

WAIVERS:

THE FOLLOWING WAIVERS WERE PREVIOUSLY GRANTED BY THE NASHUA CITY PLANNING BOARD AT THE DECEMBER 6, 2018 PLANNING BOARD MEETING:

- (A) NRO 160-172 (C) WHICH REQUIRED VARIOUS ROOF LINES.
- (B) NRO 160-198 WHICH ALLOWED 90 PARKING SPACES WHERE 63 SPACES ARE REQUIRED.
- (C) NRO 160-279 B & E WHICH REQUIRED TO SHOW BEARING AND DISTANCES OF ALL PROPERTY LINES, PERMANENT MONUMENTS AND EXISTING EASEMENTS ON THE SITE.

NOTE

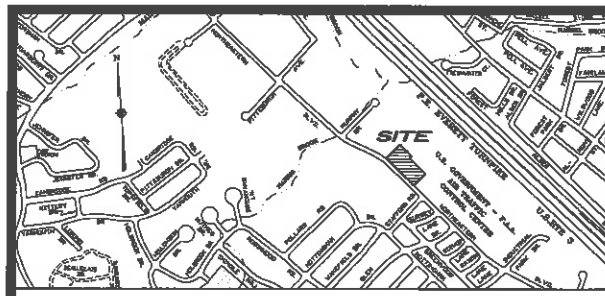
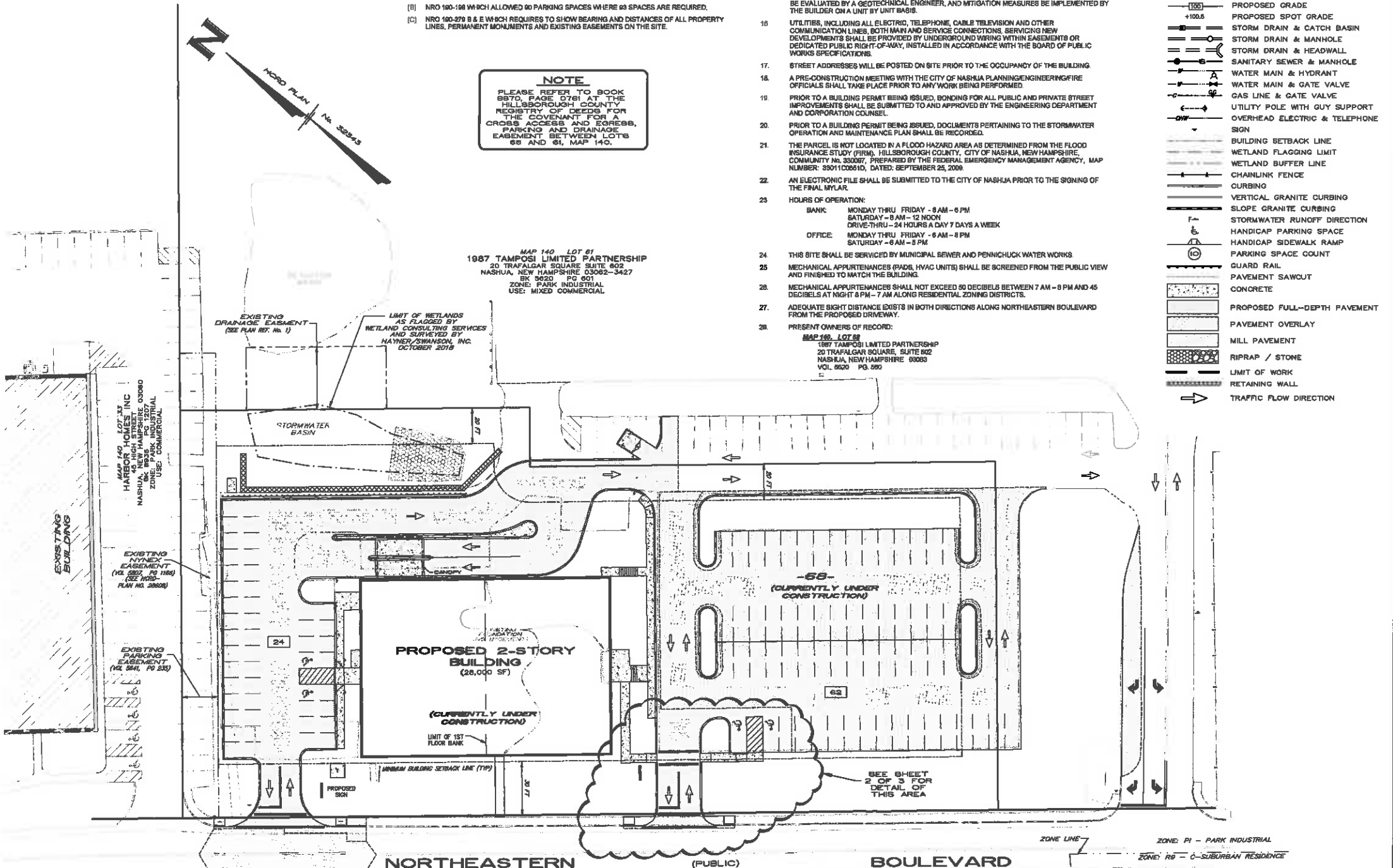
PLEASE REFER TO BOOK 8870, PAGE 0761 AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS FOR THE COVENANT FOR A CROSS ACCESS AND EGRESS, DRAINAGE AND DRAINAGE EASEMENT BETWEEN LOTS 65 AND 61, MAP 140.

NOTES - CONT'D:

- 14. FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION/DRAINAGE SYSTEMS, EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL-DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
- 15. BASEMENTS MAY ENCOUNTER GROUNDWATER CONDITIONS THAT REQUIRE SUBSURFACE GROUNDWATER MITIGATION MEASURES. IT IS RECOMMENDED THAT SUBSURFACE CONDITIONS BE EVALUATED BY A GEOTECHNICAL ENGINEER, AND MITIGATION MEASURES BE IMPLEMENTED BY THE BUILDER ON A UNIT BY UNIT BASIS.
- 16. UTILITIES, INCLUDING ALL ELECTRIC, TELEPHONE, CABLE TELEVISION AND OTHER COMMUNICATION LINES, BOTH MAIN AND SERVICE CONNECTIONS, SERVING NEW DEVELOPMENTS SHALL BE PROVIDED BY UNDERGROUND WIRING WITHIN EASEMENTS OR DEDICATED PUBLIC RIGHT-OF-WAY, INSTALLED IN ACCORDANCE WITH THE BOARD OF PUBLIC WORKS SPECIFICATIONS.
- 17. STREET ADDRESSES WILL BE POSTED ON SITE PRIOR TO THE OCCUPANCY OF THE BUILDING.
- 18. A PRE-CONSTRUCTION MEETING WITH THE CITY OF NASHUA PLANNING/ENGINEERING/FIRE OFFICIALS SHALL TAKE PLACE PRIOR TO ANY WORK BEING PERFORMED.
- 19. PRIOR TO A BUILDING PERMIT BEING ISSUED, BONDING FOR ALL PUBLIC AND PRIVATE STREET IMPROVEMENTS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEERING DEPARTMENT AND CORPORATION COUNSEL.
- 20. PRIOR TO A BUILDING PERMIT BEING ISSUED, DOCUMENTS PERTAINING TO THE STORMWATER OPERATION AND MAINTENANCE PLAN SHALL BE RECORDED.
- 21. THE PARCEL IS NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY NO. 330097, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33011C0061D, DATED: SEPTEMBER 25, 2008.
- 22. AN ELECTRONIC FILE SHALL BE SUBMITTED TO THE CITY OF NASHUA PRIOR TO THE SIGNING OF THE FINAL MYLAR.
- 23. HOURS OF OPERATION:
BANK: MONDAY THRU FRIDAY - 8 AM - 6 PM
SATURDAY - 8 AM - 12 NOON
DRIVE-THRU - 24 HOURS A DAY 7 DAYS A WEEK
OFFICE: MONDAY THRU FRIDAY - 6 AM - 8 PM
SATURDAY - 8 AM - 5 PM
- 24. THIS SITE SHALL BE SERVICED BY MUNICIPAL SEWER AND PENNICHUCK WATER WORKS.
- 25. MECHANICAL APPURTENANCES (PADA, HVAC UNITS) SHALL BE SCREENED FROM THE PUBLIC VIEW AND FINISHED TO MATCH THE BUILDING.
- 26. MECHANICAL APPURTENANCES SHALL NOT EXCEED 50 DECIBELS BETWEEN 7 AM - 8 PM AND 45 DECIBELS AT NIGHT 8 PM - 7 AM ALONG RESIDENTIAL ZONING DISTRICTS.
- 27. ADEQUATE SIGHT DISTANCE EXISTS IN BOTH DIRECTIONS ALONG NORTHEASTERN BOULEVARD FROM THE PROPOSED DRIVEWAY.
- 28. PRESENT OWNERS OF RECORD:
MAP 140, LOT 61
1987 TAMPOSI LIMITED PARTNERSHIP
20 TRAFALGAR SQUARE, SUITE 602
NASHUA, NEW HAMPSHIRE 03062-3427
BK 9620 PG 601
ZONE: PARK INDUSTRIAL
USE: MIXED COMMERCIAL

LEGEND

- EXISTING GROUND CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED GRADE
- PROPOSED SPOT GRADE
- STORM DRAIN & CATCH BASIN
- STORM DRAIN & MANHOLE
- STORM DRAIN & HEADWALL
- SANITARY SEWER & MANHOLE
- WATER MAIN & HYDRANT
- WATER MAIN & GATE VALVE
- GAS LINE & GATE VALVE
- UTILITY POLE WITH GUY SUPPORT
- OVERHEAD ELECTRIC & TELEPHONE SIGN
- BUILDING SETBACK LINE
- WETLAND FLAGGING LIMIT
- WETLAND BUFFER LINE
- CHAINLINK FENCE
- CURBING
- VERTICAL GRANITE CURBING
- SLOPE GRANITE CURBING
- STORMWATER RUNOFF DIRECTION
- HANDICAP PARKING SPACE
- HANDICAP SIDEWALK RAMP
- PARKING SPACE COUNT
- GUARD RAIL
- PAVEMENT SAWCUT
- CONCRETE
- PROPOSED FULL-DEPTH PAVEMENT
- PAVEMENT OVERLAY
- MILL PAVEMENT
- RIPRAP / STONE
- LIMIT OF WORK
- RETAINING WALL
- TRAFFIC FLOW DIRECTION



PLAN REFERENCES:

- 1. SUBMISSION PLAN (SHEET 140/LOT 61), 65 NORTHEASTERN BLVD, NASHUA, NEW HAMPSHIRE, PREPARED FOR: 1987 TAMPOSI LIMITED PARTNERSHIP, SCALE: 1"=50', DATED: MAY 28, 2002 WITH REVISIONS THRU 07/31/02, AND PREPARED BY: HAYNER & SWANSON, ENGINEERING ASSOCIATES, LLC RECORDED: HCRD - PLAN No. 32343
- 2. SITE PLAN (LOT 68, MAP 140), 57 NORTHEASTERN BOULEVARD, NASHUA, NEW HAMPSHIRE, PREPARED FOR: RECORD OWNER: 1987 TAMPOSI LIMITED PARTNERSHIP, DATED: 20 JUNE 2002 WITH REVISIONS THRU 02/04/02, AND PREPARED BY THIS OFFICE ON FILE AT THE CITY OF NASHUA ENGINEERING OFFICE.

NOTES:

- 1. TOTAL SITE AREA: 2.18 ACRES (94,895 SF)
- 2. PRESENT ZONING: P1; PARK INDUSTRIAL

MINIMUM LOT REQUIREMENTS	REQUIRED	PROPOSED
- LOT AREA	30,000 SF	64,895 FT ²
- LOT FRONTAGE	50 FT	454 FT±
- LOT WIDTH	120 FT	464 FT±
- LOT DEPTH	160 FT	VARIES

MINIMUM YARD SETBACKS	REQUIRED	PROPOSED
- FRONT YARD	30 FT	30 FT±
- SIDE YARD	20 FT	99 FT±
- REAR YARD	20 FT	81 FT±
- MAX BUILDING HEIGHT	75 FT	30 FT
- MAX STORIES	5	2

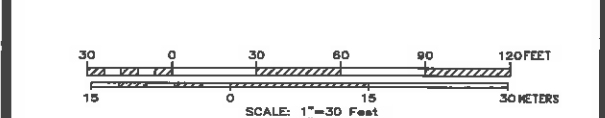
 - 3. ON NOVEMBER 13, 2018 THE NASHUA ZONING BOARD OF ADJUSTMENT GRANTED A VARIANCE TO ALLOW USE OF APPROXIMATELY 25% OF A PROPOSED OFFICE BUILDING FOR A BANK WITH A DRIVE-THRU FACILITY.
 - 4. LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAPS 140 & 'C'.
 - 5. PURPOSE OF PLAN: TO AMEND NR 2014 BY SHOWING A PROPOSED CURB CUT OUT ONTO NORTHEASTERN BOULEVARD.
 - 6. PARKING:

MINIMUM REQUIRED:	OFFICE: 1 SP/1000 SF x 21,000 = SF	= 70 SPACES
	BANK: 1 SP/500 SF x 7,000 = SF	= 28 SPACES
TOTAL REQUIRED:		98 SPACES
PROVIDED: (INCLUDING 4 HANDICAP SPACES)		= 98 SPACES*
* PARKING WAIVER APPROVED		
 - 7. OPEN SPACE: REQUIRED: 20% PROVIDED: 33%
 - 8. MONUMENTS, WHERE REQUIRED, TO BE SET BY A LICENSED LAND SURVEYOR.
 - 9. ALL LANDSCAPING SHALL BE AS SHOWN ON THE PLANS AND CONFORM TO THE APPLICABLE CITY OF NASHUA ZONING REGULATIONS UNDER ARTICLE V, DISTRICT 7.
 - 10. ALL LIGHTING SHALL BE AS SHOWN ON THE PLANS, DIRECTED ONTO THE SITE AND CONFORM TO APPLICABLE CITY OF NASHUA ZONING REGULATIONS.
 - 11. ALL SIGNAGE SHALL CONFORM TO THE APPLICABLE CITY OF NASHUA REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
 - 12. SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION, GRADE AND NUMBER OF PARKING SPACES.
 - 13. IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY OF NASHUA PLANNING BOARD.
 - 14. PUBLIC STREET RESTORATION WORK SHALL BE IN ACCORDANCE WITH N.H.R.C. SECTION 285-13, LATEST EDITION.

NO.	DATE	ADDRESS	TECHNICAL REVIEW COMMITTEE COMMENTS	BY
1	09/30/19			SA

AMENDED MASTER SITE PLAN (MAP 140, LOT 65)
57 NORTHEASTERN BOULEVARD
 NASHUA, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
1987 TAMPOSI LIMITED PARTNERSHIP
 20 TRAFALGAR SQUARE, STE 602 NASHUA, NEW HAMPSHIRE 03063 (603) 883-2000



4 SEPTEMBER 2019

HSI Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors
 3 Congress Street
 Nashua, NH 03063
 (603) 883-2007
 www.hayner-swanson.com

APPROVED
 NASHUA CITY PLANNING BOARD

CHAIRMAN _____ DATE _____

ZONING NOTE

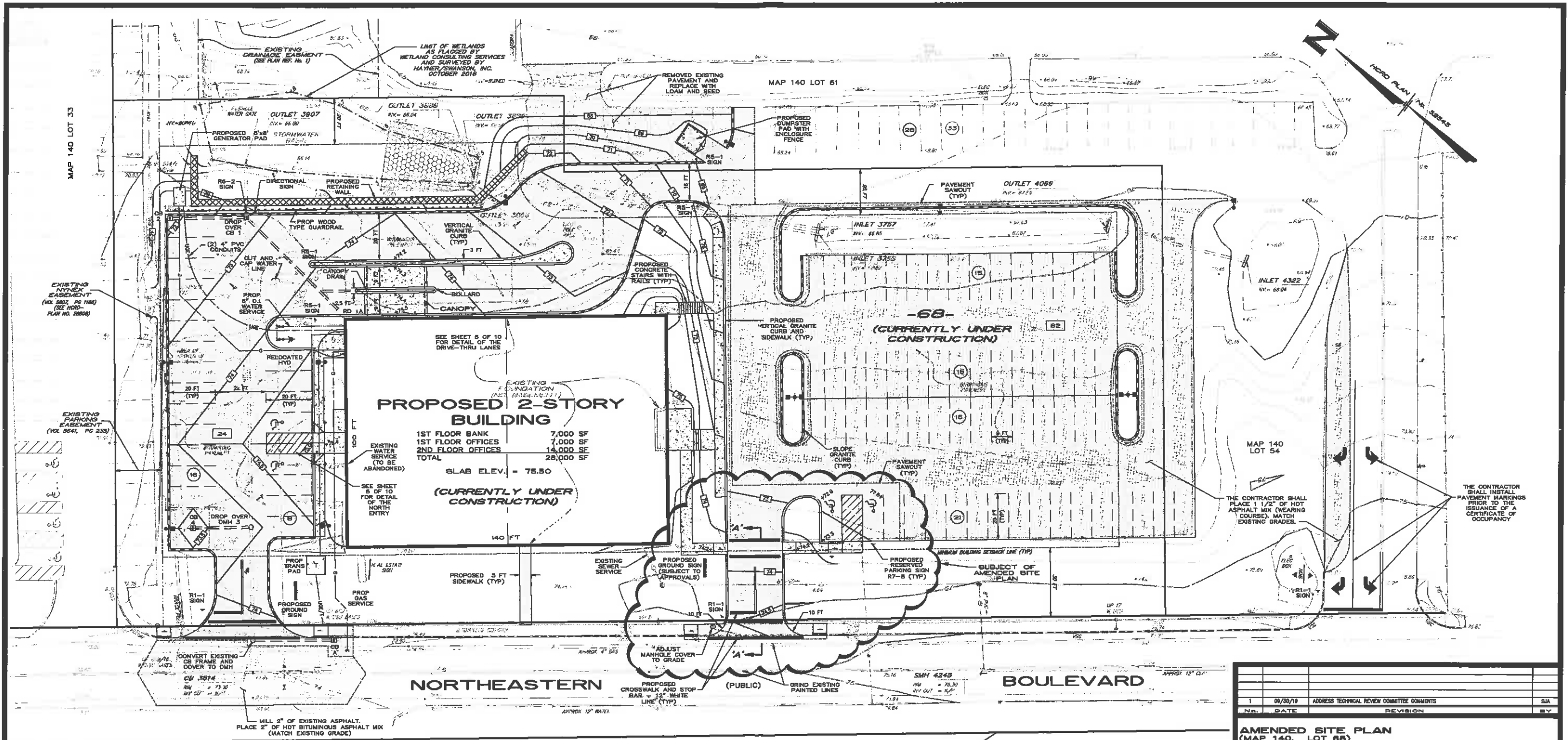
THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETER OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

THE UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE SITE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

By: *Special Partner: Bakker Properties LLC*
Rj. Anna Lopez, Manager 09/20/19
 FOR 1987 TAMPOSI LIMITED PARTNERSHIP DATE

811 DigSafe
 CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION
 digsafe.com
 DIAL 811 or 1-888-DIG SAFE
 1-800-344-7233





PROPOSED 2-STORY BUILDING

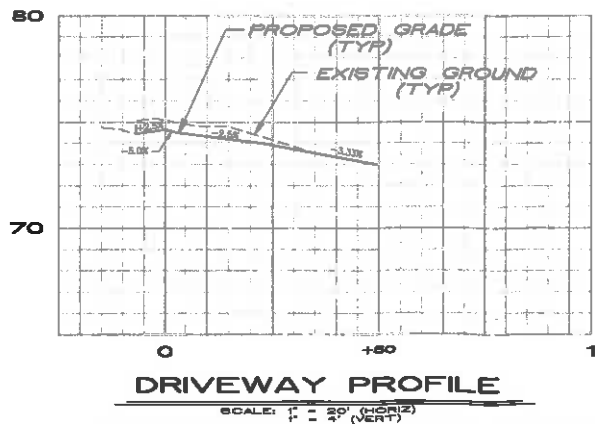
1ST FLOOR BANK 7,000 SF
 1ST FLOOR OFFICES 7,000 SF
 2ND FLOOR OFFICES 14,000 SF
TOTAL 28,000 SF
 SLAB ELEV. = 75.50
 (CURRENTLY UNDER CONSTRUCTION)

MAP 'C' LOT 2025

MAP 'C' LOT 2024

CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF NASHUA, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, LATEST EDITION ARE HEREBY INCORPORATED BY REFERENCE.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
- PRIOR TO ANY WORK BEING STARTED, THE APPLICANT AND THEIR CONTRACTORS SHALL HOLD A PRE-CONSTRUCTION CONFERENCE WITH PLANNING STAFF TO REVIEW SCHEDULING, EROSION AND TRAFFIC CONTROL, AND TREE PROTECTION.
- BLASTING, IF NEEDED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF NASHUA FIRE DEPARTMENT REGULATIONS.
- ALL STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED.
- ROOF DRAIN TIE-INS AND DRAIN LINES SHALL BE INSPECTED PRIOR TO BACKFILLING AND PAVING.



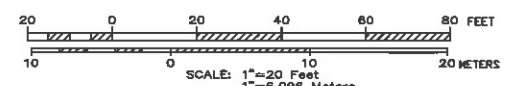
NOTE
 THE EXISTING SEWER SERVICE (FROM NORTHEASTERN BOULEVARD TO EXISTING FOUNDATION) SHALL BE INSPECTED PRIOR TO ISSUANCE OF A BUILDING PERMIT.

NOTE
 THE DRIVE-THRU CANOPY SHALL NOT OVERHANG OVER THE SOUTHBOUND DRIVE ASBLE.



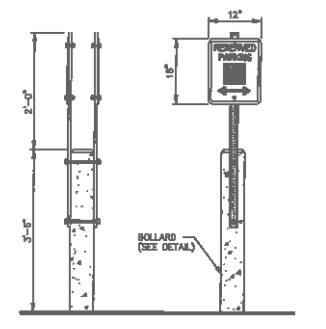
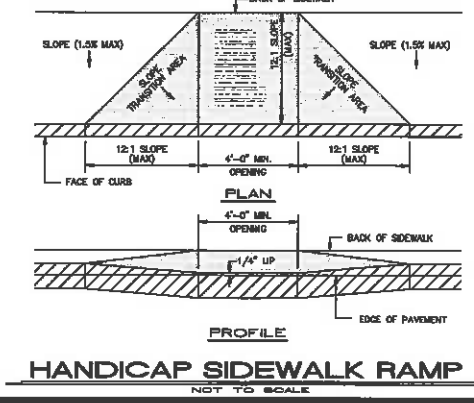
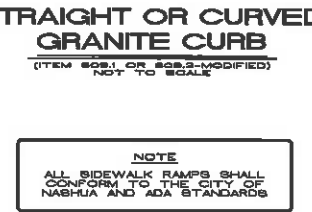
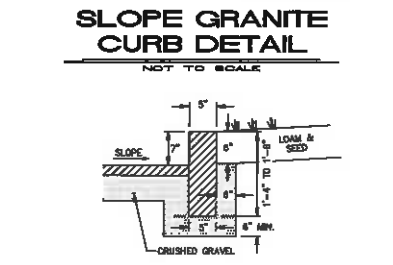
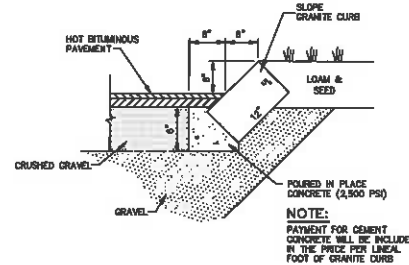
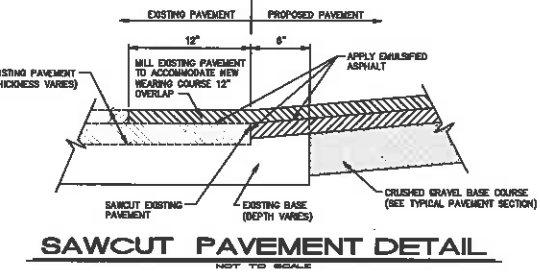
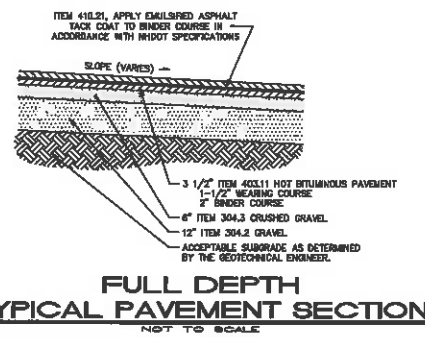
AMENDED SITE PLAN
 (MAP 140, LOT 68)
57 NORTHEASTERN BOULEVARD
 NASHUA, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
1987 TAMPOSI LIMITED PARTNERSHIP
 20 TRAFALGAR SQUARE, STE 602 NASHUA, NEW HAMPSHIRE 03063 (603) 883-2000



4 SEPTEMBER 2019

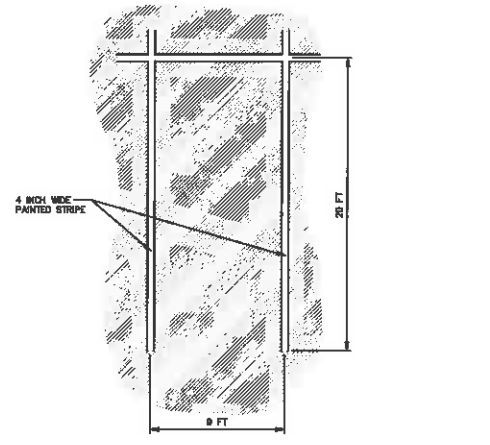
H/S/I Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors
 3 Congress Street
 Nashua, NH 03063
 (603) 883-2027
 www.haynerswanson.com



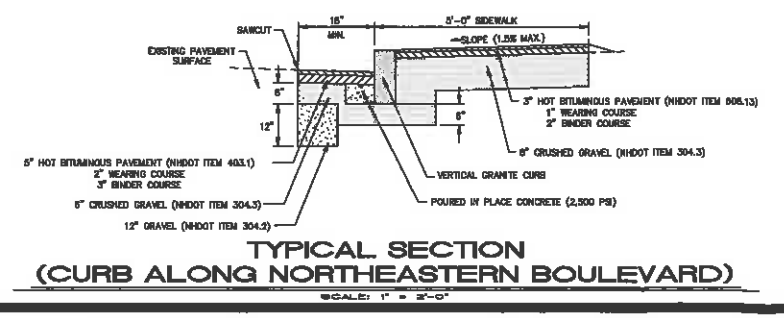
ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE

SIGN LEGEND		
TEXT	IDENTIFICATION NUMBER	SIZE WIDTH/HEIGHT
	R1-1	30" / 30"
	R7-8	12" / 18"
	R7-8P	18" / 9"

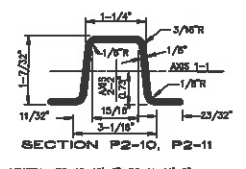
SEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITION



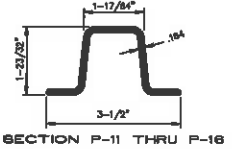
TYP. PARKING STALL DETAIL
NOT TO SCALE



TYPICAL SECTION (CURB ALONG NORTHEASTERN BOULEVARD)
SCALE: 1" = 2'-0"

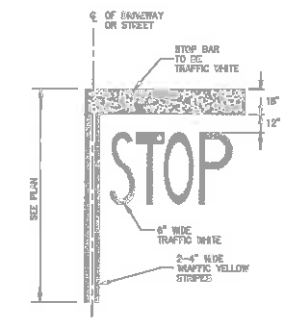


SECTION P2-10, P2-11
LENGTH: P2-10, 10'-0"; P2-11, 11'-0"
WEIGHT PER LINEAR FOOT: 3.00 LBS
SIZE: 3/8" DIA. 1" C-C FULL LENGTH
STEEL: SHALL CONFORM TO ASTM A-199 (GRADE 80) OR ASTM A-276 (GRADE 1018-1020)
FINISH: SHALL BE PAINTED WITH TWO COATS OF BAKED ON OR AIR DRIED PAINT OF RESIN RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING. PAINT SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT.

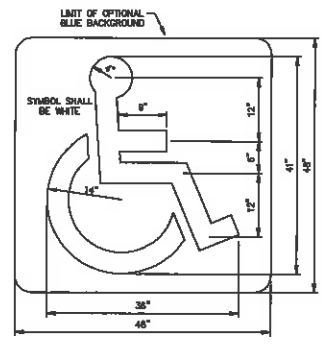


SECTION P-11 THRU P-16
LENGTH: P-11, 11'-0"; P-12, 12'-0"; P-14, 14'-0"; P-15, 15'-0"
WEIGHT PER LINEAR FOOT: 3.00 LBS
STEEL: SAME AS FOR P2-10, P2-11
FINISH: SAME AS FOR P2-10, P2-11
DIMENSIONS SHOWN ARE NOMINAL. ALTERNATE SECTIONS MUST BE APPROVED PRIOR TO USE.

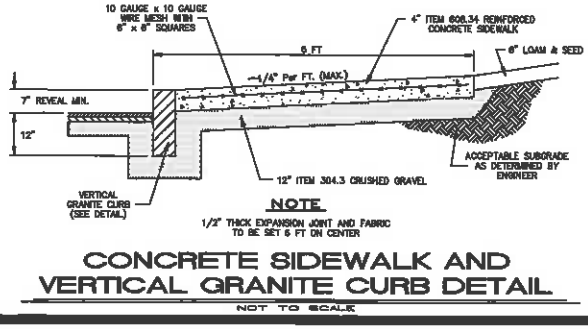
TRAFFIC SIGN SUPPORT DETAIL
NOT TO SCALE



STOP BAR DETAIL
NOT TO SCALE



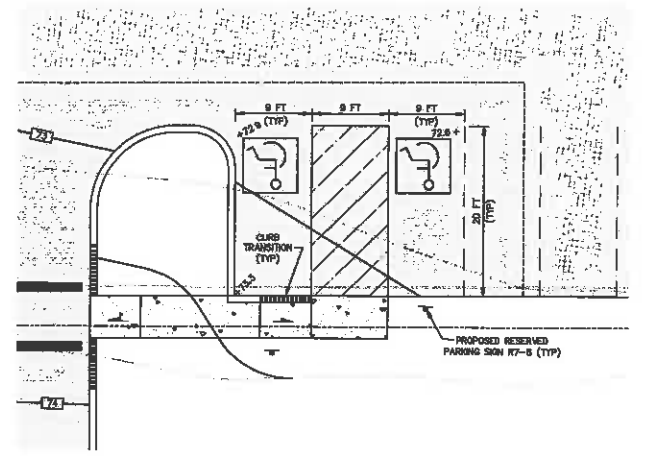
ACCESSIBLE PARKING SPACE PAVEMENT MARKING
NOT TO SCALE



CONCRETE SIDEWALK AND VERTICAL GRANITE CURB DETAIL
NOT TO SCALE



STOP SIGN LOCATION DETAIL
NOT TO SCALE



RESERVED PARKING AREA SOUTH ENTRY
SCALE: 1" = 10'

1	02/20/19	ADDRESS TECHNICAL REVIEW COMMITTEE COMMENTS	SLA
No.	DATE	REVISION	BY

AMENDED DETAIL SHEET
(MAP 140, LOT 68)

57 NORTHEASTERN BOULEVARD
NASHUA, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
1987 TAMPOSI LIMITED PARTNERSHIP
20 TRAFALGAR SQUARE, STE 602 NASHUA, NEW HAMPSHIRE 03063 (603) 883-2000

SCALE AS SHOWN

4 SEPTEMBER 2019

HSL Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street Nashua, NH 03062 (603) 883-2007
131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
www.hayner-swanson.com

FIELD BOOK: 1078 DRAWING NAME: 4852BNK2 9P-F021 4852 BNK2 3 OF 3
DRAWING LOCATION: 2 VAS21PROV\BANK\4852BNK2 3P