED 24 FEET AS MEASURED AT THE PROPERTY LINE.
 - PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, BONDING FOR ALL PUBLIC IMPROVEMENTS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEERING DEPARTMENT AND CORPORATION COUNSEL.
 - PRIOR TO THE RECORDING OF THE PLAN, DOCUMENTS PERTAINING TO THE STORMWATER OPERATION AND MAINTENANCE PLAN SHALL BE RECORDED.
 - SUBDIVISION PLAN WAIVERS REQUESTED:
 - SECTION 190-212 - SIDEWALKS ALONG WELLESLEY ROAD
 - SECTION 190-221(C) - OVERHEAD ELECTRIC AND TELECOMMUNICATIONS UTILITIES
 - PRESENT OWNER:
 MAP E, LOT 88
 CRIMSON PROPERTIES, LLC
 20 TRAFALGAR SQUARE, SUITE 101
 NASHUA, NH 03083
 BK 8291, PG 1122 (LAND)
 BK 8291, PG 1124 (MOBILE HOME)



- PLAN REFERENCES:**
- SECTION 1, SUBDIVISION PLAN, LONGWOOD ESTATES, NASHUA, N.H., SURVEYED FOR NULAND CORPORATION, SCALE: 1" = 80', DATED: MAY 1985 AND PREPARED BY W. ROBERT NOLTE & ASSOCIATES, H.C.R.D. PLAN No. 3119.
 - SUBDIVISION PLAN, LONGWOOD ESTATES, SECTION 1, NASHUA, N.H., SURVEYED FOR NULAND CORPORATION, SCALE: 1" = 80', DATED: AUGUST 1986, REVISED JULY 1988 AND PREPARED BY W. ROBERT NOLTE & ASSOCIATES, H.C.R.D. PLAN No. 4789.
 - STATE OF NEW HAMPSHIRE, DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, RIGHT OF WAY, PLANS OF PROPOSED FEDERAL AID PROJECT 9-28(16), N.H. PROJECT No. 9-289, HOLLIS ROAD, CITY OF NASHUA, COUNTY OF HILLSBORO, H.C.R.D. PLAN No. 9023.

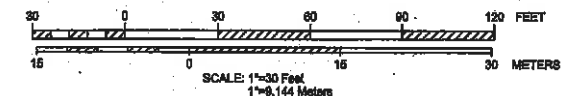
- NOTES:**
- EXISTING LOT AREA: 1.028 AC (44,782 SF)
 - PRESENT ZONING: R-8; A-URBAN RESIDENCE
 MINIMUM LOT REQUIREMENTS:

LOT SIZE	DISCLOSED	LOT 88	LOT 2251	LOT 2252	LOT 2253
FRONTAGE	9,000 SF	9,208 SF	14,012 SF	10,824 SF	10,851 SF
WIDTH	78 FT	145.34 FT	103.08 FT	80.05 FT	80.05 FT
DEPTH	80 FT	145.34 FT	103.08 FT	80.05 FT	80.05 FT
MINIMUM SETBACK REQUIREMENTS:					
FRONT YARD	30 FT				
SIDE YARD	10 FT				
REAR YARD	30 FT				
MAX. BUILDING HEIGHT	35 FT				
MAX. STORIES	2.5				
OPEN SPACE (%)	50				
MAX. FLOOR RATIO					
 - LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAP 'E'.
 - PURPOSE OF PLAN:
 TO SUBDIVIDE LOT 88 INTO 4 NEW LOTS (NEW LOTS 88, 2251, 2252 & 2253)
 - SITE IS SERVICED BY MUNICIPAL SEWER, WATER BY PENNACUCK WATER WORKS, GAS, AND OVERHEAD ELECTRIC AND TELECOMMUNICATION UTILITIES.
 - MONUMENTS, WHERE REQUIRED, TO BE SET BY A LICENSED LAND SURVEYOR AS FOLLOWS:
 - (A) STONE BOUNDS: AT STREET INTERSECTIONS, POINTS OF CURVATURE AND TANGENCY OF PUBLIC STREET
 - (B) IRON PINS: AT LOT CORNERS
 - NO WETLANDS WERE OBSERVED ON THIS SITE.
 - THE PARCEL IS LOCATED IN AN AREA DESIGNATED AS 'ZONE X' AS DETERMINED FROM THE FLOOD INSURANCE RATE MAP (FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY No. 330087, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 330110832D, DATED: SEPTEMBER 25, 2009.
 - THIS SUBDIVISION PACKAGE CONTAINS 8 SHEETS OF WHICH SHEET 1 SHALL BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. THE REMAINING SHEETS WILL BE ON FILE AT THE CITY OF NASHUA PLANNING DEPARTMENT.

No.	DATE	ADDRESS CITY STAFF COMMENTS	REVISION	BY
1	08/23/20			TEZ

SUBDIVISION PLAN
 (MAP E, LOT 88)
599 WEST HOLLIS STREET
 NASHUA, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
CRIMSON PROPERTIES, LLC
 20 TRAFALGAR SQ., SUITE 101 NASHUA, NEW HAMPSHIRE 03083 (603) 234-4192



26 AUGUST 2020



EASEMENTS, RIGHTS & RESTRICTIONS:

- THE PROPERTY IS SUBJECT TO THE FLOWAGE RIGHTS IN RESERVED TO THE NASHUA MANUFACTURING COMPANY AS DESCRIBED IN BK 917, PG 331.
- THE PROPERTY IS SUBJECT TO THE RIGHTS FOR SLOPES, EMBANKMENTS AND TO MAINTAIN DRAINAGE BEYOND THE TAKING AS DESCRIBED IN BK 2891, PG 164.

CERTIFICATION

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "UP (URBAN)" AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSES FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/03.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

9/23/20
 DATE

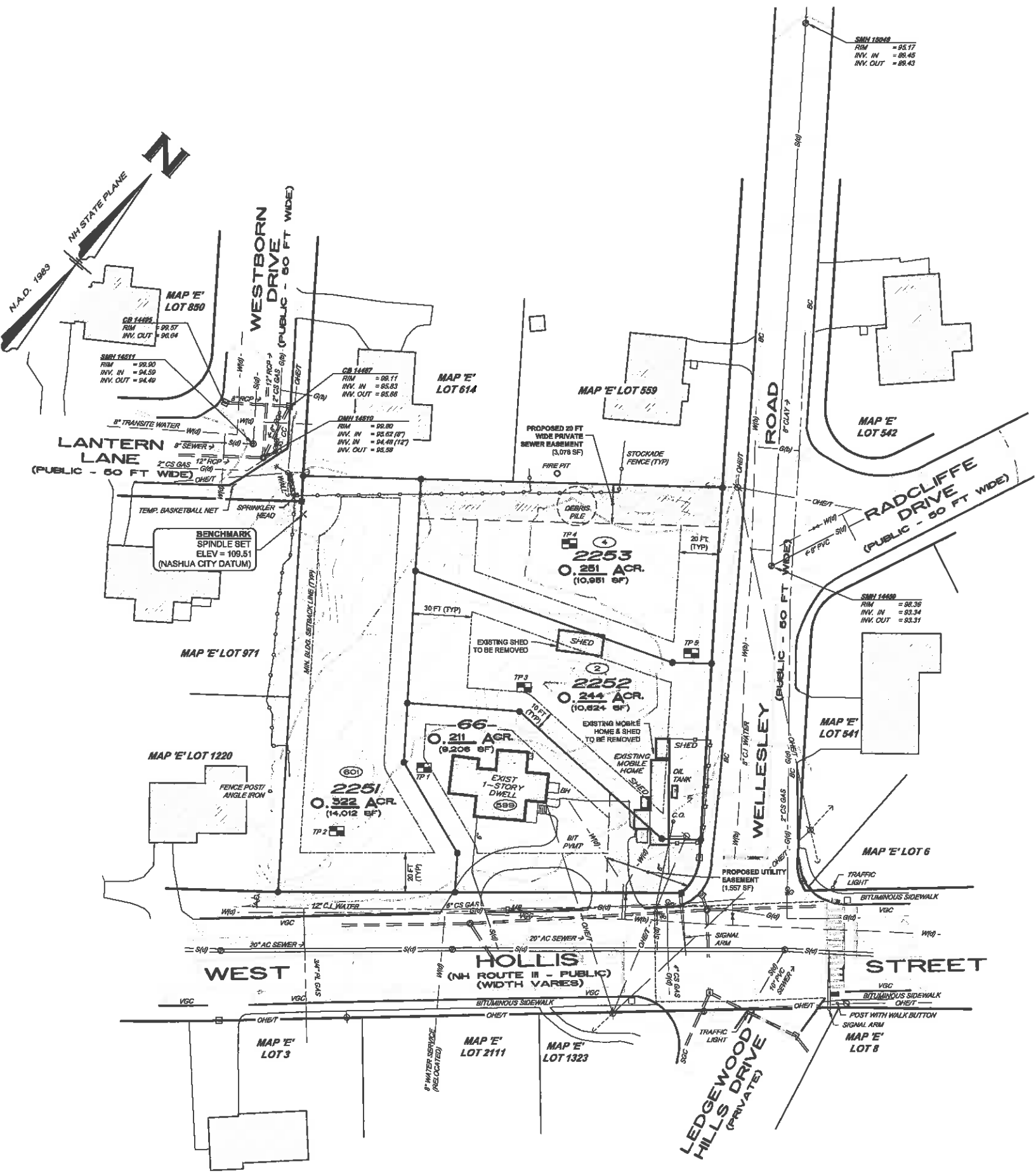
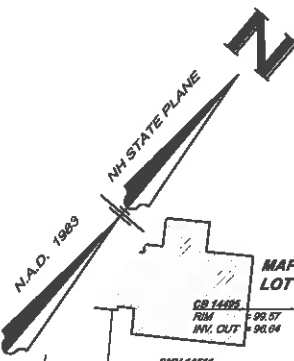


APPROVED
 NASHUA CITY PLANNING BOARD

CHAIRMAN _____ DATE _____

THE UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE SITE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

Candace J. Jurek
 FOR CRIMSON PROPERTIES, LLC
 8/24/20
 DATE



LEGEND

- EXISTING GROUND CONTOUR
- EXISTING SPOT ELEVATION
- STORM DRAIN & CATCH BASIN
- STORM DRAIN & MANHOLE
- SANITARY SEWER & MANHOLE
- WATER MAIN & HYDRANT
- WATER MAIN & GATE VALVE
- GAS LINE & GATE VALVE
- UTILITY POLE WITH GUY SUPPORT
- STREET LIGHT
- OVERHEAD ELECTRIC & TELEPHONE
- SIGN
- TREE LINE
- TEMPORARY BENCHMARK
- BUILDING SETBACK LINE
- WOOD FENCE
- STOCKADE FENCE
- CURBING
- VERTICAL GRANITE CURBING
- SLOPE GRANITE CURBING
- PAVEMENT SAWCUT
- CONIFEROUS TREE
- DECIDUOUS TREE
- SHRUBS
- TP-3 TEST PIT LOCATION & IDENTIFIER

UTILITY QUALITY LEGEND

SUBSURFACE UTILITIES AS DEPICTED ON THIS PLAN ARE IDENTIFIED BY QUALITY LEVELS DEFINED BY CHABCE 30-22 NADSE STANDARD GUIDELINE FOR COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA:

LEVEL A (A) PRECISE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES OBTAINED BY ACTUAL EXPOSURE AND SUBSEQUENT MEASUREMENTS OF SUBSURFACE UTILITIES.

LEVEL B (B) INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES. (IE. DIGSAFE)

LEVEL C (C) INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D INFORMATION.

LEVEL D (D) INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS.

UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

DigSafe
MAINE, NH, VT
CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION
digsafe.com
DIAL 811 OR
1-888-DIG-SAFE
1-888-344-7233

SURVEY NOTES:

1. THE EXISTING PLANIMETRICS AND TOPOGRAPHY, AS SHOWN ON THESE PLANS, IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND IN MARCH AND AUGUST 2020.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
3. THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.
4. SURVEY CONTROL INFORMATION:
HORIZONTAL DATUM: NAD83
HORIZONTAL PROJECTION: NH STATE PLANE
VERTICAL DATUM: NASHUA CITY DATUM
UNITS: US SURVEY FEET

CITY OF NASHUA

PLANNING DEPARTMENT
COMMUNITY DEVELOPMENT DIVISION
225 MAIN STREET
NASHUA, NH 03060
ATT: LINDA McGHEE
(603) 588-3110

ENGINEERING DEPARTMENT
NASHUA DEPT. OF PUBLIC WORKS / ENGINEERING
9 RIVERSIDE STREET
NASHUA, NH 03062
ATT: JOE MENDOLA
(603) 588-3124

FIRE DEPARTMENT
NASHUA FIRE DEPARTMENT
177 LAKE STREET
NASHUA, NH 03062
ATT: ADAM POULIOT
(603) 588-3480

UTILITY CONTACTS

WATER:
PENNICHUCK WATER WORKS
25 MANCHESTER STREET
MERRIMACK, NH 03054
ATT: JOHN BOISVERT, PE
(603) 913-2500

GAS:
LIBERTY UTILITIES
130 ELM STREET
MANCHESTER, NH 03103
ATT: ANDREW MORGAN
(603) 327-5357

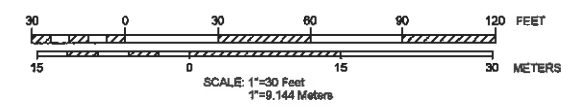
TELEPHONE:
CONSOLIDATED COMMUNICATIONS
100 GAY STREET
MANCHESTER, NH 03103
ATT: JOY MENDONCA
(603) 645-2713

POWER:
EVERSOURCE
370 AMHERST STREET
NASHUA, NH 03060
ATT: MARC GAGNON
(603) 882-5994

No.	DATE	ADDRESS CITY STAFF COMMENTS	REVISION	BY
1	08/23/20			TEZ

TOPOGRAPHIC SUBDIVISION PLAN
(MAP E, LOT 68)
599 WEST HOLLIS STREET
NASHUA, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
CRIMSON PROPERTIES, LLC
20 TRAFALGAR SQ., SUITE 101 NASHUA, NEW HAMPSHIRE 03063 (603) 234-4192

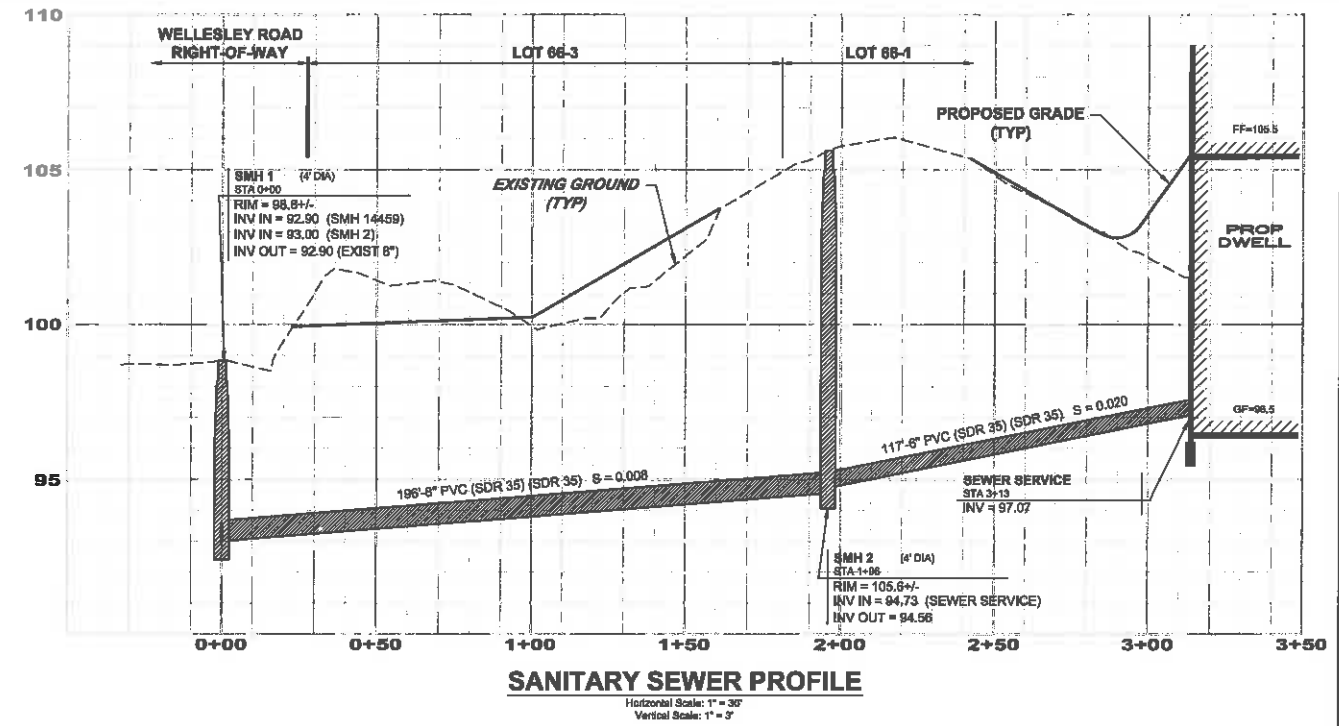
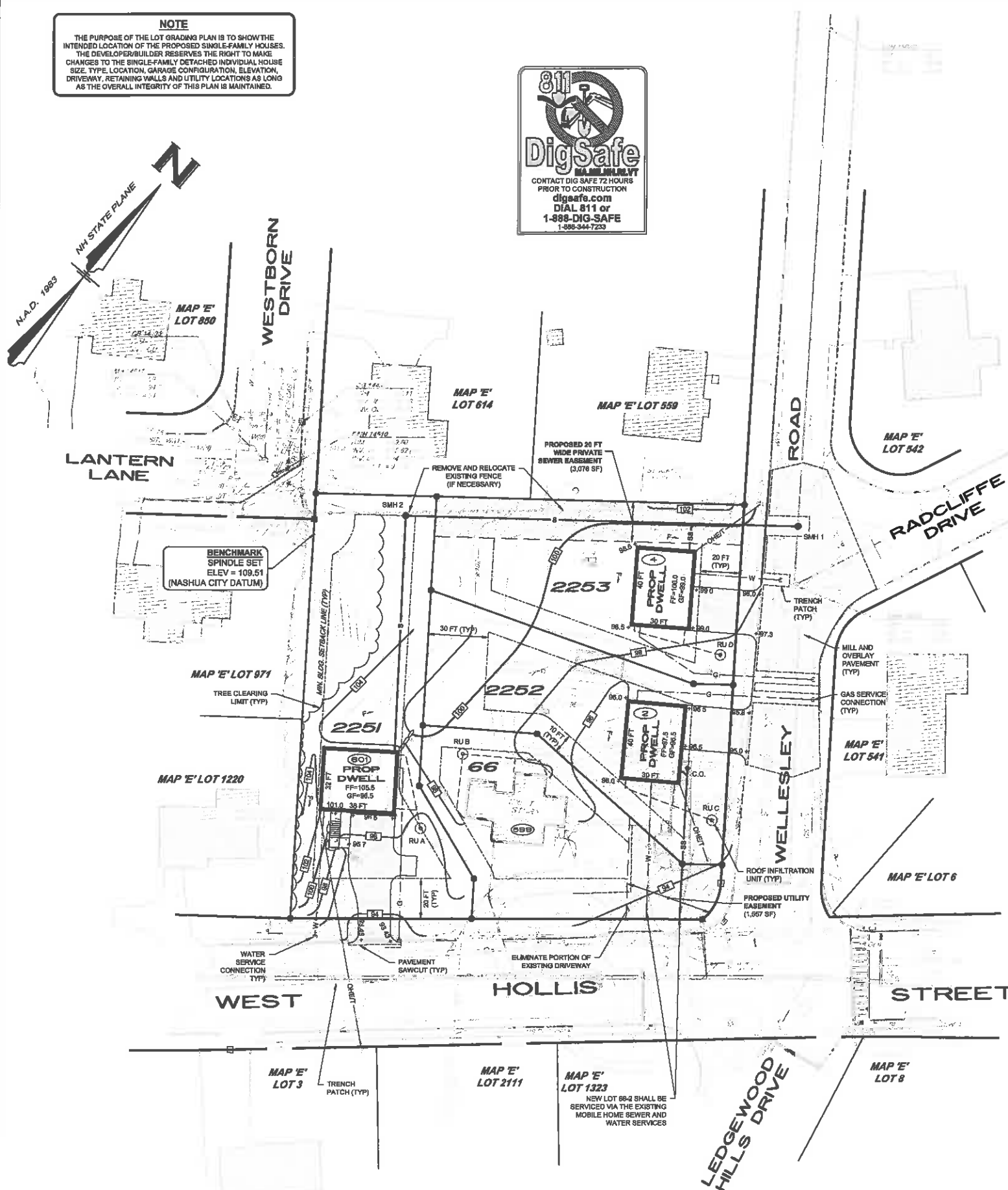
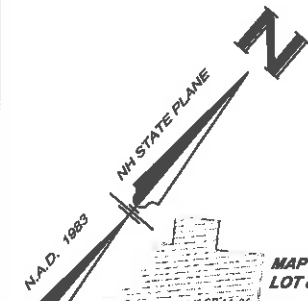


26 AUGUST 2020

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Civil Engineers/Land Surveyors
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Nashua, NH 03062
(603) 883-2057
131 Middlesex Turnpike
Burlington, MA 01803
(781) 203-1501
www.haynerswanson.com

FIELD BOOK: 1242	DRAWING NAME: 5705F31	5705	2 OF 5
DRAWING LOC: 4:\2000\5705\DWG\57055LB		File Number	Sheet

NOTE
 THE PURPOSE OF THE LOT GRADING PLAN IS TO SHOW THE INTENDED LOCATION OF THE PROPOSED SINGLE-FAMILY HOUSES. THE DEVELOPER/BUILDER RESERVES THE RIGHT TO MAKE CHANGES TO THE SINGLE-FAMILY DETACHED INDIVIDUAL HOUSE SIZE, TYPE, LOCATION, GARAGE CONFIGURATION, ELEVATION, DRIVEWAY, RETAINING WALLS AND UTILITY LOCATIONS AS LONG AS THE OVERALL INTEGRITY OF THIS PLAN IS MAINTAINED.

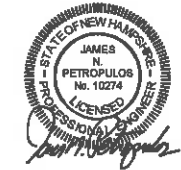


CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF NASHUA, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, LATEST EDITION ARE HEREBY INCORPORATED BY REFERENCE.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
- BLASTING, IF NEEDED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF NASHUA FIRE DEPARTMENT REGULATIONS.
- ALL STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDING IMMEDIATELY UPON BEING CONSTRUCTED.
- PRIOR TO COMMENCEMENT OF MAJOR CONSTRUCTION ACTIVITIES, THE ENGINEER SHALL PROVIDE THE CONTRACTOR WITH LAYOUT PLANS AND COORDINATE VALUES FOR STRATEGIC ELEMENTS OF THE SITE.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT BUILDING DIMENSIONS AND DETAILS.

UTILITY NOTES:

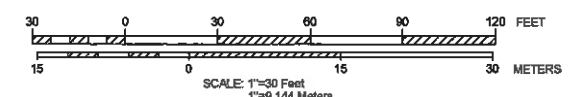
- ALL DRAINAGE PIPE SHALL BE ADS N-12 OR APPROVED EQUAL. MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE FOLLOWED.
- SANITARY SEWER AND STORM DRAIN SYSTEMS SHALL BE INSTALLED BY A NASHUA LICENSED DRAIN LAYER, PER NRO SECTION 18-82 THROUGH SECTION 18-89. ROOF DRAIN TIE-INS AND DRAIN LINES (IF ANY) SHALL BE INSPECTED PRIOR TO BACKFILLING AND PAVING.
- FOUNDATION DRAINS ARE NOT ALLOWED TO OUTLET OVERLAND ONTO ANY STREET.
- ALL WATER LINE, HYDRANT VALVES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS FOR THE INSTALLATION OF MATERIALS, MAIN PIPING, SERVICE CONNECTIONS IN THE PENNICHUCK WATER WORKS FRANCHISED AREAS OF NASHUA AND MERRIMACK, NEW HAMPSHIRE, LATEST EDITION.
- ALL ELECTRIC RELATED WORK SHALL CONFORM TO EVERSOURCE STANDARDS.
- ALL TELECOMMUNICATIONS WORK SHALL CONFORM TO CONSOLIDATED COMMUNICATIONS STANDARDS.
- ALL NATURAL GAS RELATED WORK SHALL COMPLY WITH LIBERTY UTILITIES STANDARDS.
- PRIOR TO CONSTRUCTION THE EXISTING HOUSE AND MOBILE HOME SEWER SERVICES SHALL BE INSPECTED BY VIDEO. THE RESULTS SHALL BE PROVIDED TO THE ENGINEER AND CITY OF NASHUA ENGINEERING DEPARTMENT.



No.	DATE	ADDRESS CITY STAFF COMMENTS	REVISION	TEZ
1	09/23/20			

LOT GRADING & UTILITY PLAN
 (MAP E, LOT 60)
599 WEST HOLLIS STREET
 NASHUA, NEW HAMPSHIRE

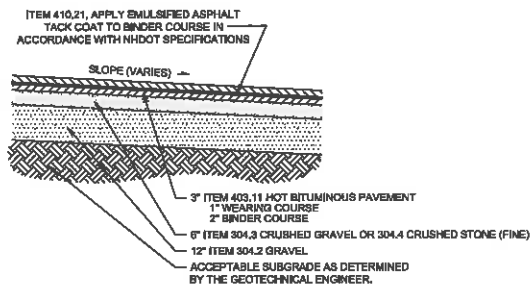
PREPARED FOR/RECORD OWNER:
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 20 TRAFALGAR SQ., SUITE 101 NASHUA, NEW HAMPSHIRE 03083 (603) 234-4182



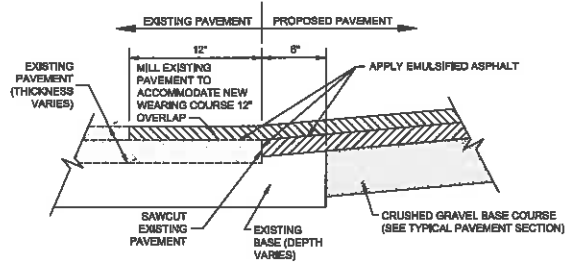
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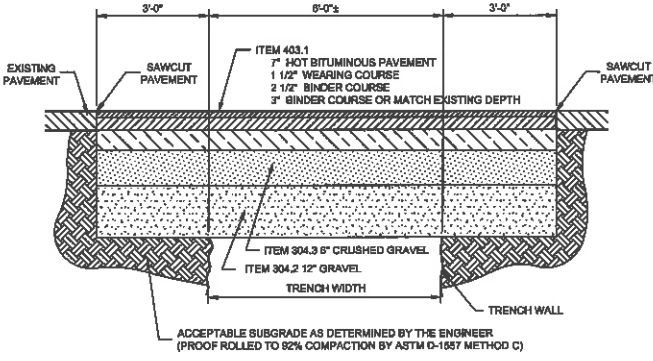
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TYPICAL PAVEMENT SECTION (DRIVEWAYS)
NOT TO SCALE



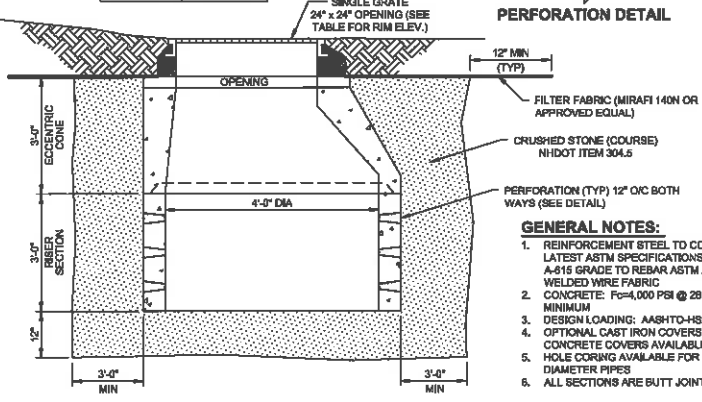
SAWCUT PAVEMENT DETAIL
NOT TO SCALE



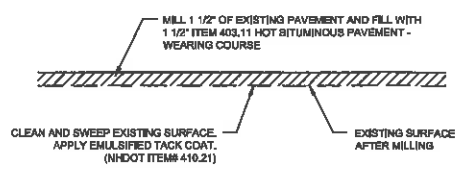
NOTE:
THE BINDER COURSE SHALL BE PLACED IMMEDIATELY AFTER THE TRENCH CONSTRUCTION, AND ALLOWED TO STAND FOR A MINIMUM OF 90 DAYS. A LEVELING COURSE SHALL BE APPLIED OVER THE TRENCH AFTER 90 DAYS AND THE ENTIRE ROAD OVERLAYED TO THE LIMITS SHOWN ON THE PLANS.

TRENCH PATCH DETAIL
NOT TO SCALE

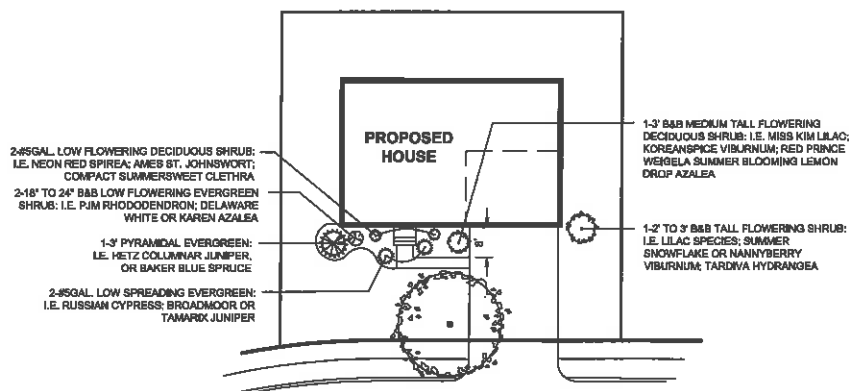
LOCATION	RIM ELEV.
RU A	98.51
RU B	98.02
RU C	94.52
RU D	97.52



ROOF INFILTRATION UNIT DETAIL
NOT TO SCALE

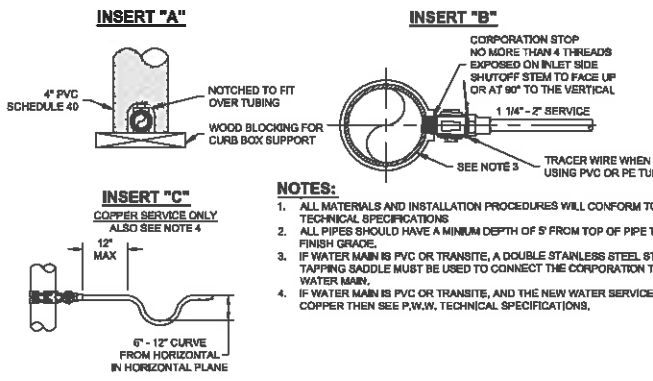
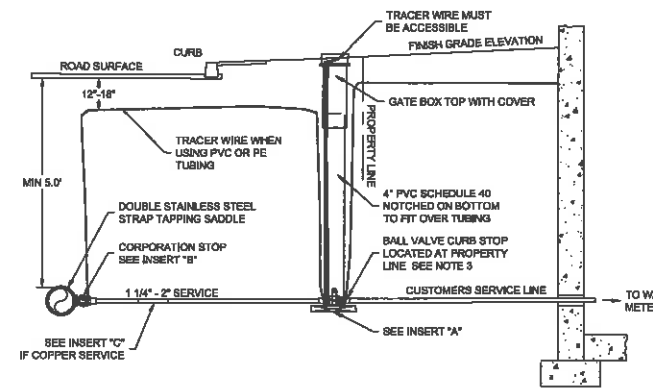


PAVEMENT MILL/OVERLAY DETAIL
NOT TO SCALE



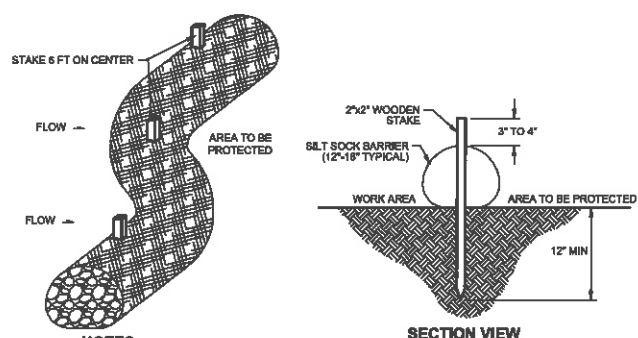
NOTES:
1. THE HOME BUILDER RESERVES THE RIGHT TO MODIFY THE TYPE, SIZE AND LOCATION OF THE FOUNDATION PLANT MATERIALS.
2. STREET TREE LOCATIONS AS SHOWN ARE APPROXIMATE.
3. STREET TREES ARE INTENDED TO MEET THE REQUIREMENTS OF THE NASHUA LAND USE CODE SECTION 190-185.

TYPICAL LOT LANDSCAPE DETAIL
NOT TO SCALE



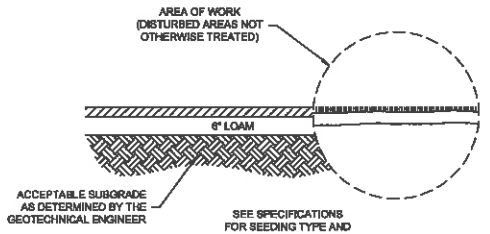
GENERAL NOTES:
1. REINFORCEMENT STEEL TO CONFORM TO LATEST ASTM SPECIFICATIONS: ASTM A-615 GRADE TO REBAR ASTM A-195 WELDED WIRE FABRIC
2. CONCRETE: Fc=4,000 PSI @ 28 DAYS MINIMUM
3. DESIGN LOADING: ASHITO-HS20-44
4. OPTIONAL CAST IRON COVERS OR CONCRETE COVERS AVAILABLE
5. HOLE CORING AVAILABLE FOR LARGER DIAMETER PIPES
6. ALL SECTIONS ARE BUTT JOINT

TYPICAL 1 1/4\"/>

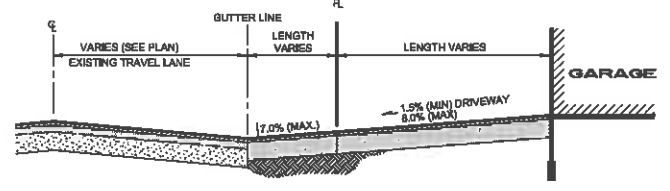


NOTES:
1. SILT SOCK BARRIER SHALL BE FILTEREXX SILT SOCK (OR APPROVED EQUAL) AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
2. SILT SOCK BARRIER SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
3. IF THE SILT SOCK SHOULD DECOMPOSE OR BECOME INEFFECTIVE, THE BARRIER SHALL BE REPLACED PROMPTLY.
4. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.
5. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE BARRIER HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.
6. COMPOST TO BE REMOVED OR DISPOSED ON-SITE AS DETERMINED BY THE ENGINEER.

SILT SOCK DETAIL
NOT TO SCALE



LOAM AND SEED DETAIL
NOT TO SCALE



TYPICAL DRIVEWAY SECTION
NOT TO SCALE

EROSION CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS THEREOF IN NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES STORMWATER MANUALS, VOLUME 1-3, LATEST EDITION.
- THE WORK AREA SHALL BE GRADED, SHAPED, AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE THE LIMITS OF THE WORK AREA. SILT FENCES, STRAW BALS AND/OR DETENTION BASINS WILL BE NECESSARY TO ACCOMPLISH THIS END.
- STRIPPED TOPSOIL SHALL BE STOCKPILED, WITHOUT COMPACTION, AND STABILIZED AGAINST EROSION IN ACCORDANCE WITH "TEMPORARY STABILIZATION OF DISTURBED AREAS", AS OUTLINED IN NOTE NO. 4.
- TEMPORARY STABILIZATION OF DISTURBED AREAS:
SEED BED PREPARATION: 10-10-10 FERTILIZATION TO BE SPREAD AT THE RATE OF 7 LBS PER 1,000 SF AND AGRICULTURAL LIMESTONE AT A RATE OF 60 LBS PER 1,000 SF AND INCORPORATED INTO THE SOIL. THE SOIL, FERTILIZER AND LIMESTONE SHALL BE TILLED TO PREPARE FOR SEEDING.
A. SEED MIXTURE: USE ANY OF THE FOLLOWING:

SPECIES	RATE PER 1,000 SF	DEPTH	SEEDING DATES
WINTER RYE	2.5 LBS	1"	08/16 TO 08/19
OATS	2.5 LBS	1"	04/16 TO 10/15
ANNUAL RYE GRASS	1.0 LBS	0.25"	08/16 TO 08/19

B. MULCHING: MULCH SHOULD BE USED ON HIGHLY ERODABLE AREAS, AND WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT AS FOLLOWS:

TYPE	RATE PER 1,000 SF	USE & COMMENTS
STRAW	70 TO 80 LBS	MAY BE USED WITH PLANTINGS, MUST BE ANCHORED TO BE USED ALONE
WOOD CHIPS OR BARK MULCH	400 TO 500 LBS	USED WITH TREE AND SHRUB PLANTINGS
FIBROUS MATTING	AS RECOMMENDED BY MANUFACTURER	MUST BE BIODEGRADABLE. USE IN SLOPE AREAS AND AREAS DIFFICULT TO VEGETATE.
CRUSHED STONE	SPREAD TO GREATER THAN 1/2\"/>	

5. PERMANENT STABILIZATION OF DISTURBED AREAS:
A. ALL ROADWAYS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
B. ALL CUT AND FILL SLOPES SHALL BE SEED/ERODERMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
6. AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
C. A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.
D. OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED
7. TOTAL AREA OF DISTURBED SOILS: 188,500 SF.
8. PERIMETER EROSION AND SEDIMENT CONTROLS (SILT SOCK OR APPROVED EQUAL) SHALL BE INSTALLED ALONG ALL LIMITS OF SITE DISTURBANCE, INCLUDING ALONG THE SITE'S FRONTAGE ON WEST HOLLIS STREET AND WELLESLEY ROAD.

SITE MAINTENANCE PLAN

THE FOLLOWING PROVIDES AN ITEMIZATION OF SPECIFIC SITE MAINTENANCE PRACTICES THAT WILL BE EMPLOYED ON THE SITE TO MINIMIZE POLLUTANT GENERATION AND TRANSPORT FROM THE SITE. THE SITE MAINTENANCE PROGRAM INCLUDES ROUTINE INSPECTIONS, PREVENTATIVE MAINTENANCE AND "GOOD HOUSEKEEPING" PRACTICES.

- ROUTINE INSPECTIONS**
- INSPECT SITE ON A QUARTERLY BASIS OR AFTER A SIGNIFICANT RAIN EVENT.
- PREVENTATIVE MAINTENANCE**
- CLEAN ROOF INFILTRATION UNITS TWICE PER YEAR IF NEEDED OR MORE FREQUENTLY AS DICTATED BY QUARTERLY INSPECTIONS.
 - IMPLEMENT OTHER MAINTENANCE OR REPAIR ACTIVITIES AS DEEMED NECESSARY BASED UPON INSPECTIONS.
- GOOD HOUSEKEEPING PRACTICES**
- SWEEP DRIVEWAYS REGULARLY TO MINIMIZE SEDIMENT ACCUMULATION. FREQUENCY WILL VARY SEASONALLY ACCORDING TO SEDIMENT ACCUMULATION ON PAVED SURFACES (E.G., MORE FREQUENT SWEEPING DURING THE WINTER AND SPRING).
 - USE NO-SALT (NAC) ALTERNATIVES SUCH AS CLOSED FLOWING AND BANDING FOR DE-ICING ON THE DRIVEWAY.

No.	DATE	ADDRESS CITY STAFF COMMENTS	REVISION	BY
1	05/23/20	ADDRESS CITY STAFF COMMENTS		TEZ

DETAIL SHEET - GENERAL SITE
(MAP E, LOT 66)
599 WEST HOLLIS STREET
NASHUA, NEW HAMPSHIRE

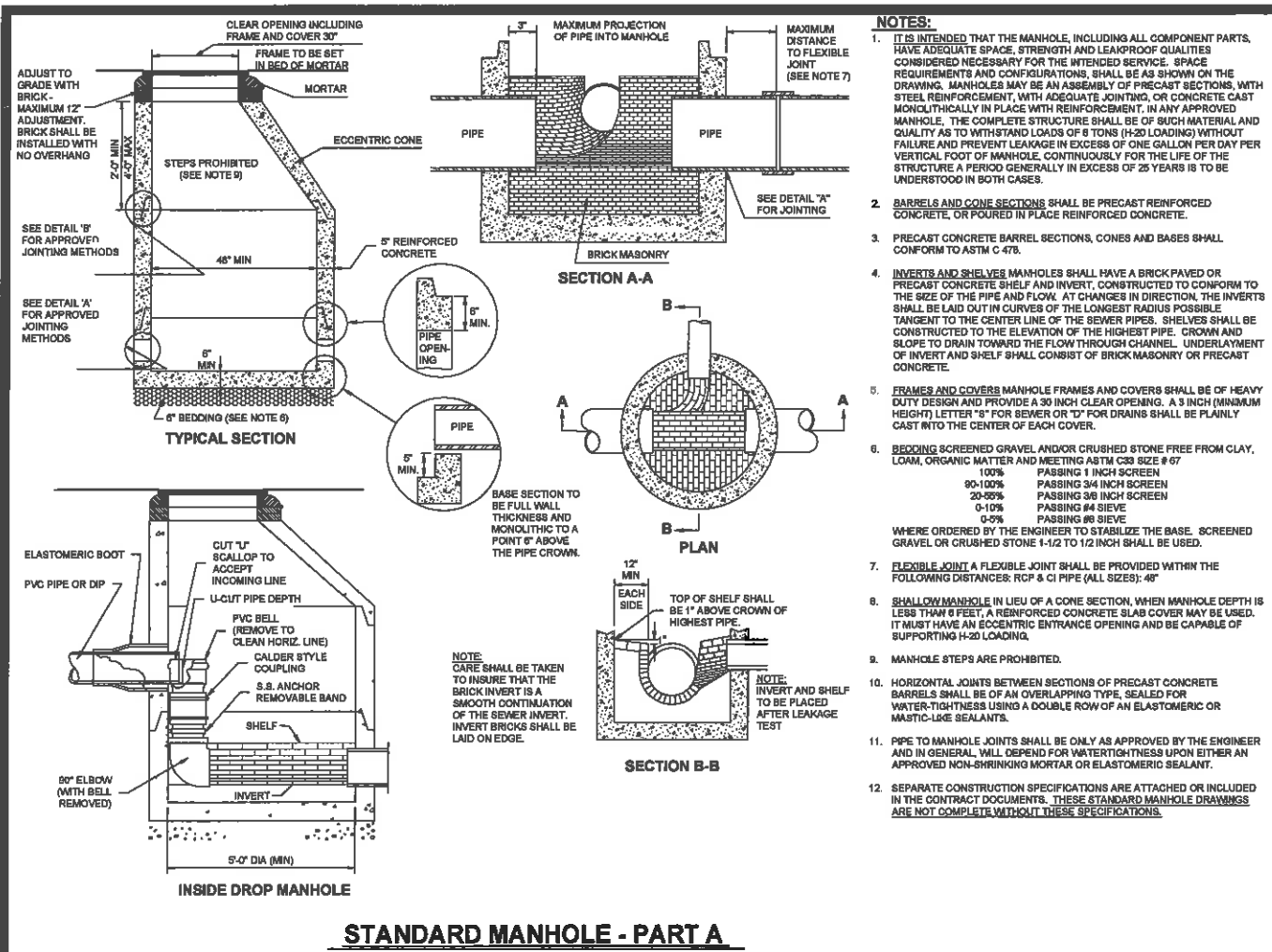
PREPARED FOR/RECORD OWNER:
CRIMSON PROPERTIES, LLC
20 TRAFALGAR SQ., SUITE 101 NASHUA, NEW HAMPSHIRE 03063 (603) 234-4192

SCALE AS SHOWN

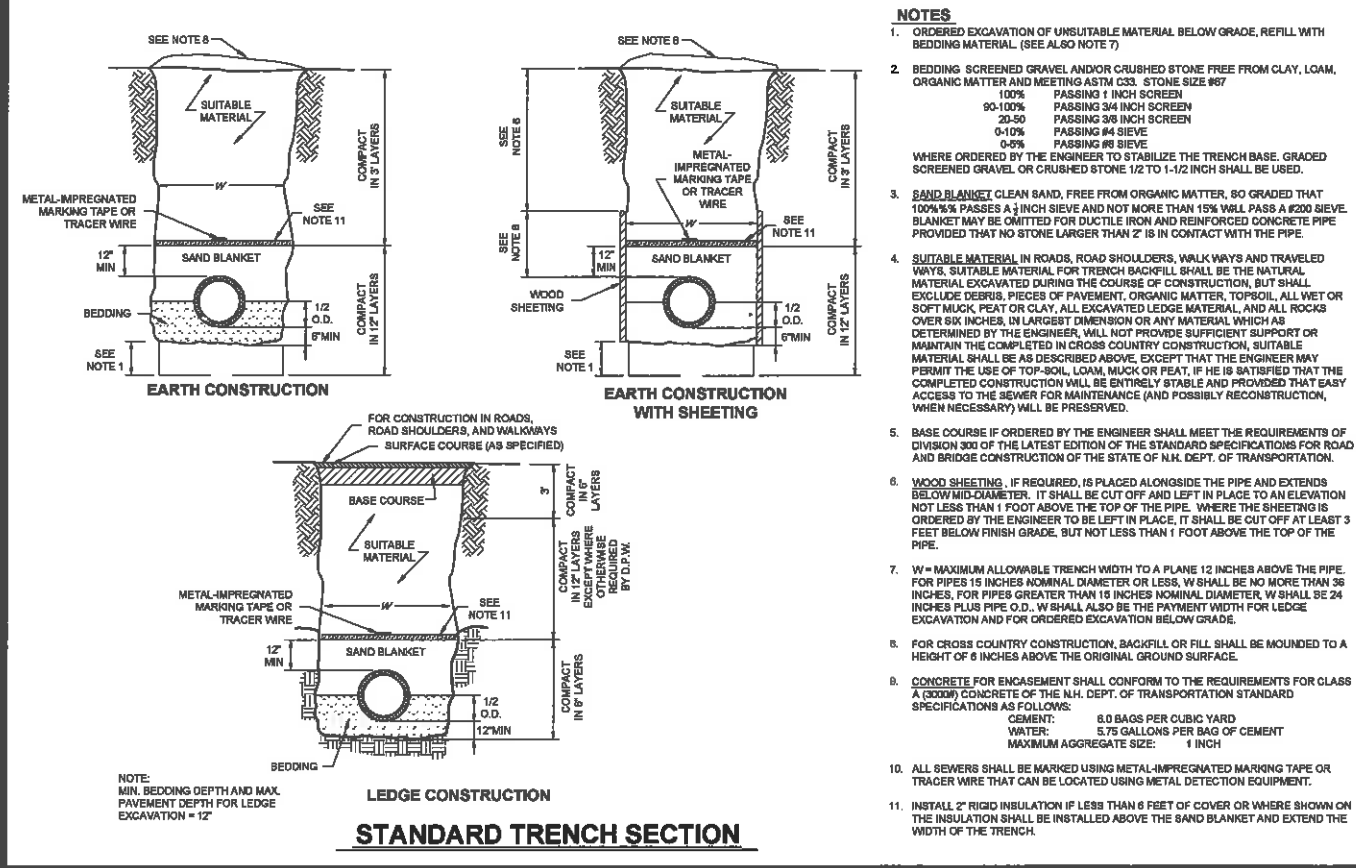
26 AUGUST 2020

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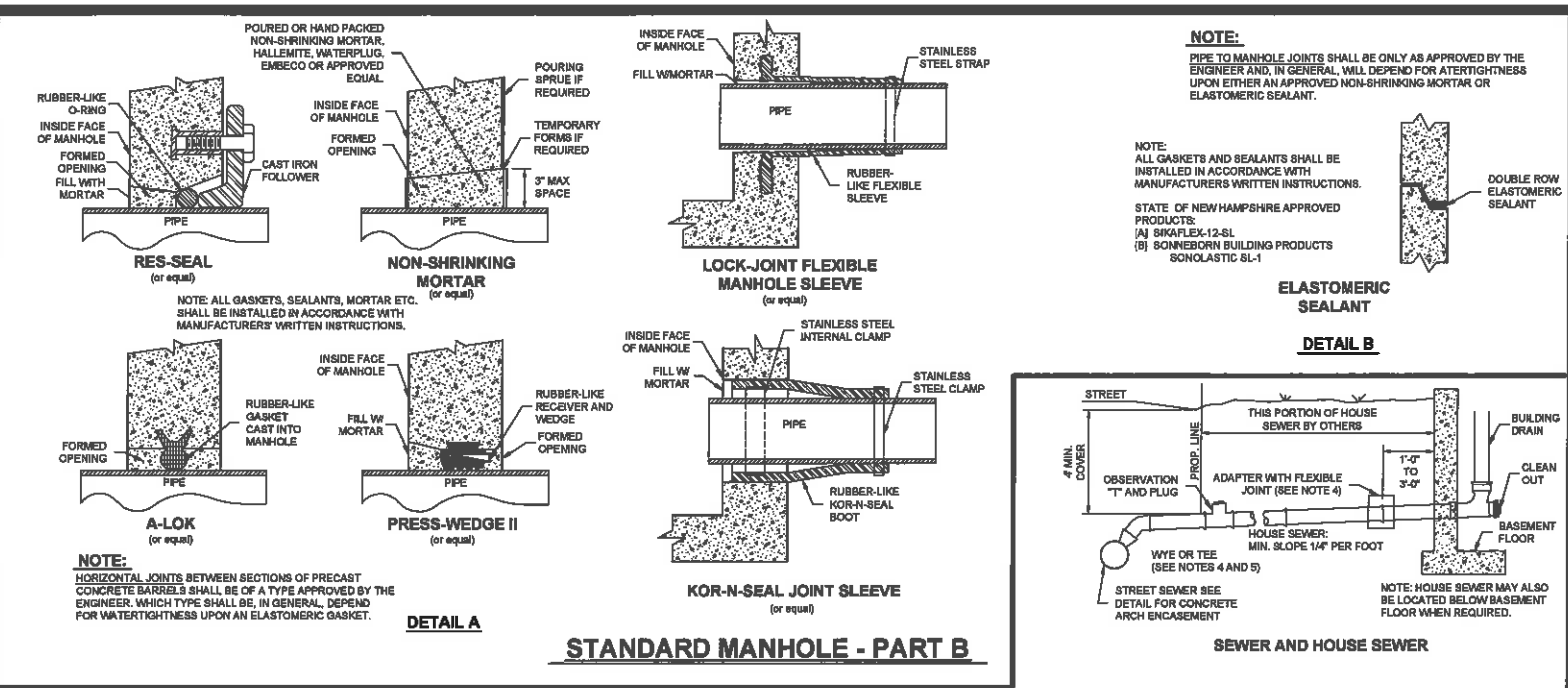




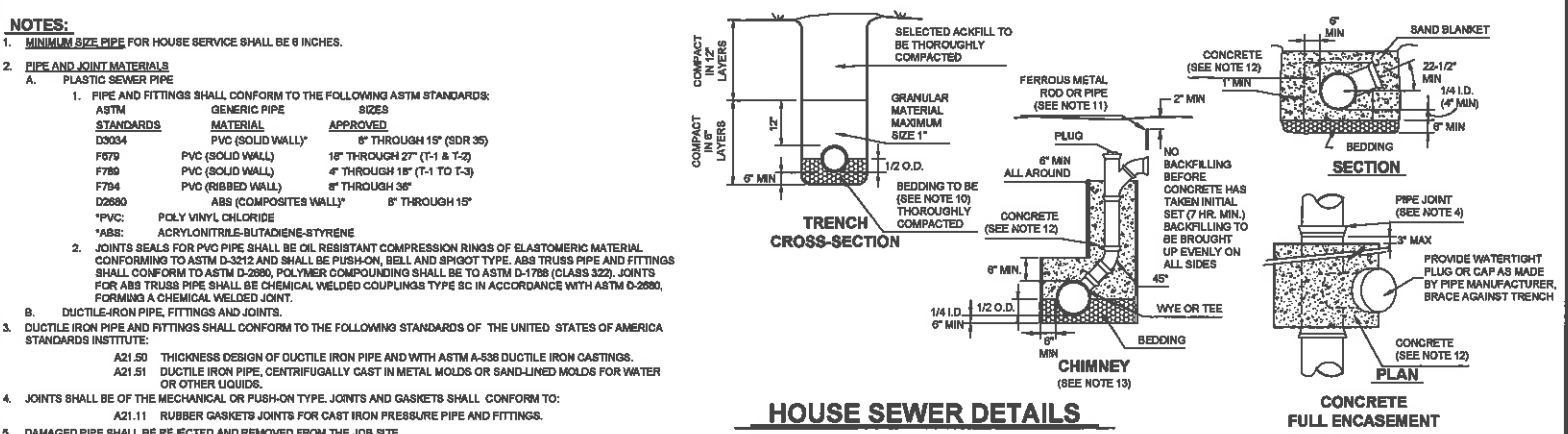
STANDARD MANHOLE - PART A



STANDARD TRENCH SECTION



STANDARD MANHOLE - PART B



HOUSE SEWER DETAILS

DETAIL SHEET - SEWER
(MAP E, LOT 66)
599 WEST HOLLIS STREET
NASHUA, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
CRIMSON PROPERTIES, LLC
20 TRAFALGAR SQ., SUITE 101 NASHUA, NEW HAMPSHIRE 03063 (603) 234-4192

NO SCALE

26 AUGUST 2020

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FIELD BOOK: 1242 DRAWING NAME: 570501E1 5705 5 OF 5
DRAWING LOC.: \30001\5705\DWG\570501E1 File Number Sheet



599 West Hollis Street - 1,000 FT Vicinity Map

