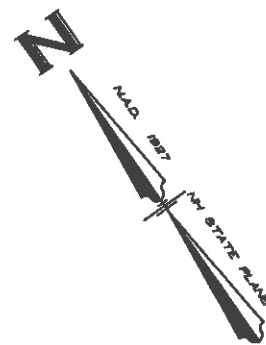


LEGEND

- EXISTING GROUND CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED GRADE
- PROPOSED SPOT GRADE
- STORM DRAIN & CATCH BASIN
- STORM DRAIN & MANHOLE
- STORM DRAIN & HEADWALL
- SANITARY SEWER & MANHOLE
- WATER MAIN & HYDRANT
- WATER MAIN & GATE VALVE
- GAS LINE & GATE VALVE
- UTILITY POLE WITH GUY SUPPORT
- STREET LIGHT
- OVERHEAD ELECTRIC & TELEPHONE
- UNDERGROUND ELEC./TEL. & MANHOLES
- UNDERGROUND ELECTRIC/TELEPHONE/FIRE ALARM SIGN
- LIGHT POLE
- TRANSFORMER PAD
- TREE LINE
- STONE BOUND
- IRON PIN
- STONE BOUND TO BE SET
- IRON PIN TO BE SET
- WETLAND FLAGGING LIMIT
- BUILDING SETBACK LINE
- CHAINLINK FENCE
- CURBING
- SLOPE GRANITE CURBING
- STORMWATER RUNOFF DIRECTION
- HANDICAP PARKING SPACE
- HANDICAP SIDEWALK RAMP
- PARKING SPACE COUNT
- PAVEMENT SAWCUT
- REINFORCED CONCRETE
- PROPOSED STANDARD DUTY PAVEMENT
- PROPOSED HEAVY DUTY PAVEMENT
- PROPOSED PAVEMENT OVERLAY
- RIPRAP / STONE
- GRAVEL ACCESS DRIVE
- RETAINING WALL



MAP 'Y' LOT 84
 GGC 10-12 CELINA AVANUE, LLC
 1123 BROADWAY, SUITE 201
 NEW YORK, NY 10010
 BK 6193 PG 0378
 (USE: INDUSTRIAL)
 (ZONE: PI - PARK INDUSTRIAL)

MAP 'Y' LOT 847
 BOSTON AND MAINE CORP
 c/o PAN AM RAILWAYS
 NORTH BILDERGA, MA 01882
 (USE: RAILROAD)
 (ZONE: PI - PARK INDUSTRIAL)

MAP 'Y' LOT 834
 AUTAJON PACKAGING - BOSTON CORP
 100 NORTHWEST BOULEVARD
 NASHUA, NH 03063
 BK 7831 PG 0006
 (USE: INDUSTRIAL)
 (ZONE: PI - PARK INDUSTRIAL)

EXISTING 80 FT. PSH-1 EASEMENT
 (BK 5243 PG 1030) &
 (BK 5185 PG 1162)

LIMIT OF WETLANDS
 (ISOLATED MAN-MADE DRAINAGE DITCH)
 AS FLAGGED BY
 WETLAND CONSULTING SERVICES AND
 SURVEYED BY HAYNER/SWANSON, INC.
 DECEMBER 2018

EXISTING PRIVATE DRAINAGE EASEMENT
 (BK 9154 PG 0510)

LIMIT OF WETLANDS
 (ISOLATED MAN-MADE DRAINAGE DITCH)
 AS FLAGGED BY
 WETLAND CONSULTING SERVICES AND
 SURVEYED BY HAYNER/SWANSON, INC.
 DECEMBER 2018

EXISTING 80 FT. PRIVATE DRAINAGE EASEMENT
 (BK 7831 PG 508)

30 FT. PSH-1 EASEMENT
 (SEE HSD PLAN No. 2818)
 NO RECORDED CONVEYANCE FOUND

MAP 'Y' LOT 576
 STAG NASHUA, LLC
 ONE FERRIS BLVD. 2ND FLOOR
 BOSTON, MA 02110
 BK 6267 PG 0891
 (USE: INDUSTRIAL)
 (ZONE: PI - PARK INDUSTRIAL)

EXISTING PUBLIC EMERGENCY ACCESS EASEMENT
 (BK 6319 PG 1316)
 (BK 6319 PG 1316)

8 FT. WIDE WETLAND BUFFER
 EDGE OF WETLANDS
 (PER PLAN REF. No. 1)

NORTHWEST (80 FT WIDE)

BOULEVARD

MAP 'Y' LOT 833
 SAT SR LIMITED PARTNERSHIP
 20 TRAVELER SQUARE, SUITE 602
 NASHUA, NH 03063
 BK 6267 PG 1170
 (USE: INDUSTRIAL)
 (ZONE: PI - PARK INDUSTRIAL)

MAP 'Y' LOT 877
 CITY OF NASHUA
 228 MAIN STREET - PO BOX 2019
 NASHUA, NH 03061-2019
 BK 6516 PG 0891
 (USE: VACANT)
 (ZONE: PI - PARK INDUSTRIAL)

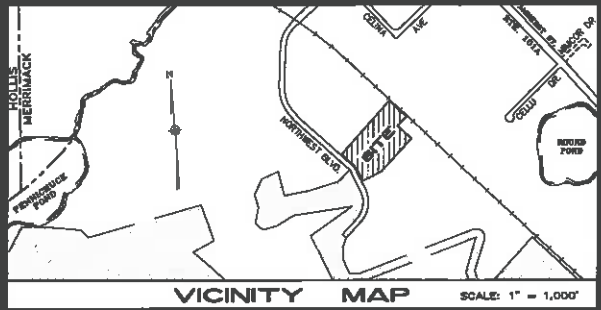


NOTES - CONT'D:

17. FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
18. UTILITIES, INCLUDING ALL ELECTRIC, TELEPHONE, CABLE TELEVISION AND OTHER COMMUNICATION LINES, BOTH MAN AND SERVICES CONNECTIONS, SERVING EXISTING DEVELOPMENTS SHALL BE PROVIDED BY UNDERGROUND WIRING WITH EASEMENTS OR DEDICATED PUBLIC RIGHT-OF-WAY, AND INSTALLED IN ACCORDANCE WITH THE BOARD OF PUBLIC WORKS SPECIFICATIONS.
19. SITE PLAN WARNERS REQUESTED:
 1) N.H.C. SECTION 180-184(2) - INTERIOR PARKING LOT LANDSCAPING
20. PRESENT OWNER OF RECORD:
 MAP 'Y' LOT 848
 YOUNG MEN'S CHRISTIAN ASSOCIATION OF GREATER NASHUA
 10 COTTON ROAD, SUITE 1
 NASHUA, NH 03063
 BK 9154 PG 513

PLAN REFERENCES:

1. SUBDIVISION PLAN, NORTHWEST BOULEVARD, NASHUA, NEW HAMPSHIRE. PREPARED FOR/RECORD OWNER: LIBERTY WESTWOOD DEVELOPMENT LLC. SCALE: AS SHOWN. DATED: 2 AUGUST 2007, WITH REVISIONS THRU 10/10/07 AND PREPARED BY THIS OFFICE. RECORDED: HCSO - PLAN No. 39818.
2. SITE PLAN, MAP 'H', LOT 848, PROPOSED OFFICE/WAREHOUSE BUILDING, 90 NORTHWEST BOULEVARD, NASHUA, NEW HAMPSHIRE. PREPARED FOR: LAND M MANAGEMENT COMPANY, LLC. RECORD OWNER: LIBERTY SIMON STREET LLC. SCALE: 1" = 60', DATED: 18 AUGUST 2013 WITH REVISIONS THRU 08/01/14 AND PREPARED BY THIS OFFICE. ON FILE WITH THE CITY OF NASHUA; PLAN No. NR-2178.
3. AMENDED MASTER SITE PLAN, MAP 'H', LOT 848, NASHUA SPORTS ACADEMY, 90 NORTHWEST BOULEVARD, NASHUA, NEW HAMPSHIRE. PREPARED FOR: LAND M MANAGEMENT COMPANY, LLC. RECORD OWNER: LAND M MANAGEMENT COMPANY, LLC. SCALE: 1" = 60', DATED 30 JULY 2014 AND PREPARED BY THIS OFFICE.



NOTES:

1. LOT AREA: 0.875 ACRES (377,872 SF)
2. PRESENT ZONING: PI - PARK INDUSTRIAL

MINIMUM LOT REQUIREMENTS	REQUIRED	PROPOSED
- LOT AREA	30,000 SF	377,872 SF
- LOT FRONTAGE	50 FT	408.11 FT
- LOT WIDTH	120 FT	428 FT
- LOT DEPTH	150 FT	840 FT

MINIMUM YARD SETBACKS	REQUIRED	PROPOSED
- FRONT YARD	30 FT	538'-4" FT
- SIDE YARD	20 FT	1144'-4" FT
- REAR YARD	20 FT	40'-4" FT
- MAX. BUILDING HEIGHT	75 FT	32 FT
- MAX STORES	5	1
- MIN. OPEN SPACE (%)	20%	57%

3. LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAP 'Y' & 'T'.
4. SITE IS SERVICED BY MUNICIPAL SEWER, WATER BY PENNICHUCK WATER WORKS AND UNDERGROUND TELEPHONE, ELECTRIC AND GAS UTILITIES.
5. PURPOSE OF PLAN:
 TO AMEND NR-2178 TO SHOW REVISIONS TO A PROPOSED 23,600 SF OUTDOOR AQUATICS CENTER (INCLUDING A GYMNASIUM BUILDING, OUTDOOR POOL AND SPLASH PAD) ALONG WITH ACCOMPANYING SITE IMPROVEMENTS.
6. PARKING:
 REQUIRED:
 EXISTING INDOOR SPORTS FACILITY 1 SPACES/650 SF X 55,480 SF = 88 SPACES
 PROPOSED OUTDOOR AQUATICS CENTER 1 SPACES/650 SF X 23,600 SF = 36 SPACES
 TOTAL REQUIRED (MINIMUM) = 124 SPACES
 EXISTING INDOOR SPORTS FACILITY 8 SPACES/650 SF X 55,480 SF = 512 SPACES
 PROPOSED OUTDOOR AQUATICS CENTER 8 SPACES/650 SF X 23,600 SF = 218 SPACES
 TOTAL REQUIRED (MAXIMUM) = 730 SPACES
 PROPOSED (INCLUDING 5 ACCESSIBLE SPACES) = 251 SPACES
7. ALL SIGNAGE SHALL CONFORM TO THE APPLICABLE CITY OF NASHUA REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
8. SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION, GRADE AND NUMBER OF PARKING SPACES.
9. ALL LANDSCAPING SHALL BE AS SHOWN ON THE PLAN AND CONFORM TO THE APPLICABLE CITY OF NASHUA ZONING REGULATIONS.
10. ALL SITE LIGHTING SHALL BE AS SHOWN ON THE PLAN, DIRECTED ONTO THE SITE AND CONFORM TO THE APPLICABLE CITY OF NASHUA ZONING REGULATIONS.
11. IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ASSESSOR USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
12. PUBLIC STREET RESTORATION WORK, IF ANY, SHALL BE IN ACCORDANCE WITH N.H.C. SECTION 285-43, LATEST EDITION. PRIOR TO A BUILDING PERMIT BEING ISSUED, BONDING FOR ALL PUBLIC STREET IMPROVEMENTS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEERING DEPARTMENT AND CORPORATION COUNSEL.
13. THIS SITE IS LOCATED WITHIN THE CITY OF NASHUA WATER SUPPLY PROTECTION DISTRICT.
14. THE APPLICANT SHALL SUBMIT AN ELECTRONIC FILE OF THE SITE PLAN (PLOT) PRIOR TO ISSUANCE OF A BUILDING PERMIT.
15. THE PARCEL IS NOT LOCATED IN FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE RATE MAP, HILLSBOROUGH COUNTY, CITY OF NASHUA, NH, COMMUNITY No. 330007, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, PANEL NUMBER: 330110041D, DATE: SEPTEMBER 25, 2006.
16. HOURS OF OPERATION:
 EXISTING FACILITY: MON-SAT: 9AM - 10PM
 SUN: 8AM - 6PM
 PROPOSED AQUATICS CENTER: MON-SUN: 9AM - DUSK (SEASONALLY)

No.	DATE	REVISION	BY
1	10/7/19	ADDRESS STAFF & NOTES COMMENTS	TEJ

AMENDED MASTER SITE PLAN
 (MAP 'H', LOT 848)
PROPOSED AQUATICS CENTER
 90 NORTHWEST BOULEVARD
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR/RECORD OWNER:
YMCA OF GREATER NASHUA
 10 COTTON ROAD, SUITE 1, NASHUA, NEW HAMPSHIRE 03063

4 SEPTEMBER 2019

HSL Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors
 3 Congress Street
 Nashua, NH 03062
 (603) 883-2057
 131 Middlesex Turnpike
 Burlington, MA 01803
 (781) 203-1504
 www.haynerswanson.com

FIELD BOOK: 856/1106 DRAWING NAME: 4236-YMCA2 F001 4236-YMCA2 1 OF 13
 DRAWING LOCATION: s:\4000\4236\0100\4236 YMCA-2



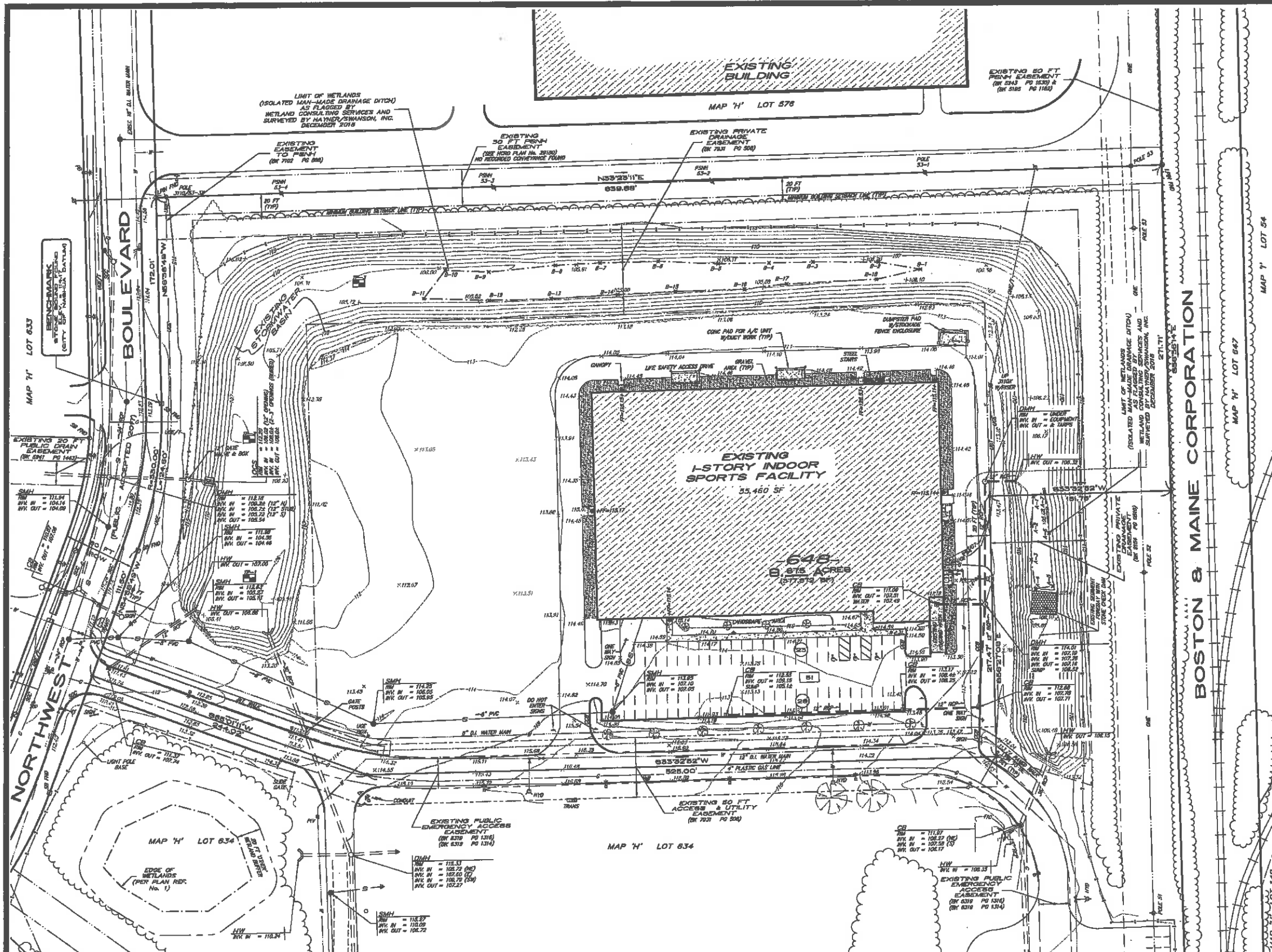
ZONING NOTE
 THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

APPROVED
NASHUA CITY PLANNING BOARD

CHAIRMAN _____ DATE _____

THE UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE SITE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

Michael L. Chane 8/20/2019
 FOR YMCA OF GREATER NASHUA DATE



- NOTES:**
- THE EXISTING TOPOGRAPHY, AS SHOWN ON THIS PLAN, IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND BETWEEN AUGUST 2018 AND DECEMBER 2018, AND IS IN ACCORDANCE WITH THE CITY OF NASHUA REGULATIONS.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
 - THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.
 - SURVEY CONTROL INFORMATION:
HORIZONTAL DATUM: NH STATE PLANE
VERTICAL DATUM: NASHUA CITY DATUM
(NASHUA CITY DATUM TO NAVD 88 DATUM = + 88.77)
 - LOT 648 IS SUBJECT TO THE TERMS, CONDITIONS, COVENANTS, RESTRICTIONS, AND OBLIGATIONS SET FORTH IN THE PARK COVENANTS FOR WESTWOOD PARK, DATED JUNE 1, 1994, AND RECORDED IN THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS AT BOOK 5949, PAGE 1108.

N.H. STATE PLANE
N

- CITY OF NASHUA**
- PLANNING DEPARTMENT**
COMMUNITY DEVELOPMENT DIVISION
220 MAIN STREET
NASHUA, NH 03080
ATT: LINDA MCHIEE
(603) 889-3110
- ENGINEERING DEPARTMENT**
NASHUA DEPT. OF PUBLIC WORKS/ENGINEERING
9 RIVERSIDE STREET
NASHUA, NH 03082
ATT: PETER KOHALAS, P.E.
(603) 889-3147
- FIRE DEPARTMENT**
NASHUA FIRE DEPARTMENT
171 EAST HOLLIS STREET
NASHUA, NH 03083
ATT: ADAM POLJLICIT
(603) 889-9480
- UTILITY CONTACTS**
- WATER:**
FERRISBUCK WATER WORKS
28 MANCHESTER STREET
MERRIMACK, NH 03054
ATT: JOHN BOISVERT, PE
(603) 913-2800
- GAS:**
LIBERTY UTILITIES
180 GAY STREET
MANCHESTER, NH 03103
ATT: ANDREW MORGAN
(603) 327-6337
- TELEPHONE:**
CONSOLIDATED COMMUNICATIONS
100 GAY STREET
MANCHESTER, NH 03103
ATT: JOY MENDONCA
(603) 645-2713
- POWER:**
EVERSOURCE
370 AMHERST STREET
NASHUA, NH 03060
ATT: SHAWN BOYLE
(603) 544-2874

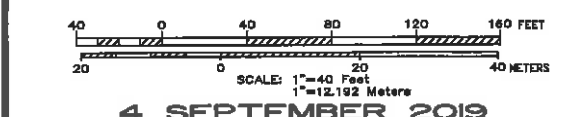
No.	DATE	REVISION	BY
1	10/7/19	ADDRESS STAFF & INDEX COMMENTS	TEZ

EXISTING CONDITIONS PLAN
(MAP 'H', LOT 648)

PROPOSED AQUATICS CENTER

90 NORTHWEST BOULEVARD
NASHUA, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
YMCA OF GREATER NASHUA
10 COTTON ROAD, SUITE 1, NASHUA, NEW HAMPSHIRE 03083



4 SEPTEMBER 2019

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street
Nashua, NH 03063
(603) 883-2037
www.hayner-swanson.com

131 Middlesex Turnpike
Burlington, MA 01803
(781) 203-1501

FIELD BOOK: 889/1180
DRAWING NAME: 4235-YMCA2 ECH
DRAWING LOCATION: J:\6000\4235\YMCA\4235 YMCA-2

4235-YMCA2 2 OF 13

ZONING NOTE

THE ZONING/BLADING RETRACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BLADING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE OWNER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

THIS IS TO CERTIFY THAT THE WETLANDS HAVE BEEN DELINEATED IN ACCORDANCE WITH THE WITH THE U.S. ARMY CORPS OF ENGINEERS JANUARY 2012 REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST (REGION 2).

WETLAND DELINEATION PREPARED BY:
WETLAND CONSULTING SERVICES
ROBERT PROKOP
CERTIFIED WETLAND SCIENTIST (#083)

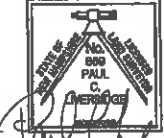


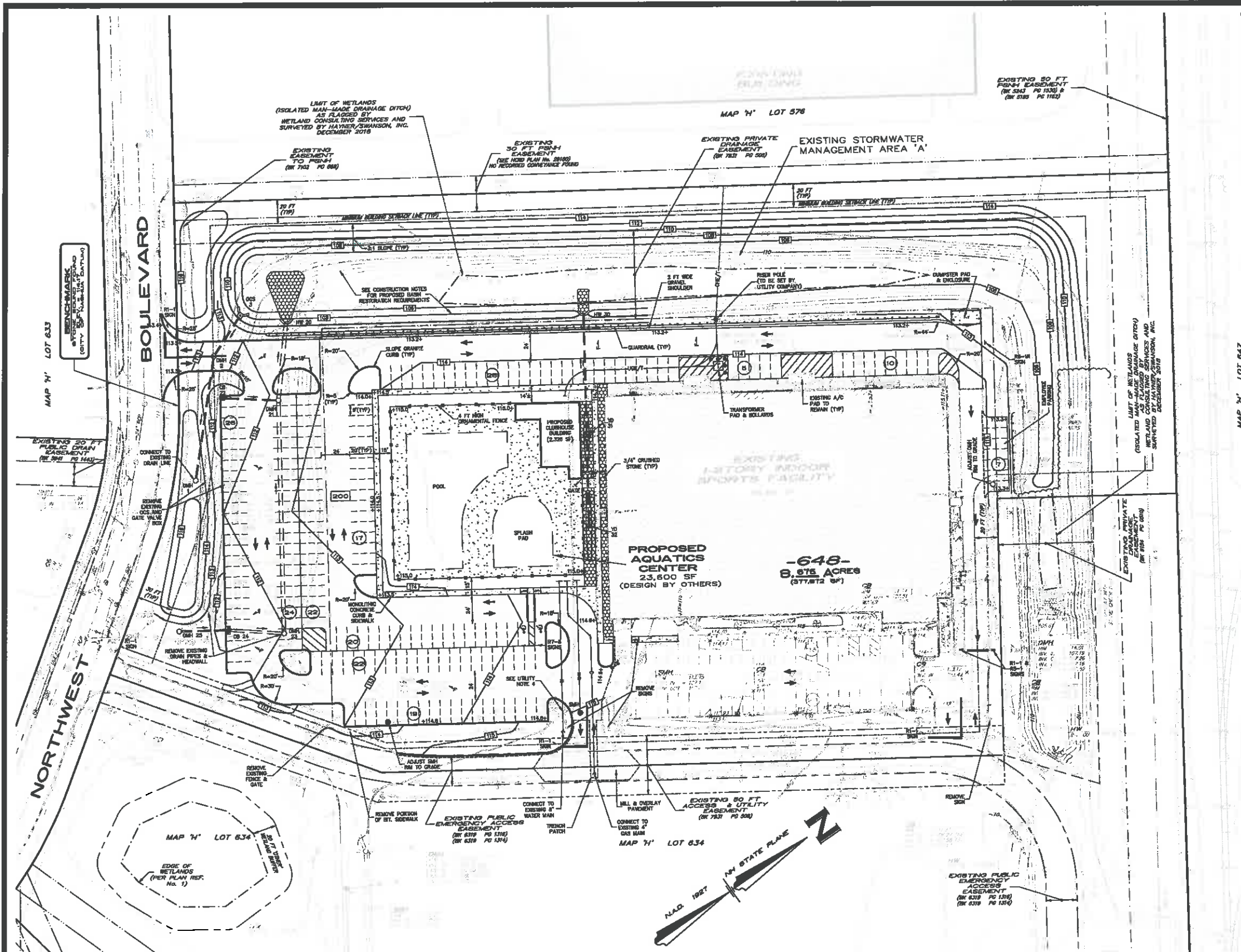
CERTIFICATION

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "1" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSEURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/06.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

DATE: 10.09.19





CONSTRUCTION NOTES:

1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF NASHUA, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, LATEST EDITION ARE HEREBY INCORPORATED BY REFERENCE.
2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "D&S SAFE" AT 1-888-544-7233 AT LEAST 72 HOURS BEFORE DIGGING.
4. PRIOR TO ANY WORK BEING STARTED, THE APPLICANT AND THEIR CONTRACTORS SHALL HOLD A PRE-CONSTRUCTION CONFERENCE WITH PLANNING STAFF TO REVIEW SCHEDULING, EROSION AND TRAFFIC CONTROL, AND TREE PROTECTION.
5. BLASTING, IF NEEDED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF NASHUA FIRE DEPARTMENT REGULATIONS.
6. ALL STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
7. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDING IMMEDIATELY UPON BEING CONSTRUCTED.
8. ROOF DRAIN TIE-INS AND DRAIN LINES SHALL BE INSPECTED PRIOR TO BACKFILLING AND PAVING. REMOVE VEGETATION AT THE BOTTOM OF THE EXISTING STORMWATER BASIN UPON LOT 648. UPON COMPLETION, REMOVE, RE-GRADE, LOAM AND RE-SEED (WITH WETLAND CONSERVATION SEED MIX) BOTTOM OF BASIN TO RESTORE THE ORIGINAL DESIGN INFILTRATION CAPACITY.

SITE LAYOUT NOTES:

1. PRIOR TO COMMENCEMENT OF MAJOR CONSTRUCTION ACTIVITIES, THE ENGINEER SHALL PROVIDE THE CONTRACTOR WITH LAYOUT PLANS AND COORDINATE VALUES FOR STRATEGIC ELEMENTS OF THE SITE, INCLUDING THE FOLLOWING:
 - (A) PARKING LOT CORNERS AND MAJOR RADIUS POINTS.
 - (B) CATCH BASINS AND MANHOLE CENTERLINE POINTS.
2. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT BUILDING DIMENSIONS AND DETAILS.
3. ALL DIMENSIONS ARE FROM FACE OF CURB OR OUTSIDE FACE OF BUILDING UNLESS NOTED OTHERWISE.
4. STAIR AND DOORWAY LOCATIONS AS SHOWN ARE FOR REFERENCE ONLY. REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS.
5. ALL SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.

UTILITY NOTES:

1. ALL DRAINAGE PIPE SHALL BE AOB N-12 (WATERTIGHT) OR APPROVED EQUAL MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE FOLLOWED.
2. ALL WATER LINE, HYDRANT VALVES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS FOR THE INSTALLATION OF MATERIALS, MAIN PIPING, SERVICE CONNECTIONS IN THE PENNICKCHUCK WATER WORKS FRANCHISED AREAS OF NASHUA AND MERRIMACK, NEW HAMPSHIRE, LATEST EDITION.
3. SEWER AND DRAIN SYSTEMS TO BE INSTALLED BY A NASHUA LICENSED DRAIN LAYER, PER NRO SECTION 19-62 THROUGH SECTION 19-80.
4. MINIMUM VERTICAL CLEARANCE BETWEEN THE PROPOSED WATER AND EXISTING SEWER SHALL BE 19", WITH WATER OVER SEWER.
5. ALL POWER RELATED WORK SHALL CONFORM TO EVERSOURCE STANDARDS.
6. ALL TELECOMMUNICATIONS WORK SHALL CONFORM TO CONSOLIDATED COMMUNICATIONS STANDARDS.
7. ALL NATURAL GAS RELATED WORK SHALL COMPLY WITH LIBERTY UTILITIES STANDARDS.
8. PRIOR TO CONSTRUCTION, THE EXISTING SEWER LINES UNDERNEATH THE PROPOSED PARKING LOT SHALL BE INSPECTED BY VIDEO. THE RESULTS SHALL BE PROVIDED TO THE ENGINEER AND CITY OF NASHUA ENGINEERING DEPARTMENT.

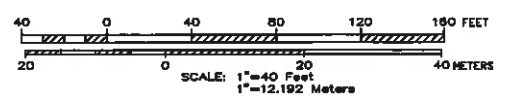
NOTE:
SEE SHEET 9 OF 13 FOR ACCESSIBLE PARKING AREA GRADING, DIMENSIONS AND DETAILS

STORMWATER MANAGEMENT AREA NOTES

1. DO NOT TRAFFIC EXPOSED SOIL, SURFACE WITH CONSTRUCTION EQUIPMENT, IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.
2. AFTER THE INFILTRATION SYSTEM AREA IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISK HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
3. DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

No.	DATE	REVISION	BY
1	10/7/19	ADDRESS STAFF & INDEX COMMENTS	TEZ

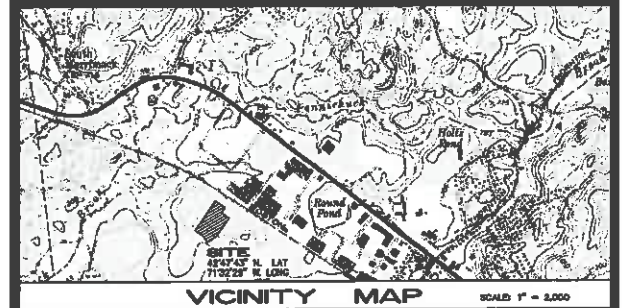
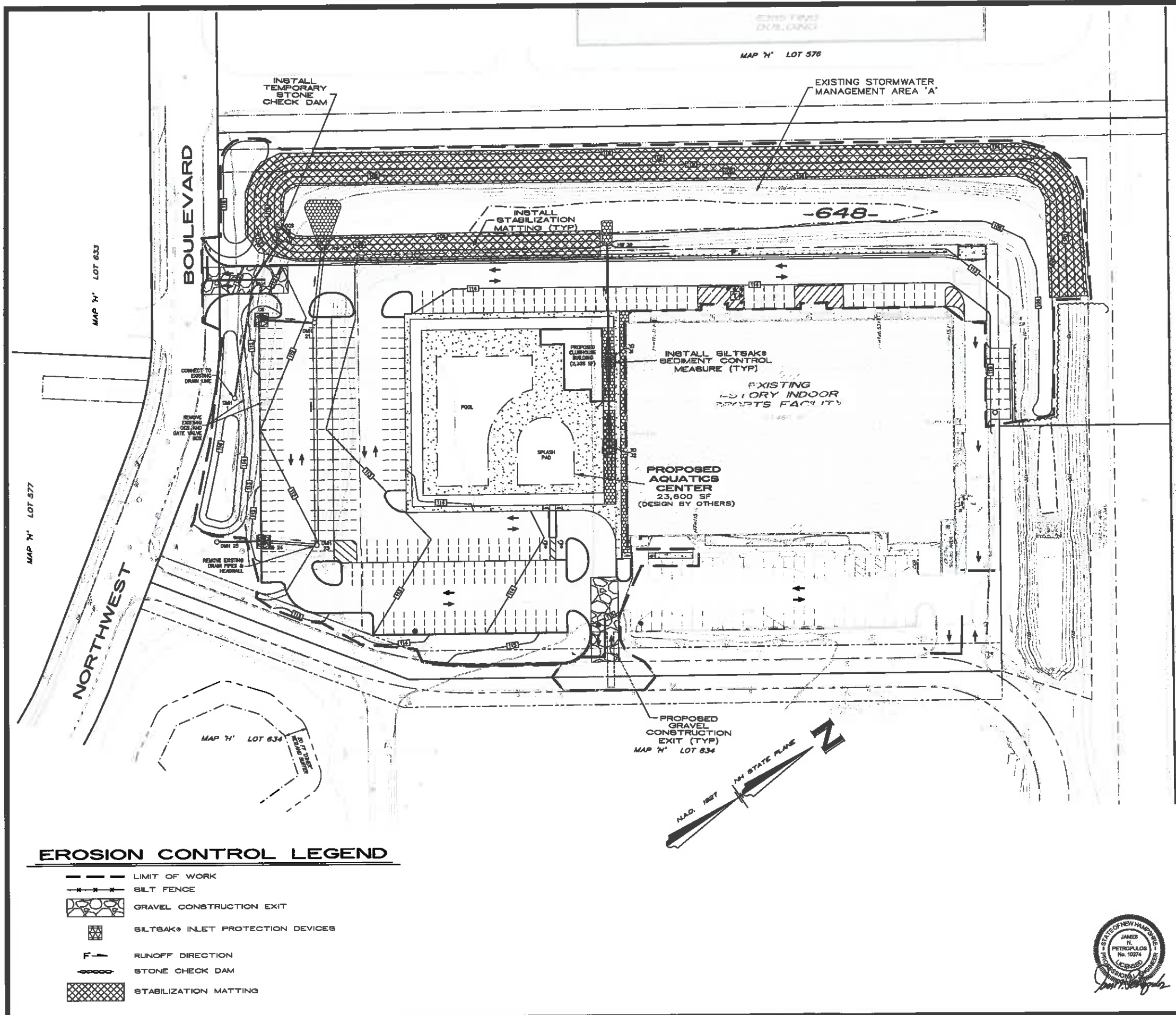
SITE PLAN
(MAP 'H', LOT 648)
PROPOSED AQUATICS CENTER
90 NORTHWEST BOULEVARD
NASHUA, NEW HAMPSHIRE
PREPARED FOR/RECORD OWNER:
YMCA OF GREATER NASHUA
10 COTTON ROAD, SUITE 1, NASHUA, NEW HAMPSHIRE 03063



4 SEPTEMBER 2019



HSI Hayner/Swanson, Inc.
Civil Engineer/Lead Surveyor
131 Middlesex Turnpike
Nashua, NH 03063
(603) 883-2057
www.hayner-swanson.com



- GENERAL NOTES:**
1. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE BMPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
 2. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
 3. LOAM AND MATERIAL STOCKPILE AREAS AS SHOWN ARE APPROXIMATE AND SUBJECT TO CHANGE. STOCKPILE AREAS SHALL BE SURROUNDED BY SILT FENCE AND RE-SEED IF THEY ARE LEFT UNTOUCHED FOR MORE THAN FOURTEEN (14) DAYS.
 4. DILET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
 5. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
 6. SILT FENCE SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-QUARTER THE HEIGHT OF THE SILT FENCE.

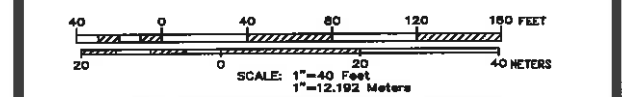
- CONSTRUCTION SEQUENCE:**
1. PRIOR TO EARTH MOVING OPERATIONS, INSTALL PERIMETER CONTROLS (SILT FENCE) IN ACCORDANCE WITH THE PLANS AND DETAILS.
 2. SITE GRADING OF POOL AND PAVED AREAS. ALL CUT AND FILL SLOPES, OUTSIDE OF THE POOL AND PAVED AREAS, SHALL BE SEEDED AND MULCHED AFTER BEING CONSTRUCTED. TEMPORARY SEDIMENT TRAPS AND/OR BASINS SHOULD BE USED AS NECESSARY TO CONTROL RUNOFF UNTIL PERMANENT GRASS IS STABILIZED.
 3. INSTALL INLET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. INSTALLATION OF UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT IN ACCORDANCE WITH THE 'SILTBACK DETAIL'. THE CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED.
 4. AS THE POOL AREA IS COMPLETED, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED.
 5. NO PORTION OF THE PROJECT SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR A PERIOD OF FORTY-FIVE (45) DAYS OR GREATER. ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED PRIOR TO WINTER CONDITIONS. STABILIZATION SHALL BE DEFINED AS 85% VEGETATIVE GROWTH BY OCTOBER 15TH OR INSTALLATION OF EROSION CONTROL MATTING.
 6. COMPLETED AREAS SHALL BE STABILIZED 72 HOURS AFTER COMPLETION.
 7. FINAL PAVING OF PARKING LOT.
 8. LOAM AND SEED ALL DISTURBED AREAS.
 9. INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES.
 10. SITE LANDSCAPING ALONG WITH PERMANENT SEEDING OF ALL DISTURBED AREAS.
 11. REMOVE ANY TEMPORARY EROSION CONTROL MEASURES NOT NEEDED.

No.	DATE	REVISION	BY
1	10/7/19	ADDRESS STAFF & OWNER COMMENTS	TEJ

EROSION CONTROL PLAN
(MAP 'H', LOT 648)

PROPOSED AQUATICS CENTER
90 NORTHWEST BOULEVARD
NASHUA, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
YMCA OF GREATER NASHUA
10 COTTON ROAD, SUITE 1, NASHUA, NEW HAMPSHIRE 03063



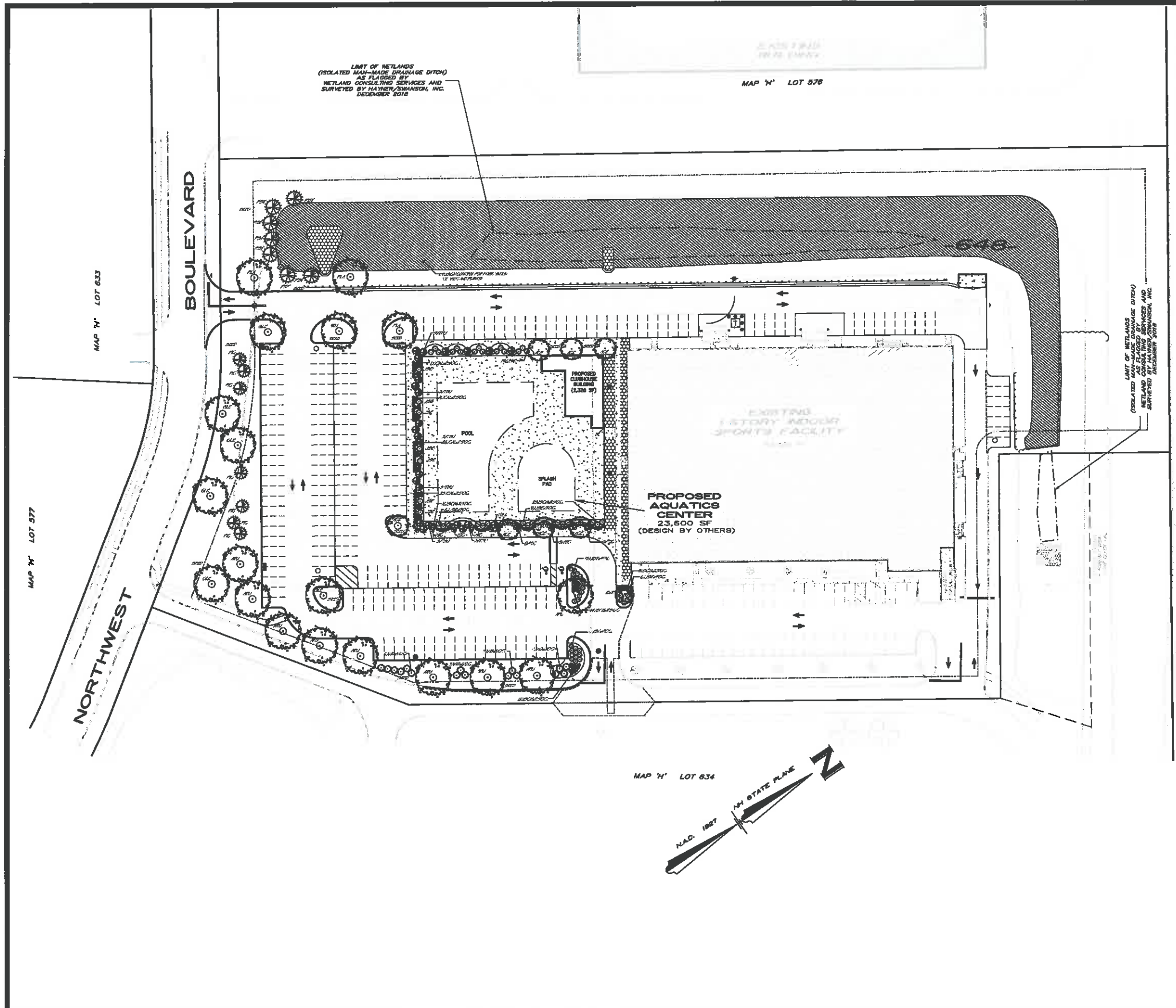
4 SEPTEMBER 2019

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street, Nashua, NH 03063
131 Middlesex Turnpike, Burlington, MA 01803
(603) 883-9057 (781) 203-1901
www.hayner-swanson.com

FIELD BOOK: 956/1195	DRAWING NAME: 4238-YMCA2 051	4238-YMCA2	9 OF 13
DRAWING LOCATION: J:\4007\4238\DWG\4238 YMCA-2		File Name:	

- EROSION CONTROL LEGEND**
- LIMIT OF WORK
 - SILT FENCE
 - GRAVEL CONSTRUCTION EXIT
 - SILTBAK® INLET PROTECTION DEVICES
 - RUNOFF DIRECTION
 - STONE CHECK DAM
 - STABILIZATION MATTING





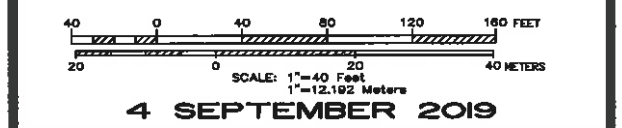
- MATERIAL LIST**
- 6/ACE ACER FREEMANII (HAYSTRONG MAPLE) 25'-3"CA
 - 10/1RU ACER RUBRUM SPECIES (OCTOBER GLORY RED MAPLE) 25'-3"CA
 - 78/3CA GALNAROSYDUS (EARLY PODOCATER PORTER RED GRASS) #264
 - 5/6LE GLADIOLUS (SWAMP WATER HONEY LOCUST) 25'-3"CA
 - 3/1LE J. UNIFOLIUS (CANDID GREEN J. UNIFOLIUS) #1094
 - 30/1LE J. UNIFOLIUS (CANDID GREEN J. UNIFOLIUS) #264 15'-24"
 - 2/1HC MICRODIA DECOLORETA (RUBBING GRASS) 264
 - 2/1FL PLATANUS ACERIFOLIUS (FLORIDA PLANTANUS) 25'-3"CA
 - 1/1PC P. CALIFORNICA (WHITE SPRUCE) 1'-8" DB
 - 1/1PN P. SYRACUS (WHITE PINE) 6'-1" DB
 - 76/5G1 SCHLAGERUM 200P. (THE LITTLE BLUEBERRY) #184
 - 12/1TU THUJA OCCIDENTALIS (DOUGLASS HISSON REDOVITAE) 1'-8" DB
 - 1/2BR SYRINGA RETICULATA (SWAMPY JAPANESE LILAC TREE) 12" DB (NOT SHOWN IN SITE)
 - 16/1B VIRGINIAN P. (P. VIRGINICA) 25'-3" DB
- MISCELLANEOUS**
- GENERAL LAWN SEED SANDY SOIL MIXTURE (www.aceson.com) PER PLAN
 - PREMIUM BLEND PINE BARK MULCH
 - WETLAND PLANTS, EROSION CONTROL RESTORATION MIX FOR WET SITES
- GENERAL CONTRACTOR NOTES:**
1. NO PLANT SPECIES, TYPES, SIZES, CONTAINER VOLS, OR DB ARE ALLOWED WITHOUT PRIOR WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
 2. IF PLANTS ARE NOT INSTALLED WITHOUT PRIOR WRITTEN CONSENT OF THE L.A. CONTRACTOR SHALL REMOVE AND REPLACE WITH THE BID LIST ITEM AT THEIR EXPENSE.
 3. NO PLANTS OUTER LINES SHALL BE PLANTED ANY CLOSER THAN 6" FROM PLANT BED EDGE.
 4. ALL TREE MULCHES SHALL BE AT 16" DIA. UNLESS OTHERWISE NOTED. MULCH BEDS ARE ALLOWED.
 5. MULCH SHALL MATCH THE EXISTING BEDS, UNLESS THOSE EXISTING BEDS ARE USING A FINISHED PRODUCT.
- INTERNET REFERENCE SOURCE IS FROM THE "ILLIGANDS NURSERY CATALOGUE OUT OF CHICHESTER, NH 603-425-6660"

No.	DATE	REVISION	BY
1	10/7/19	ADDRESS STAFF & NOTES COMMENTS	TEZ

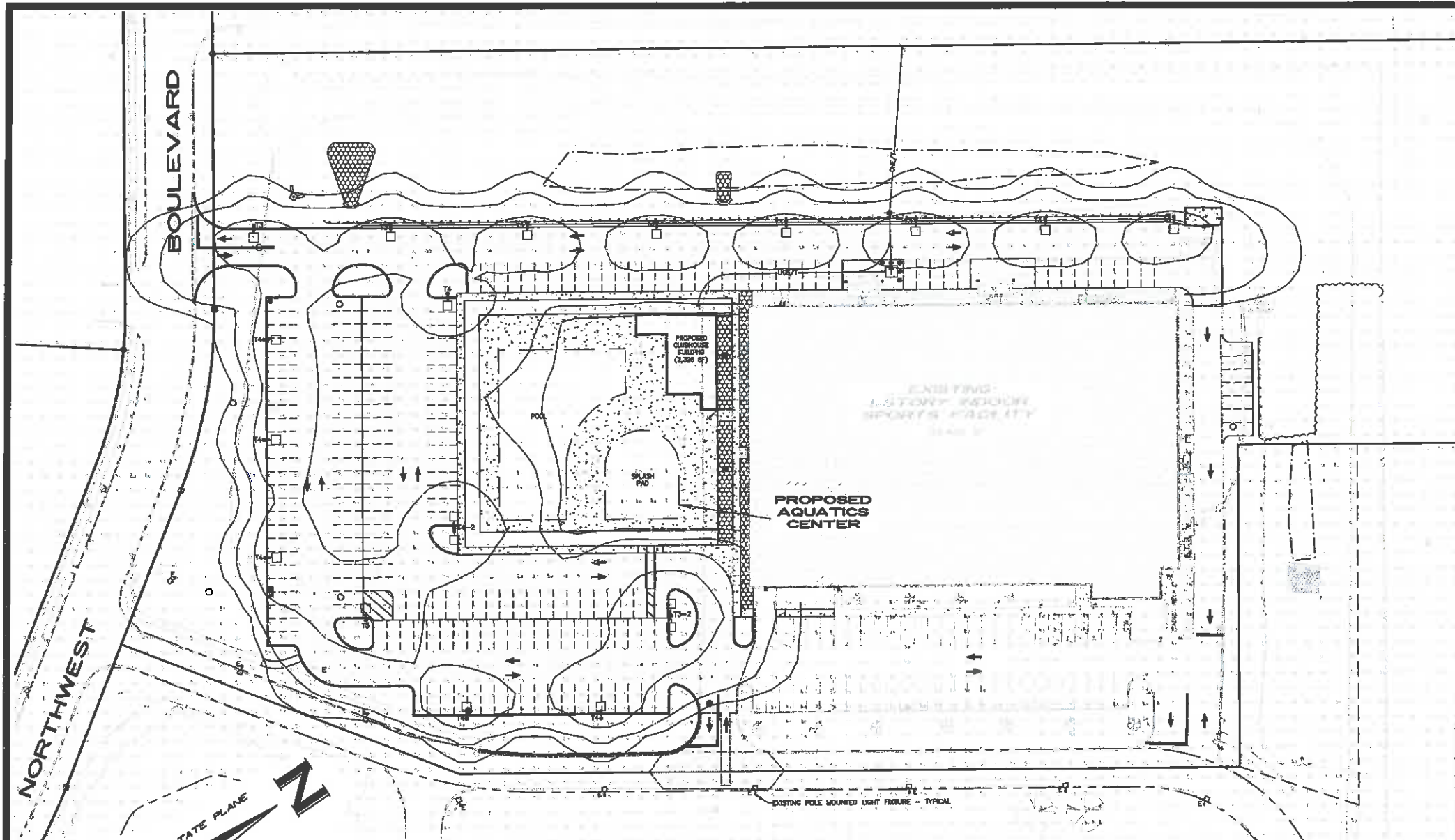
LANDSCAPE PLAN
(MAP 'H', LOT 648)

PROPOSED AQUATICS CENTER
90 NORTHWEST BOULEVARD
NASHUA, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
YMCA OF GREATER NASHUA
10 COTTON ROAD, SUITE 1, NASHUA, NEW HAMPSHIRE 03083



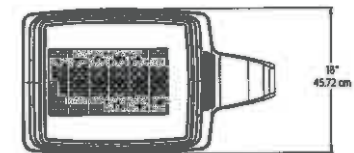
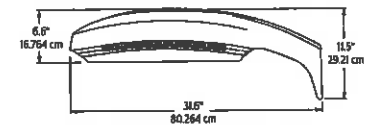
PREPARED BY:
BLACKWATER DESIGN
PHONE (603) 648-6909 FAX (603) 648-6906
Land Planning - Landscape Architecture
85 Front Lane - Webster, NH 03085



Site & Area
Gullwing LED
Large, GL18



Dimensions and EPA



Luminaire Schedule

Symbol	Type	Quantity	Manufacturers	Catalog Number	Description	Lamps	BUG Rating	Lumens Per Luminaire	Wattage	LLF
□	T3	8	Gardco	GL18-3-160LA-481A-NW-UNV-BRP (Luminaire)	Single Pole Mounted, 4000K, 70 CRI, LED Type III Distribution - Mount on 20' Pole on a 30" Exposed Concrete Base	LED	B2-U2-G3	14,190	180	0.850
□	T4	8	Gardco	GL18-4-160LA-481A-NW-UNV-BRP (Luminaire)	Single Pole Mounted, 4000K, 70 CRI, LED Type IV Distribution - Mount on 20' Pole on a 30" Exposed Concrete Base	LED	B2-U2-G3	14,619	180.8	0.850
□	T4-2	1	Gardco	TWO, GL18-4-160LA-481A-NW-UNV-BRP (Luminaire)	Single Pole Mounted, 4000K, 70 CRI, LED Type IV Distribution - Mount on 20' Pole on a 30" Exposed Concrete Base	LED	B2-U2-G3	28,238	321.8	0.850
□	T3-2	1	Gardco	TWO, GL18-3-160LA-481A-NW-UNV-BRP (Luminaire)	Single Pole Mounted, 4000K, 70 CRI, LED Type III Distribution - Mount on 20' Pole on a 30" Exposed Concrete Base	LED	B2-U2-G3	28,320	321.8	0.850
□	T5	1	Gardco	GL18-5-160LA-481A-NW-UNV-BRP (Luminaire)	Single Pole Mounted, 4000K, 70 CRI, LED Type V Distribution - Mount on 20' Pole on a 30" Exposed Concrete Base	LED	B2-U2-G2	15,379	159.1	0.850

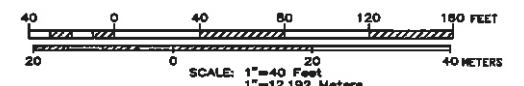
THE TOTAL OVERALL MOUNTING HEIGHT FOR THE POLE MOUNTED LIGHT FIXTURES IS 22'-8" ABOVE FINISHED GRADE, WHICH INCLUDES A 30" EXPOSED CONCRETE BASE HEIGHT.

Statistics

Description	Avg	Max	Min	Max/Min	Avg/Min
New Parking Lots	2.05 fc	6.4 fc	.5 fc	4.10	12.8

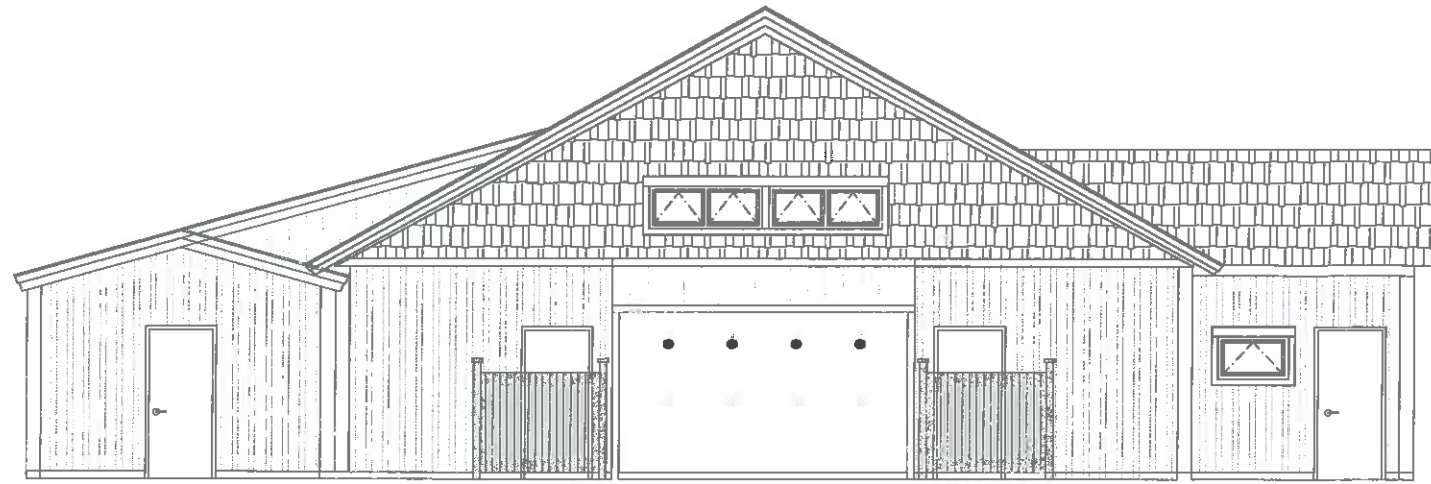
No.	DATE	REVISION	BY
1	10/7/19	ADDRESS STAFF & NOTES COMMENTS	TEZ

PHOTOMETRIC LIGHTING PLAN
(MAP 'H', LOT 848)
PROPOSED AQUATICS CENTER
90 NORTHWEST BOULEVARD
NASHUA, NEW HAMPSHIRE
PREPARED FOR/RECORD OWNER:
the YMCA OF GREATER NASHUA
10 COTTON ROAD, SUITE 1, NASHUA, NEW HAMPSHIRE 03083

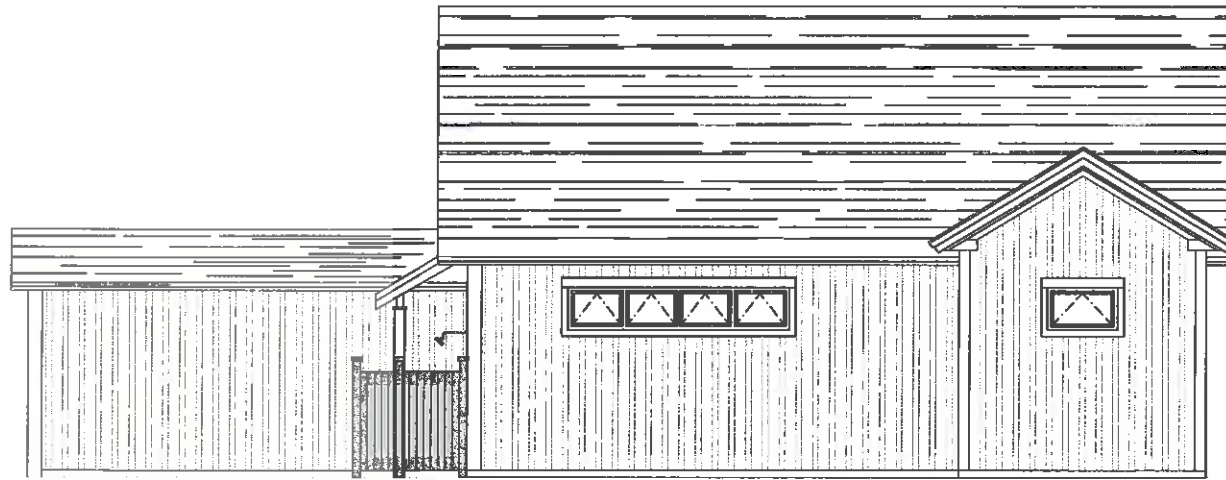


4 SEPTEMBER 2019

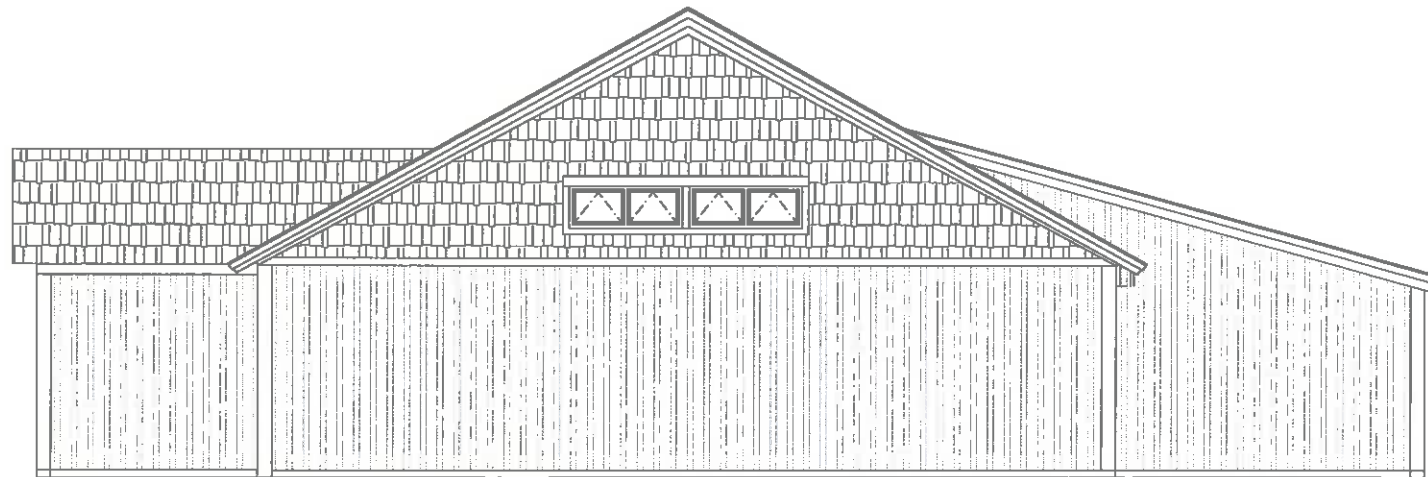
VA YEATON ASSOCIATES, INC.
65 Jackson Street
Littleton, NH 03561
603.444.8578
www.yeatonassociates.com
19001E01



1 BATH HOUSE EXTERIOR FRONT ELEVATION
1/4" = 1'-0"



2 BATH HOUSE EXTERIOR SIDE ELEVATION
1/4" = 1'-0"



3 BATH HOUSE EXTERIOR REAR ELEVATION
1/4" = 1'-0"



**STIBLER
ASSOCIATES**
INTERIOR DESIGN

3 Executive Park Drive
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Bedford, NH 03110
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(603) 623-6952

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NASHUA YMCA
WESTWOOD
PARK



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DATE: 9/3/2019

REVISIONS: _____

PROPOSED
BATH HOUSE
EXTERIOR
ELEVATIONS

SCALE: 1/4" = 1'-0"
DRAWN BY: XX

ID.3