

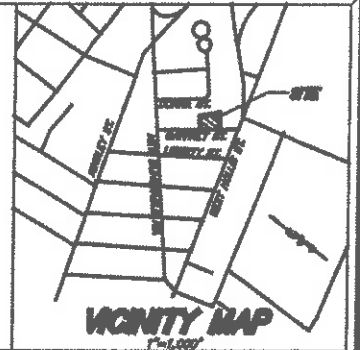
ABUTTERS

- Lot 433/Sheet 122
Gerard A. Reppucci
7 Gaffney Street
Nashua, NH 03080
Acct. No. 5332
- Lot 440/Sheet 122
Gerard H. Beaulieu Revocable Trust
Gerard A. Beaulieu Trustee
5 1/2 Gaffney Street
Nashua, NH 03080-3613
Acct. No. 28518
- Lot 259/Sheet E
Mark L. Hiseck
8 Donna Street
Nashua, NH 03080
Acct. No. 24684
- Lot 283/Sheet E
Mark A. & Michael D. Bergen
7 Donna Street
Nashua, NH 03080-3607
Acct. No. 8914
- Lot 583/Sheet 122
Cynthia M. & Bryce Trent
11 Gaffney Street
Nashua, NH 03080-3613
Acct. No. 48830
- Lot 408/Sheet 122
Fredrick & Assumatah Amoshe
16 Gaffney Street
Nashua, NH 03080-3612
Acct. No. 18788
- Lot 402/Sheet 122
Melanie & William Emmons
6 Gaffney Street
Nashua, NH 03080-3612
Acct. No. 27848
- Lot 306/Sheet 122
Gerard H. Beaulieu
340 West Hollis Street
Nashua, NH 03080
Acct. No. 28344
- Maynard & Paquette Eng. Assoc., LLC
31 Quinoy Street
Nashua, NH 03080

PLAN REFERENCES

- KINSLEY-HOLLIS STREET PLAT, NASHUA, NH; OWNED BY: THE AMERICA LAND CO. DATED: MAY 1929; SCALE: 1" = 80 FEET; H.C.R.D. NO. 511
- PLAN OF LAND OF RICHARD CONSTRUCTION AND REALTY, INC. MAIN DUNSTABLE ROAD, NASHUA, NH; BY: NED SPAULDING DATED: OCTOBER 1958, REVISED: MAY 1999; SCALE: 1"=40'; H.C.R.D. NO. 1846

- STONE BOUND FOUND
- STONE BOUND TO BE SET
- IRON PIN/PIPE FOUND
- IRON PIN TO BE SET
- MINIMUM BUILDING SETBACK
- EXISTING PAVEMENT
- EXISTING BUILDING
- STREET NUMBER

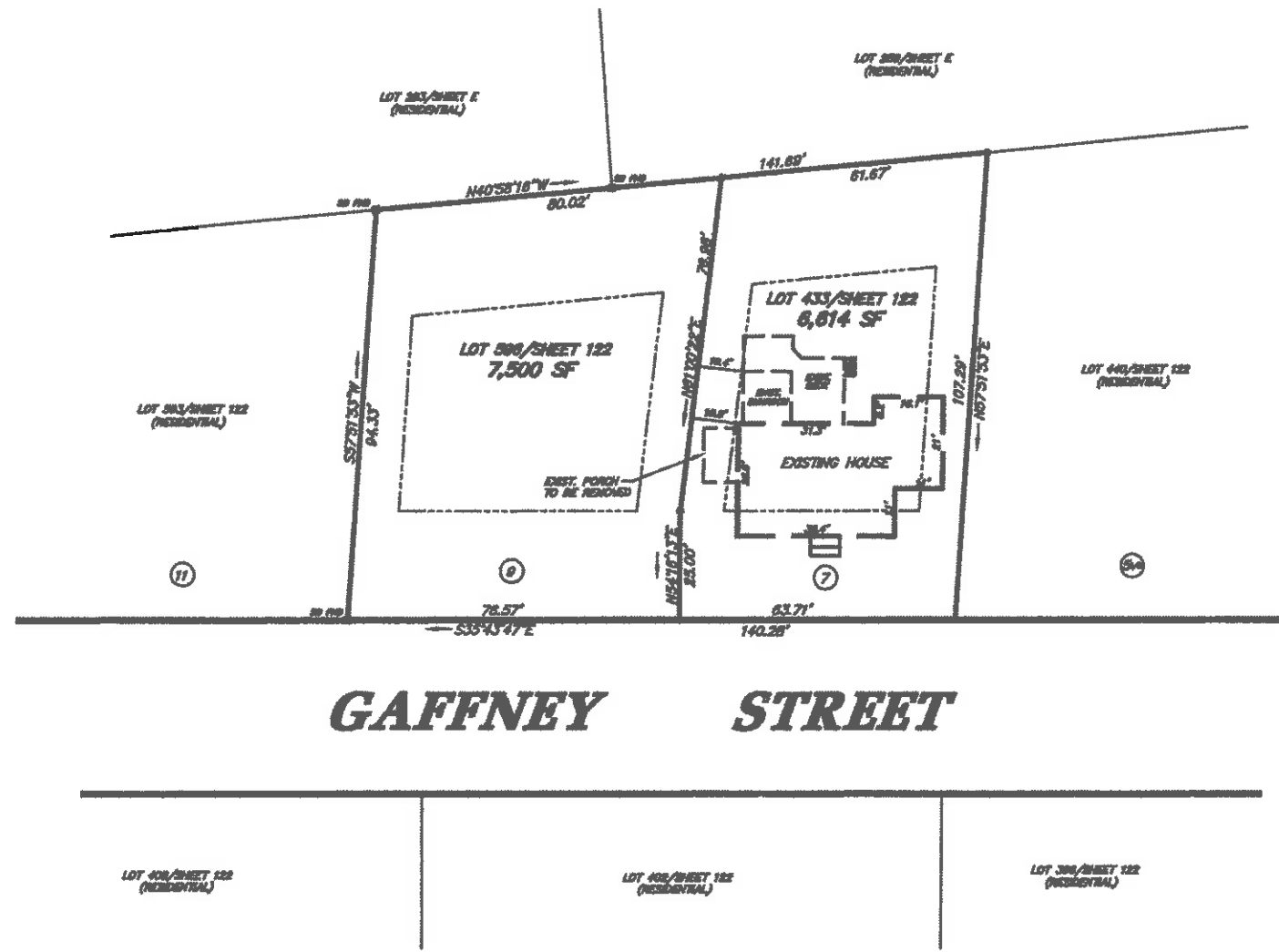


LEGEND

NOTES

- PRESIDENT ZONING - "R1" - RESIDENTIAL
- EXISTING & PROPOSED USE - RESIDENTIAL
- THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE LOT 433/SHEET 122 INTO 3 LOTS
- TOTAL AREA OF PARCELS - 26,880 SF
- LOTS ARE SERVED BY PENNACONK WATER AND CITY OF NASHUA SEWER.
- AREA OF EXCHANGE - OLD AREA NEW AREA AREA OF EXCHANGE
 LOT 433 - 14,714 SF 8,614 SF -7,200 SF
 LOT 408 - 0 SF 7,200 SF +7,200 SF
 TOTALS - 14,714 SF 14,714 SF 0 SF
- PERMANENT MARKERS ARE TO BE SET AT ALL LOT CORNERS BY A LICENSED LAND SURVEYOR.
- DIMENSIONAL REQUIREMENTS -

SINGLE FAMILY	LOT 433	LOT 408
MINIMUM LOT AREA - 7,200 S.F.	8,614 SF	7,200 SF
FRONT YARD SETBACK - 35'	30.5'	30 FT. MIN.
SIDE YARD SETBACK - 10'	0.0'	30 FT. MIN.
REAR YARD SETBACK - 20'	23.3'	40 FT. MIN.
MIN. OPEN SPACE - SEE MIN.	300 MIN.	300 MIN.
MIN. LOT WIDTH - 75 FEET	65.3'	75.0'
MIN. LOT FRONTAGE - 60 FEET	63.7'	76.5'
MIN. LOT DEPTH - 80 FEET	104.8'	88.1'
- FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INSPECTION ESTABLISHES THAT SPECIFIC BUILDING TYPES ARE LOCATED IN WELL DRAINAGE SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATIONS OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THIS PLAN PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN PRIOR TO PROCEEDING WITH THE WORK.
- THE SITE IS LOCATED WITHIN ZONE X, OUTSIDE OF THE 0.5% ANNUAL CHANCE FLOOD PLAIN FOR F.L.R.M. COMMUNITY MAP NUMBER 330100000, EFFECTIVE DATE SEPT. 25, 2009
- FOR EXISTING AND PROPOSED ON-SITE/OFF-SITE FEATURES, SEE EXISTING CONDITIONS PLAN, SHEET 2 AND GRADING PLAN, SHEET 3.
- SHEET 1 TO BE RECORDED AT THE H.C.R.D.
- PARKING REQUIRED: 2 SPACES PER LOT
PARKING PROPOSED: 3 SPACES
- UTILITIES INCLUDING ALL ELECTRIC, TELEPHONE, CABLE TELEVISION, AND OTHER COMMUNICATION LINES, BOTH MAIN AND SERVICE CONNECTIONS, SERVING NEW DEVELOPMENTS SHALL BE PROVIDED BY OVERHEAD WIRING, PER OWNER REQUEST.
- THE PROPOSED DRIVEWAY MEETS THE DISTANCE REQUIREMENTS FOR SECTION 190-308 OF THE CITY OF NASHUA ZONING REGULATIONS. SEE GRADING PLAN, SHEET 3 FOR SHORT DISTANCE INFORMATION.
- STREET RESTORATION SHALL BE IN ACCORDANCE WITH CHAPTER 280 DIVISION 13 ARTICLE 8 OF THE CITY OF NASHUA ORDINANCES. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED TO THE SATISFACTION OF THE DIVISION OF PUBLIC WORKS (NO NEW PUBLIC R.O.W.'S PROPOSED).
- EROSION CONTROL MEASURES (SILT FENCE SCREENING) SHALL BE INSTALLED ALONG DOWN GRADIENT SLOPES PRIOR TO INITIATION OF ANY WORK AND SHALL BE MAINTAINED BY THE DEVELOPER UNTIL ADEQUATE VEGETATIVE COVER HAS BEEN ESTABLISHED ON ALL GRADED AREAS.
- THERE ARE NO WETLANDS ON THE SITE.
- A DRIVEWAY AND BUILDING FRONT PLAN SHALL BE APPROVED BY THE ENGINEERING DEPARTMENT PRIOR TO THE BEGINNING OF A BUILDING PERMIT FOR SINGLE FAMILY HOME.
- ALL STREET AND UTILITY IMPROVEMENTS WILL BE COMPLETED TO THE SATISFACTION OF THE CITY OF NASHUA PLANNING AND ENGINEERING DEPARTMENTS.
- ON AUGUST 26, 2018 THE ZONING BOARD OF ADJUSTMENT GRANTED A VARIANCE FOR THE FOLLOWING: 1) MINIMUM LOT AREA, 2) MINIMUM LOT DEPTH - 6,613 SF PROPOSED - 8,614 SF; 3) MINIMUM LOT WIDTH, 75 FEET REQUIRED - 63.7 FEET PROPOSED. BOTH REQUESTS TO SUBDIVIDE ONE DOMINANT LOT INTO ONE CONFORMING LOT AND ONE NON-CONFORMING LOT.



GAFFNEY STREET

NO.	DATE	BY	REVISIONS
1	03/11/2019	APB	APPROVED FOR PLAN REVIEW
2	03/11/2019	APB	REVISIONS PER PLANNING DEPT. & ENGINEERING DEPT. COMMENTS
3	03/11/2019	APB	REVISIONS PER PLANNING DEPT. & ENGINEERING DEPT. COMMENTS

APPROVED BY THE CITY OF NASHUA PLANNING BOARD

SECRETARY _____ DATE _____

CHAIRMAN _____ DATE _____

Gerard Reppucci
GERARD REPUCCI
DATE 3/18/19

I CERTIFY THAT THIS PLAN WAS PREPARED FROM BOUNDARY INFORMATION SHOWN ON PLAN REFERENCES 1-2 AND A FIELD SURVEY MADE ON THE GROUND IN FEBRUARY 2018 HAVING A MAXIMUM ERROR OF

SUBDIVISION PLAN LOT 433/SHEET 122
7 GAFFNEY STREET
 NASHUA, NEW HAMPSHIRE
 OWNERS:
 GERARD REPUCCI
 7 GAFFNEY STREET
 NASHUA, NH 03080
 603-882-3341

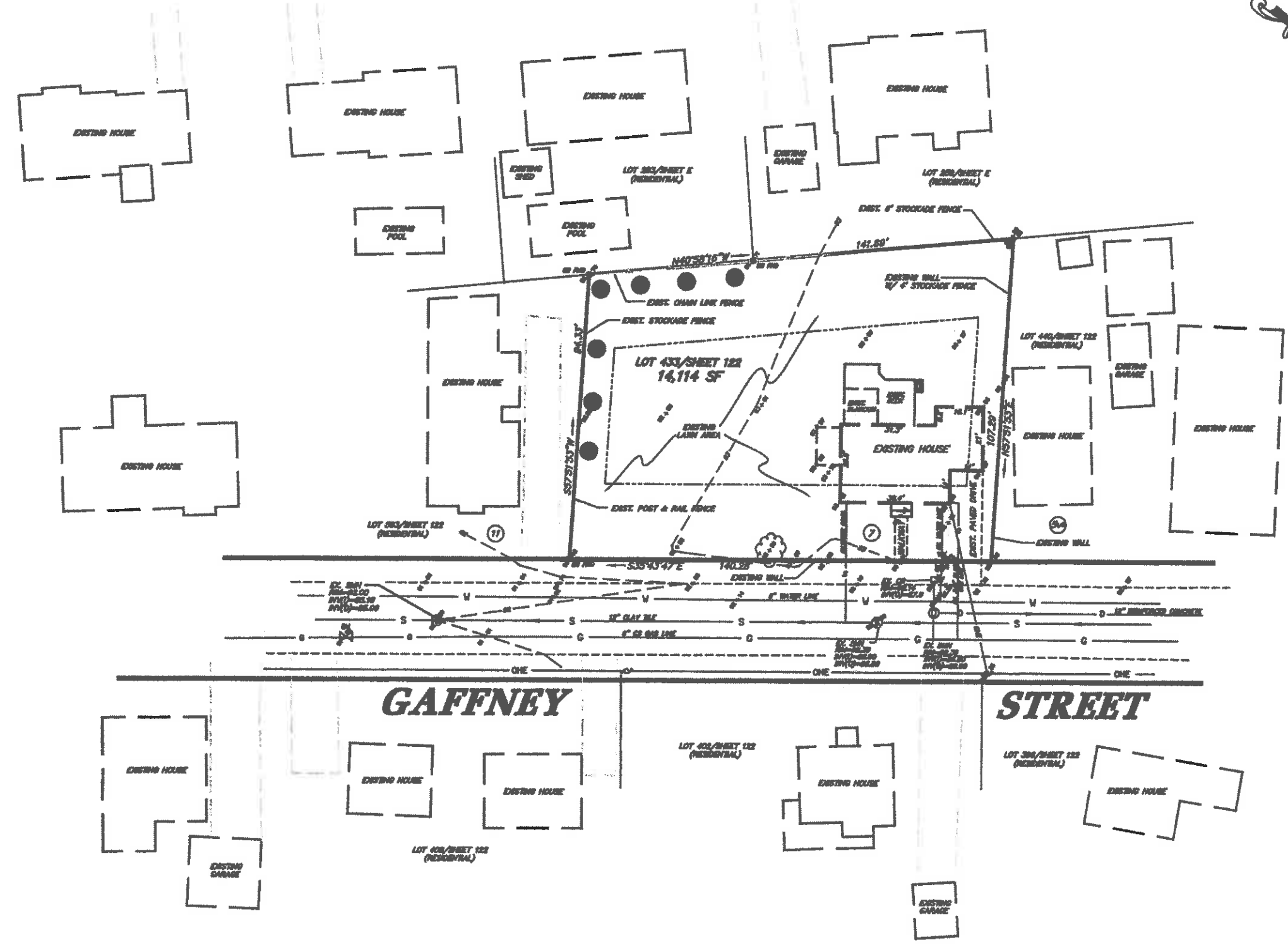
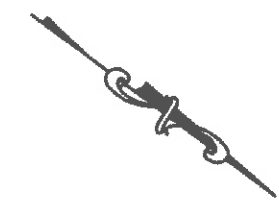
SCALE: 1" = 20' DATE: MARCH 11, 2019

Maynard & Paquette
 Engineering Associates, LLC
 Consulting Engineers and Land Surveyors
 31 Quinoy Street, Nashua, NH 03080
 Phone: 603-882-8488 Fax: 603-882-7227

■ STONE BOUND FOUND
 ■ STONE BOUND TO BE SET
 ● IRON PIN/PIPE FOUND
 ● IRON PIN TO BE SET
 --- MINIMUM BUILDING SETBACK
 --- EXISTING PAVEMENT
 --- EXISTING BUILDING
 (87) STREET NUMBER

LEGEND

WINTY



GAFFNEY STREET

EXISTING CONDITIONS PLAN
7 GAFFNEY STREET
 NASHUA, NEW HAMPSHIRE

OWNERS:
 GERARD REPUCCI
 7 GAFFNEY STREET
 NASHUA, NH 03080
 603-882-3341

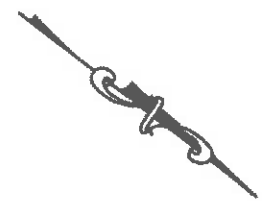
SCALE: 1" = 20' DATE: MARCH 11, 2018

Maynard & Paquette
 Engineering Associates, LLC
 Consulting Engineers and Land Surveyors
 31 Galloway Street, Nashua, N.H. 03080
 Phone: (603)883-0433 Fax: (603)883-7227

DATE	BY	REVISIONS
3/11/18	MP	ISSUED FOR PERMIT
3/11/18	MP	REVISED PER APRIL 13, 2018 CHANGES
3/11/18	MP	REVISED PER APRIL 13, 2018 CHANGES
3/11/18	MP	REVISED PER APRIL 13, 2018 CHANGES
3/11/18	MP	REVISED PER APRIL 13, 2018 CHANGES
3/11/18	MP	REVISED PER APRIL 13, 2018 CHANGES
3/11/18	MP	REVISED PER APRIL 13, 2018 CHANGES
3/11/18	MP	REVISED PER APRIL 13, 2018 CHANGES
3/11/18	MP	REVISED PER APRIL 13, 2018 CHANGES

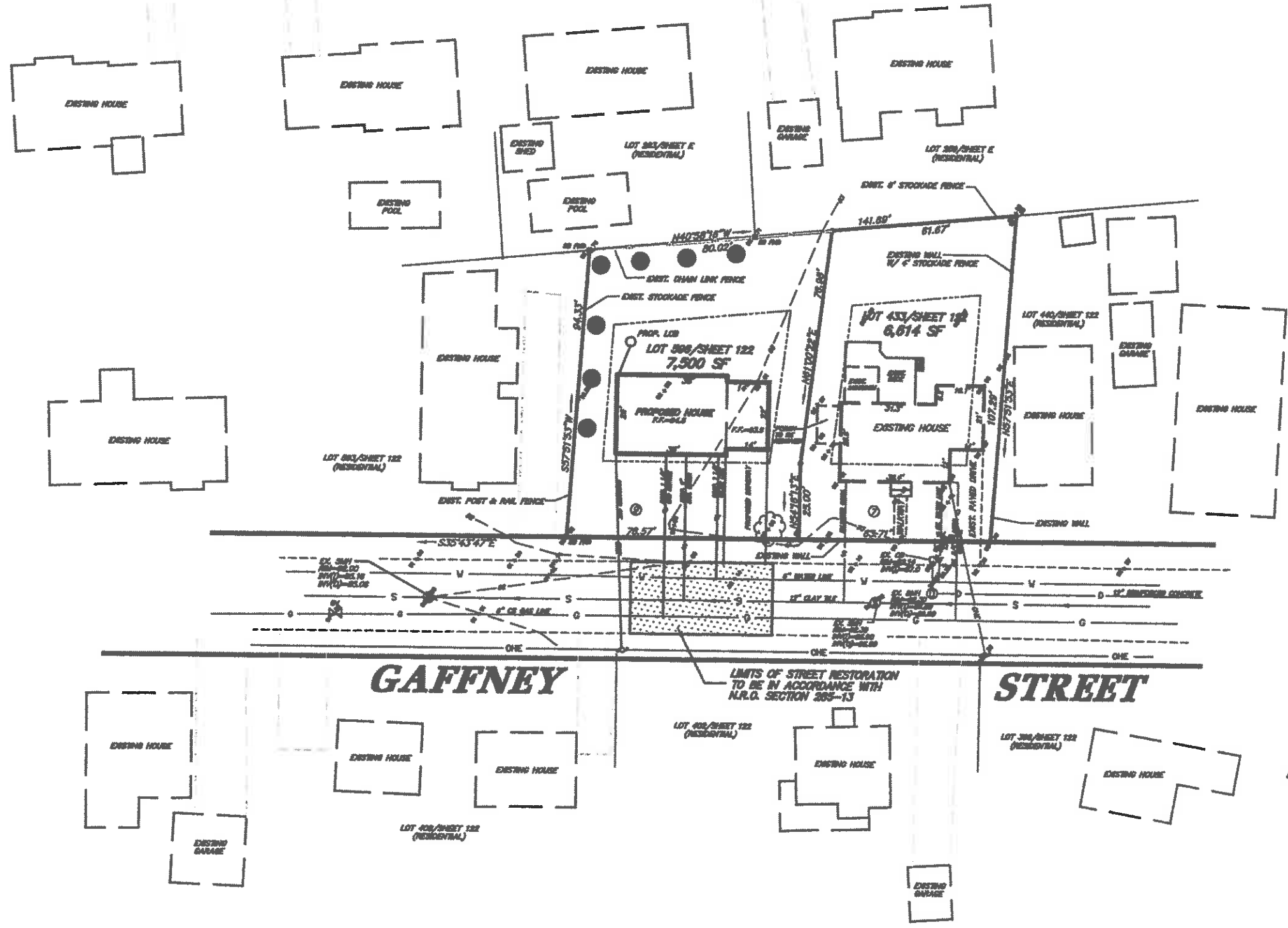
KPM	APB		738-43	D	12501
DESIGNED	DRAWN	CHECKED	APPROVED	SCALE	JOB NUMBER

© COPYRIGHT, ALL RIGHTS RESERVED 2008
 MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC
 31 GALLOWAY STREET, NASHUA, NH 03080



NOTES:

- 1. HOUSE SIZE, LOCATION, GRADING, ETC. SHOWN FOR LOT 506 IS ILLUSTRATIVE ONLY.
- 2. SEE DWG. 4 FOR LANDSCAPING.



NO.	DATE	DESCRIPTION
1	2/2/2019	REVISIONS PER APRIL 23, 2019 ENGINEERING COMMENTS
2	3/11/2019	REVISED PER COMMENTS

GAFFNEY STREET

LIMITS OF STREET RESTORATION TO BE IN ACCORDANCE WITH N.H.O. SECTION 389-13

GRADING PLAN
7 GAFFNEY STREET
 NASHUA, NEW HAMPSHIRE

OWNERS:
 GERARD REPPUCCI
 7 GAFFNEY STREET
 NASHUA, NH 03060
 603-882-3341

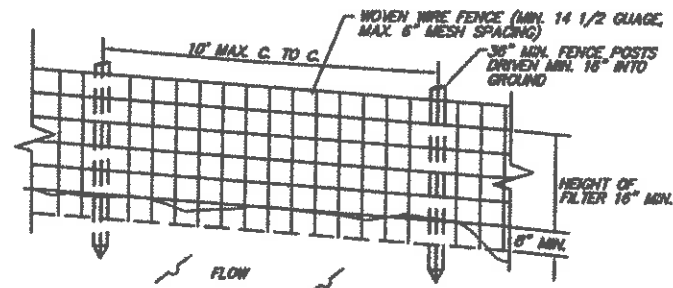


SCALE: 1" = 20' DATE: MARCH 11, 2019

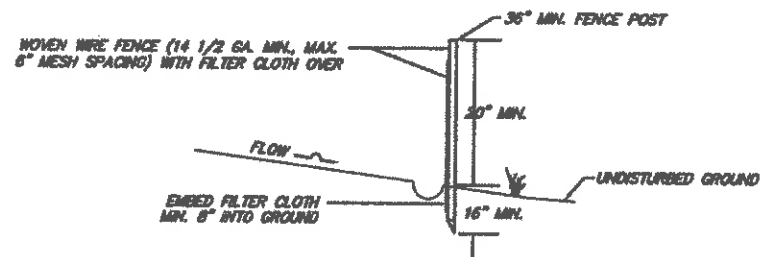
Maynard & Paquette
 Engineering Associates, LLC
 Consulting Engineers and Land Surveyors
 81 Quincey Street, Nashua, NH 03060
 Phone: 603-883-8433 Fax: 603-883-7227

KPM	APB	739-43	D	12591
DESIGNED	DRAWN	CHECKED	APPROVED	DATE

© COPYRIGHT, ALL RIGHTS RESERVED 2019
 MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC
 11500 101 AVENUE, SUITE 100, NASHUA, NH 03060



PERSPECTIVE VIEW



TYPICAL SILT FENCE DETAIL

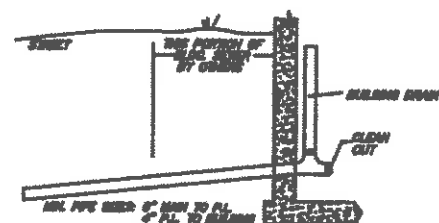
N.T.S.

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT TOP AND MID-SECTION.
3. WHERE TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES AND FOLDED TOGETHER.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

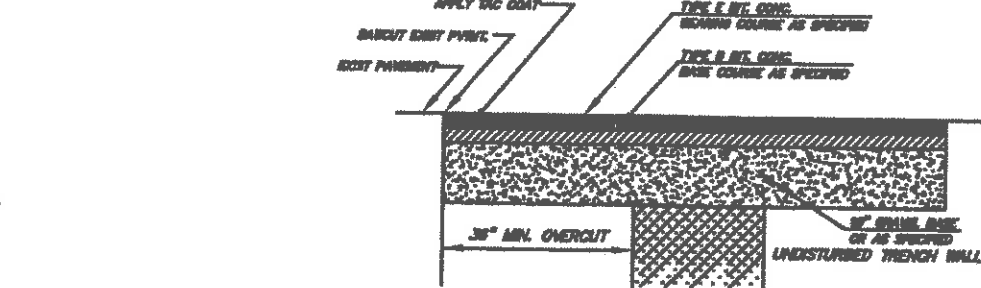
INSTALLATION PROCEDURE

1. LAY OUT A SUITABLE FENCE LINE AND SET POSTS ALONG IT. ON SLOPES, ALIGN THE FENCE ALONG THE CONTOUR AS CLOSELY AS POSSIBLE. IN SMALL SWALES, CURVE THE FENCE LINE UPSLOPE AT THE SIDES TO DIRECT THE FLOW TOWARD THE MIDDLE OF THE FENCE. THE SIDES SHOULD BE HIGHER THAN THE CENTER. SPACE POSTS A MAXIMUM OF 10 FEET APART AND DRIVE THEM AT LEAST 18 INCHES INTO THE GROUND. WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING MUST NOT EXCEED 8 FEET. POSTS FOR SILT FENCES CAN BE EITHER 4 INCH WOOD OR 1.33 LB/FT STEEL WITH A MINIMUM LENGTH OF FIVE FEET. STEEL POSTS HAVE PROJECTIONS FOR FASTENING WIRE TO THEM. EXCAVATE A TRENCH APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
2. FASTEN WIRE MESH SECURELY TO THE UPSLOPE SIDE OF THE POSTS. USE HEAVY-DUTY WIRE STAPLES AT LEAST 1 INCH LONG TO TIE THE WIRES OR HOOP RINGS. EXTEND THE WIRE 8 INCHES INTO THE TRENCH. WIRE FENCE REINFORCEMENT FOR SILT FENCES MUST BE A MINIMUM OF 48 INCHES WIDE, BE A MINIMUM OF 14 GAUGE, AND HAVE A MAXIMUM MESH SPACING OF 6 INCHES. THE 48 INCH LENGTH IS NEEDED SO THAT 6 INCHES CAN BE EXTENDED INTO THE TRENCH AND LEAVE A 36 INCH SUPPORT FENCE ABOVE THE GROUND. WHEN EXTRA-STRENGTH FABRIC IS USED AND FENCE POSTS ARE MORE CLOSELY SPACED, THE WIRE MESH CAN BE OMITTED.
3. FASTEN THE FILTER FABRIC TO THE UPSLOPE SIDE OF THE FENCE POSTS AND EXTEND IT 8 TO 8 INCHES INTO THE TRENCH. THE HEIGHT OF THE FENCE SHOULD NOT EXCEED 36 INCHES. DO NOT STAPLE FABRIC ONTO TREES. CUT THE FILTER FABRIC FROM A CONTINUOUS ROLL TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, SPLICE THE FILTER CLOTH AT A SUPPORT POST, WITH A MINIMUM 8 INCH OVERLAP, AND SECURELY FASTEN BOTH ENDS TO THE POST.
4. BACKFILL THE TRENCH OVER THE TOP OF THE FABRIC AND COMPACT THE SOIL.



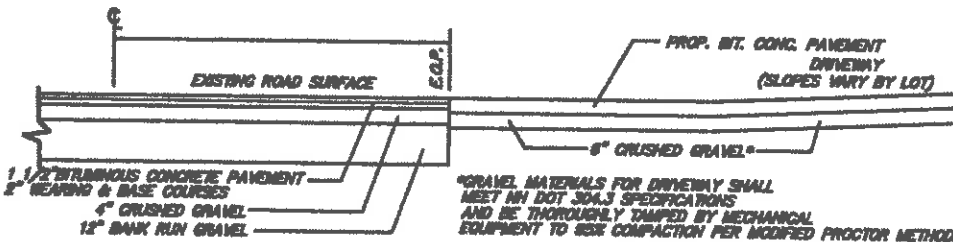
SEWER SERVICE CONNECTION

N.T.S.



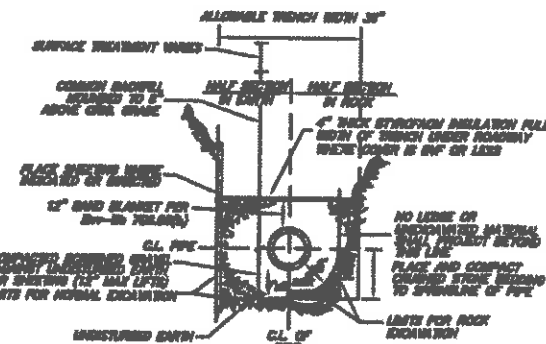
PAVEMENT PATCH DETAIL

N.T.S.



TYPICAL DRIVEWAY SECTION

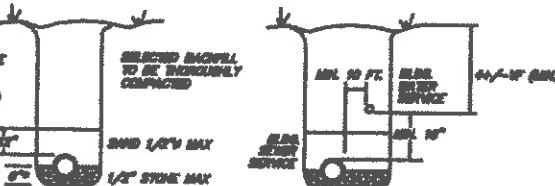
N.T.S.



TYP. GRAVITY SEWER TRENCH

N.T.S.

- NOTED: SERVICE CONNECTION IN EXISTING PAVED PUBLIC ROW
- 1.0 GENERAL
 - 1.1 CONTRACTOR IS RESPONSIBLE TO MAKE ALL PROPER INVESTIGATIONS TO UTILITIES AND OTHER RELATED POINTS FROM GOVERNMENTAL AUTHORITIES IN CHARGE OF THE PUBLIC RIGHT OF WAY TO BE DISTURBED PRIOR TO START OF CONSTRUCTION.
 - 2.0 CUTTING AND REPAIRING PAVEMENT
 - 2.1 PAVEMENT REMOVAL SHALL BE BY SAW CUT.
 - 2.2 PAVEMENT AREAS OF THE EXCAVATION SHALL BE SAW CUT BEFORE REMOVAL AND REPAIRING IT WITHIN THE EXCAVATION LIMITS.
 - 2.3 SIDING AND PAVEMENT REMOVAL SHALL BE DONE SO AS TO PREVENT GLEAM, UNIFORM, VERTICAL, CRACKS RESULTING DURING TO THE REMOVAL PAVEMENT AND/OR UNDERLAYING BY TRENCH EXCAVATION.
 - 3.0 TRENCH EXCAVATION
 - 3.1 THE CONTRACTOR SHALL FURNISH, PUT IN PLACE, AND MAINTAIN SHORING AND BRACING IF REQUIRED TO SUPPORT THE SIDING OF THE EXCAVATION TO PREVENT LOSS OF SOILS WHICH COULD DAMAGE OR DELAY WORK OR ENDANGER ADJACENT STRUCTURES OR OTHER UNDERGROUND UTILITIES.
 - 3.2 ALL APPROPRIATE STOPS SHALL BE TAKEN BY CONTRACTOR TO PROTECT THE TRENCH.
 - 4.0 PIPE INSTALLATION AND BRACING
 - 4.1 REFER TO PLANS FOR SIZE AND MATERIAL OF PIPE AND BRACING TRENCH SECTION DETAIL FOR DETAILS.
 - 5.0 BACKFILL
 - 5.1 AS SOON AS FEASIBLE AFTER THE PIPE HAS BEEN LAID, JOINTS, PROPERLY GROUTED (AND TESTED, IF REQUIRED) BACKFILL SHALL BE BACKFILL AND THROUGHOUT BE PROTECTED SUPERVISOR.
 - 5.2 BACKFILL OF THE TRENCH TO BE IN ACCORDANCE WITH THE STANDARD TRENCH SECTION DETAIL.
 - 5.3 PAVEMENT REPLACEMENT
 - 5.4 NO PAVEMENT PAVEMENT SHALL BE PLACED OVER A BACKFILLED TRENCH UNLESS PERMITTED TO DO SO IN WRITING BY THE TOWN/CITY ENGINEER. REPAIRS MAY BE DELAYED FOR A LIMITED TIME IF THE TOWN/CITY ENGINEER SO DIRECTS.
 - 5.5 CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN APPROVAL OF TOWN/CITY ENGINEER TO SUPPLY PERMANENT STRAINLESS PAVEMENT MATERIAL FROM TOWN/CITY ENGINEER PRIOR TO START OF PAVEMENT REPLACEMENT.
 - 5.6 THE PERMANENT PAVEMENT SHALL CONSIST OF A 6-1/2 INCH BASE COURSE OF TYPE 2 AND 1-1/2 INCH COURSE OF TYPE 1 HOT STRAINLESS PAVEMENT MATERIAL LISTED BELOW.
- | GRADE SIZE | TYPE 2 | | TYPE 1 | |
|------------|--------|-----|--------|-----|
| | MIN | MAX | MIN | MAX |
| 3/4" | 80 | 100 | - | - |
| 1/2" | 70 | 90 | 80 | 100 |
| 3/8" | 60 | 70 | 60 | 80 |
| NO.4 | 40 | 50 | 40 | 50 |
| NO.10 | 20 | 30 | 20 | 30 |
| NO.20 | 10 | 15 | 10 | 15 |
| NO.40 | 5 | 7 | 5 | 7 |
| NO.80 | 3 | 4 | 3 | 4 |
- APPROXIMATE PERCENTAGE BY WEIGHT PASSING - COMBINED AGGREGATE
- | PERCENTAGE | 4.75 | 7.5 | 10.0 | 15.0 | 20.0 | 30.0 | 40.0 | 47.5 |
|------------|------|-----|------|------|------|------|------|------|
| TYPE 2 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 |
| TYPE 1 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 |
- 5.7 CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN APPROVAL OF TOWN/CITY ENGINEER TO SUPPLY PERMANENT STRAINLESS PAVEMENT MATERIAL FROM TOWN/CITY ENGINEER PRIOR TO START OF PAVEMENT REPLACEMENT.
 - 5.8 THE PERMANENT PAVEMENT SHALL CONSIST OF A 6-1/2 INCH BASE COURSE OF TYPE 2 AND 1-1/2 INCH COURSE OF TYPE 1 HOT STRAINLESS PAVEMENT MATERIAL LISTED BELOW.
 - 5.9 CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN APPROVAL OF TOWN/CITY ENGINEER TO SUPPLY PERMANENT STRAINLESS PAVEMENT MATERIAL FROM TOWN/CITY ENGINEER PRIOR TO START OF PAVEMENT REPLACEMENT.
 - 5.10 CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN APPROVAL OF TOWN/CITY ENGINEER TO SUPPLY PERMANENT STRAINLESS PAVEMENT MATERIAL FROM TOWN/CITY ENGINEER PRIOR TO START OF PAVEMENT REPLACEMENT.



LEACHING CISTERNS

RESIDENTIAL GROUNDWATER RECHARGE SYSTEM

(FOR NEW CONSTRUCTION ONLY)

7 GAFFNEY STREET
NASHUA, NEW HAMPSHIRE

OWNER:
GERARD REPPLUGGI
7 GAFFNEY STREET
NASHUA, NH 03060
603-882-3341

SCALE: 1" = 20'

DATE: MARCH 11, 2019



Maynard & Paquette
Engineering Associates, LLC
Consulting Engineers and Land Surveyors
51 Quincy Street, Nashua, N.H. 03060
Phone: (603)885-8438 Fax: (603)885-7227

KPM	APB	CHD	APR	D	12591
DESIGNED	DRAWN	CHECKED	APPROVED	BOOK & FILE	DATE

COPYRIGHT, ALL RIGHTS RESERVED 2019
MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC
LOCAL 10 12591 10 12591 10 12591 10 12591