

LEGEND:

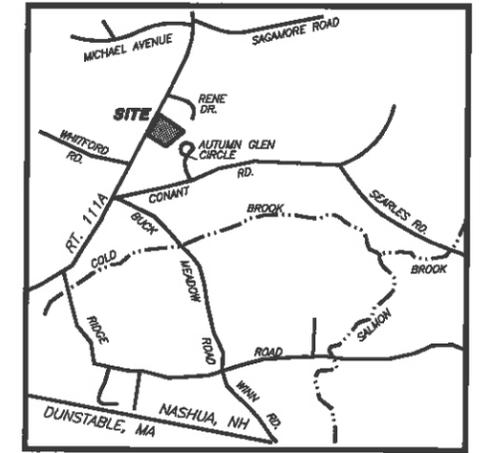
- RIGHT-OF-WAY SIDELINE
- PROPERTY LINE
- - - ABUTTING LOT LINE
- - - EASEMENT LINE
- - - BUILDING SETBACK LINE
- - - EDGE OF PAVEMENT
- - - EDGE OF GRAVEL
- - - EDGE OF WETLANDS
- OH — EXISTING TELEPHONE LINE
- W — EXISTING WATER LINE
- G — EXISTING GAS LINE
- S — EXISTING SEWER LINE
- 10' CONTOUR INTERVAL
- 2' CONTOUR INTERVAL
- 2-29 — EXISTING TAX MAP AND LOT NUMBER
- EXISTING BUILDING
- EXISTING TREE LINE
- EXIST. GRANITE BOUND FOUND
- EXIST. PIN AND CAP FOUND
- ⊙ EXISTING UTILITY POLE
- ☆ EXISTING LIGHT
- EXISTING SINGLE POST SIGN
- ⊕ EXISTING WELL
- EXISTING MAILBOX
- EXISTING GUY WIRE
- ⊕ EXISTING SEWER MANHOLE
- ⊕ EXISTING DRAIN MANHOLE
- ⊕ EXISTING WATER HYDRANT

SOIL CLASSIFICATION

- KEY SOIL SERIES DESCRIPTION
- CmC CANTON FINE SANDY LOAM, VERY STONY, 8-15% SLOPES
 - Gw FREETOWN MUCKY PEAT, 0-2% SLOPES
 - So SCARBORO MUCKY FINE SANDY LOAM, 0-3% SLOPES

CONDITIONS OF APPROVAL

1. TO BE DETERMINED BY THE BOARD.



NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT A PROPOSED SUBDIVISION OF LOT C-825 TO CREATE 1 NEW FRONTAGE BUILDING LOT.
2. THE OWNER OF RECORD OF LOT C-825 IS STANLEY & RUTH CHOATE, 438 MAIN DUNSTABLE ROAD, NASHUA NH 03062 HCRD, VOL. 3246 PG. 325 (12/24/1984).
3. THE TOTAL LAND AREA OF THE EXISTING LOT C-825 IS 3.834 ACRES, OR 166,986 SQUARE FEET. REFER TO ZONING TABLE BELOW FOR PROPOSED LAND AREAS.
4. THE PARCEL IS LOCATED WITHIN THE R-30 ZONING DISTRICT. REFER TO ZONING TABLE BELOW FOR LOT REQUIREMENTS.
5. PER FEMA DFIRM PANEL 33011C0632D, EFFECTIVE DATE 9/25/09, THE PARCEL IS NOT SUBJECT TO THE 1% ANNUAL CHANCE FLOOD (NOT IN THE 100 YEAR FLOOD PLAIN).
6. THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY THIS OFFICE ON APRIL 29, 2020.
7. NO EASEMENTS WERE FOUND IN THE COURSE OF THIS SURVEY AFFECTING THE PARCEL.
8. THE WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE ARMY CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 REGIONAL SUPPLEMENT (JANUARY 1987), BY SPENCER C. TATE, WETLAND SCIENTIST IN APRIL 2020.
9. THE EXISTING DWELLING IS SLAB ON GRADE AND THERE IS NO GAS SERVICE TO THE DWELLING.
10. THE LOCATION OF UTILITY SERVES TO THE PROPOSED LOT WILL BE DETERMINED AS PART OF A SUBSEQUENT BUILDING APPLICATION.
11. NORTH ORIENTATION REFERENCES NH GRID COORDINATES (NAD83/2011) ESTABLISHED BY STATIC GPS OBSERVATIONS ON APRIL 29, 2020 POST PROCESSED USING NGS OPUS PROJECTS AND CORS STATIONS ZSW1, NHCO, MAHI, MASA AND MAWN. VERTICAL DATUM IS NAVD83 GEOID12B

CERTIFICATION

"I HEREBY CERTIFY THAT THE BOUNDARY LINES SHOWN ARE PER THE REFERENCE PLAN NOTED HEREON, AND HAVE A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY."

**SUBDIVISION PLAN
LAND OF
STANLEY & RUTH
CHOATE
TAX PARCEL C-825
438 MAIN DUBSTABLE ROAD
432 MAIN DUBSTABLE ROAD
NASHUA, NEW HAMPSHIRE**

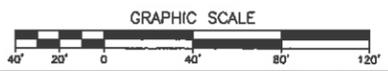
SCALE: 1" = 40' MAY 15, 2020



**MERIDIAN
LAND SERVICES, INC.**
ENGINEERING | SURVEYING | PERMITTING
SOIL & WETLAND MAPPING | SEPTIC DESIGN
31 OLD NASHUA ROAD, AMHERST, NH 03031 TEL. 603-673-1441
MERIDIANLANDSERVICES.COM FAX 603-673-1384

PLAN REFERENCE

1. PLAN OF LAND IN - NASHUA, N.H. - OWNED BY - CHARLES O. LANOIE - 428 MAIN DUNSTABLE ROAD - SCALE: 1"=40' - DATED: JUNE 1973 - PREPARED BY PIANTIDOSI ASSOCIATES, (H.C.R.D. PLAN NO.6959).
2. AS BUILT PLAN AND PROFILE, MAIN DUNSTABLE ROAD, SANITARY SEWER NASHUA, NEW HAMPSHIRE - SCALE: AS NOTED - DATED: JANUARY 20, 1971 PREPARED BY HAMILTON ENGINEERING ASSOCIATES, INC. (SHEETS 5 & 6).
3. MAP C / LOT 2541 FINAL SUBDIVISION PLAN, AUTUMN GLEN CIRCLE AT MAPLEWOOD, CONANT ROAD, NASHUA, N.H. - SCALE: 1"=50' - DATED: APRIL 22, 1998, PREPARED BY CUOCO & CORMIER ENGINEERING ASSOCIATES, INC. SHEET 4 OF 12 (H.C.R.D. PLAN NO.29578).



LOT REQUIREMENTS

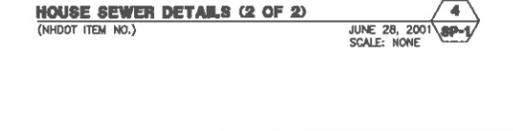
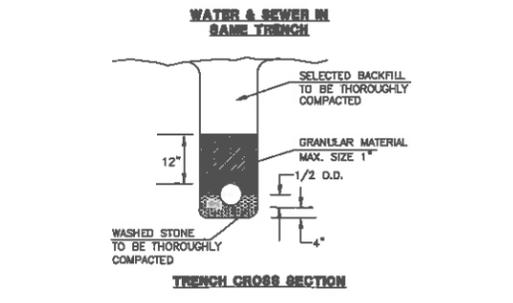
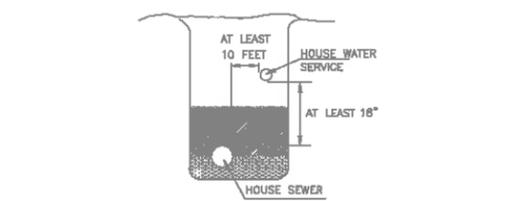
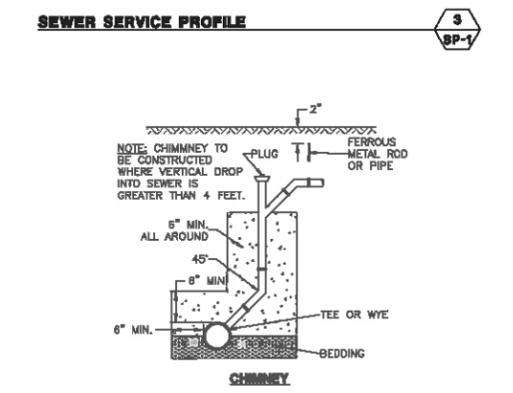
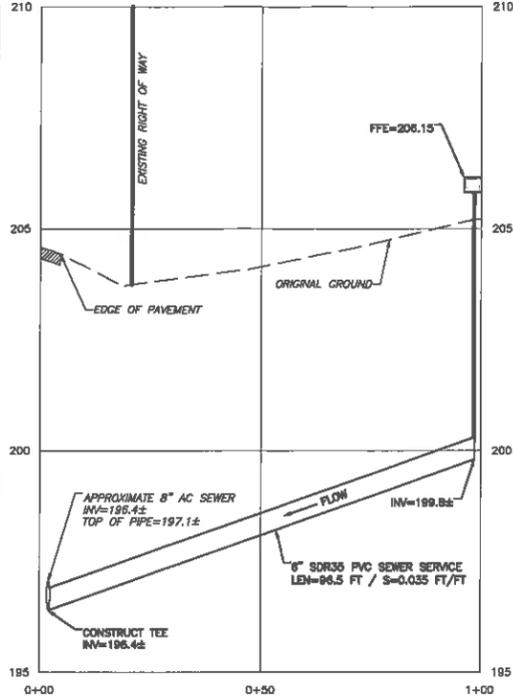
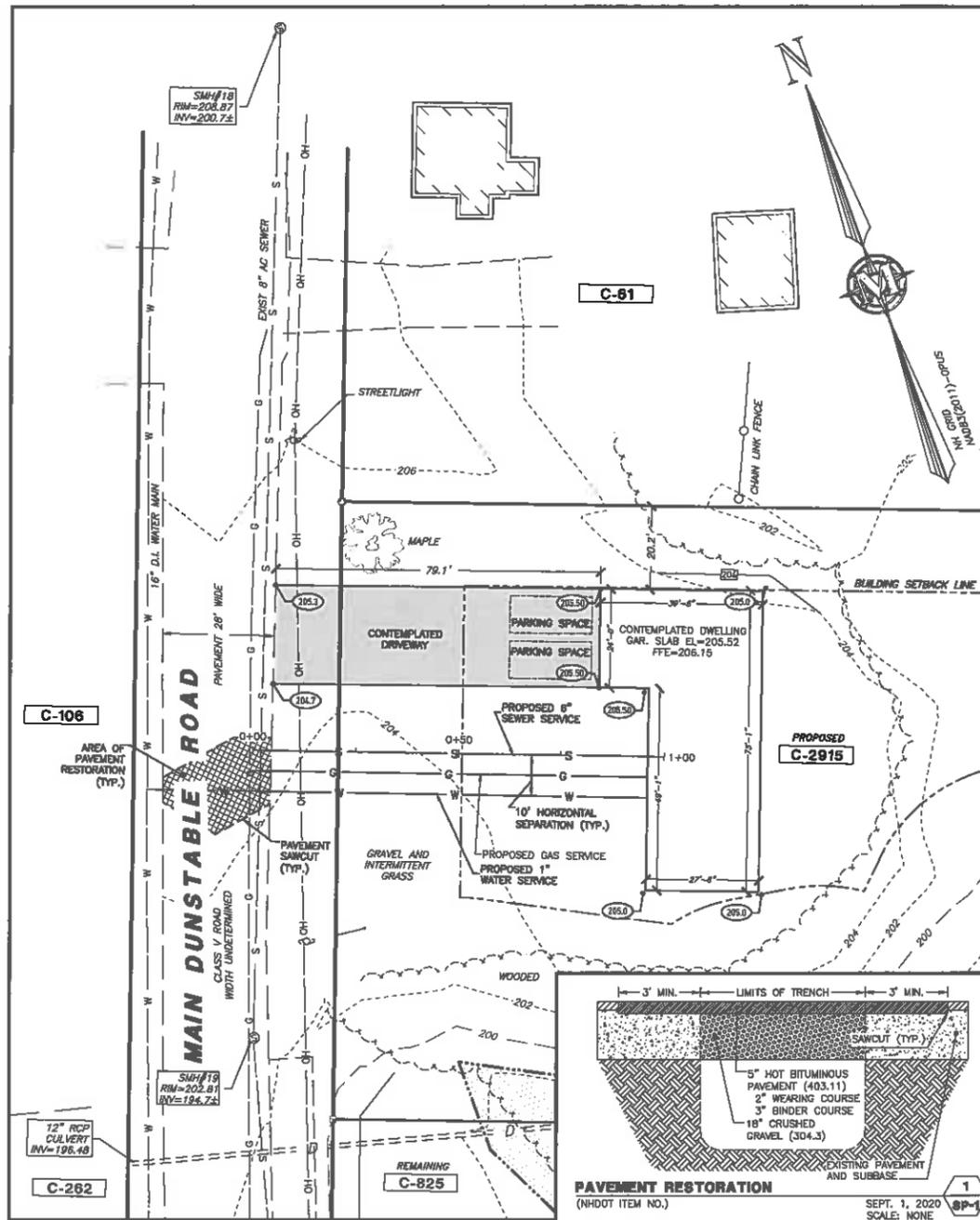
	GROSS LOT AREA	USABLE LOT AREA	LOT WIDTH	FRONTAGE	LOT DEPTH	FRONT YARD	SIDE YARD	REAR YARD	OPEN SPACE	LOT COVERAGE	STORIES
REQUIRED:	30,000 S.F.	40,000 SQ.FT.	130'	105'	120'	20'	20'	40'	60%	—	2 1/2
C-825	88,206 SQ.FT.	54,296 SQ.FT.	213'	215.76'	403'	66.7'	80.0'	320.7'	94%	6%	2 1/2
C-2915	78,791 SQ.FT.	44,712 SQ.FT.	150'	150'	496'	N/A	N/A	N/A	100%	0%	N/A

OWNER'S ENDORSMENT

APPROVED - NASHUA PLANNING BOARD

CHAIRMAN: _____ DATE _____

SECRETARY: _____ DATE _____



1. PARKING REQUIREMENTS FOR A SINGLE FAMILY DWELLING ON AN INDIVIDUALLY OWNED LOT: 2 SPACES PER UNIT (NASHUA LAND USE CODE, PAGE 190:284, TABLE 19B-1)
2. THE PROPOSED HOUSE LOTS WILL BE SERVICED BY MUNICIPAL SEWER AND MUNICIPAL WATER.
3. THE PROPOSED HOUSE LOT WILL BE SERVICED BY UNDERGROUND UTILITIES.
4. FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITE ARE LOCATED IN WELL-DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
5. STREET RESTORATION TO BE IN ACCORDANCE WITH N.R.D. SEC. 285-13.

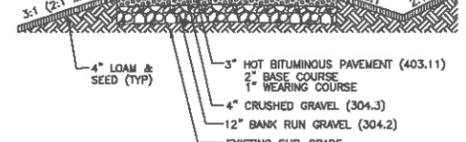
GENERAL NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF NASHUA. OTHERWISE, ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION - STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION."
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. MERIDIAN LAND SERVICES, INC., AS DESIGN ENGINEER, SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
3. THE OWNER AND/OR CONTRACTOR SHALL VERIFY ALL ZONING REQUIREMENTS FOR CONFORMANCE PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL CONTACT "DISAFE" (811) 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
5. COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND SPECIAL CONDITIONS OF TOWN/CITY AGENCIES, SUCH AS THE PLANNING BOARD, CONSERVATION COMMISSION, AND OTHERS, IS MANDATORY AND IS THE RESPONSIBILITY OF THE OWNER.
6. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND MERIDIAN LAND SERVICES, INC. PRIOR TO CONSTRUCTION.
7. ALL DRAINAGE STRUCTURES SHALL CONFORM TO NHDOT STANDARDS.
8. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENT PRIOR TO CONSTRUCTION TO ARRANGE FOR INSPECTIONS OF THE CONSTRUCTION.
9. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCURATE AS-BUILT INFORMATION OF ALL WORK, ESPECIALLY UNDERGROUND CONSTRUCTION OF UTILITY LINES, SERVICES, CONNECTIONS, ETC. AND APPROPRIATE TIES TO ABOVE GROUND PERMANENT STRUCTURES, FIELD SURVEY COORDINATES, OR SOME OTHER METHOD OF ESTABLISHING THE AS-BUILT CONDITION OF ALL CONSTRUCTION.

CONSTRUCTION NOTES

1. ALL DRIVEWAYS CONNECTED TO PUBLIC ROADS MUST BE BUILT AND MAINTAINED BY THE HOMEOWNER OR HIS/HER REPRESENTATIVE IN ACCORDANCE WITH THESE SPECIFICATIONS.
2. DRIVEWAYS SHALL NOT DIVERT OR INTERRUPT THE NATURAL OR DITCHLINE FLOW OF RUNOFF.
3. WHERE SHALLOW DITCHLINES EXIST AT THE CREST OF A PRIVATE ROAD OR NATURAL DRAINAGE COURSES DISCHARGE RUNOFF FROM THE ROADWAY, DRIVEWAYS MAY BE REQUIRED TO BE DEPRESSED AT A POINT BEYOND THE ROAD SHOULDER TO ACCOMMODATE THE FLOW OF SURFACE WATER (SEE TYPICAL DRIVEWAY PROFILES).
4. THERE SHALL BE NO PERMANENT STRUCTURE CONSTRUCTED, BELOW OR ABOVE THE FINISH GRADE, THAT IS CONTAINED WITHIN THE RIGHT-OF-WAY. IT SHALL BE THE HOMEOWNER'S RESPONSIBILITY TO DETERMINE THE LOCATION OF THE RIGHT-OF-WAY LINE (PROPERTY LINE).
5. THE MAXIMUM DRIVEWAY WIDTH AT A PROPERTY LINE SHALL NOT EXCEED 24'. THE MINIMUM DISTANCE FROM A DRIVEWAY TO INTERSECTION MUST BE AT LEAST 50'. DRIVEWAYS SHALL NOT INTERSECT A STREET AT LESS THAN 60 DEGREE ANGLES.

TYPICAL DRIVEWAY

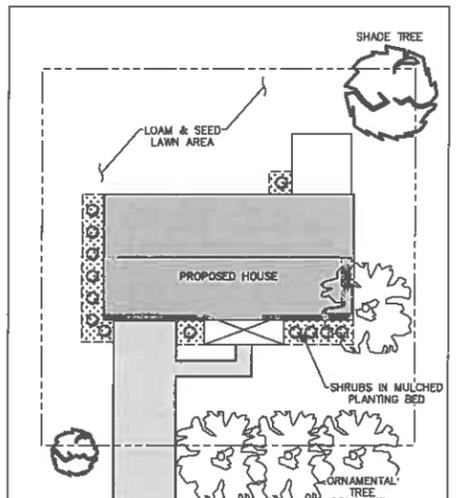


DRIVEWAY CONSTRUCTION NOTES:

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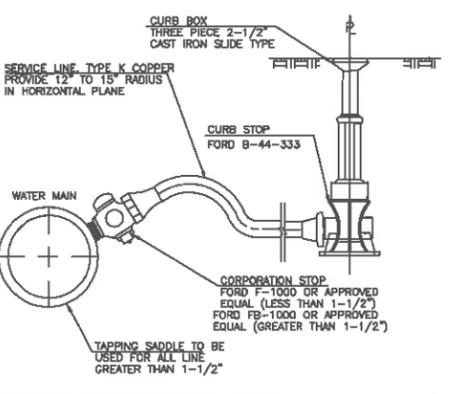


NOTE: HOUSE FOOTPRINT, DRIVEWAY LOCATION AND FOUNDATION PLANTINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE ON A LOT BY LOT BASIS. LIMIT OF CLEARING TO BE ESTABLISHED BY DEVELOPER PRIOR TO ANY TREE REMOVAL. FOR ADDITIONAL LANDSCAPING REQUIREMENTS, REFER TO NASHUA LAND USE CODE, ARTICLE 27, PAGES 276-280.

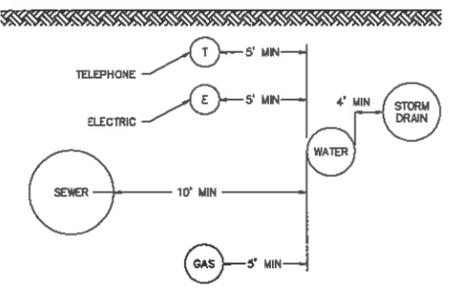
LANDSCAPED YARD AREA REQUIREMENTS: NASHUA LAND USE CODE, SECTION 190-185

- A. ONE (1) SHADE TREE PER 40 LF OF FRONTAGE
- B. TWO (2) ORNAMENTAL TREES PER 40 LF OF FRONTAGE IN FRONT YARD
- C. ONE (1) SHRUB PLUS ONE (1) SHRUB PER 5 LF OF FRONTAGE

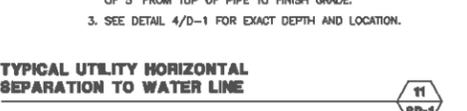
TYPICAL INDIVIDUAL LOT LANDSCAPE PLAN



HOUSE SEWER DETAILS (1 OF 2)



SEWER SERVICE TEE



TYPICAL UTILITY HORIZONTAL SEPARATION TO WATER LINE



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DOUGLAS V. BRODEUR
 No. 12389
 PROFESSIONAL ENGINEER

REV.	DATE	DESCRIPTION
A	9/7/20	ADDRESS PUBLIC WORKS COMMENTS
B		
C		
D		
E		
F		
G		
H		

DATE: MAY 28, 2020
 SCALE: 1" = 20' HORIZ / 2' VERT.

SP-1
 SHEET
 FILE: 2861P01A.dwg
 PROJECT: 2861.01
 SHEET NO. 2 OF 2

Plotfile: 9/7/2020 2:32 PM 8x: TRV
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