

LOCUS MAP
NOT TO SCALE

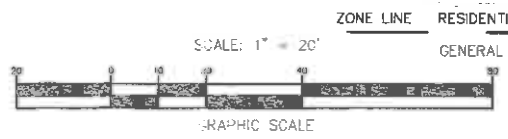
PLAN INDEX	SHEET NO
SITE PLAN	1
EXISTING CONDITIONS PLAN	2
GRADING PLAN	3
DETAIL SHEET	4

LEGEND

- PROPERTY LINE
- D — EXISTING DRAINAGE
- OHW — EXISTING OVERHEAD ELECTRIC CABLE, AND TELEPHONE
- EXISTING EDGE OF PAVEMENT
- == PROP. BIT. CURB
- TRAFFIC FLOW ARROW
- PROPOSED SILT FENCE
- W — EXISTING WATER LINE
- S — EXISTING SEWER LINE
- ▣ EXISTING CATCH BASIN
- GAS — EXISTING H.P. GAS LINE

THE UNDER-SIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

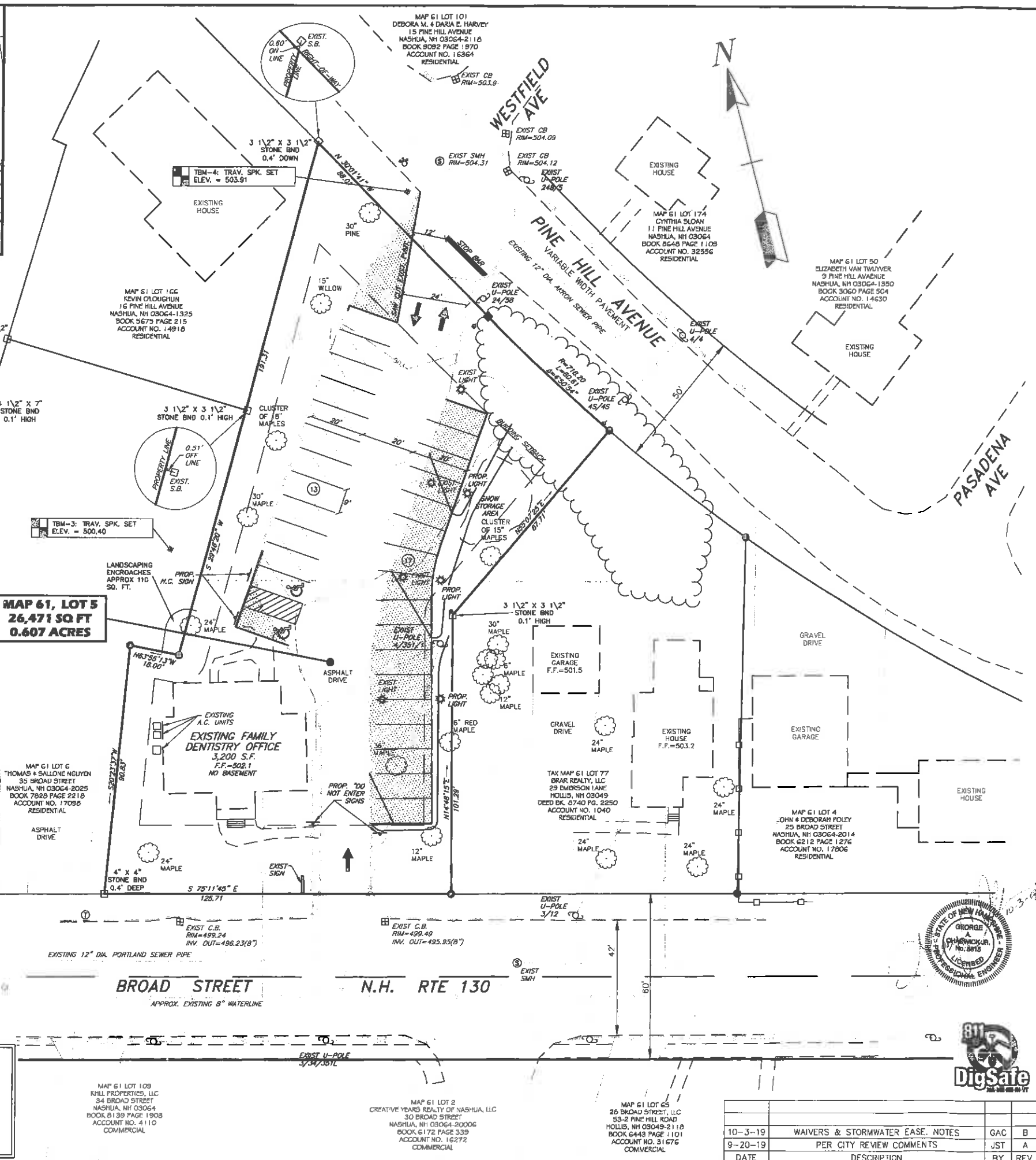
OWNER — BRAR HOLDINGS LLC DATE _____



APPROVED BY NASHUA PLANNING BOARD

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____



- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO SHOW A PARKING LOT EXPANSION FROM 20 EXISTING SPACES TO 30 SPACES, FOR THE EXISTING DENTIST OFFICE ON MAP 61/LOT 5.
 - OWNER OF RECORD:
TAX MAP 61 LOT 5
BRAR HOLDINGS LLC
33 BROAD STREET
NASHUA, NH 03064
DEED BK: 8504 PG: 2925
DENTIST OFFICE
 - TOTAL PARCEL AREA = 26,471 SQ. FT OR 0.607 ACRES.
 - THE PARCEL IS ZONED R-A: RESIDENTIAL.
- | DIMENSIONAL REQUIREMENTS | R-A | PROPOSED |
|--------------------------|------------|-------------|
| MINIMUM LOT AREA | 7,500 S.F. | 26,471 S.F. |
| MINIMUM FRONTAGE | 60' | 125' |
| MINIMUM LOT WIDTH | 75' | 123' |
| MINIMUM LOT DEPTH | 90' | 220' |
| FRONT BUILDING SETBACK | 25' | 30' |
| REAR SETBACK | 10' | 10.4' |
| SIDE SETBACK | 25' | N/A. |
| MAX. FLOOR RATIO | 0.5 | 0.12 |
| MIN. OPEN SPACE | 50% | 50.2% |
- THE EXISTING LOT IS AN OFFICE BUILDING (DENTIST). USE VARIANCE GRANTED IN 1972.
 - SPECIAL EXCEPTION GRANTED JUNE 11, 2019 TO EXPAND DENTAL OFFICE.
 - HOURS OF OPERATION: 8:00AM TO 5:00PM, MONDAY-FRIDAY
 - NO EXISTING OR PROPOSED EASEMENTS ON PROPERTY.
 - NO WETLANDS ON PROPERTY.
 - LOT SERVICED BY CITY OF NASHUA SEWER AND PENNACHTUCK WATER WORKS.
 - THERE ARE NO NEW SIGNS PROPOSED.
 - MINIMUM PARKING REQUIREMENTS:
9'x20' SPACES WITH 20' AISLES
NO PARKING IN FRONT YARD SETBACKS
3,200 S.F. DENTAL OFFICE @ 1 SP./400 S.F. = 8 SPACES REQUIRED
TOTAL EXISTING = 20 SPACES
TOTAL PROPOSED = 30 SPACES
(INCLUDING 1 H/C SPACES)
 - THE SUBJECT PROPERTY IS NOT LOCATED IN THE 100-YR FLOOD PLAIN AS PER THE FLOOD INSURANCE RATE MAP, HILLSBOROUGH COUNTY COMMUNITY PANEL 33011C03130, EFFECTIVE DATE SEPTEMBER 25, 2009.
 - TRASH FOR THE DENTIST OFFICE IS REMOVED DAILY BY THE JANITORIAL STAFF AND DISPOSED OF PROPERLY OFF-SITE. MEDICAL WASTE IS REMOVED BY A LICENSED PRIVATE COMPANY AND DISPOSED OF PROPERLY OFF-SITE.
 - IF DURING CONSTRUCTION IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE CITY.
 - ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE CITY OF NASHUA SITE PLAN REGULATIONS AND THE LATEST ADDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 - SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION AND GRADES
 - PLOWED SNOW FROM THE FACILITIES DRIVEWAY, PARKING LOT AND SIDEWALKS SHALL BE STORED IN THE DESIGNATED AREA SHOWN IN THIS PLAN SET. WHEN SNOW STORAGE AREAS ARE AT CAPACITY, SUBSEQUENT SNOW SHALL BE HAULED OFF SITE AND DISPOSED OF IN AN ENVIRONMENTALLY SOUND FASHION AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
 - IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN IN ANY WAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
 - PRIOR TO ANY WORK BEING CONDUCTED, A PRECONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PLANNING STAFF AND OTHER CITY DEPARTMENTS AS NECESSARY TO REVIEW WORK PROPOSED.
 - A BOND OR OTHER FORM OF SECURITY REQUIRED FOR PROPOSED PUBLIC IMPROVEMENTS (ROADWAY/SIDEWALK) OR UTILITY EXTENSIONS.
 - THIS PLAN COMPLES WITH THE MINIMUM REQUIREMENTS OF THE CITY OF NASHUA DEVELOPMENT STANDARDS.
 - OWNER IS REQUESTED FROM THE FOLLOWING SECTION OF THE NASHUA LAND DEVELOPMENT REGULATIONS:
• SECTION 190-279(N) - LIGHTING PLAN
• SECTION 190-279(P) - LANDSCAPE PLAN
 - A STORMWATER EASEMENT WILL BE PROVIDED TO THE CITY AND RECORDED AT THE H.C.R.D.

TAX MAP 61 LOT 5

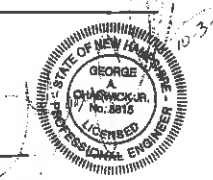
SITE PLAN
BRAR FAMILY DENTISTRY
LOCATED AT:
33 BROAD STREET
NASHUA, NEW HAMPSHIRE

OWNER/APPLICANT:
BRAR HOLDINGS LLC
33 BROAD STREET
NASHUA, NH 03064
603-889-0601
DEED BK: 8504 PG: 2925

SCALE: 1" = 20' AUGUST 21, 2019 SHEET 1 OF 4

DESIGN:	DRAWN:	CHECKED:	FB:	PG:	
JST	JST	GAC	##	##	1443-07

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DATE	DESCRIPTION	BY	REV.
10-3-19	WAIVERS & STORMWATER EASE, NOTES	GAC	B
9-20-19	PER CITY REVIEW COMMENTS	JST	A

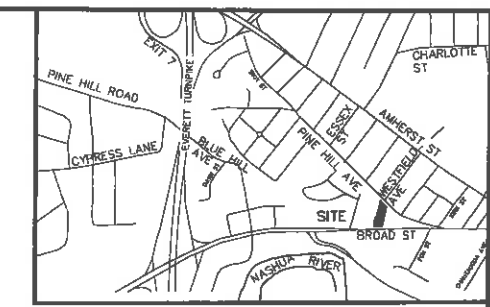
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PLAN REFERENCES:

1. LOT LINE RELOCATION PLAN OF LAND IN NASHUA, NEW HAMPSHIRE, BOSTON & MAINE CORPORATION TAX MAP 62 LOT 235 TO DAVID C. & CHARLOTTE M. DION, TAX MAP 61 LOT 172, 3S BROAD STREET DATED MAY 28, 2008 REVISED 12/08/08, PREPARED BY JOSEPH M. WICHERT, L.L.S., INC. HCRD PLAN NO. 36305.
2. "TOMED TASCHEREAU, FROGMAN & SULLIVAN ST., NASHUA, N.H." DATED DECEMBER 1986, HORD PLAN NO. 3837.
3. "SECTION OF AMHERST ST. & HOLLIS ROAD, NASHUA, N.H." DATED 1877, ON FILE AT THE CITY OF NASHUA.

LEGEND

- GRANITE BOUND FOUND
- GRANITE BOUND SET
- 3/4" REBAR W/CAP TO BE SET
- IRON PIPE FOUND
- ⊕ STONE PILE
- ⊙ UTILITY POLE
- ⊖ GUY ANCHOR
- ⊙ (33) BUILDING SETBACK LINE (MIN.)
- STREET ADDRESS
- W — APPROXIMATE WATER LINE
- OHW — APPROXIMATE OVERHEAD ELECTRIC
- GAS — APPROXIMATE H.P. GAS LINE
- W — APPROXIMATE WATER LINE



LOCUS MAP
1" = 1000'

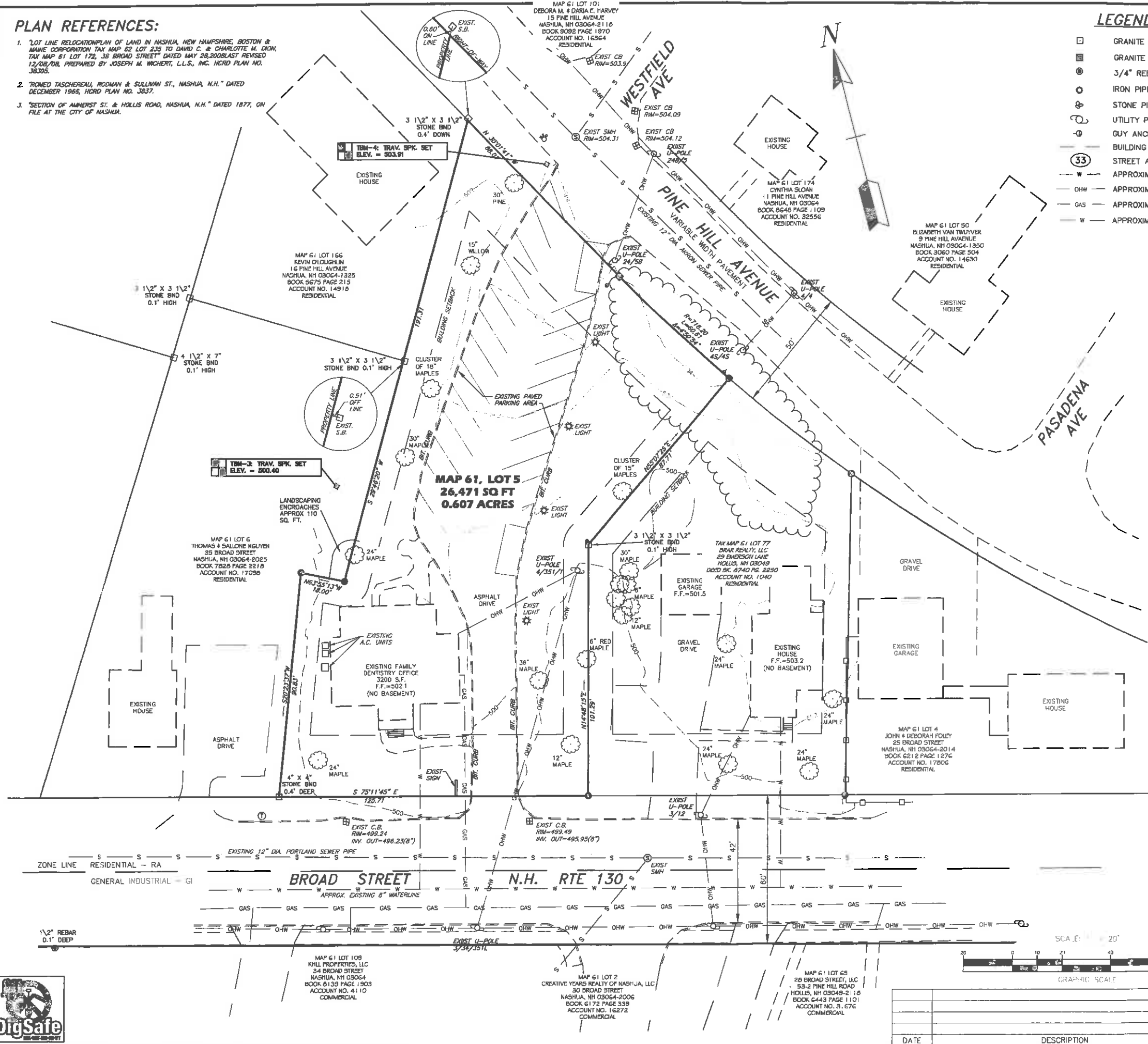
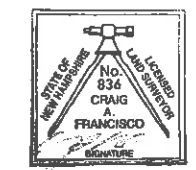
NOTES:

1. THE PURPOSE OF THIS PLAN IS TO RELOCATE THE LOT LINE BETWEEN TAX MAP 61 LOT 5 AND TAX MAP 61 LOT 77.
2. OWNERS OF RECORD:
TAX MAP 61 LOT 5: BRAR HOLDINGS LLC, 33 BROAD STREET, NASHUA, NH 03064, DEED BK: 8504 PG: 2925, ACCOUNT NO. 12100, DENTIST OFFICE.
TAX MAP 61 LOT 77: BRAR REALTY, LLC, 29 EMERSON LANE, NASHUA, NH 03064, DEED BK: 8740 PG: 2250, ACCOUNT NO. 1040, RESIDENTIAL.
3. PARCEL AREAS:
EXISTING AREA: LOT 5 = 23,153 S.F., LOT 77 = 18,196 S.F.
AREA OF EXCHANGE: LOT 5 = +3,318 S.F., LOT 77 = -3,318 S.F.
PROPOSED AREA: LOT 5 = 26,471 S.F., LOT 77 = 14,878 S.F.
4. THE PARCELS ARE ZONED R-A: RESIDENTIAL.
DIMENSIONAL REQUIREMENTS:

	R-A	PROP. LOT 5	PROP. LOT 77
MINIMUM LOT AREA	7,500 S.F.	26,471 S.F.	14,878 S.F.
MINIMUM FRONTAGE	60'	125.71'	104.15'
MINIMUM LOT WIDTH	75'	123'	104'
MINIMUM LOT DEPTH	90'	220'	128'
FRONT BUILDING SETBACK	25'	30'	31'
SIDE SETBACK	10'	10.4'	10'
REAR SETBACK	25'	N.A.	N.A.
MAX. FLOOR RATIO	0.5	0.12	0.19
MIN. OPEN SPACE	50%	54%	72%
5. EXISTING USE: LOT 5 IS AN OFFICE BUILDING (DENTIST). (USE VARIANCE GRANTED IN 1972.) SPECIAL EXCEPTION GRANTED JUNE 11, 2013 TO EXPAND DENTAL OFFICE. LOT 77 IS RESIDENTIAL (SINGLE FAMILY).
6. LOTS ARE SERVED BY CITY OF NASHUA AND PENNINGTON WATER WORKS.
7. BEDFORD DESIGN DID NOT LOCATE ANY UNDERGROUND UTILITIES. THE LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE.
8. THERE ARE NO EXISTING EASEMENTS ON THE PROPERTY.
9. THERE ARE NO WETLANDS ON THE PROPERTY.
10. THE SUBJECT PROPERTY IS NOT LOCATED IN THE 100-YR FLOOD PLAN AS PER THE FLOOD INSURANCE RATE MAP, HILLSBOROUGH COUNTY COMMUNITY PANEL 33011C05130, EFFECTIVE DATE SEPTEMBER 25, 2009.
11. EXISTING PARKING: LOT 5 - 24 SPACES, LOT 77 - 4 SPACES.
12. THERE ARE NO IMPROVEMENTS, CONSTRUCTION OR DEMOLITION PROPOSED.
13. THIS PLAN IS A RESULT OF A FIELD SURVEY PERFORMED IN JULY 2019. THE VERTICAL DATUM IS ASSUMED. THE ADJUTING STRUCTURES WERE TAKEN FROM SATELLITE IMAGERY.

SURVEY CERTIFICATION

"I HEREBY CERTIFY THAT THIS SURVEY AND SURVEY PLAT WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION."
 "I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN TEN THOUSAND (1:10,000)."
 _____ 9-19-19
 LICENSED LAND SURVEYOR DATE

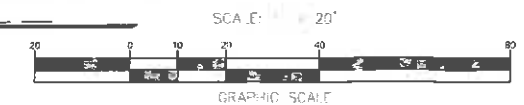


TAX MAP 61 LOT 5
EXISTING CONDITIONS PLAN
BRAR FAMILY DENTISTRY
 LOCATED AT:
33 BROAD STREET
NASHUA, NEW HAMPSHIRE
 OWNER/APPLICANT:
BRAR HOLDINGS LLC
 33 BROAD STREET
 NASHUA, NH 03064
 (603) 889-0601
 DEED BK: 8504 PG: 2925

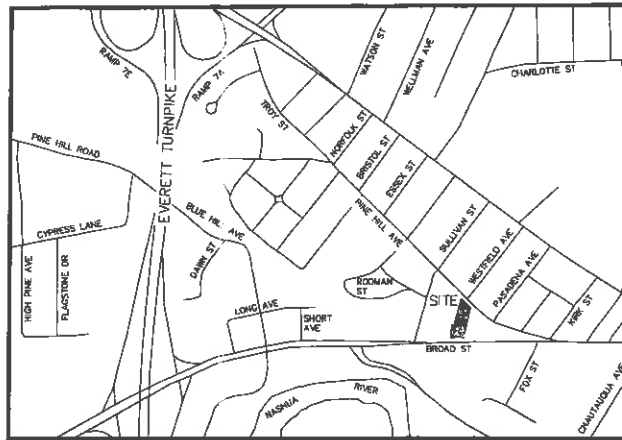
SCALE: 1" = 20' AUGUST 21, 2019 SHEET 2 OF 4

DESIGN: JST	DRAWN: JST	CHECKED: GAC	FB: 601	PG: 14	1443-07
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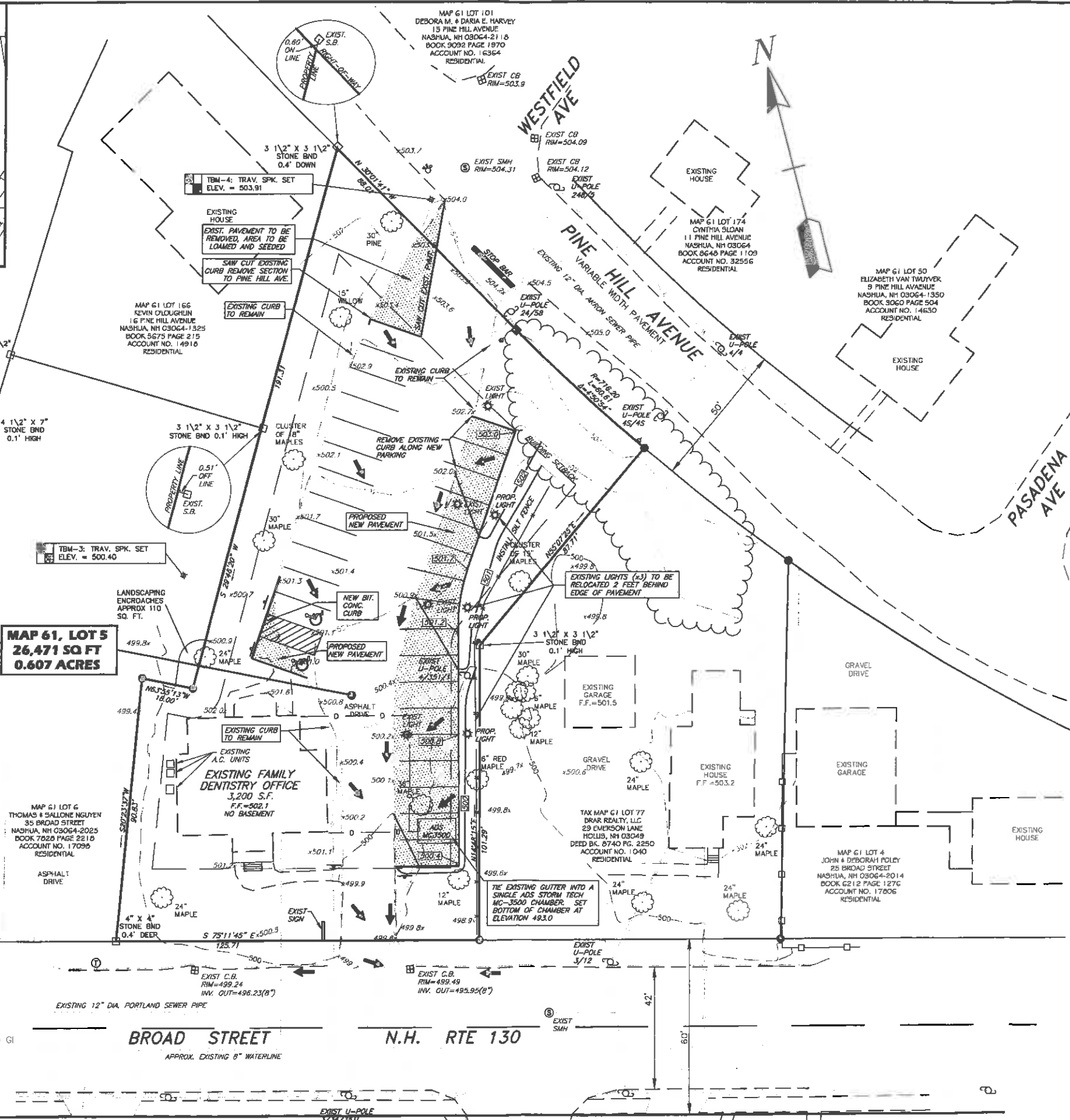
DATE	DESCRIPTION	BY	REV.



LOCUS MAP
NOT TO SCALE

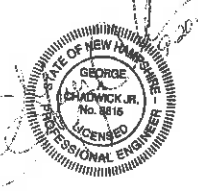
LEGEND

- 350 --- EXISTING CONTOUR
- 352.3 PROP. SPOT GRADE
- PROPERTY LINE
- - - EXISTING DRAINAGE
- OHW --- EXISTING OVERHEAD ELECTRIC CABLE, AND TELEPHONE
- - - EXISTING EDGE OF PAVEMENT
- == PROP. BIT. CURB
- STORMWATER FLOW ARROW
- PROPOSED SILT FENCE
- W --- EXISTING WATER LINE
- S --- EXISTING SEWER LINE
- ⊞ EXISTING CATCH BASIN
- GAS --- EXISTING H.P. GAS LINE



GRADING AND DRAINAGE NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE GRADING AND DRAINAGE IMPROVEMENTS ASSOCIATED WITH THE PROPOSED SITE PLAN.
2. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF NASHUA AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS, THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
3. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURERS INSTALLATION INSTRUCTIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROXIMATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTRACTING "DIG SAFE" AT 1-800-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
5. ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 HIGH-DENSITY POLYETHYLENE PIPE SMOOTH INTERIOR (OR APPROVED EQUAL), OR RCP CLASS IV, UNLESS NOTED ON THE PLANS. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURERS INSTALLATION INSTRUCTIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION AND/OR PROTECTION OF ALL UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE WITH THE OWNER OF SAID UTILITIES.
7. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS CONSTRUCTION WORK AT ALL TIMES.
8. THE CONTRACTOR SHALL THOROUGHLY SECURE ALL EXCAVATIONS ON A DAILY BASIS AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
9. CONTRACTOR SHALL VERIFY T.B.M. ELEVATION PRIOR TO THE START OF CONSTRUCTION.
10. ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
11. THE CONTRACTOR SHALL STABILIZE ALL DITCHES, PONDS, AND SWALES PRIOR TO DIRECTING RUNOFF TO THEM.
12. ALL PROPOSED AND EXISTING CATCH BASINS WHICH MAY RECEIVE STORMWATER RUNOFF FROM THE DEVELOPMENT DURING CONSTRUCTION, SHALL BE OUTFITTED WITH STONE INLET PROTECTION OR SILT SACKS (SEE DETAILS SHEETS).
13. ALL CATCH BASIN SLUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN PAVED.
14. THE CONTRACTOR SHALL DISPOSE OF ANY UNSUITABLE MATERIAL FOUND ON-SITE (I.E. TRASH, STUMPS, ETC.) IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL REGULATIONS.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN IN THE PLAN SET THROUGHOUT THE DURATION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE N.H.D.E.S. STANDARDS. IF DURING CONSTRUCTION IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE CITY/TOWN.
16. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THIS PLAN SET, PREPARED BY BEDFORD DESIGN CONSULTANTS, INC., DO NOT EXTEND TO OR INCLUDE METHODS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REQUIREMENTS.
17. ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO N.H.D.O.T., LOCAL CITY/TOWN POLICE DEPARTMENT, AND DEPARTMENT OF PUBLIC WORKS SHALL BE EMPLOYED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
18. ADJUST ALL MANHOLES, CATCH BASIN, CURB BOXES, ETC. WITHIN THE LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.
19. THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE.
20. CONTRACTOR TO PROMOTE FINISHED PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS, AND LOADING AREAS.
21. ALL ELEVATIONS SHOWN AT THE CURB ARE TO THE BOTTOM OF THE CURB UNLESS OTHERWISE NOTED.
22. ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6 INCHES. WHERE SIDEWALK IS TO BE FLUSH THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
23. THE FINISHED GRADE AT THE BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH THE PAVEMENT, WITH A TOLERANCE OF PLUS OR MINUS 1/4".



TAX MAP 61 LOT 5

GRADING PLAN
BRAR FAMILY DENTISTRY
LOCATED AT:
33 BROAD STREET
NASHUA, NEW HAMPSHIRE

OWNER/APPLICANT:
BRAR HOLDINGS LLC
33 BROAD STREET
NASHUA, NH 03064
603-889-0601
DEED BK: 8504 PG: 2925

SCALE: 1" = 20' AUGUST 21, 2019 SHEET 3 OF 4

DESIGN: JST	DRAWN: JST	CHECKED: GAC	FB: ##	PG: ##	1443-07
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DATE	DESCRIPTION	BY	REV.
9-20-19	PER CITY REVIEW COMMENTS	JST	A

MAP 61 LOT 109
KILL PROPERTIES, LLC
34 BROAD STREET
NASHUA, NH 03064
BOOK 8139 PAGE 1803
ACCOUNT NO. 4110
COMMERCIAL

MAP 61 LOT 2
CREATIVE YEARS REALTY OF NASHUA, LLC
30 BROAD STREET
NASHUA, NH 03064-2006
BOOK 6172 PAGE 839
ACCOUNT NO. 16272
COMMERCIAL

MAP 61 LOT 65
26 BROAD STREET, LLC
53-2 PINE HILL ROAD
HOLLIS, NH 03049-2118
BOOK 6443 PAGE 1101
ACCOUNT NO. 31676
COMMERCIAL

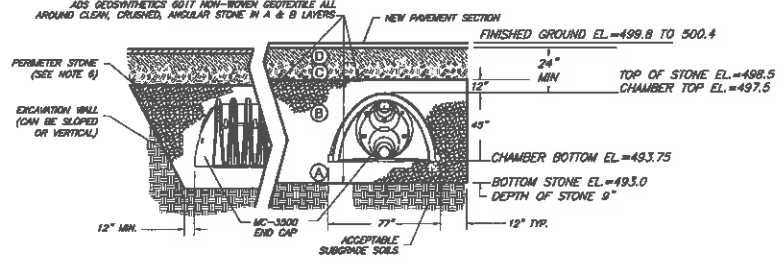
SCALE: 1" = 20'
GRAPHIC SCALE

ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER "D" STARTS FROM THE TOP OF THE "C" LAYER TO THE BOTTOM OF PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. PAVEMENT SUBBASE MAY BE PART OF THE "D" LAYER.	SEE TYPICAL PAVEMENT CROSS SECTION	SEE TYPICAL PAVEMENT CROSS SECTION
C	INITIAL FILL: FILL MATERIAL FOR LAYER "C" STARTS FROM THE TOP OF THE EMBEDMENT STONE ("D" LAYER) TO 18" ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE "C" LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <3/8" FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	BEGIN COMPACTIONS AFTER 12" OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 4" MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 90% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 15,000 LBS. DRAWING FORCE NOT TO EXCEED 2500 LB.
B	EMBODIMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ("A" LAYER) TO THE "C" LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 3/4"-2 INCH	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 3/4"-3 INCH	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. **

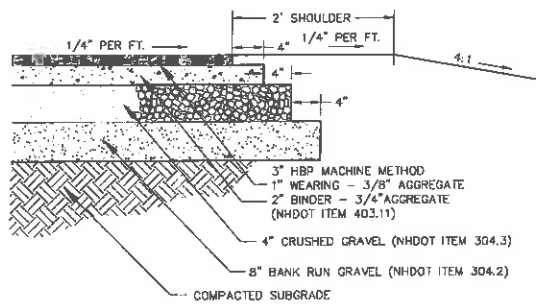
- NOTES:**
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR "X" LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 8" (MAX) LIFTS USING TWO FULL COVERAGE WITH A VIBRATORY COMPACTOR. WHEN INFILTRATION SUBBASES MAY BE COMPACTED BY COMPACTION FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY FINISH OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.

- STORMWATER INFILTRATION BASIN CONSISTS OF A SINGLE ADS STORMTECH MC-3500 CHAMBER WITH END CAPS.
- CHAMBER IS FED WITH A 4" DIA HDPE PIPE FROM GUTTER DOWNSPOUTS FROM FRONT AND REAR OF BUILDING.



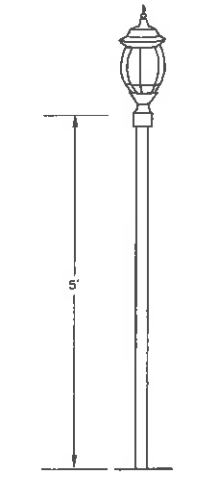
STORMTECH MC-3500 INFILTRATION BASIN

NOT TO SCALE



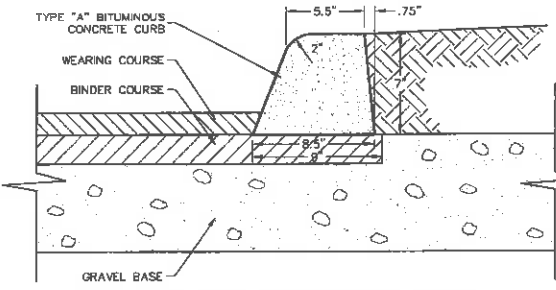
PAVEMENT SECTION DETAIL

NOT TO SCALE



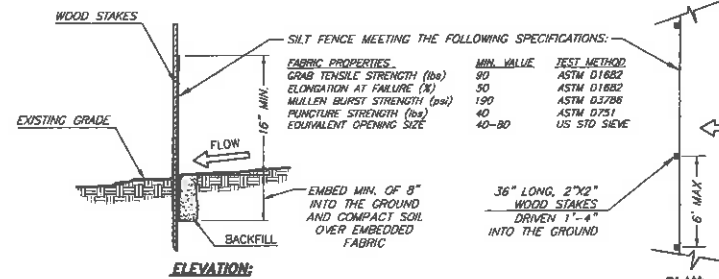
PARKING LOT LIGHTING DETAIL

NOT TO SCALE



TYPE "A" BITUMINOUS CURB

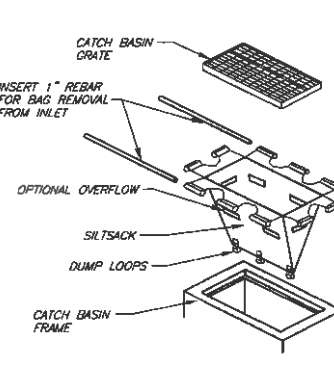
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SILT FENCE DETAIL:

NOT TO SCALE

- NOTES:**
- SECTION NUMBERS REFER TO APPROPRIATE SECTIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
 - SECTION 410 (TACK COAT) WILL APPLY IF MORE THAN 180 CALENDAR DAYS ELAPSE BETWEEN PLACEMENT OF BINDER COURSE AND WEARING COURSE.

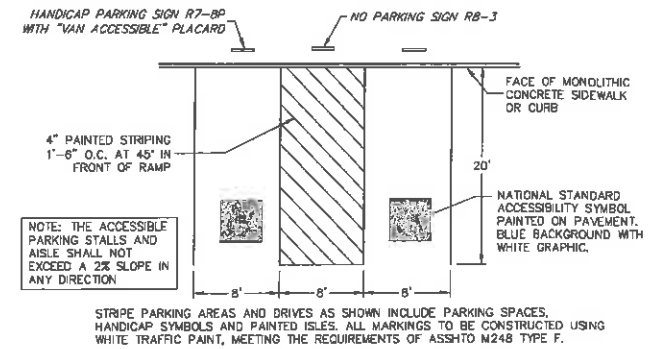


- INSTALLATION AND MAINTENANCE NOTES:**
- INLET BASKETS SHALL BE USED ON ALL CATCH BASINS DURING CONSTRUCTION. INLET BASKETS SHALL BE "SILTSACK" OR APPROVED EQUAL.
 - THE FILTER FABRIC SHALL BE A WOVEN POLYPROPYLENE GEO-TEXTILE FABRIC MEETING THE FOLLOWING SPECIFICATIONS:
GRAB TENSILE STRENGTH: 300 LBS. MINIMUM (ASTM D-4632)
GRAB ELONGATION: 20% MINIMUM (ASTM D-4632)
PUNCTURE: 120 LBS. MINIMUM (ASTM D-4633)
TRAPEZOID TEAR STRENGTH: 120 LBS. MINIMUM (ASTM D-4633)
MULLEN BURST STRENGTH: MINIMUM 800 PSI (ASTM D-3786)
 - THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 40 U.S. STANDARD SIEVE AND MINIMUM PERMEABILITY OF 40 GPM/50 FT.
 - THE INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM ENTERING THE DRAINAGE PIPING SYSTEM AND/OR CAUSING SURFACE FLOODING.
 - INLET BASKET SHALL BE MAINTAINED IN PLACE UNTIL ALL PAVING IS COMPLETED AND ALL UNPAVED AREAS HAVE BEEN STABILIZED WITH VEGETATION.
- TO INSTALL THE SILTSACK® IN THE CATCH BASIN, REMOVE THE GRATE AND PLACE THE SACK IN THE OPENING. HOLD APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME. THIS IS THE AREA OF THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.**
- THE SILTSACK® IS FULL AND SHOULD BE EMPTIED WHEN THE YELLOW RESTRAINT CORD IS NO LONGER VISIBLE.**
- TO REMOVE THE SILTSACK®, TAKE TWO PIECES OF 1" DIAMETER REBAR AND PLACE THROUGH THE LIFTING LOOPS ON EACH SIDE OF THE SACK TO FACILITATE THE LIFTING OF THE SILTSACK®.**
- TO EMPTY THE SILTSACK®, PLACE IT WHERE THE CONTENTS WILL BE COLLECTED. PLACE THE REBAR THROUGH THE LIFT STRAPS (CONNECTED TO THE BOTTOM OF THE SACK) AND LIFT. THIS WILL TURN THE SILTSACK® INSIDE OUT AND EMPTY THE CONTENTS. CLEAN OUT AND RINSE. RETURN THE SILTSACK® TO ITS ORIGINAL SHAPE AND PLACE BACK IN THE BASIN.**
- THE SILTSACK® IS REUSABLE. ONCE THE CONSTRUCTION CYCLE IS COMPLETE, REMOVE THE SILTSACK® FROM THE BASIN AND CLEAN. THE SILTSACK® SHOULD BE STORED OUT OF THE SUNLIGHT WHEN NOT IN USE.**

INLET SEDIMENT FILTER BASKET

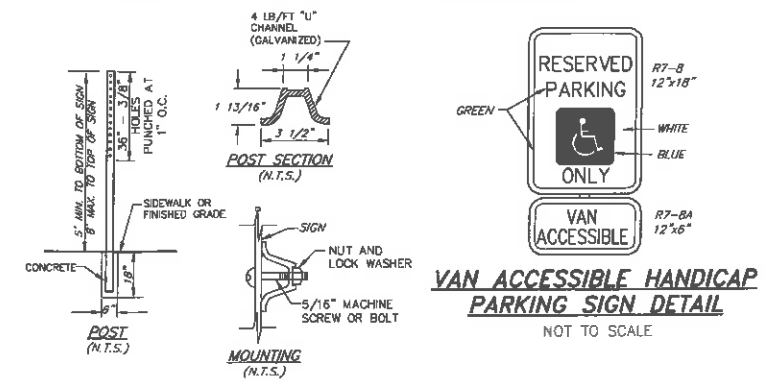
NOT TO SCALE

- NOTES:**
- MC-3500 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - "ACCEPTABLE FILL MATERIALS" TABLE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
 - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS. ONCE LAYER "D" IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER "D" UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER "C" OR "D" AT THE DESIGN ENGINEER'S DISCRETION.



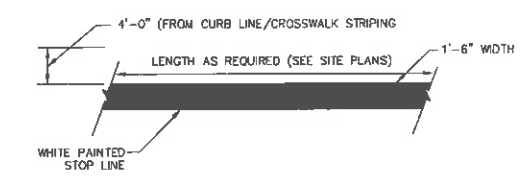
ACCESSIBLE PARKING SPACES

NOT TO SCALE



VAN ACCESSIBLE HANDICAP PARKING SIGN DETAIL

NOT TO SCALE



STOP BAR DETAIL

NOT TO SCALE

GENERAL CONSTRUCTION NOTES:

- BOTH THE CONTRACTOR AND OWNER NEED TO SUBMIT A SEPARATE "NOTICE OF INTENT" TO BE COVERED BY THE N.H.D.E.S. GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
- A MANDATORY PRECONSTRUCTION MEETING SHALL BE HELD WITH THE CITY, CONTRACTOR, OWNER, AND ALL UTILITY REPRESENTATIVES PRIOR TO CONSTRUCTION. NO WORK SHALL BEGIN UNTIL APPROVAL BY THE HIGHWAY DEPARTMENT HAS BEEN OBTAINED.
- ALL CONSTRUCTION MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROPRIATE SECTION OF THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS (LATEST EDITION) AND LOCAL REGULATIONS.
- ANY SUBSTITUTIONS OF MATERIALS SHALL BE APPROVED BY THE ENGINEER IN WRITING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LOCAL AND STATE CONSTRUCTION PERMITS PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND ACTUAL FIELD CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
- SHOULD GROUND WATER OR UNSUITABLE MATERIALS BE ENCOUNTERED DURING CONSTRUCTION, THE ENGINEER SHALL BE CONTACTED IMMEDIATELY FOR DETERMINATION OF POSSIBLE CONSTRUCTION DESIGN CHANGES SUCH AS (BUT NOT LIMITED TO) UNDERDRAINS OR ALIGNMENT AND GRADE CHANGES.
- CLEARING THE SITE SHALL INCLUDE THE REMOVAL AND DISPOSAL OF DOWN TIMBER, RUBBISH AND DEBRIS FOUND EXISTING WITHIN THE AREAS TO BE CLEARED. CLEARING SHALL NOT TAKE PLACE UNTIL THE CONTRACTOR HAS DETERMINED FROM THE OWNER WHICH TREES ARE TO BE SAVED WITHIN THE CLEARING LIMITS.
- PAVEMENT OF THE PARKING AREAS SHALL CONSIST OF A HOT BITUMINOUS LAYER, A CRUSHED GRAVEL LAYER AND A GRAVEL SUBBASE LAYER.
- BITUMINOUS TYPE F WEARING AND TYPE B BASE COURSES SHALL BE CONSTRUCTED PER N.H.D.O.T. SPECIFICATION 401 CONSTRUCTION REQUIREMENTS.
- GRAVEL SHALL MEET THE REQUIREMENTS OF N.H.D.O.T. 304.2
- THE CRUSHED GRAVEL SHALL MEET THE REQUIREMENTS OF N.H.D.O.T. 304.3
- REFER TO THE TYPICAL ROAD CROSS SECTION DETAIL FOR DIMENSIONS.
- COMPACTION OF BACKFILL:
A. GRASSED AREAS: EMBANKMENT FILL AREAS SHALL CONSIST OF COMMON FILL PLACED IN 12 INCH LIFTS AND COMPACTED TO 90% ROADWAY.
B. THE COMPACTION REQUIREMENTS FOR MATERIALS PLACED AS BACKFILL, SUBGRADE, BASE COURSE AND PAVEMENT SHALL BE AS SPECIFIED FOR EACH SEPARATE ITEM IN THE N.H.D.O.T. "STANDARD SPECIFICATIONS" FOR ROAD AND BRIDGE CONSTRUCTION.
- TRENCH CONSTRUCTION WILL CONFORM WITH SECTION 603.3.1. OF THE N.H.D.O.T. STANDARD SPECIFICATIONS (LATEST EDITION).
- WOOD SHEETING OR A SUITABLE TRENCH BOX SHALL BE USED TO SUPPORT THE TRENCH AS NECESSARY. IF WOOD SHEETING IS USED, IT SHALL BE DRIVEN AT A DISTANCE OF ONE FOOT FROM THE OUTSIDE DIAMETER OF THE PIPE TO A DEPTH SIX INCHES BELOW THE INVERT OF THE PIPE. WOOD SHEETING SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN ONE FOOT ABOVE THE TOP OF THE PIPE, BUT NOT GREATER THAN THREE FEET BELOW THE FINISHED GRADE.
- TRENCH BEDDING SHALL CONFORM WITH SECTION 603.3.2. OF THE STANDARD SPECIFICATIONS (LATEST EDITION). FIRST CLASS BEDDING WILL BE REQUIRED FOR ALL PIPES 48" OR MORE IN DIAMETER OR SPAN.
- BACKFILL MATERIAL FOR TRENCHES WILL CONFORM WITH SECTION 603.3.5. OF THE STANDARD SPECIFICATIONS (LATEST EDITION) AND IN ADDITION, SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTE, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIAL WHICH AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT TO MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION. BACKFILL SHALL NOT BE PLACED ON FROZEN MATERIAL.
- COMPACTION OF TRENCH BACKFILL AND PIPE BEDDING SHALL BE SIX INCH LIFTS FOR BEDDING AND BACKFILL TO A PLANE ONE FOOT ABOVE THE PIPE AND IN 12 INCH LIFTS THEREAFTER BY AN APPROVED MECHANICAL COMPACTOR.
- SHOULD FROZEN MATERIAL BE ENCOUNTERED, IT SHALL NOT BE PLACED IN THE BACKFILL NOR SHALL BACKFILL BE PLACED UPON FROZEN MATERIAL.
- THE DISTURBED AREA SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
- ALL SEEDING AREAS SHALL BE MULCHED WITHIN 24 HOURS AFTER SEEDING. A GOOD QUALITY OF STRAW MULCH SHOULD BE USED AND APPLIED AT THE RATE OF 2 TONS PER ACRE.
- ALL SLOPES GREATER THAN 3:1 MUST BE MATTED WITH NORTH AMERICAN GREEN S150BN EROSION CONTROL BLANKETING.
- THE CITY OF NASHUA RESERVES THE RIGHT TO REQUIRE THAT ADDITIONAL EROSION CONTROL MEASURES BE INSTALLED DURING CONSTRUCTION BASED ON FIELD OBSERVATIONS/INSPECTIONS.



TAX MAP 61 LOT 5

CONSTRUCTION DETAILS

BRAR FAMILY DENTISTRY

LOCATED AT:

33 BROAD STREET

NASHUA, NEW HAMPSHIRE

OWNER/APPLICANT:

BRAR HOLDINGS LLC

33 BROAD STREET

NASHUA, NH 03064

603-889-0601

DEED BK: 8504 PG: 2925

SCALE: 1" = 20' AUGUST 21, 2019 SHEET 4 OF 4

DESIGN:	DRAIN:	CHECKED:	FB:	PG:	
JST	JST	GAC	##	##	1443-07

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ENGINEERS AND SURVEYORS

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9-20-19	PER CITY REVIEW COMMENTS	JST	A
DATE	DESCRIPTION	BY	REV.