

**ABUTTERS:**

LOTS 73, 159 & 161/SHEET 101  
42 LOVELL LLC  
17 MARSHALL STREET  
NASHUA, NH 03080  
ACCT. NO. 19528  
BK. 9129/PG. 1901

LOT 72/SHEET 101  
ROBERT E. MCFADDEN  
38 LOVELL STREET  
NASHUA, NH 03080  
ACCT. NO. 20492  
BK. 7621/PG. 2437

LOT 60/SHEET 101  
62 LAKE LLC  
17 MARSHALL STREET  
NASHUA, NH 03080  
ACCT. NO. 19528  
BK. 9044/PG. 1309

LOT 58/SHEET 101  
EQUIFUND CAPITAL LLC  
186 FARLEY ROAD  
HOLLIS, NH 03049  
ACCT. 23684  
BK. 8857/PG. 1082

LOT 163/SHEET 101  
SUSAN C. DOBENS FAMILY TRUST  
DONALD D. DOBENS, TRUSTEE  
210 PINE STREET U-11  
HOLLIS, NH 03080  
ACCT. NO. 45879  
BK. 8224/PG. 1968

LOT 154/SHEET 101  
JAN C. MENIAR  
44 LOVELL STREET  
NASHUA, NH 03080  
ACCT. NO. 19024  
BK. 8022/PG. 74

LOT 167/SHEET 101  
PETER J. WADDELL, JR.  
CAROLYN A. HARRIS  
1 MARQUIS AVENUE  
NASHUA, NH 03080  
ACCT. NO. 12570  
BK. 9088/PG. 825

LOT 168/SHEET 101  
KALIND RAJHALA  
NANCY L. WASSERMAN  
2 MARQUIS AVENUE  
NASHUA, NH 03080-6400  
ACCT. NO. 18492  
BK. 7117/PG. 530

LOT 164/SHEET 101  
KASTORIA IRREVOCABLE TRUST  
HARRIET PERRY TRUSTEE  
51 LOVELL STREET  
NASHUA, NH 03080-6438  
ACCT. NO. 13806  
BK. 8853/PG. 2193

LOT 78/SHEET 101  
ROBERT L. WEAVER  
49 LOVELL STREET  
NASHUA, NH 03080-6438  
ACCT. NO. 10716  
BK. 8708/PG. 794

MAYNARD & PAQUETTE ENG. ASSOC., LLC  
23 EAST PEARL STREET  
NASHUA, NH 03080

**PLAN REFERNECES:**

1. LAND OF CARRIE P. TYSON, LAKE & LOVELL STREETS, NASHUA, NH BY: G. CALDERWOOD; DATED: OCTOBER 1915; SCALE: 1"=20' H.C.R.D. NO. 606
2. SITE PLAN, 62-64 LAKE STREET, NASHUA, NH; FOR: CPC INVESTMENTS, LLC BY: MAYNARD & PAQUETTE ENG. ASSOC., LLC; DATED: JULY 25, 2017; SCALE: 1"=20'; ON FILE AT THE CITY OF NASHUA PLANNING DEPT.
3. VOLUNTARY MERGER CAVEAT DOCUMENT FOR 3 LOTS, LOTS 73, 159 & 161/SHEET 101 TO BE CONSOLIDATED INTO ONE LOT, LOT 161/SHEET 101. TO BE RECORDED AT H.C.R.D.

**LEGEND**

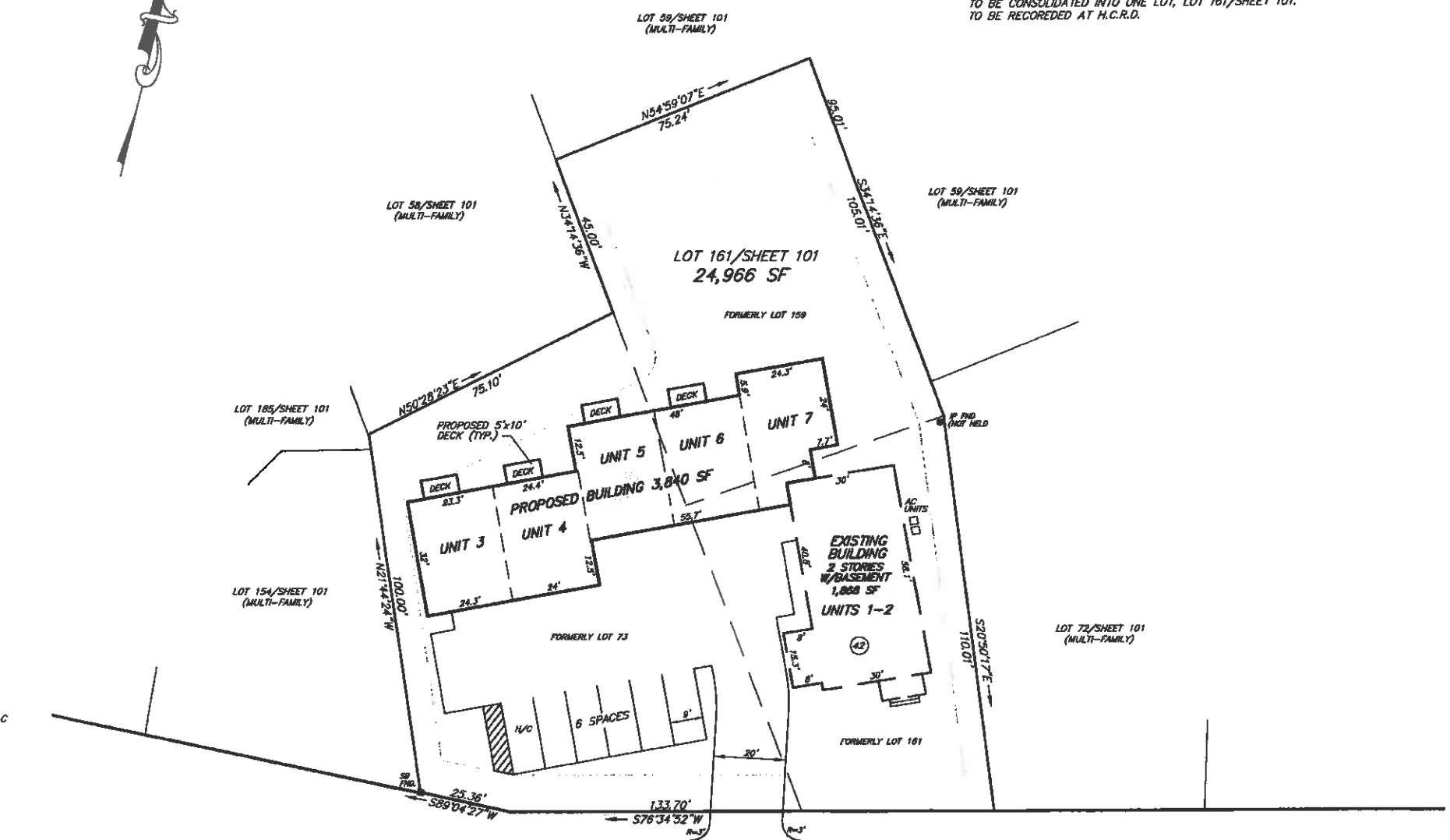
- STONE BOUND FOUND
- STONE BOUND TO BE SET
- IRON PIPE FOUND
- IRON PIPE TO BE SET
- MINIMUM BUILDING SETBACK
- - - EXISTING PAVEMENT
- - - EXISTING BUILDING
- ④ STREET ADDRESS

**VICINITY**

**NOTES:**

1. PRESENT ZONING: "RC" RESIDENTIAL
2. TOTAL LOT AREA: 24,966 SF (LOT 73 - 10,888 SF, LOT 159 - 7,772 SF, LOT 161 - 6,306 SF)
3. EXISTING USE: RESIDENTIAL, MULTI-FAMILY
4. PROPOSED USE: MULTI-FAMILY (7 UNITS)
5. THE PURPOSE OF THIS PLAN IS TO KEEP THE EXISTING TWO-FAMILY BUILDING, AND TO CONSTRUCT AN ADDITIONAL FIVE-UNIT MULTI-FAMILY BUILDING, WITH 2 CAR GARAGE FOR 4 UNITS, FOR A TOTAL OF 7 UNITS. 3 LOTS TO BE CONSOLIDATED BY RECORDED CAVEAT.
6. PARKING REQUIRED: 1.5 SPACES/UNIT; PARKING PROVIDED: 10.5 SPACES; PARKING PROVIDED: 14 SPACES
7. DIMENSIONAL REQUIREMENTS:

	EXISTING	PROPOSED
FRONT YARD SETBACK - 10 FT.	33.5 FEET	33.5 FEET
SIDE YARD SETBACK - 7 FT.	12.5 FEET	48.3 FEET
REAR YARD SETBACK - 20 FT.	106 FEET	21.5 FEET
LOT AREA - 5,000 S.F.	24,966 SF	24,966 SF
LOT WIDTH - 50 FT.	158.28 FEET	158.28 FEET
LOT FRONTAGE - 50 FT.	158.09 FEET	158.09 FEET
LOT DEPTH - 75 FT.	138 FEET	138 FEET
LOT DENSITY - 3.485 SF/UNIT	12.483 SF/UNIT	3.485 SF/UNIT
OPEN SPACE (MIN): 35%	82%	55%
MAX. BLDG. HEIGHT: 100 FT.	34 FT	34 FT
8. IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN IN ANY MANNER WHATSOEVER, OR CONVERT OR ALTER A STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY OF NASHUA.
9. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATIONS OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THIS PLAN, PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND TO INTERFERE WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL MEASURES SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK.
10. SITE IMPROVEMENTS SHALL CONFORM TO TITLE 111 OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSIONS, GRADES AND NUMBER OF SPACES.
11. ALL SIGNS SHALL CONFORM TO CHAPTER 180 DIVISION 91 ARTICLE X OF THE CITY OF NASHUA REVISED ORDINANCES, AND SIGN PERMITS SHALL BE SECURED PRIOR TO INSTALLATION.
12. LIGHTING SHALL BE DIRECTED ON SITE, AWAY FROM TRAFFIC INTERFERENCE, AND SHALL CONFORM TO CHAPTER 180 DIVISION 91 ARTICLE X OF THE CITY OF NASHUA ORDINANCES. NO NEW LIGHTING STANDARDS PROPOSED.
13. LANDSCAPING SHALL CONFORM TO CHAPTER 180 DIVISION 180 ARTICLE XXVII OF THE CITY OF NASHUA ORDINANCES.
14. LOT IS SERVED BY MUNICIPAL SEWER AND PENNACHTUCK WATER WORKS.
15. FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN ON SITE INVESTIGATION BY A PROFESSIONAL ENGINEER ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
16. PRIOR TO ANY WORK BEING CONDUCTED ON AN ON SITE A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PLANNING STAFF AND OTHER CITY DEPARTMENTS AS NECESSARY TO REVIEW THE PROPOSED WORK.
17. N.H.P.P. F.L.R.M. COMMUNITY PANEL NUMBER 3301100652E INDICATES THAT THE SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAN.
18. THE SITE IS NOT LOCATED WITHIN THE WATERSHED PROTECTION DISTRICT.
19. STREET RESTORATION SHALL BE IN ACCORDANCE WITH CHAPTER 285 DIVISION 13 ARTICLE II OF THE CITY OF NASHUA ORDINANCES. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED TO THE SATISFACTION OF THE DIVISION OF PUBLIC WORKS. (NO NEW PUBLIC R.O.W.'S THIS PROJECT)
20. PLAN COMPLIES WITH MINIMUM REQUIREMENTS.
21. THERE ARE NO WETLANDS ON-SITE.
22. ROOF DRAIN TIE-INS AND DRAIN LINES WILL BE INSPECTED PRIOR TO BACKFILLING AND PAVING.
23. TRASH PICKUP TO BE INDIVIDUAL CONTAINERS FOR EACH UNIT (NO DUMPSTER).



NO.	DATE	REVISIONS PER C. FAULK, 5/2/2019 MEMO	APB	BY
2	7/1/2019	REVISIONS PER C. FAULK, 5/2/2019 MEMO	APB	BY
1	5/20/2019	REVISIONS PER PLANNING, FIRE, & ENGINEERING DEPT. COMMENTS	APB	BY

APPROVED BY THE CITY OF NASHUA PLANNING BOARD

CHAIRMAN	DATE
SECRETARY	DATE

THE UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

*[Signature]*  
42 LOVELL LLC  
DATE: 3/17/19

I CERTIFY THAT THIS PLAN WAS PREPARED FROM A FIELD SURVEY MADE ON THE GROUND ON FEBRUARY 2019 AND PLAN REFERENCE 1 AND IS IN ACCORDANCE WITH THE REGULATIONS OF THE CITY OF NASHUA.

SITE PLAN  
**42 LOVELL STREET**  
NASHUA, NEW HAMPSHIRE

PREPARED FOR:  
42 LOVELL LLC  
17 MARSHALL STREET  
NASHUA, NH 03080  
PHONE: 603-880-9988

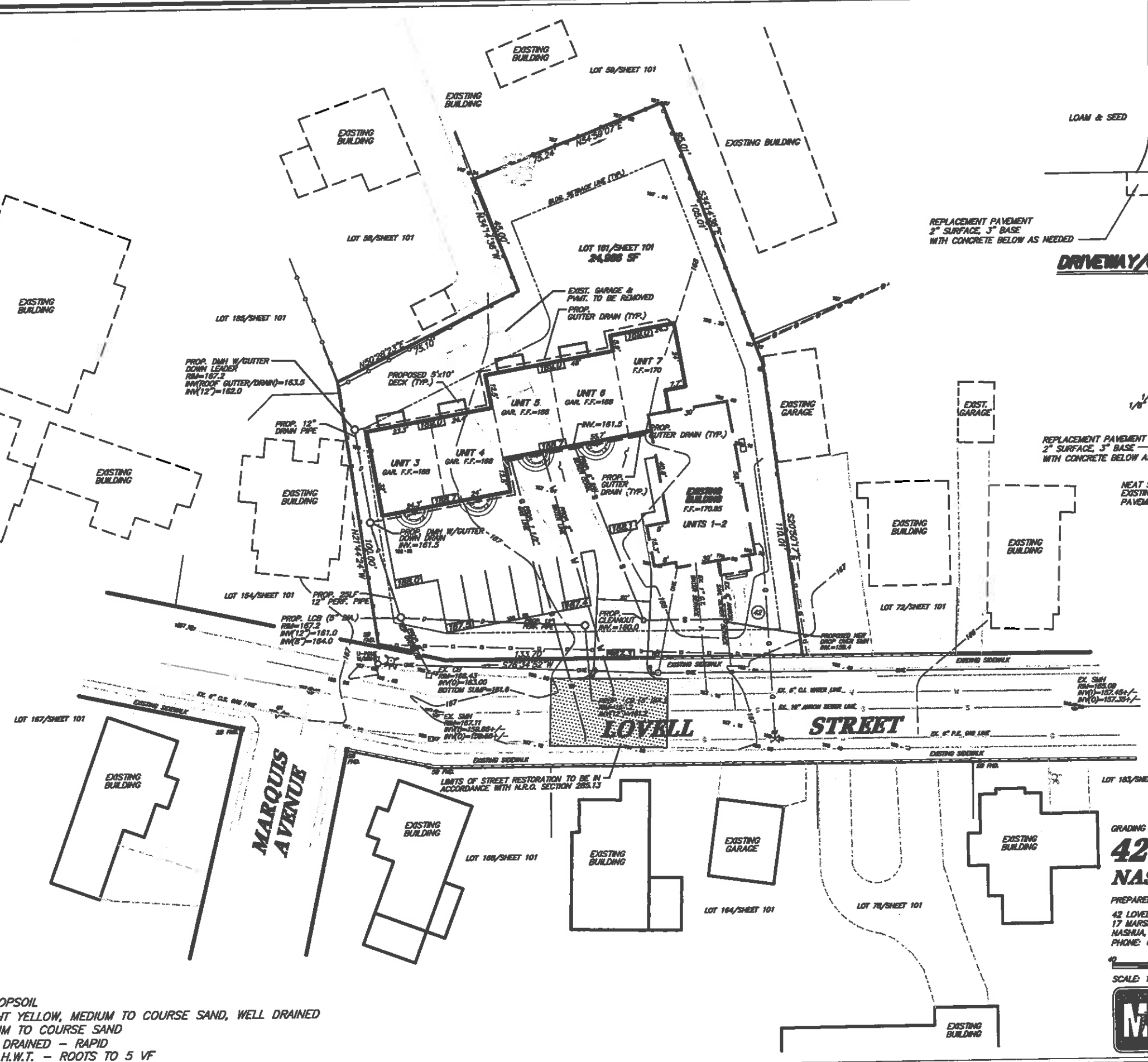
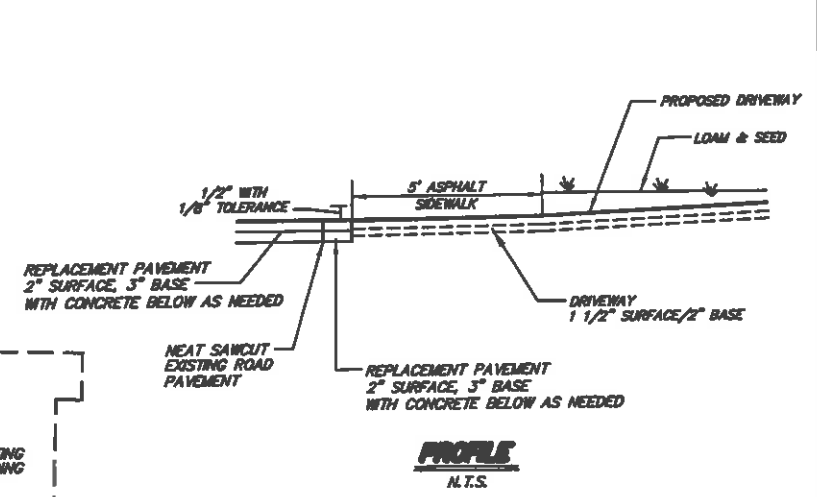
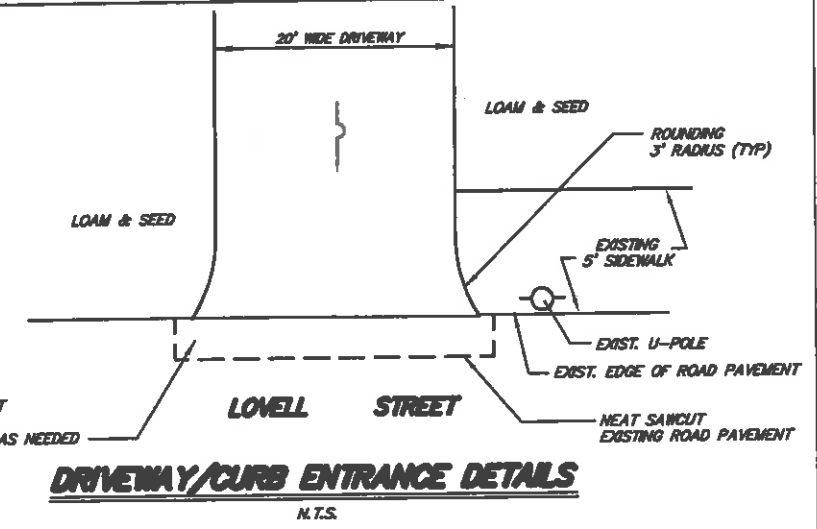
SCALE: 1" = 20'      DATE: FEBRUARY 6, 2019

**Maynard & Paquette**  
Engineering Associates, LLC  
Consulting Engineers and Land Surveyors  
31 Quincy Street, Nashua, N.H. 03080  
Phone: (603)883-8433 Fax: (603)883-7227

DESIGNED	DRAFTED	CHECKED	APPROVED	BOOK & PAGE	REVISION	DATE	JOB NUMBER
KPM	APB	RAM				D	12621

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 DWG. NO. **1**  
 OF 6





**TEST PIT**  
 0" TO 8" - DARK TOPSOIL  
 8" TO 6 FT - BRIGHT YELLOW, MEDIUM TO COURSE SAND, WELL DRAINED  
 MEDIUM TO COURSE SAND  
 WELL DRAINED - RAPID  
 NO S.H.W.T. - ROOTS TO 5 FT

GRADING / LIGHTING PLAN  
**42 LOVELL STREET**  
 NASHUA, NEW HAMPSHIRE

PREPARED FOR:  
 42 LOVELL LLC  
 17 MARSHALL STREET  
 NASHUA, NH 03080  
 PHONE: 603-880-9088

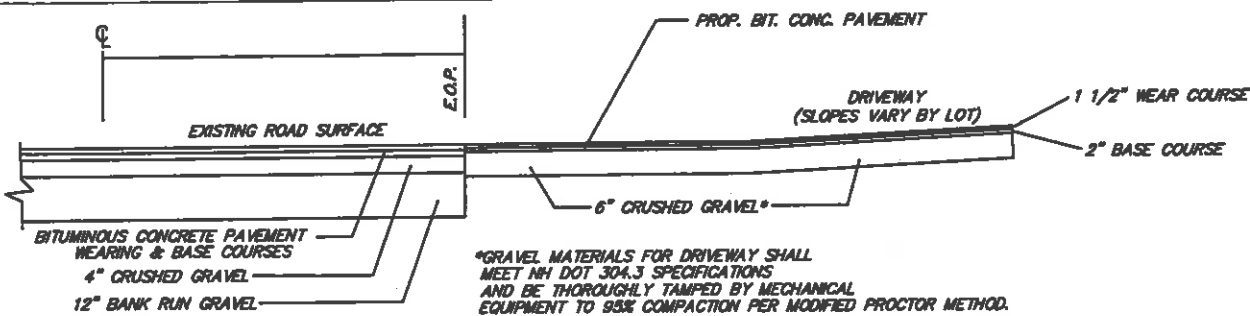
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 Engineering Associates, LLC  
 Consulting Engineers and Land Surveyors  
 31 Quinoy Street, Nashua, N.H. 03080  
 Phone: (603)883-8433 Fax: (603)883-7227

NO.	DATE	REVISIONS PER PLANNING, PREP & ENGINEERING DEPT. COMMENTS
1	2/20/2019	AS SHOWN

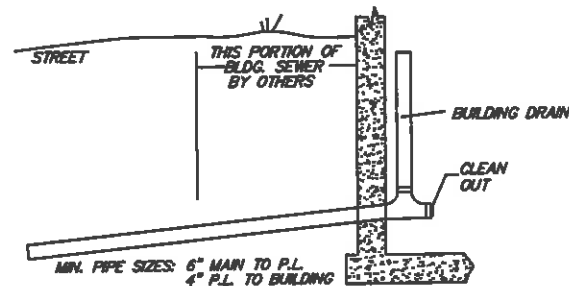
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**TYPICAL DRIVEWAY SECTION**

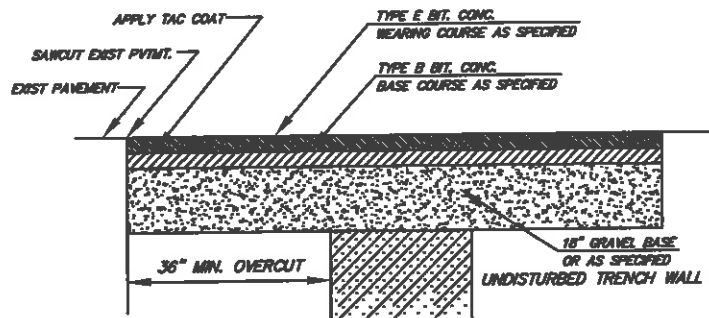
N.T.S.



NOTES: 1. BLDG. SEWER MAY ALSO BE LOCATED BELOW BASEMENT FLOOR WHEN REQUIRED.  
2. MINIMUM SLOPE FROM MAIN TO PROPERTY LINE = 2%

**SEWER SERVICE CONNECTION**

N.T.S.



**PAVEMENT PATCH DETAIL**

N.T.S.

NOTES: SERVICE CONNECTION IN EXISTING PAVED PUBLIC ROW

**1.0 GENERAL**

- 1.1 CONTRACTOR IS RESPONSIBLE TO MAKE ALL PROPER NOTIFICATIONS TO UTILITIES AND OBTAIN REQUIRED PERMITS FROM GOVERNMENTAL AUTHORITIES IN CHARGE OF THE PUBLIC RIGHT OF WAY TO BE DISTURBED PRIOR TO START OF CONSTRUCTION.
- 2.0 CUTTING AND REMOVING PAVEMENT
  - 2.1 CUTTING AND REMOVING SHALL BE MINIMIZED.
  - 2.2 PAVEMENT AHEAD OF THE EXCAVATION SHALL BE SAW CUT BEFORE BREAKING AND REMOVING IT WITHIN THE EXCAVATION LIMITS.
  - 2.3 SAWING AND PAVEMENT REMOVAL SHALL BE DONE SO AS TO PRODUCE CLEAN, UNIFORM, VERTICAL EDGES WITHOUT DAMAGE TO THE REMAINING PAVEMENT AND/OR UNDERMINING BY TRENCH EXCAVATION.
- 3.0 TRENCH EXCAVATION
  - 3.1 THE CONTRACTOR SHALL FURNISH, PUT IN PLACE, AND MAINTAIN SHEETING AND BRACING IF REQUIRED TO SUPPORT THE SIDES OF THE EXCAVATION TO PREVENT LOSS OF GROUND WHICH COULD DAMAGE OR DELAY WORK OR ENDANGER ADJACENT STRUCTURES OR CAUSE UNDERMINING OF EXISTING PAVEMENT.
  - 3.2 ALL APPROPRIATE STEPS SHALL BE TAKEN BY CONTRACTOR TO DEWATER THE TRENCH.
- 4.0 PIPE INSTALLATION AND BEDDING
  - 4.1 REFER TO PLANS FOR SIZE AND MATERIAL OF PIPE AND STANDARD TRENCH SECTION DETAIL FOR BEDDING.
- 5.0 BACKFILL
  - 5.1 AS SOON AS PRACTICABLE AFTER THE PIPE HAS BEEN LAID, JOINTED, PROPERLY BEDED (AND TESTED, IF REQUIRED) BACKFILLING SHALL BEGIN AND THEREAFTER BE PROSECUTED EXPEDITIOUSLY.
  - 5.2 BACKFILL OF THE REMAINDER OF THE TRENCH TO BE IN ACCORDANCE WITH THE STANDARD TRENCH SECTION DETAIL.
- 6.0 PAVEMENT REPLACEMENT

- 6.1 NO PERMANENT PAVEMENT SHALL BE PLACED OVER A BACKFILLED TRENCH WITHIN 60 DAYS AFTER COMPLETION OF THE BACKFILLING UNLESS PERMITTED TO DO SO IN WRITING BY THE TOWN/CITY ENGINEER. REPAIRING MAY BE DELAYED FOR A LONGER TIME IF THE TOWN/CITY ENGINEER SO DIRECTS.
- 6.2 CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN APPROVAL OF QUALIFIED FACILITY TO SUPPLY PERMANENT BITUMINOUS PAVEMENT MIXTURE FROM TOWN/CITY ENGINEER PRIOR TO START OF PAVEMENT REPLACEMENT.
- 6.3 THE PERMANENT PAVEMENT SHALL CONSIST OF A 5-1/2 INCH BASE COURSE OF TYPE B AND 1-1/2 INCH COURSE OF TYPE E HOT BITUMINOUS PAVEMENT MIXTURE LISTED BELOW.

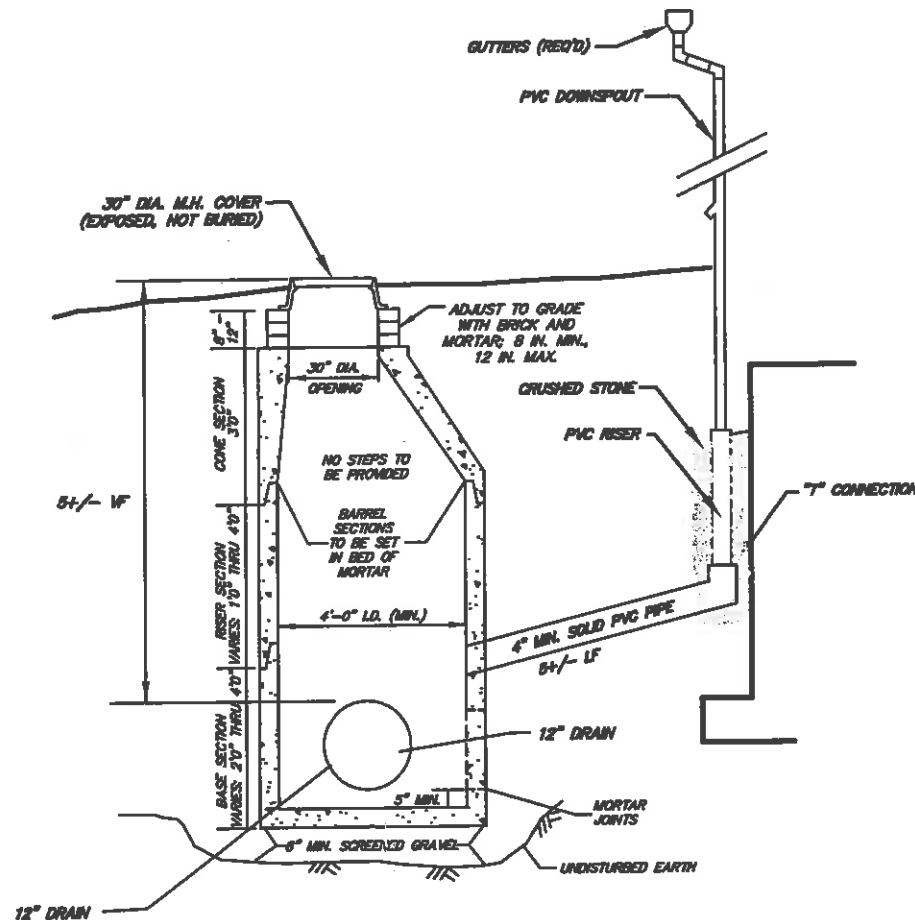
PERCENTAGE BY WEIGHT PASSING - COMBINED AGGREGATE WEARING COURSE

SIEVE SIZE	TYPE B			TYPE E		
	MIN	DESIRED	MAX	MIN	DESIRED	MAX
3/4"	95	100	100	-	-	-
1/2"	70	81	82	85	100	100
3/8"	60	71	80	85	90	95
NO.4	42	50	57	60	68	75
NO.10	28	32	38	38	48	50
NO.20	18	20	24	24	27	32
NO.40	9	13	17	14	19	23
NO.80	3	7	11	6	11	14
NO.200	0	3	4	2	3	6

ASPHALT CEMENT: 5% OF MIX

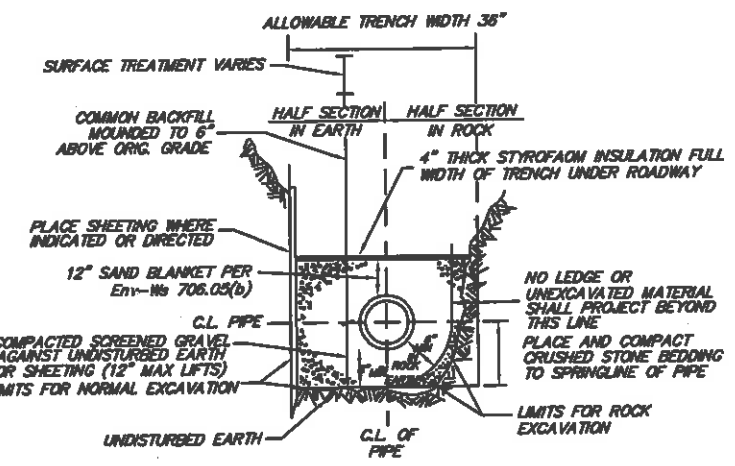
ASPHALT CEMENT	4.8	5.25	6.0	6.0	6.4	7.0
ASPHALT CEMENT	4.8	5.25	6.0	6.0	6.4	7.0

- 6.4 IMMEDIATELY PRIOR TO LAYING THE BINDER AND WEARING COURSES, TRIMMED EDGES SHALL BE STABLE AND UNYIELDING, FREE OF LOOSE OR BROKEN PIECES AND ALL EDGES SHALL BE THOROUGHLY BROOMED AND COATED WITH AN ASPHALT TACK COAT. BROOM THE ENTIRE BINDER COURSE PRIOR TO PLACING WEARING COURSE.
- 6.5 THE WEARING COURSE SHALL BE ROLLED UNTIL THOROUGHLY COMPACTED BY A ROLLER WEIGHING APPROXIMATELY 10 TONS, BUT NOT HEAVY ENOUGH TO DAMAGE THE EXISTING ADJACENT PAVEMENT.



**DMH W/GUTTER DOWNSPOUT**

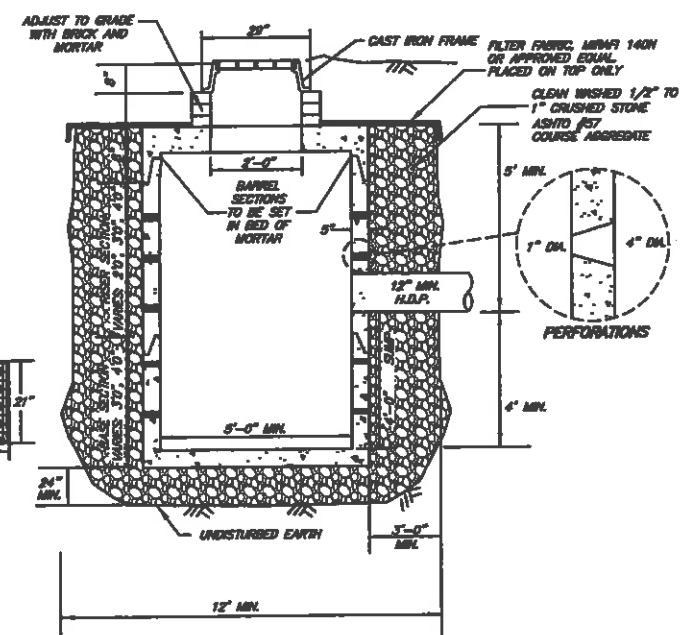
N.T.S.  
(FOR NEW CONSTRUCTION ONLY)



**TYP. GRAVITY SEWER TRENCH**

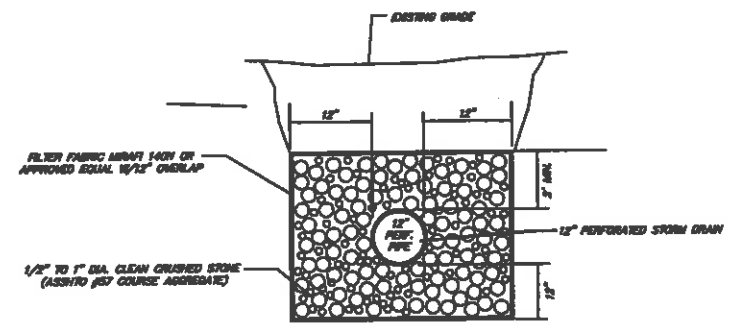
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- NOTES:
1. BASE SECTION SHALL BE PERFORATED. SEDIMENT SHALL BE REMOVED ON A REGULAR SCHEDULED BASIS BY OWNER PER STORMWATER MAINTENANCE DOCUMENTS.
  2. STRUCTURE DESIGN AND REINFORCEMENT SHALL CONFORM TO ASTM C478, A118, AND CITY OF NASHUA SPECIFICATIONS. CONCRETE SHALL BE 4000 PSI MIN.
  3. STONE SHALL MEET AASHTO #57 COURSE AGGREGATE. STONE WITH 100% PASSING 1 1/2\"/>



**TYP. LEACHING CATCH BASIN (A/K/A Cistern)**

N.T.S.



**PERFORATED STORM DRAIN**

N.T.S.

CONSTRUCTION DETAILS LOTS 73, 159 & 161/SHEET 101

**42 LOVELL STREET**  
NASHUA, NEW HAMPSHIRE

PREPARED FOR:  
42 LOVELL LLC  
17 MARSHALL STREET  
NASHUA, NH 03060  
PHONE: 603-880-9888

SCALE: 1" = 20"

DATE: FEBRUARY 6, 2019

**MP** **Maynard & Paquette**  
Engineering Associates, LLC  
Consulting Engineers and Land Surveyors  
31 Quinoy Street, Nashua, NH 03060  
Phone: (603)883-8433 Fax: (603)883-7227

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**NOTES:**

1. ALL PLANTINGS SHALL CONFORM TO CITY OF NASHUA LAND USE CODE DIVISION 190 ARTICLE XXV.
2. ALL NEWLY PLANTED VEGETATIVE MATERIAL SHALL MEET THE MINIMUM AMERICAN STANDARD FOR NURSERY STOCK STANDARDS AT THE TIME OF PLANTING, AND SHALL BE GUARANTEED FOR ONE YEAR AFTER PLANTING.
3. LANDSCAPED AREAS SHALL BE ROUTINELY MAINTAINED FREE OF DEBRIS AND LITTER AND IN GOOD CONDITION, WITH REGULAR MOWING OF GRASS, SO AS TO PRESENT A NEAT, HEALTHY AND ORDERLY APPEARANCE. MAINTENANCE SHALL INCLUDE THE REPLACEMENT OF ALL DEAD PLANT MATERIAL WITHIN THE GUARANTEED CONTRACT PERIOD.
4. PLANT SPECIES SHOWN ON THIS PLAN MAY BE SUBSTITUTED WITH OTHER PLANTS WITHIN THEIR RESPECTIVE CATEGORIES AT THE DISCRETION OF THE OWNER/INSTALLER.
5. THE TOTAL NUMBER OF PLANTS LISTED WITHIN EACH CATEGORY REPRESENTS THE MINIMUM NUMBER OF PLANTS TO BE INSTALLED. ADDITIONAL PLANTINGS MAY BE ADDED AT THE DISCRETION OF THE OWNER/INSTALLER.

**PLANT LIST**

- ARBORVITAE - EMERALD GREEN, 5'-6"
- DOGWOOD/ORNAMENTAL SHADE TREES, 2" C
- BOXWOOD, 24"
- DWARF SPIREA, 18"-24"
- DWARF P.A.M., 18"-24"
- NINE BARK, 3'-4'
- SPIREA-BRIDE WREATH, 3'-4'

NO.	DATE	REVISIONS AND COMMENTS
1	02/06/2019	REVISIONS FOR PLANNING, PER & ENGINEERING DEPT. COMMENTS
2	02/06/2019	REVISION
3	02/06/2019	APP BY

**TEST PIT**

0" TO 8" - DARK TOPSOIL  
 8" TO 6 FT - BRIGHT YELLOW, MEDIUM TO COURSE SAND, WELL DRAINED  
 MEDIUM TO COURSE SAND  
 WELL DRAINED - RAPID  
 NO S.H.W.T. - ROOTS TO 5 VF

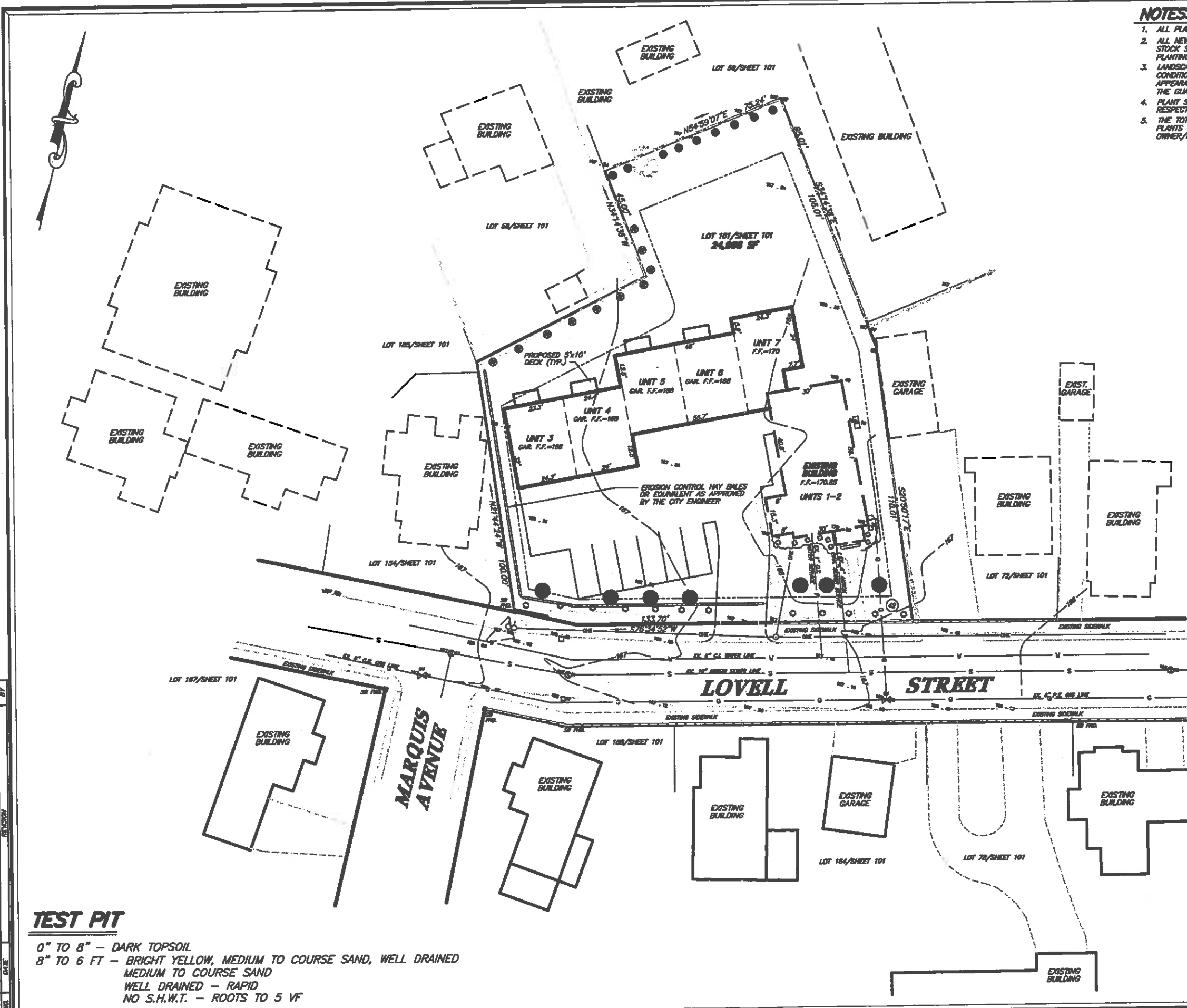
LANDSCAPING & EROSION CONTROL PLAN  
**42 LOVELL STREET**  
 NASHUA, NEW HAMPSHIRE

PREPARED FOR:  
 42 LOVELL LLC  
 17 MARSHALL STREET  
 NASHUA, NH 03080  
 PHONE: 603-880-9088

SCALE: 1" = 20'  
 DATE: FEBRUARY 6, 2019

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KPM	APB	RAM		D	12621
DESIGN	DRAWN	CHECKED	APPROVED	DATE	SHEET NUMBER



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