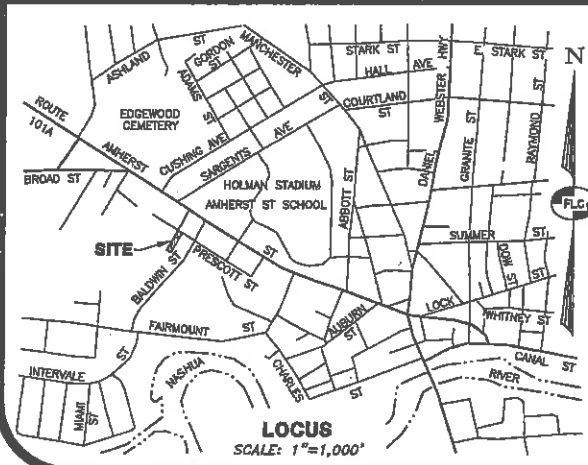


- NOTES:**
- THE OWNER OF RECORD FOR TAX MAP 62 LOT 35 IS NORALBA VALDEZ-VASQUEZ, 39 PRESCOTT STREET, NASHUA, NH 03064. DEED REFERENCE TO PARCEL IS VOL. 8868 PG. 618, DATED JUNE 5, 2003 IN THE H.C.R.D.
 - THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING SITE IMPROVEMENTS LOCATED ON TAX MAP PARCEL 62-35 TOGETHER WITH A PROPOSED BUILDING ADDITION.
 - THE TOTAL AREA OF TAX MAP PARCEL 62-35 IS 0.219 ACRES PER ASSESSING CARD.
 - LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAP 62.
 - ZONING FOR BOTH PARCELS IS THE "B" URBAN RESIDENCE DISTRICT (R-B).
- | R-B ZONE CONVENTIONAL | REQUIRED | EXISTING LOT 62-35 | PROPOSED LOT 62-35 |
|-------------------------|----------|--------------------|--------------------|
| MIN LOT AREA | 8,000 SF | 8,500 SF | 9,500 SF |
| MIN LOT WIDTH | 50 FT | 50 FT | 50 FT |
| MIN LOT FRONTAGE | 50 FT | 60 FT | 60 FT |
| MIN LOT DEPTH | 60 FT | 167 FT | 187 FT |
| MIN FRONT SETBACK | 10 FT | 7.8 FT | 7.8 FT |
| MIN SIDE SETBACK | 7 FT | 3.6 FT | 3.6 FT |
| MIN REAR SETBACK | 20 FT | 91.1 FT | 74.4 FT |
| MAX. BUILDING HEIGHT | 45 FT | <45 FT | <45 FT |
| MAX. STORES | 3 ST | 2 ST | 2 ST |
| CONSERVATION AREA | NA | NA | NA |
| OPEN SPACE FOR EACH LOT | 35 | 51.6% | 36.0% |
- THE SURFACE FEATURES AND BOUNDARY INFORMATION SHOWN WERE DEVELOPED FROM THE REFERENCE PLANS CITED AND A PRECISE FIELD SURVEY BY THIS OFFICE DURING THE MONTH OF MAY, 2018. THE NASHUA CITY DATUM HAS BEEN USED ON THIS PROJECT. NASHUA CITY DATUM TO NVD 1929 DATUM = + 90.47'. HORIZONTAL ORIENTATION IS BASED ON REFERENCE PLAN #2. DIVERGENT ELEVATIONS ARE PER REFERENCE PLAN #2.
 - JURISDICTIONAL WETLANDS WERE NOT FOUND ON THE SUBJECT PARCEL PER AN ON SITE FIELD INVESTIGATION BY CHRISTOPHER A. GUIDA, C.W.S. IN MAY 2018 IN ACCORDANCE WITH THE "CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, DATED JANUARY 1987".
 - THE SITE IS NOT LOCATED WITHIN THE WATER SUPPLY PROTECTION DISTRICT.
 - THE SITE IS CURRENTLY SERVICED BY OVERHEAD UTILITIES.
 - THE SUBJECT PARCEL IS NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE COMMUNITY NO. 33087, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 3301100510D, DATED: SEPTEMBER 25, 2009.
 - TO THE BEST OF MY KNOWLEDGE AND BELIEF, THERE ARE NO KNOWN EASEMENTS, RESTRICTIONS OR ENCUMBRANCES ON THE PROPERTIES.
 - A DRIVEWAY PLAN SHALL BE APPROVED BY THE ENGINEERING DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
 - THE PROPOSED BUILDING ADDITION WILL BE 1 STORY WITH NO BASEMENT.
 - PROPOSED BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS, EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
 - PRIOR TO A BUILDING PERMIT BEING ISSUED, DOCUMENTS PERTAINING TO THE STORM WATER OPERATION AND MAINTENANCE AND ANY EASEMENTS SHALL BE SECURED.
 - THE PROPOSED BUILDING ADDITION SHALL BE SERVICED BY ALL EXISTING UTILITIES.
 - THERE ARE NO LANDSCAPE AND BUFFER REQUIREMENTS FOR AN URBAN RESIDENCE DISTRICT (R-B) ADJOINING ANOTHER URBAN RESIDENCE DISTRICT. THEREFORE, THE REQUIREMENTS HAVE BEEN MET.
 - PARKING CALCULATION: 3 1-FAMILY DWELLINGS
MINIMUM REQUIRED: 1.5 SPACES / UNIT = 4.5 SPACES
MAXIMUM ALLOWED: 1.9 SPACES / UNIT = 5.7 SPACES
TOTAL PROVIDED: 5 SPACES
 - THERE ARE NO PROPOSED DUMPSTERS ON-SITE. TRASH WILL BE REMOVED BY THE CITY OF NASHUA.
 - ALL SIGNAGE SHALL CONFORM TO APPLICABLE CITY OF NASHUA ZONING REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
 - IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN IN ANY WAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
 - SITE IS SERVICED BY MUNICIPAL SEWER AND WATER BY PENNICKLUCK WATER WORKS.
 - PRIOR TO ANY WORK BEING CONDUCTED A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PLANNING STAFF AND OTHER CITY DEPARTMENTS AS NECESSARY TO REVIEW WORK PROPOSED.
 - THE TR WORKSHEET SHOWS THAT THERE IS NO SIGNIFICANT TRAFFIC IMPACT.
 - ROOF DRAIN TIE-INS AND DRAIN LINES WILL BE INSPECTED PRIOR TO BACKFILLING AND PAVING.

NOTES (CONTINUED):

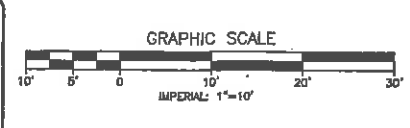
26. A VARIANCE FROM LAND USE CODE SECTION 190-16 WAS GRANTED BY THE NASHUA ZONING BOARD OF ADJUSTMENT ON AUGUST 14, 2018, ALLOWING FOR A REDUCED MINIMUM LAND AREA.

27. LOTS 62-206 & 62-35 HAVE BEEN CONSOLIDATED INTO A SINGLE LOT NOW KNOWN AS LOT 62-35. SEE RECORDED LOT LINE MERGER FORM BY BK.9080 PG.897 IN THE H.C.R.D.



LEGEND:

EXISTING FEATURES	PROPOSED FEATURES
RIGHT-OF-WAY LINE	EDGE OF PAVEMENT
BOUNDARY LINE	2 FT. CONTOUR
ADJOINING LOT LINE	10 FT. CONTOUR
BUILDING SETBACK LINE	SINGLE/GUTTER LINE
EDGE OF PAVED ROAD	SILT FENCE
CURBS	SILT SACK
EDGE OF GRAVEL PARKING	LEACHING CATCH BASIN
CHAIN-LINK FENCE	
STOCKADE FENCE	
10' CONTOUR INTERNAL	
72' CONTOUR INTERNAL	
OVERHEAD UTILITIES	
SEWER LINE	
WATER LINE	
GAS LINE	
URBAN LINE	
EXISTING FEATURES (continued)	PROPOSED FEATURES (continued)
RIGHT-OF-WAY LINE	PAVED AREA
BOUNDARY LINE	PAVEMENT TO BE REMOVED
ADJOINING LOT LINE	PROPOSED BUILDING
BUILDING SETBACK LINE	TO BE REMOVED
EDGE OF PAVED ROAD	
CURBS	
EDGE OF GRAVEL PARKING	
CHAIN-LINK FENCE	
STOCKADE FENCE	
10' CONTOUR INTERNAL	
72' CONTOUR INTERNAL	
OVERHEAD UTILITIES	
SEWER LINE	
WATER LINE	
GAS LINE	
URBAN LINE	
EXISTING FEATURES (continued)	PROPOSED FEATURES (continued)
RIGHT-OF-WAY LINE	
BOUNDARY LINE	
ADJOINING LOT LINE	
BUILDING SETBACK LINE	
EDGE OF PAVED ROAD	
CURBS	
EDGE OF GRAVEL PARKING	
CHAIN-LINK FENCE	
STOCKADE FENCE	
10' CONTOUR INTERNAL	
72' CONTOUR INTERNAL	
OVERHEAD UTILITIES	
SEWER LINE	
WATER LINE	
GAS LINE	
URBAN LINE	



CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION
DIGSAFE.COM
 OR DIAL 8 1 1
 IT'S SMART, IT'S FREE, IT'S THE LAW

CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN COMPLIES WITH THE MINIMUM REQUIREMENTS OF SECTION 190-279 OF THE NASHUA LAND USE CODE.

- REFERENCE PLANS:**
- "LOT LINE RELOCATION PLAN - LOTS 36 & 167/SHEET 62 - 40 & 42 PRESCOTT STREET NASHUA, NEW HAMPSHIRE", SCALE: 1"=20', DATED MARCH 9, 2015, LAST REVISED 5/20/15 BY MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC, RECORDED IN THE H.C.R.D. AS PLAN #38483 DWR #179.
 - "EXISTING CONDITIONS PLAN - TAX MAP PARCELS 62-83 & 62-85 - L PUTNAM STREET & 78 ANHERST STREET NASHUA, NEW HAMPSHIRE - PREPARED FOR AND LAND OF: LARRY KITTLE", SCALE: 1"=20', DATED APRIL 13, 2018, PREPARED BY FIELDSTONE LAND CONSULTANTS, PLLC.

Noralba Valdez Vasquez 6/18/19
 OWNERS SIGNATURE DATE

THE UNDER-SIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 DATE: 6/18/19 OWNER/APPLICANT SIGNATURE: *Noralba Valdez Vasquez*

SHEET INDEX

PAGE	SHEET	TITLE
1	SP-1	SITE PLAN
2	EX-1	EXISTING CONDITIONS PLAN
3	DT-1	CONSTRUCTION DETAILS

APPROVED BY NASHUA PLANNING BOARD

CHAIRMAN: _____ DATE: _____
 SECRETARY: _____ DATE: _____

REV.	DATE	REV. PER CITY COMMENTS	DESCRIPTION	C/O	DR	CK
A	5/21/19					

SITE PLAN
 TAX MAP PARCEL 62-35 - 38 PRESCOTT ST.
 NASHUA, NEW HAMPSHIRE

PREPARED FOR:
TOP HAT CONSTRUCTION
 6 TEMPLE STREET NASHUA, NH 03060

LAND OF:
NORALBA VALDEZ-VASQUEZ
 38 PRESCOTT STREET NASHUA, NH 03064 PHONE: 603-708-6171

SCALE: 1" = 10' NOVEMBER 14, 2018

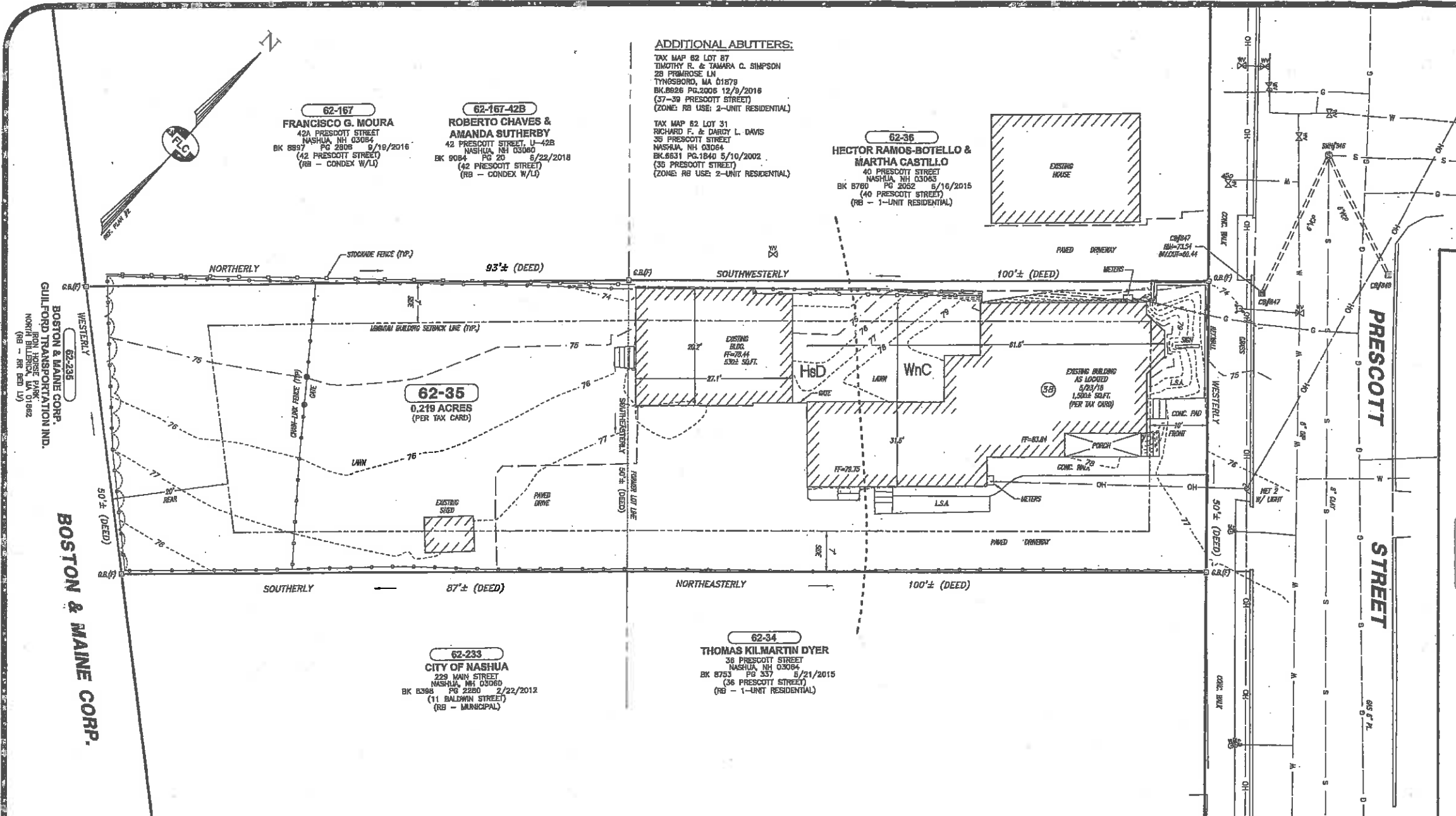
Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE
 LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03065
 Phone: (603) 672-5456 Fax: (603) 413-5456
 www.FieldstoneLandConsultants.com

FILE 9025P03.dwg PROJ. NO. 902.03 SHEET: SP-1 PAGE NO. 1 OF 3

received 6/19/2019

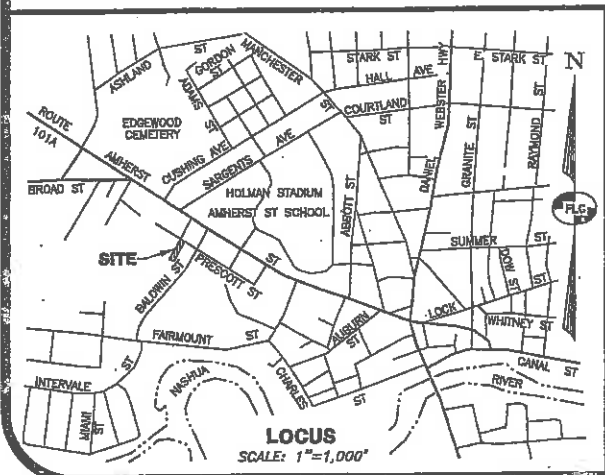
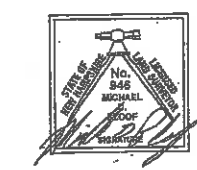


- NOTES:**
1. THE OWNER OF RECORD FOR TAX MAP 82 LOT 35 IS NORALBA VALDEZ-VASQUEZ, 38 PRESCOTT STREET, NASHUA, NH 03084. DEED REFERENCE TO PARCEL IS VOL. 8968 PG. 818, DATED JUNE 5, 2003 IN THE H.C.R.D.
 2. THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING SITE IMPROVEMENTS LOCATED ON TAX MAP PARCEL 62-35.
 3. THE TOTAL AREA OF TAX MAP PARCEL 62-35 IS 0.219 ACRES PER ASSESSING CARD, OR 9,500± SQ.FT.
 4. LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAP 62.
 5. ZONING FOR BOTH PARCELS IS THE "B" URBAN RESIDENCE DISTRICT (R-B).
- | R-B ZONE CONVENTIONAL | REQUIRED | EXISTING |
|-------------------------|----------|-----------|
| MIN LOT AREA | 6,000 SF | 9,500 SF |
| MIN LOT WIDTH | 50 FT | 50 FT |
| MIN LOT FRONTAGE | 50 FT | 50 FT |
| MIN LOT DEPTH | 80 FT | 187 FT |
| MIN FRONT SETBACK | 10 FT | 7.6 FT |
| MIN SIDE SETBACK | 7 FT | 1.4 FT |
| MIN REAR SETBACK | 20 FT | 91.1 FT |
| MAX. BUILDING HEIGHT | 45 FT | <46 FT |
| MAX. STORIES | 3 ST | 2 ST |
| BUILDING COVERAGE | | 2,000± SF |
| OPEN SPACE FOR EACH LOT | 35 | 51.9% |
6. THE SURFACE FEATURES AND BOUNDARY INFORMATION SHOWN WERE DEVELOPED FROM THE REFERENCE PLANS CITED AND A PRECISE FIELD SURVEY BY THIS OFFICE DURING THE MONTH OF MAY, 2018. THE NASHUA CITY DATUM HAS BEEN USED ON THIS PROJECT. NASHUA CITY DATUM TO NGVD 1929 DATUM = + 80.47'. HORIZONTAL ORIENTATION IS BASED ON REFERENCE PLAN #2. INVERT ELEVATIONS ARE PER REFERENCE PLAN #2.
 7. JURISDICTIONAL WETLANDS WERE NOT FOUND ON THE SUBJECT PARCEL PER AN ON SITE FIELD INVESTIGATION BY CHRISTOPHER A. GUIDA, C.W.S. IN MAY 2018 IN ACCORDANCE WITH THE "CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, DATED JANUARY 1987".
 8. THE SITE IS NOT LOCATED WITHIN THE WATER SUPPLY PROTECTION DISTRICT.
 9. THE SITE IS CURRENTLY SERVICED BY OVERHEAD UTILITIES.
 10. THE SUBJECT PARCEL IS NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY NO. 330007, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER 33011C0513D, DATED: SEPTEMBER 25, 2009.
 11. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THERE ARE NO KNOWN EASEMENTS, RESTRICTIONS OR ENCUMBRANCES ON THE PROPERTIES.

CERTIFICATION:

I HEREBY CERTIFY THAT THE EXISTING IMPROVEMENTS SHOWN ARE THE RESULT OF AN ON-SITE FIELD SURVEY PERFORMED BY FIELDSTONE LAND CONSULTANTS, PLLC DURING THE MONTH OF MAY, 2018.

DATE: 1/23/19



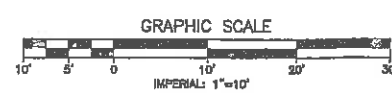
LEGEND:

EXISTING FEATURES	SYMBOL	DESCRIPTION
RIGHT-OF-WAY LINE	—	IRON PIPE FOUND
BOUNDARY LINE	—	GRANITE BOARD FOUND
ABUTTING LOT LINE	—	SEWER MAN-HOLE
BUILDING SETBACK LINE	—	CATCH BASIN
EDGE OF PAVED ROAD	—	UTILITY POLE AND GUY WIRE
CURBING	—	TREE LINE
EDGE OF GRAVEL PARKING	—	EXISTING BUILDING
CHAIN-LINK FENCE	—	EXISTING TAX MAP AND LOT NUMBER
STORAGE FENCE	—	STREET ADDRESS
5' CONTOUR INTERVAL	—	
1' CONTOUR INTERVAL	—	
OVERHEAD UTILITIES	—	
SEWER LINE	—	
WATER LINE	—	
GAS LINE	—	
DRAIN LINE	—	

NRCS SOILS LEGEND:
SOURCE: USDA NRCS WEB SOIL SURVEY

HsD	HINCKLEY LOAMY SAND 15 TO 35% SLOPES
WnC	WINDSOR-URBAN LAND COMPLEX 3 TO 15% SLOPES

- REFERENCE PLANS:**
1. "LOT LINE RELOCATION PLAN - LOTS 35 & 167/SHEET 62 - 40 & 42 PRESCOTT STREET NASHUA, NEW HAMPSHIRE", SCALE 1"=20', DATED MARCH 9, 2015, LAST REVISED 5/20/15 BY HAYWARD & PRIGUETTE ENGINEERING ASSOCIATES, LLC, RECORDED IN THE H.C.R.D. AS PLAN #38493 DWR #178.
 2. "EXISTING CONDITIONS PLAN - TAX MAP PARCELS 62-35 & 62-36 - 1 PUTNAM STREET & 78 AMHERST STREET NASHUA, NEW HAMPSHIRE - PREPARED FOR AND LAND OF: LARRY KITTLE", SCALE 1"=20', DATED APRIL 13, 2018, PREPARED BY FIELDSTONE LAND CONSULTANTS, PLLC.



REV.	DATE	DESCRIPTION	C/O	DR	CK

EXISTING CONDITIONS PLAN
TAX MAP PARCEL 62-35 & 62-206 - 38 PRESCOTT ST.
NASHUA, NEW HAMPSHIRE

PREPARED FOR:
TOP HAT CONSTRUCTION
6 TEMPLE STREET NASHUA, NH 03080

LAND OF:
NORALBA VALDEZ-VASQUEZ
38 PRESCOTT STREET NASHUA, NH 03084

SCALE: 1" = 10' NOVEMBER 14, 2018

Surveying + Engineering + Land Planning + Permitting + Septic Designs



206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

- INSTALL STONE CHECK DAMS AND SILTATION CONTROL FENCES IN LOCATIONS SHOWN ON PLANS. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION.
- INSTALL STABILIZED CONSTRUCTION ENTRANCES (S) AS NECESSARY.
- CUT AND CLEAR TREES; DISPOSE OF DEBRIS. STUMPS ARE TO BE BURIED ON SITE. STUMPS SHALL BE COMPACTED AND ALL Voids FILLED WITH SUITABLE MATERIAL. COVER WITH 4" OF LOAM AND SEED PER THE EROSION CONTROL NOTES.
- REMOVE TOPSOIL AND STOCKPILE AWAY FROM ANY WETLAND. STABILIZE STOCKPILE IMMEDIATELY BY SEEDING. PLACE SILT FENCE AROUND THE DOWN SLOPE SIDE OF EARTH STOCKPILES.
- ROUGH GRADE SITE - CONSTRUCT LEACHING CATCH BASIN AND SWALES DURING INITIAL PORTION OF CONSTRUCTION. STABILIZE IMMEDIATELY PER THE CONSTRUCTION AND EROSION CONTROL DETAILS. DO NOT DIRECT STORM WATER RUNOFF TO THESE STRUCTURES UNTIL A HEALTHY VEGETATIVE COVER IS ESTABLISHED.
- CONSTRUCT BUILDING, DRIVEWAY AND ASSOCIATED SITE IMPROVEMENTS AS SHOWN. ALL CUT AND FILL SLOPES SHALL BE STABILIZED UPON COMPLETION OF ROUGH GRADING PER THE EROSION CONTROL NOTES.
- PLACE STONE CHECK DAMS AROUND INLETS AROUND ALL STRUCTURES UNTIL PAVED/GRAVEL AREAS ARE STABLE AND ALL NON-PAVED DISTURBED AREAS HAVE A HEALTHY VEGETATIVE COVER. SILT SACKS MAY BE UTILIZED IN PLACE OF STONE CHECK DAMS ON CATCH BASINS.
- INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER EVERY 0.25" OR GREATER RAINFALL.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, CULVERTS, DITCHES, SILTATION FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
- FINISH GRADING AND PREPARE FOR LOAMING. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
- FINISH CONSTRUCTING DRIVEWAY. PERMANENT SEEDING SHALL BE PERFORMED UPON COMPLETION OF PAVING, IF ANY (SEE EROSION CONTROL NOTES).
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- STORMWATER FLOWS ARE NOT TO BE DIRECTED INTO THE LEACHING CATCH BASINS OR DRAINAGE SWALES UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- ALL STRUCTURES SHALL BE CLEANED OF SEDIMENTS ONCE CONSTRUCTION IS COMPLETE.

CONSTRUCTION SEQUENCE NOTES

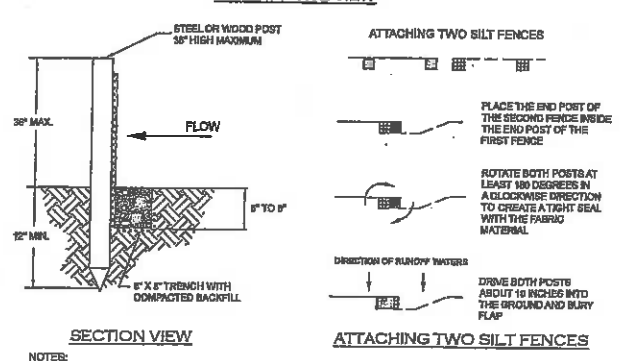
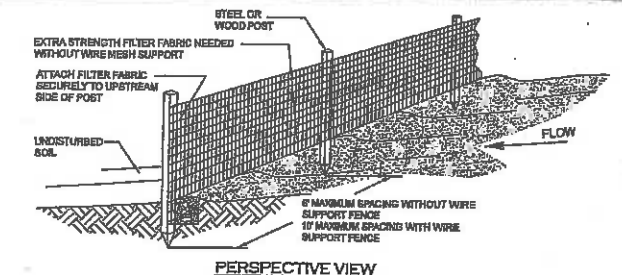
- 1. EROSION CONTROL (GENERAL CONSTRUCTION)**
- PRIOR TO STARTING ANY WORK ON THE SITE THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES.
 - EROSION CONTROL MEASURES SHALL BE INSTALLED PER PLANS AND DETAILS. PERIMETER CONTROLS SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF EARTH DISTURBING ACTIVITIES.
 - EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEN POSSIBLE.
 - EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE KEPT CLEAN DURING CONSTRUCTION. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EVERY 0.25-INCH OR GREATER RAINFALL. SEDIMENTS SHALL BE DISPOSED OF IN AN UPLAND AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND BE PERMANENTLY STABILIZED.
 - THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION.
 - THE LAND AREA EXPOSED SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME. ALL NON-ACTIVE DISTURBED AREAS SHALL BE STABILIZED WITHIN 30 DAYS OF THE DISTURBANCE. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF FINAL GRADING.
 - DITCHES, SWALES AND DRAINAGE BASINS SHALL BE CONSTRUCTED DURING THE INITIAL PHASE OF CONSTRUCTION AND STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
 - AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 80% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3-INCHES OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RIPRAP, HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
 - EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL SLOPES THAT ARE STEEPER THAN 3:1 (HORIZONTAL / VERTICAL), UNLESS OTHERWISE SPECIFIED THE CONTRACTOR SHALL USE NORTH AMERICAN GREEN SC100, OR APPROVED EQUAL.
 - ALL AREAS RECEIVING EROSION CONTROL STONE OR RIPRAP SHALL HAVE A GEOTEXTILE MATERIAL INSTALLED BELOW THE STONE (SEE APPROPRIATE DETAILS).
 - ALL DISTURBED AREAS TO TURF FINISHED SHALL BE COVERED WITH A MINIMUM THICKNESS OF 4 INCHES OF COMPACTED LOAM. LOAM SHALL BE COVERED WITH THE APPROPRIATE SEED MIXTURE AS INDICATED BELOW:

PERMANENT SEED (LAWN AREAS)	POUNDS / 1,000 SQUARE FEET
CRACKING RED FESCUE	0.92 LBS
PERENNIAL RYEGRASS	1.16 LBS
KENTUCKY BLUEGRASS	0.55 LBS
REDTOP	0.12 LBS
APPLICATION RATE TOTALS 2.8 LBS PER 1,000 SF	
 - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE, USE THE FOLLOWING: TIME FRAMES OR VARIABLE SITES THEN APPLY FERTILIZER AT A RATE OF 11 POUNDS PER 1,000 SF AND LIMESTONE AT A RATE OF 80 POUNDS PER 1,000 SF. FERTILIZER SHALL BE LOW PHOSPHATE (LESS THAN 2% PHOSPHORUS).

CAUTION SHOULD BE TAKEN WHEN THE PROPERTY IS LOCATED WITHIN 500 FEET OF WATER BODY. IN THIS CASE ALL FERTILIZERS SHALL BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER. SLOW RELEASE FERTILIZERS MUST BE AT LEAST 80% SLOW RELEASE NITROGEN COMPONENT. NO FERTILIZER EXCEPT LIMESTONE SHALL BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE ARE REGULATED LIMITATIONS.
 - PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS (SEE WINTER CONSTRUCTION NOTES). NO DISTURBED AREAS SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.
 - A VIGOROUS DUST CONTROL PROGRAM SHALL BE APPLIED BY THE SITE CONTRACTOR. DUST SHALL BE MANAGED THROUGH THE USE OF WATER AND/OR CALCIUM CHLORIDE.
 - IN NO WAY ARE THE MEASURES INDICATED ON THE PLANS OR IN THESE NOTES TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGMENT TO INSTALL ADDITIONAL EROSION CONTROL MEASURES AS SITE CONDITIONS, WEATHER OR CONSTRUCTION METHODS WARRANT.
 - FOLLOWING PERMANENT STABILIZATION, TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND ACCUMULATED SEDIMENTATION IS TO BE DISPOSED OF IN AN APPROVED LOCATION, OUTSIDE OF JURISDICTIONAL WETLANDS.

- 2. EROSION CONTROL (WINTER CONSTRUCTION)**
- ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 80% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED. STABILIZATION METHODS SHALL INCLUDE SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING. SEEDING, THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
 - ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 80% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
 - AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER MONTHS, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL OR PROPERLY INSTALLED EROSION CONTROL BLANKETS COVERED WITH MULCH. OTHER STABILIZATION OPTIONS ARE TO BE APPROVED BY THE APPROPRIATE AGENCIES AND THE DESIGN ENGINEER. IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER MONTHS THEN THE ROAD SHOULD BE CLEARED OF ACCUMULATED SNOW AFTER EACH STORM EVENT.

EROSION CONTROL NOTES



- NOTES:**
- SILT FENCES SHOULD NOT BE USED ACROSS STREAMS, CHANNELS, SWALES, DITCHES OR OTHER DRAINAGE WAYS.
 - SILT FENCE SHOULD BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE AND THE ENDS OF THE SILT FENCE SHOULD BE FLARED UP-SLOPE.
 - IF THE SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE OR THE PRESENCE OF HEAVY ROOTS THE BASE OF THE FABRIC SHOULD BE EMBEDDED WITH A MINIMUM THICKNESS OF 3 INCHES OF 3/4-INCH STONE.
 - SILT FENCES PLACED AT THE TOE OF SLOPES SHOULD BE INSTALLED AT LEAST 6 FEET FROM THE TOE TO ALLOW SPACE FOR SHALLOW PONDING AND ACCESS FOR MAINTENANCE.
 - THE MAXIMUM SLOPE ABOVE THE FENCE SHOULD BE 2:1 AND THE MAXIMUM LENGTH OF SLOPE ABOVE THE FENCE SHOULD BE 100 FEET.
 - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 - SILT FENCES SHOULD BE REMOVED WHEN THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.

SILT FENCE

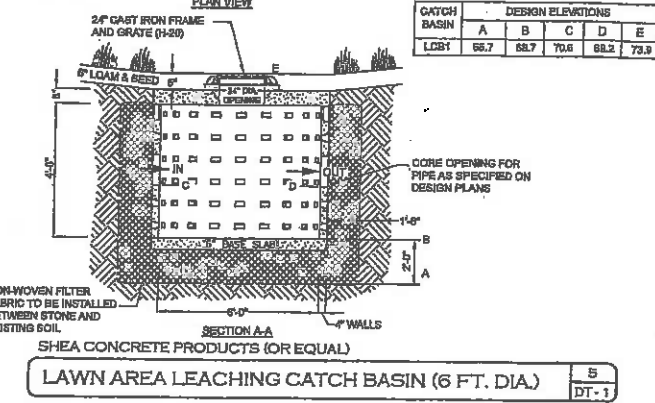
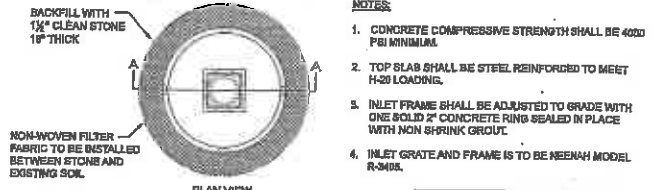
SCALE: N.T.S. DT-1

- GENERAL CONSTRUCTION NOTES**
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF NASHUA.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. FIELDSTONE LAND CONSULTANTS, PLLC, AS THE DESIGN ENGINEER, SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
 - THE CONTRACTOR SHALL CONTACT "DIGSAFE" 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-800-254-4977 IN NH, 1-888-344-2223 IN MA).
 - COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND SPECIAL CONDITIONS OF TOWN/CITY AGENCIES, SUCH AS THE PLANNING BOARD, ZONING BOARD, CONSERVATION COMMISSION, AND OTHERS, IS MANDATORY AND IS THE RESPONSIBILITY OF THE OWNER.
 - ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND FIELDSTONE LAND CONSULTANTS, PLLC, PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE CITY DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCURATE AS-BUILT INFORMATION OF ALL WORK, ESPECIALLY UNDERGROUND CONSTRUCTION OF UTILITY LINES, SERVICES, CONNECTIONS, ETC. AND APPROPRIATE TIES TO ABOVE GROUND PERMANENT STRUCTURES, FIELD SURVEY COORDINATES, OR SOME OTHER METHOD OF ESTABLISHING THE AS-BUILT CONDITION OF ALL CONSTRUCTION.
 - THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR OBSERVING AND MANAGING THE PROJECT PER RSA 430:23 AND AGR 380 REGARDING INVASIVE SPECIES (PLANTS AND INSECTS). NO INVASIVE SPECIES PLANT OR INSECT SHALL BE INTRODUCED ONTO THE SITE.

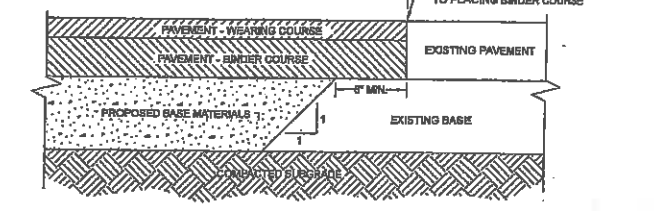
GENERAL CONSTRUCTION NOTES

SCALE: N.T.S. DT-1

CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION
DIGSAFE.COM
 OR DIAL 811
 IT'S SMART, IT'S FREE, IT'S THE LAW

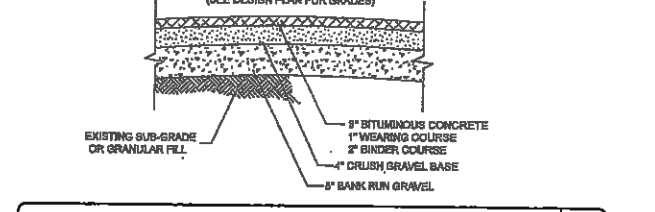


LAWN AREA LEACHING CATCH BASIN (6 FT. DIA.)

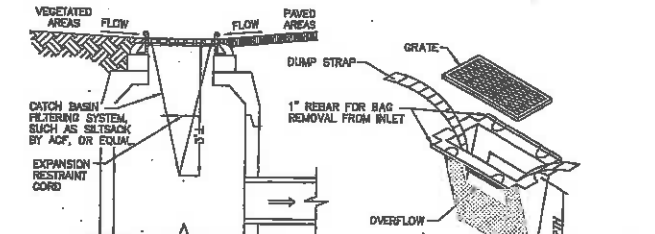


PAVEMENT MATCH

SCALE: N.T.S. DT-1



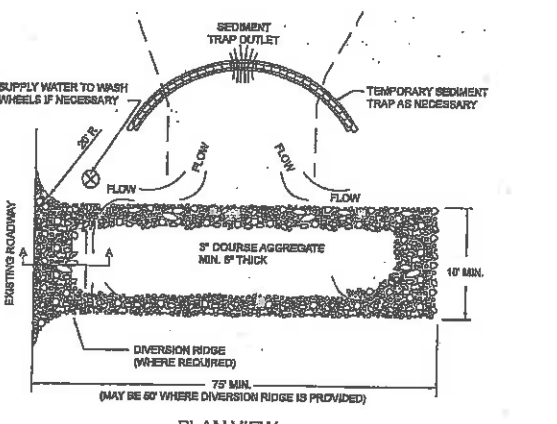
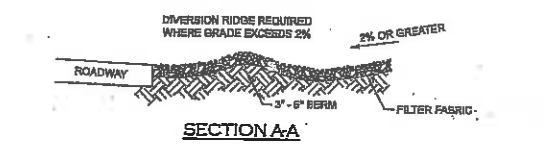
PAVEMENT SECTION



SILT SACK SEDIMENT FILTER

- NOTES:**
- INSTALL AND MAINTAIN SACKS IN ALL CATCH BASINS.
 - TO INSTALL SACK, REMOVE CATCH BASIN GRATE AND PLACE SACK IN OPENING. HOLD OUT APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME FOR THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
 - THE SACK SHOULD BE INSPECTED AFTER EVERY STORM, OR ONCE EVERY TWO WEEKS, WHICH EVER OCCURS FIRST.
 - THE RESTRAINT CORD SHOULD BE VISIBLE AT ALL TIMES. IF THE CORD IS COVERED WITH SEDIMENT, THE SACK SHOULD BE EMPTIED. EMPTY THE SACK AWAY FROM THE CATCH BASIN TO PREVENT SEDIMENT FROM RE-ENTERING THE CATCH BASIN. EMPTY THE SACK FOR THE MANUFACTURER'S RECOMMENDATIONS.
 - REPLACE THE SACK IN THE CATCH BASIN AFTER THE SACK HAS BEEN EMPTIED. ONCE CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN STABILIZED BY PAVING OR A HEALTHY VEGETATIVE COVER, REMOVE THE SACK FROM THE CATCH BASIN.

SCALE: N.T.S. DT-1



TEMPORARY GRAVEL CONSTRUCTION EXIT

- NOTES:**
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - THE MINIMUM STONE USED SHOULD BE 3-INCH CRUSHED STONE.
 - THE MINIMUM LENGTH OF THE PAD SHOULD BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 4-INCH HIGH BERM IS INSTALLED AND THE ENTRANCE OF THE PROJECT SITE.
 - THE PAD SHOULD EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER.
 - THE PAD SHOULD SLOPE AWAY FROM THE EXISTING ROADWAY.
 - THE PAD SHOULD BE AT LEAST 8-INCHES THICK.
 - THE GEOTEXTILE FILTER FABRIC SHOULD BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD.
 - THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE Voids IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE.
 - NATURAL DRAINAGE THAT CROSSES THE LOCATION OF THE STONE PAD SHOULD BE INTERCEPTED AND PAVED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
 - ROCK BAGS OR SANDBAGS SHALL BE PLACED SUCH THAT NO GAPS ARE EVIDENT. SEE NOTES ERO-03.

TEMPORARY GRAVEL CONSTRUCTION EXIT

SCALE: N.T.S. DT-1

CONSTRUCTION DETAILS
 TAX MAP PARCEL 62-35 - 38 PRESCOTT ST.
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR:
TOP HAT CONSTRUCTION
 6 TEMPLE STREET NASHUA, NH 03060
 LAND OF:
NORALBA VALDEZ-VASQUEZ
 38 PRESCOTT STREET NASHUA, NH 03064
 SCALE: AS SHOWN NOVEMBER 14, 2018
 Surveying + Engineering + Land Planning + Permitting + Septic Designs

 208 Elm Street, Milford, NH 03055
 Phone: (603) 672-5456 Fax: (603) 413-5456
 www.FieldstoneLandConsultants.com
 FILE: 902SP03.dwg PROJ. NO. 902.03 SHEET: DT-1 PAGE NO. 3 OF 3