

SUBDIVISION DRAWINGS FOR NASHUA LANDING

2 EAST SPT BROOK ROAD NASHUA, NH 03060

PREPARED FOR ANAGNOST INVESTMENTS, INC.

LEGEND

(STANDARD LEGEND - ALL SYMBOLS SHOWN DO NOT NECESSARILY APPEAR IN THE PLAN SET)

	EXISTING	PROPOSED
UNDERGROUND UTILITIES	— UGE —	— UGE —
TELEPHONE LINE	— T —	— T —
GAS LINE	— GAS —	— GAS —
WATER LINE	— W —	— W —
OVERHEAD UTILITIES	— OHW —	— OHW —
VERTICAL GRANITE CURB	— VGC —	— VGC —
SLOPED GRANITE CURB	— SGC —	— SGC —
BITUMINOUS CURB	— BC —	— BC —
CHAIN LINK FENCE	— X —	— X —
GUARD RAIL	— GR —	— GR —
TREE LINE	— TL —	— TL —
SPOT GRADE	— SG —	— SG —
SEWER MANHOLE	— SM —	— SM —
CATCH BASIN	— CB —	— CB —
DRAIN MANHOLE	— DM —	— DM —
FIRE HYDRANT	— FH —	— FH —
GAS GATE	— GG —	— GG —
WATER VALVE	— WV —	— WV —
ELECTRIC MANHOLE	— EM —	— EM —
TELEPHONE MANHOLE	— TM —	— TM —
STREET SIGN	— SS —	— SS —
LIGHT POLE	— LP —	— LP —
FLOOD LIGHT	— FL —	— FL —
UTILITY POLE	— UP —	— UP —
PERC TEST	— PT —	— PT —
TEST PIT	— TP —	— TP —
BENCHMARK	— BM —	— BM —
GUY POLE	— GP —	— GP —
IRON PIN/DRILL HOLE/BOUND	— IP —	— IP —
DECIDUOUS TREE	— DT —	— DT —
CONIFER TREE	— CT —	— CT —
H.C. PAVEMENT MARKING	— HCPM —	— HCPM —
TRAFFIC FLOW	— TF —	— TF —
EXISTING STONE WALL	— ES —	— ES —
EDGE OF WETLANDS	— EW —	— EW —
PROPERTY LINE	— PL —	— PL —
SILT FENCE	— SF —	— SF —
HAY BALES	— HB —	— HB —
ZONING BOUNDARY	— ZB —	— ZB —
STANDARD DETAIL SYMBOL	— SD —	— SD —



LOCUS PLAN
SCALE: 1"=800'

INDEX

SHT. #	DWG	SHEET NAME	REVISION DATE
1.	T1	COVER	-
2.	SD1	SUBDIVISION	-
3.	SD2	SUBDIVISION	-
4.	SD3	SUBDIVISION	-
5.	SD4	SUBDIVISION	-
6.	EX1	EXISTING CONDITIONS	-
7.	EX2	EXISTING CONDITIONS	-
8.	EX3	EXISTING CONDITIONS	-
9.	EX4	EXISTING CONDITIONS	-

NPDES NOTE:

THIS PROJECT DISTURBS 0.4 SF (0.4 AC) OF LAND WHICH DOES NOT EXCEED THE NPDES THRESHOLD AMOUNT OF 43,560 SF (1 AC). THEREFORE, THE PROJECT WILL NOT BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA).

REQUIRED APPROVALS

CITY OF NASHUA - SUBDIVISION	PERMIT #	DATE APPROVED	EXPIRATION DATE

ABUTTERS LIST

TAX-LOT #	OWNER	OWNER 2	ADDRESS	CITY, STATE AND ZIP CODE	BOOK/PAGE
A-153	SKY VENTURE NEW HAMPSHIRE LLC		100 ADVENTURE WAY	NASHUA NH 03060	7320/669
A-700	LINEAR RETAIL NASHUA 88 LLC		5 BURLINGTON WOODS DR	BURLINGTON MA 01803	8927/1729
A-207	HAUS REALTY TRUST	SANDRA G MANOUGIAN TRUSTEE	119 MOODY ST	NORTH ANDOVER MA 01845-2002	3197/875
A-450	NATIONAL RETAIL PROPERTIES, LP		450 SOUTH ORANGE AVE SUITE 900	ORLANDO FL 32801	8346/3000
A-167	APPLETREE PROPERTIES, LLC		24 APPLETREE GREEN	NASHUA NH 03062	9065/1398
A-107	GVD COMMERCIAL PROPERTIES, INC		1815-A EAST KATELLA AVENUE	ORANGE CA 92867	8159/2837
A-23	EAST SPT BROOK ROAD THREE LLC		3 E SPT BROOK RD	NASHUA NH 03060	8808/2890
A-718	ICE KING LLC		8 TAGGART DR	NASHUA NH 03060-5506	7024/1025
A-40	ES WIGGINS AVENUE LLC		20 NORTH RD PO BOX 269	BEDFORD MA 01730-1057	7607/2068
A-40	CARRAGA, TURAN & ZERIN		47 MACDONALD DR	NASHUA NH 03062	7135/1819
A-40	HENDERSON, DONALD E &	JACQUELINE J HENDERSON	3-D TAGGART DR U-3	NASHUA NH 03060-5592	6147/1438
A-40	HINDY, SUSAN V		3-B TAGGART DR	NASHUA NH 03060-0000	6327/359
A-40	MO, CHARLES C 2008 REV TRUST	MO, CHARLES C TRUSTEE	3C TAGGART DR	NASHUA NH 03060	8003/0708
A-40	PROTEQ REAL ESTATE HOLDINGS		7-E TAGGART DR	NASHUA NH 03060-5592	7975/1322
A-717	ES WIGGINS AVENUE LLC		20 NORTH RD PO BOX 269	BEDFORD MA 01730-1057	7607/2068
A-717	PSYCHE MATTERS LLC		PO BOX 7253	NASHUA NH 03060	7736/640
A-40	RAO, UMESH &	RAO, NIKITA	3-I TAGGART DR U-9	NASHUA NH 03060	8985/2225
A-40	CARROLL, TIMOTHY		3-H TAGGART DR U-10	NASHUA NH 03060-5591	6572/2412
A-40	CHENG, BOON LIANG		3-G TAGGART DR U-11	NASHUA NH 03060	9027/2839
A-40	GINJA, FRANCISCO J &	GINJA, JANET M	92 OLD AMHERST RD	MONTE VERNON NH 03057	9063/2011
A-717	BLOSSOMS OF HOPE, LLC		15 ARROWWOOD RD	BILLERICA MA 01821	9123/0193
A-717	ESKIN, RONALD L & LINDA K		5 MONICA DR	NASHUA NH 03062-5591	6160/1026
A-717	MCGI-ZAGSDIREN, OYUNGEREL		82 PARNELL PL	NASHUA NH 03060	8762/586
A-717	LOCHHEAD, WILLIAM R TRUST	WILLIAM R LOCHHEAD TRUSTEE	7-I TAGGART DR U-17	NASHUA NH 03060-1057	7327/2168
A-717	NASHUA TEACHERS UNION LOCAL	1044 AMER FED TEACHERS AFL-CI	7-C TAGGART DR U-15	NASHUA NH 03060-5591	5287/31
A-717	RSL DEVELOPMENT LLC		7-D TAGGART DR U-16	NASHUA NH 03060-1057	7097/982
A-717	TAGGART DRIVE REALTY TRUST	PATEL, ASHOK K TRUSTEE	7G TAGGART DR UNIT 19	NASHUA NH 03060-1057	7979/1319
A-717	TAGGART DRIVE REALTY TRUST	PATEL, ASHOK K TRUSTEE	7G TAGGART DR UNIT 19	NASHUA NH 03060-1057	7979/1319

ABUTTERS LIST (CONTINUE)

OWNER	ADDRESS	CITY, STATE AND ZIP CODE	OWNER	ADDRESS	CITY, STATE AND ZIP CODE
A-40	RESERVOIR, INC	c/o EVERGREEN HARVARD GROUP	17 COMMERCE DR	BEDFORD NH 03110	COMMERCIAL
A-717	RESERVOIR, INC	c/o EVERGREEN HARVARD GROUP	17 COMMERCE DR	BEDFORD NH 03110	2871/690
A-977	LIBERTY DEVELOPMENT OF NASHUA	% CVS PHARMACY INC #1003-02	ONE CVS DR	WOONSOCKET RI 02895	5945/1606
A-988	LINRICH LLC		180 DANIEL WEBSTER HWY	NASHUA NH 03060-0000	5916/1278
A-999	BOSTON & MAINE CORP	%GUILFORD TRANSPORTATION IND	IRON HORSE PARK	NORTH BILLERICA MA 01862-0000	RR BED
A-38	G E N ASSOCIATES		97 IRENE DR	MALDEN MA 02148-5706	3215/323
A-103	WASH DEPOT I, INC		14 SUMMER ST # 302	MAINE NH 03060-5591	5831/167
A-218	THE LANDING AT NASHUA, LLC	FUSS AND O'NEILL	1662 ELM ST	MANCHESTER NH 03101	9124/1765
	GREGORY BROWN		540 N. COMMERCIAL STREET	MANCHESTER NH 03101	
	LUKE HURLEY	GOVE ENVIRONMENTAL SERVICES, INC.	8 CONTINENTAL DRIVE #H	EXETER, NH 03833	



THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. FUSS AND O'NEILL MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. 72 HOURS PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 1-888-000-SAFE.

FUSS & O'NEILL
341 COMMERCIAL STREET
MANCHESTER, NEW HAMPSHIRE 03101
TEL: 603-881-1111
WWW.FUSSANDONEILL.COM

ANAGNOST COMPANIES
1862 ELM STREET
MANCHESTER, NH 03101

THE LANDING AT NASHUA LLC
1862 ELM STREET
MANCHESTER, NH 03101

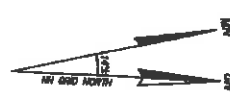
NASHUA LANDING COVER

TAX MAP A LOT 218
2 EAST SPT BROOK RD
NASHUA, NH 03060
HILLSBOROUGH COUNTY

SCALE: AS SHOWN
JOB NO: 20180886A10

DATE: 2/7/2019
DWG: T
1 OF 9

a East Spt Brook



TAX MAP A LOT 210
4 EAST SPIT BROOK ROAD
N/F
LINEAR RETAIL NASHUA, LLC
BOOK 8927 PAGE 1729

TAX MAP A LOT 38
230 DANIEL WEBSTER HWY
N/F
G.E.H. ASSOCIATES
BOOK 3215 PAGE 323

TAX MAP A LOT 107
224 DANIEL WEBSTER HWY
N/F
O/D COMMERCIAL
PROPERTIES, INC.
BOOK 8158 PAGE 2837

TAX MAP A LOT 450
220 DANIEL WEBSTER HWY
N/F
NATIONAL RETAIL
PROPERTIES, LP
BOOK 8348 PAGE 3000

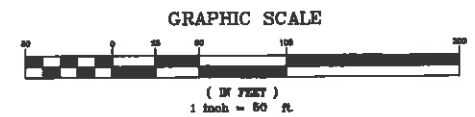
EXISTING
TAX MAP A LOT 218
(PRIOR TO SUBDIVISION)
2 EAST SPIT BROOK RD
N/F
THE LANDING AT NASHUA, LLC
BOOK 9124 PAGE 1785
AREA:
1,799,372 S.F. ± / 41.307 AC. ±

NEW
TAX MAP A LOT 218-1
2 EAST SPIT BROOK RD
N/F
THE LANDING AT NASHUA, LLC
BOOK 9124 PAGE 1785
AREA:
710,308 S.F. ± / 16.306 AC. ±

TAX MAP A LOT 23
3 EAST SPIT BROOK ROAD
N/F
EAST SPIT BROOK ROAD THREE, LLC
BOOK 8558 PAGE 3980

LEGEND

- Iron Pin To Be Set
- Granite/Concrete Bound Found
- Iron Pin Found
- Iron Pipe Found
- Aze Found
- Drill Hole Found
- ① Telephone Manhole
- ② Electric Manhole
- ③ Sewer Manhole
- ④ Drain Manhole
- ⑤ Catch Basin
- Stockade Fence
- Chain Link Fence
- Wire Fence
- Sewer Line
- Drain Line
- Gas Line
- Water Line
- OHV — Overhead Wires
- Sign
- Signal Pole
- Light Pole
- Utility Pole
- Guy Wire
- Mailbox
- Bollard
- Monitoring Well
- Hydrant
- Water Valve
- Gas Valve
- Manhole
- E.G.A. Edge of Gravel Area
- A.G. Above Grade
- B.G. Below Grade
- Deciduous Tree
- Coniferous Tree



APPROVED NASHUA CITY PLANNING BOARD

CHAIRMAN _____

SECRETARY _____

IN CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL GROUND SURVEY PERFORMED WITH A TOTAL STATION AND THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, SAID SURVEY MEETS OR EXCEEDS THE MINIMUM PRECISION AND/OR ACCURACY REQUIREMENTS FOR SURVEY CLASSIFICATION "1" AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSES FOR LAND SURVEYORS, EFFECTIVE 11/1/16.

DATE: 2-7-19



GREGORY S. BROWN, LLS #640
For and on Behalf of
Fuss & O'Neill, Inc. DRAWN BY:
JDS/MAQ/GSB

SEE DWG. SD1 FOR NOTES & PLAN REFERENCES

NO.	DATE	REVISION

FUSS & O'NEILL
540 COMMERCIAL STREET
MANCHESTER, NEW HAMPSHIRE 03101
603.566.8225
www.fussandoneill.com

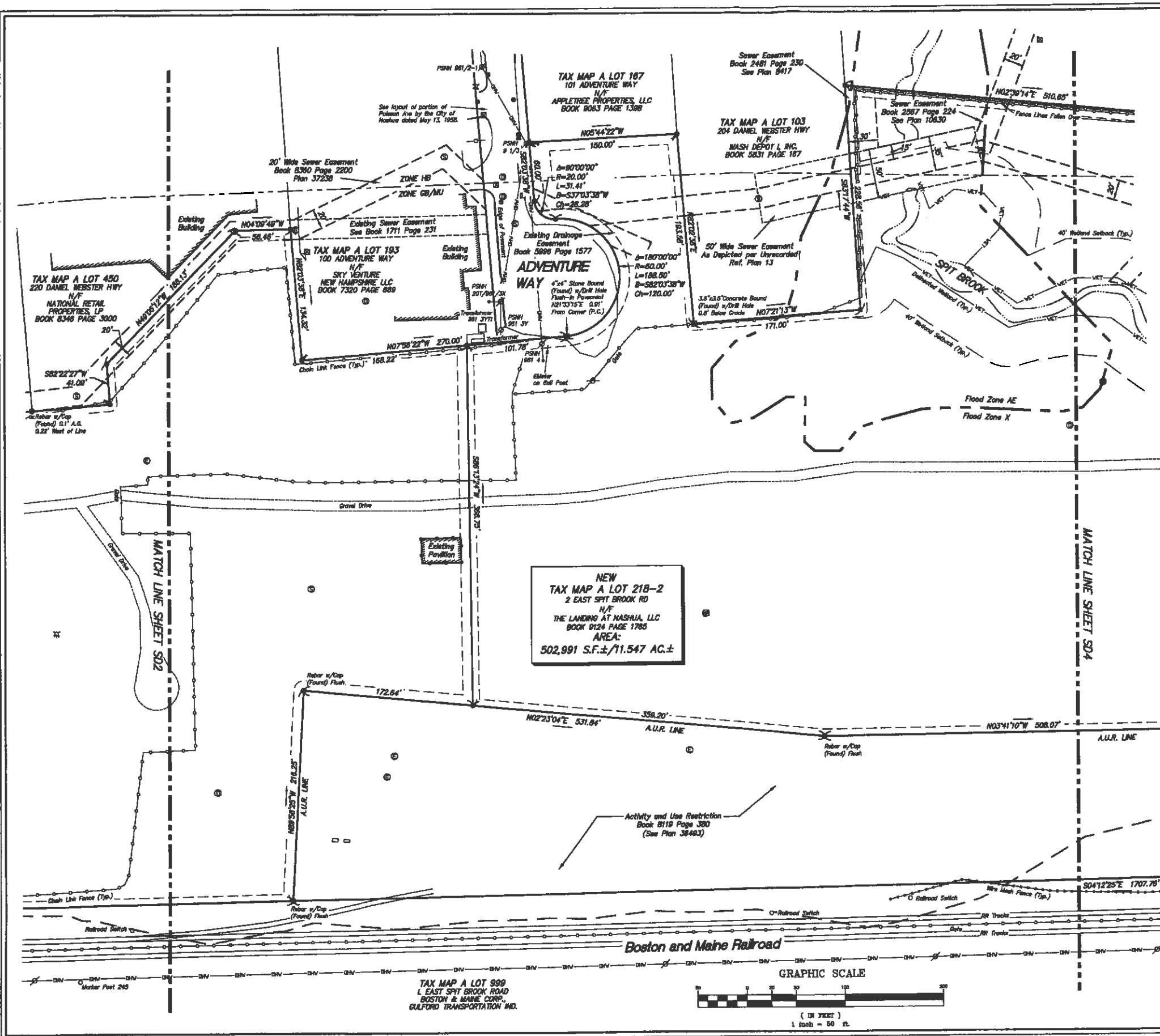
CLIENT:
ANAGNOST COMPANIES
1682 ELM STREET
MANCHESTER, NH 03101

DEED HOLDER:
THE LANDING AT NASHUA, LLC
1682 ELM STREET
MANCHESTER, NH 03101
BOOK 9124 PAGE 1785

NASHUA LANDING
SUBDIVISION
TAX MAP A LOT 218
2 EAST SPIT BROOK RD
NASHUA, NEW HAMPSHIRE 03060
HILLSBOROUGH COUNTY

SCALE: 1"=50'
JOB NO. 2018088L1A0

DATE: JAN. 2019
DWG. SD2
SH. 3 OF 8



LEGEND

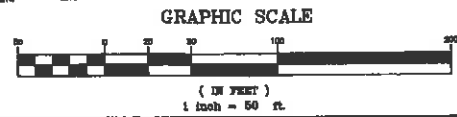
- | | |
|--------------------------------|----------------------------|
| ● Iron Pin To Be Set | ▽ Sign |
| □ Granite/Concrete Bound Found | ⌘ Signal Pole |
| ○ Iron Pin Found | ⊙ Light Pole |
| ⊖ Iron Pipe Found | ⊕ Utility Pole |
| ● Aisle Found | — Guy Wire |
| ⊖ Drill Hole Found | □ Mailbox |
| ⊖ Telephone Manhole | ⊖ Bollard |
| ⊖ Electric Manhole | ⊖ Monitoring Well |
| ⊖ Sewer Manhole | ⊖ Hydrant |
| ⊖ Drain Manhole | ⊖ Water Valve |
| ⊖ Catch Basin | ⊖ Gas Valve |
| — Stockade Fence | ⊖ Manhole |
| — Chain Link Fence | E.G.A. Edge of Gravel Area |
| — Wire Fence | A.G. Above Grade |
| — Sewer Line | B.G. Below Grade |
| — Drain Line | ⊖ Deciduous Tree |
| — Gas Line | ⊖ Coniferous Tree |
| — Water Line | |
| — OHW — Overhead Wires | |

NEW
TAX MAP A LOT 218-2
 2 EAST SPIT BROOK RD
 N/F
 THE LANDING AT NASHUA, LLC
 BOOK 0124 PAGE 1785
 AREA:
 502,991 S.F. ± / 11.547 AC. ±

APPROVED NASHUA CITY PLANNING BOARD

CHAIRMAN _____

SECRETARY _____



AN CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL GROUND SURVEY PERFORMED WITH A TOTAL STATION AND THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, SAID SURVEY MEETS OR EXCEEDS THE MINIMUM PRECISION AND/OR ACCURACY REQUIREMENTS FOR SURVEY CLASSIFICATION "1" AS SET FORTH IN TABLE 502.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSES FOR LAND SURVEYORS, EFFECTIVE 11/1/18.

DATE: 2-7-19



GREGORY S. BROWN, LLS #6949
 For and on behalf of
 Fuss & O'Neill, Inc.
 DRAWN BY:
 JDC/HAG/GSB

SEE DWG. SD1 FOR NOTES & PLAN REFERENCES

NO.	DATE	REVISION

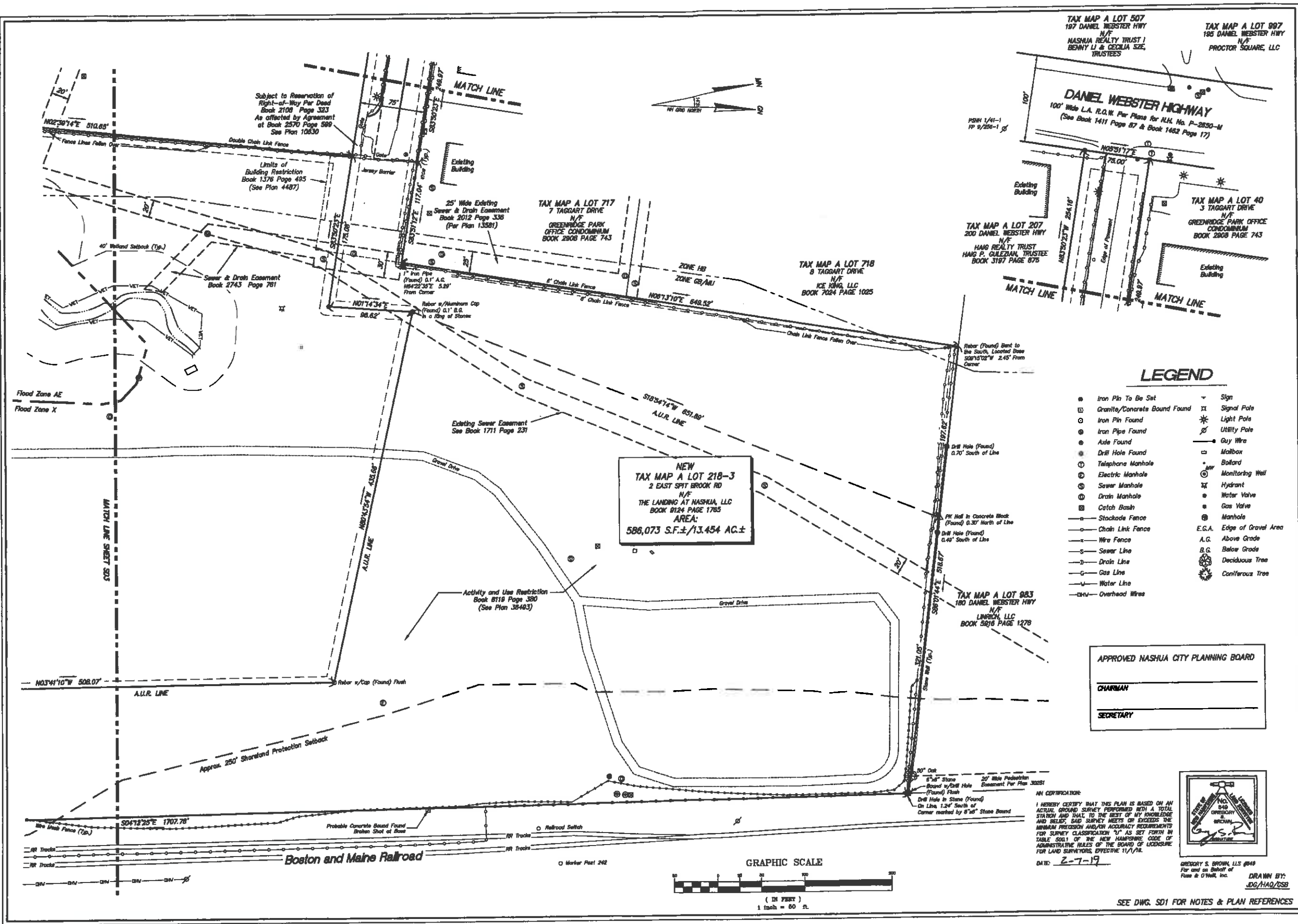
FUSS & O'NEILL
 540 COMMERCIAL STREET
 MANCHESTER, NEW HAMPSHIRE 03101
 603.668.8223
 www.fussandoneill.com

CLIENT:
 ANAGNOST COMPANIES
 1682 ELM STREET
 MANCHESTER, NH 03101

DEED HOLDER:
 THE LANDING AT NASHUA, LLC
 1682 ELM STREET
 MANCHESTER, NH 03101
 BOOK 0124 PAGE 1785

NASHUA LANDING
 SUBDIVISION
 TAX MAP A LOT 218
 2 EAST SPIT BROOK RD
 NASHUA, NEW HAMPSHIRE 03060
 HILLSBOROUGH COUNTY

SCALE: 1" = 50'	JOB NO. 20180086110
DATE: JAN 2019	DWG. SD3 SHEET 4 OF 8



LEGEND

- Iron Pin To Be Set
- Granite/Concrete Bound Found
- Iron Pin Found
- ⊙ Iron Pipe Found
- Axle Found
- ⊙ Drill Hole Found
- ⊙ Telephone Manhole
- ⊙ Electric Manhole
- ⊙ Sewer Manhole
- ⊙ Drain Manhole
- ⊙ Catch Basin
- Stockade Fence
- Chain Link Fence
- Wire Fence
- Sewer Line
- Drain Line
- Gas Line
- Water Line
- Overhead Wire
- Sign
- ⊙ Signal Pole
- ⊙ Light Pole
- ⊙ Utility Pole
- Guy Wire
- Mailbox
- Ballard
- ⊙ Monitoring Well
- ⊙ Hydrant
- Water Valve
- Gas Valve
- Manhole
- E.C.A. Edge of Gravel Area
- A.G. Above Grade
- B.G. Below Grade
- ⊙ Deciduous Tree
- ⊙ Coniferous Tree

APPROVED NASHUA CITY PLANNING BOARD

CHAIRMAN _____

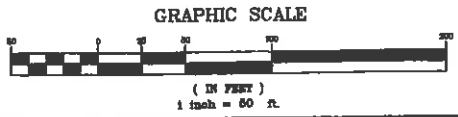
SECRETARY _____

IN CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL GROUND SURVEY PERFORMED WITH A TOTAL STATION AND THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, SAID SURVEY MEETS OR EXCEEDS THE MINIMUM PRECISION AND/OR ACCURACY REQUIREMENTS FOR SURVEY CLASSIFICATION "U" AS SET FORTH IN TABLE 503.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSES FOR LAND SURVEYORS, EFFECTIVE 11/1/18.

DATE: 2-7-19



Gregory S. Brown, L.L.S. #849
 For and on Behalf of
 Fuss & O'Neill, Inc.
 DRAWN BY:
 JLG/HAG/ESS

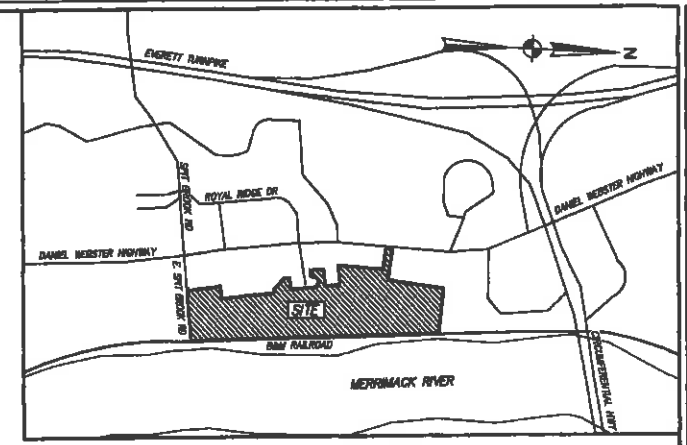


SEE DWG. SD1 FOR NOTES & PLAN REFERENCES

<p>FUSS & O'NEILL</p> <p>540 COMMERCIAL STREET MANCHESTER, NEW HAMPSHIRE 03101 603.688.8223 www.fussandoneill.com www.foss.com</p>	<p>CLIENT:</p> <p>AMAGNOST COMPANIES 1882 ELM STREET MANCHESTER, NH 03101</p> <p>DEED HOLDER: THE LANDING AT NASHUA, LLC 1882 ELM STREET MANCHESTER, NH 03101 BOOK 5124 PAGE 1785</p>
<p>NASHUA LANDING SUBDIVISION</p> <p>TAX MAP A LOT 218 2 EAST SPIT BROOK RD NASHUA, NEW HAMPSHIRE 03060 HILLSBOROUGH COUNTY</p>	
<p>SCALE: 1"=50'</p> <p>DATE: JAN. 2019</p>	<p>JOB NO. 2018088L10</p> <p>DWG. SD4 SH. 5 OF 9</p>

NOTES:

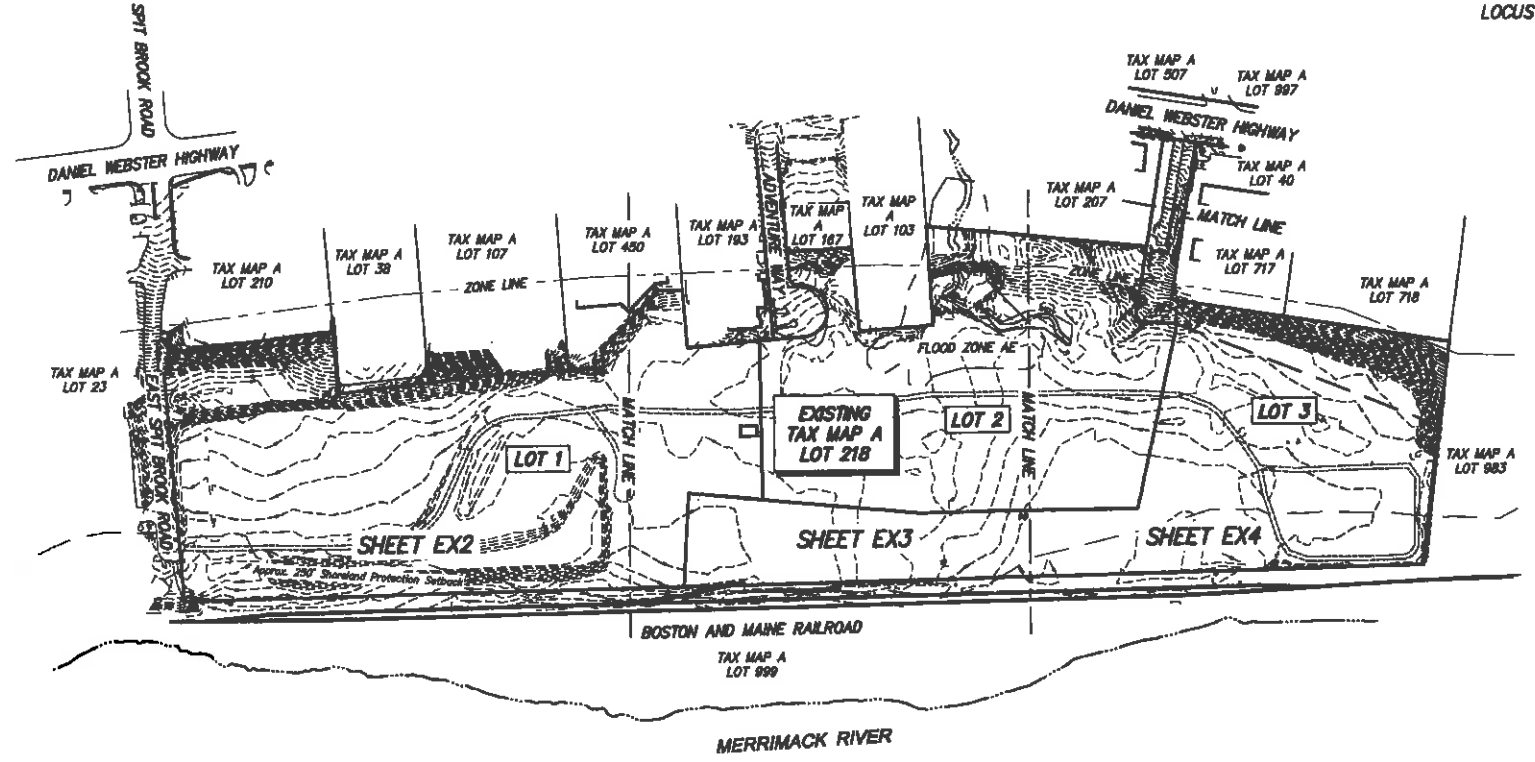
- 1) THE INTENT OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS OF THE SUBJECT PARCEL AS SHOWN HEREON.
- 2) THIS PLAN IS BASED ON A COMPILATION OF ACTUAL FIELD SURVEY PERFORMED ON THE GROUND DURING NOVEMBER AND DECEMBER 2018 AND EXISTING DATA SOURCES PROVIDED BY THE CLIENT. CONTOUR ELEVATION DATA WAS GROUND TRUTHED IN THE FIELD AS PART OF THE ACTUAL FIELD SURVEY PERFORMED ON THE GROUND.
- 3) BASIS OF BEARING IS NH GRID NORTH (NAD83). VERTICAL DATUM IS NAVD83.
- 4) THE SUBJECT PROPERTY IS PRIMARILY LOCATED IN ZONING DISTRICT GB/AJ WITH A PORTION OF THE SUBJECT PROPERTY BEING LOCATED IN ZONING DISTRICT HB AS SHOWN HEREON.
- 5) THE SUBJECT PROPERTY IS PARTIALLY LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FLOOD INSURANCE RATE MAP(S) FIRM 33011C0634D AND 33011C0652D, EFFECTIVE DATE: SEPTEMBER 25, 2008.
- 6) THE WETLANDS DEPICTED HEREON WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES INC. DURING DECEMBER 2018.
- 7) BOUNDARY INFORMATION AND ADDITIONAL INFORMATION AS DEPICTED HEREON IS PER THE SUBDIVISION PLAN PREPARED BY THIS OFFICE AND OF WHICH THESE EXISTING CONDITIONS PLANS ARE PART OF A SET.
- 8) UTILITY STRUCTURES AT OR ABOVE THE GROUND SURFACE SHOWN HEREON ARE THOSE THAT HAVE BEEN OBSERVED FROM SURFACE EVIDENCE. UTILITIES BENEATH THE GROUND SURFACE HAVE NOT BEEN OBSERVED AND ARE SHOWN APPROXIMATELY HEREON AS DERIVED FROM A COMBINATION OF SURFACE MARKINGS BY OTHERS AND/OR RECORD INFORMATION AND ARE NOT VERIFIED LOCATIONS OR CONFIRMATION OF EXISTENCE OF SAID UNDERGROUND UTILITIES. ALL UNDERGROUND UTILITIES SHOULD BE LOCATED IN THE FIELD PRIOR TO COMMENCEMENT OF ALL SITE WORK. CALL DIG SAFE 1-888-344-7233 A MINIMUM OF 72 HOURS PRIOR TO PLANNED ACTIVITY.



LOCUS 1"=1000'

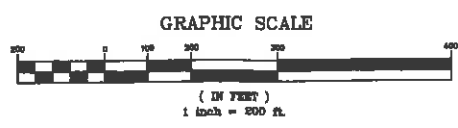
WETLAND DELINEATION

1. WETLAND DELINEATION WAS COMPLETED BY LUKE HURLEY OF GOVE ENVIRONMENTAL SERVICES INC. IN DECEMBER 2018.
2. WETLANDS WERE EVALUATED UTILIZING THE FOLLOWING STANDARDS.
 - 2.1. US ARMY CORPS OF ENGINEERS INTERIM REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION, TECHNICAL REPORT ERDC/EL TR-12-19 (OCT 2012).
 - 2.2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2010).
 - 2.3. NORTH AMERICAN DIGITAL FLORA; NATIONAL WETLAND PLAN LIST, VERSION 2.2.1 (2009).
 - 2.4. CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES, USFW MANUAL FWS/OBS-79/31 (1979).



LEGEND

- | | |
|--------------------------------|----------------------------|
| ● Iron Pin To Be Set | - Sign |
| ■ Granite/Concrete Bound Found | ⊠ Signal Pole |
| ○ Iron Pin Found | ⊛ Light Pole |
| ● Iron Pipe Found | ⊙ Utility Pole |
| ● Axle Found | — Guy Wire |
| ● Drill Hole Found | □ Mailbox |
| ⊙ Telephone Manhole | ● Bollard |
| ⊙ Electric Manhole | ○ Monitoring Well |
| ⊙ Sewer Manhole | ⊛ Hydrant |
| ⊙ Drain Manhole | ● Water Valve |
| ■ Catch Basin | ● Gas Valve |
| — Stockade Fence | ⊙ Manhole |
| — Chain Link Fence | E.G.A. Edge of Gravel Area |
| — Wire Fence | A.G. Above Grade |
| — Sewer Line | B.G. Below Grade |
| — Drain Line | ● Deciduous Tree |
| — Gas Line | ● Coniferous Tree |
| — Water Line | |
| — Overhead Wires | |



NH CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL GROUND SURVEY PERFORMED WITH A TOTAL STATION AND THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, SAID SURVEY MEETS OR EXCEEDS THE MINIMUM PRECISION AND/OR ACCURACY REQUIREMENTS FOR SURVEY CLASSIFICATION "1" AS SET FORTH IN TABLE 501.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSES FOR LAND SURVEYORS, EFFECTIVE 11/1/16.
 DATE: 2-7-19



GREGORY S. BROWN, L.L.S. #840
 For and on Behalf of
 Fuss & O'Neill, Inc.
 DRAWN BY:
 JEG/HAG/CSB

SEE DWG. SD1 FOR ADDITIONAL NOTES AND PLAN REFERENCES

NO.	DATE	REVISION

FUSS & O'NEILL
 546 COMMERCIAL STREET
 MANCHESTER, NEW HAMPSHIRE 03101
 603.425.1233
 www.fussandoneill.com | www.foss.com

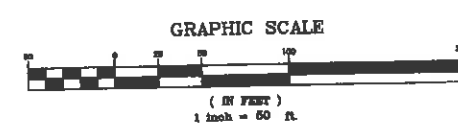
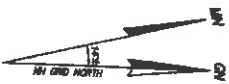
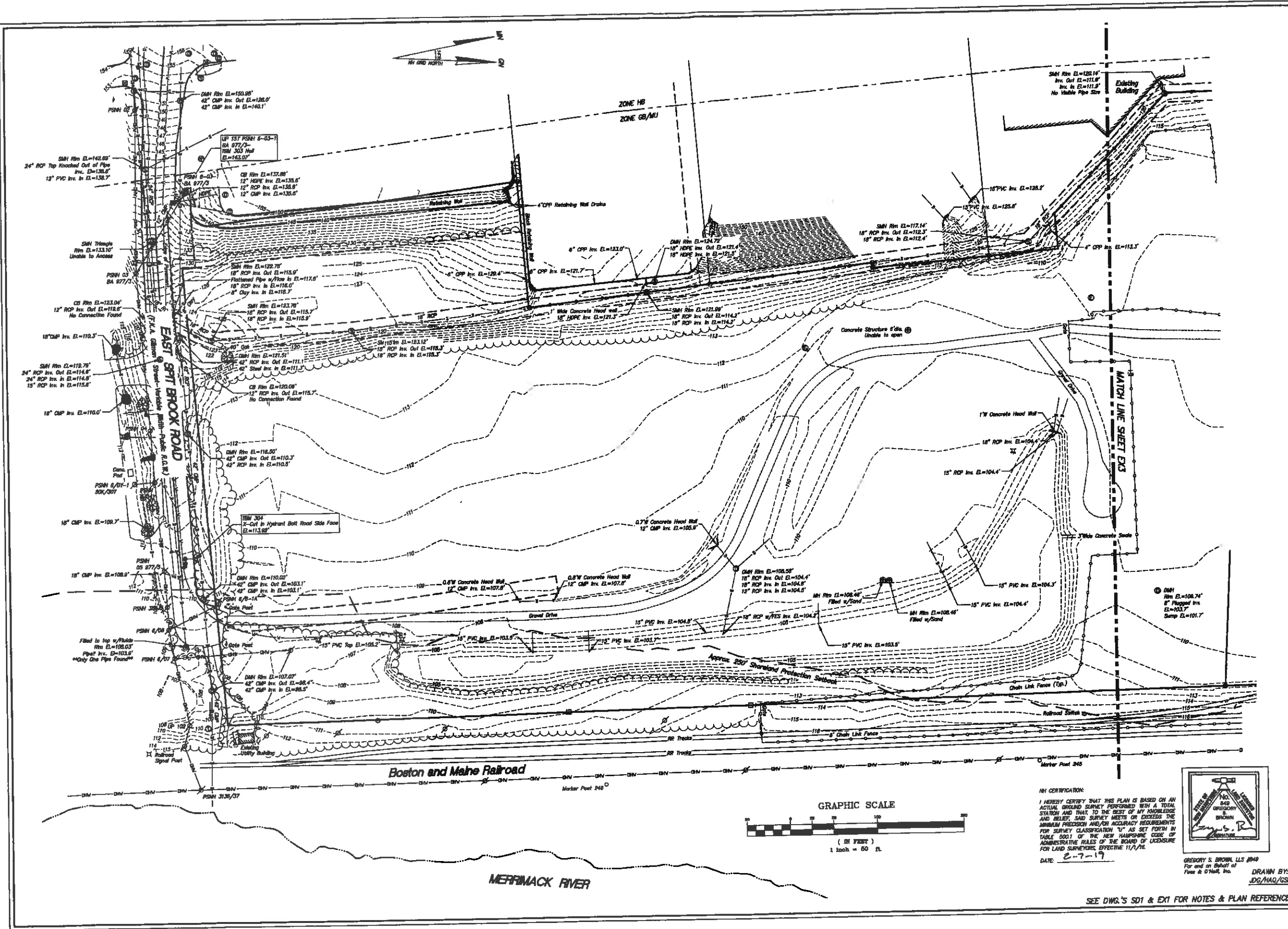
CLIENT:
 ANGLIST COMPANIES
 1682 ELM STREET
 MANCHESTER, NH 03101

DEED HOLDER:
 THE LANDING AT NASHUA, LLC
 1682 ELM STREET
 MANCHESTER, NH 03101
 BOOK 9124 PAGE 1785

**NASHUA LANDING
 EXISTING CONDITIONS**
 TAX MAP A LOT 218
 2 EAST SPT BROOK RD
 NASHUA, NEW HAMPSHIRE 03060
 HILLSBOROUGH COUNTY

SCALE: 1"=200'	JOB NO. 20180826A10
DATE: JAN 2019	DWG. EX1 SH. 6 OF 9

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I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL GROUND SURVEY PERFORMED WITH A TOTAL STATION AND THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, SAID SURVEY MEETS OR EXCEEDS THE MINIMUM PRECISION AND/OR ACCURACY REQUIREMENTS FOR SURVEY CLASSIFICATION "U" AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSEES FOR LAND SURVEYORS, EFFECTIVE 11/1/16.
 DATE: 2-7-19



GREGORY S. BROWN, L.L.S. #049
 For and on Behalf of
 Fuss & O'Neill, Inc.
 DRAWN BY:
 JG/MAJ/GSP

SEE DWG.'S SD1 & EX1 FOR NOTES & PLAN REFERENCES

NO.	DATE	REVISION

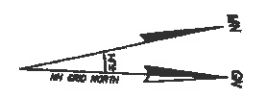
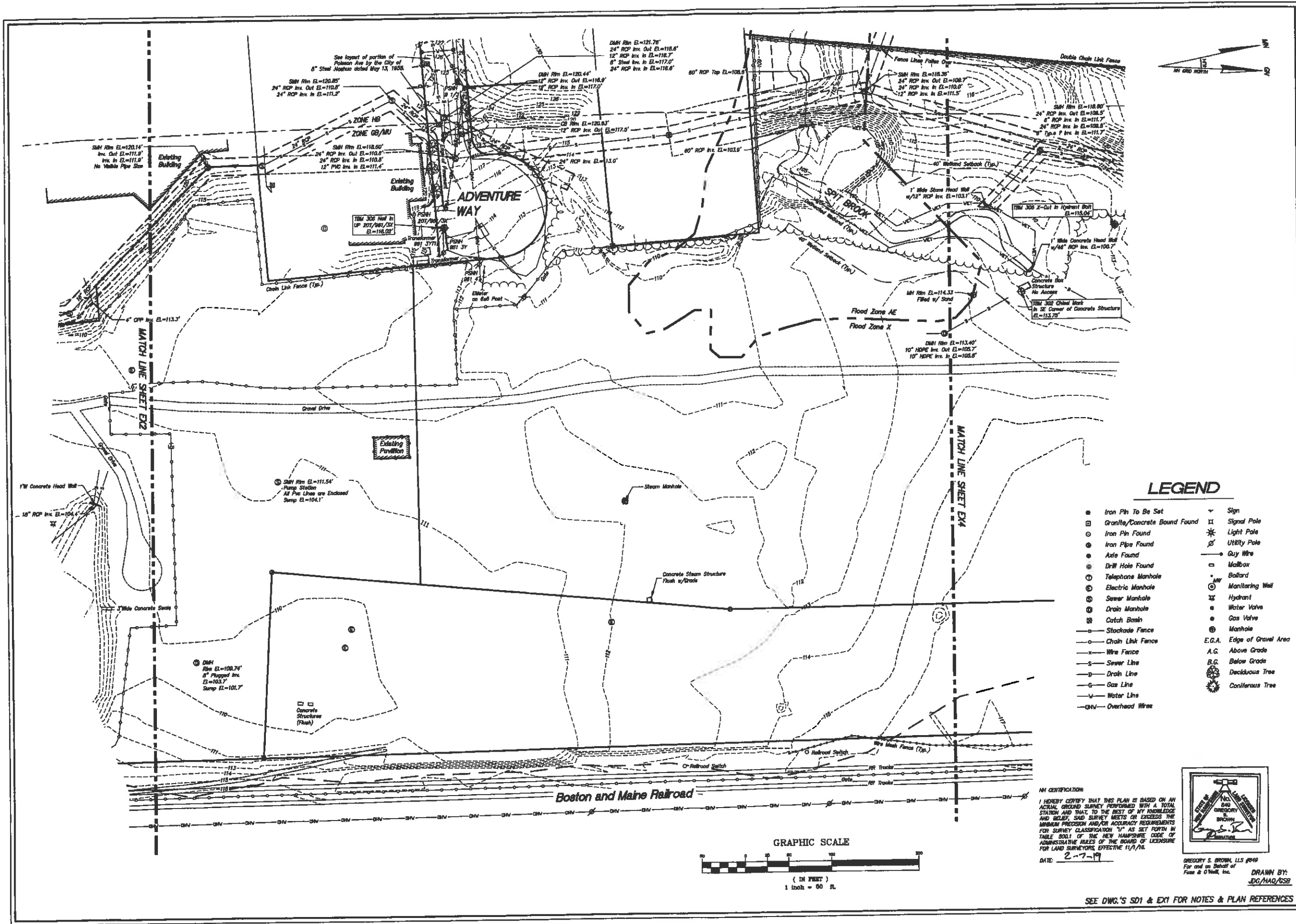
FUSS & O'NEILL
 540 COMMERCIAL STREET
 MANCHESTER, NEW HAMPSHIRE 03101
 603.568.8223
 www.fussandoneill.com | www.fdo.com

CLIENT:
 ANAGNOST COMPANIES
 1982 ELM STREET
 MANCHESTER, NH 03101
 DEED HOLDER:
 THE LANDING AT NASHUA, LLC
 1982 ELM STREET
 MANCHESTER, NH 03101
 BOOK 9324 PAGE 1785

NASHUA LANDING
EXISTING CONDITIONS
 TAX MAP A LOT 218
 2 EAST SPT BROOK RD
 NASHUA, NEW HAMPSHIRE 03060
 HILLSBOROUGH COUNTY

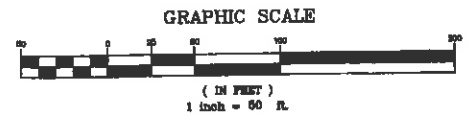
SCALE:	JOB NO.
1"=50'	20180808.10
DATE:	DWG.
JAN 2019	EX2
	SH. 7 OF 9

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LEGEND

- Iron Pin To Be Set
- Granite/Concrete Bound Found
- Iron Pin Found
- ⊙ Iron Pipe Found
- Axle Found
- ⊙ Drill Hole Found
- ⊙ Telephone Manhole
- ⊙ Electric Manhole
- ⊙ Sewer Manhole
- ⊙ Drain Manhole
- ⊙ Catch Basin
- Stackade Fence
- Chain Link Fence
- Wire Fence
- Sewer Line
- Drain Line
- Gas Line
- Water Line
- OHW — Overhead Wires
- ▽ Sign
- ⊙ Signal Pole
- ⊙ Light Pole
- ⊙ Utility Pole
- Guy Wire
- Mailbox
- ⊙ Ballast
- ⊙ Monitoring Well
- ⊙ Hydrant
- Water Valve
- Gas Valve
- Manhole
- E.G.A. Edge of Gravel Area
- A.G. Above Grade
- B.G. Below Grade
- ⊙ Deciduous Tree
- ⊙ Coniferous Tree



NY CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACURAL GROUND SURVEY PERFORMED WITH A TOTAL STATION AND THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, SAID SURVEY MEETS OR EXCEEDS THE MINIMUM PRECISION AND/OR ACCURACY REQUIREMENTS FOR SURVEY CLASSIFICATION 1/4" AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS, EFFECTIVE 1/1/16.
 DATE: 2-7-19



GREGORY S. BROWN, L.L.S. #040
 For and on behalf of
 Fuss & O'Neill, Inc.
 DRAWN BY:
 JDG/HAG/6SB

SEE DWG.'S SD1 & EX1 FOR NOTES & PLAN REFERENCES

NO.	DATE	REVISION

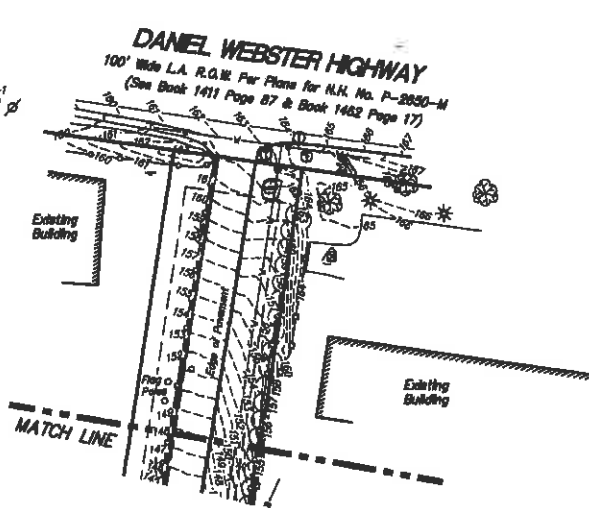
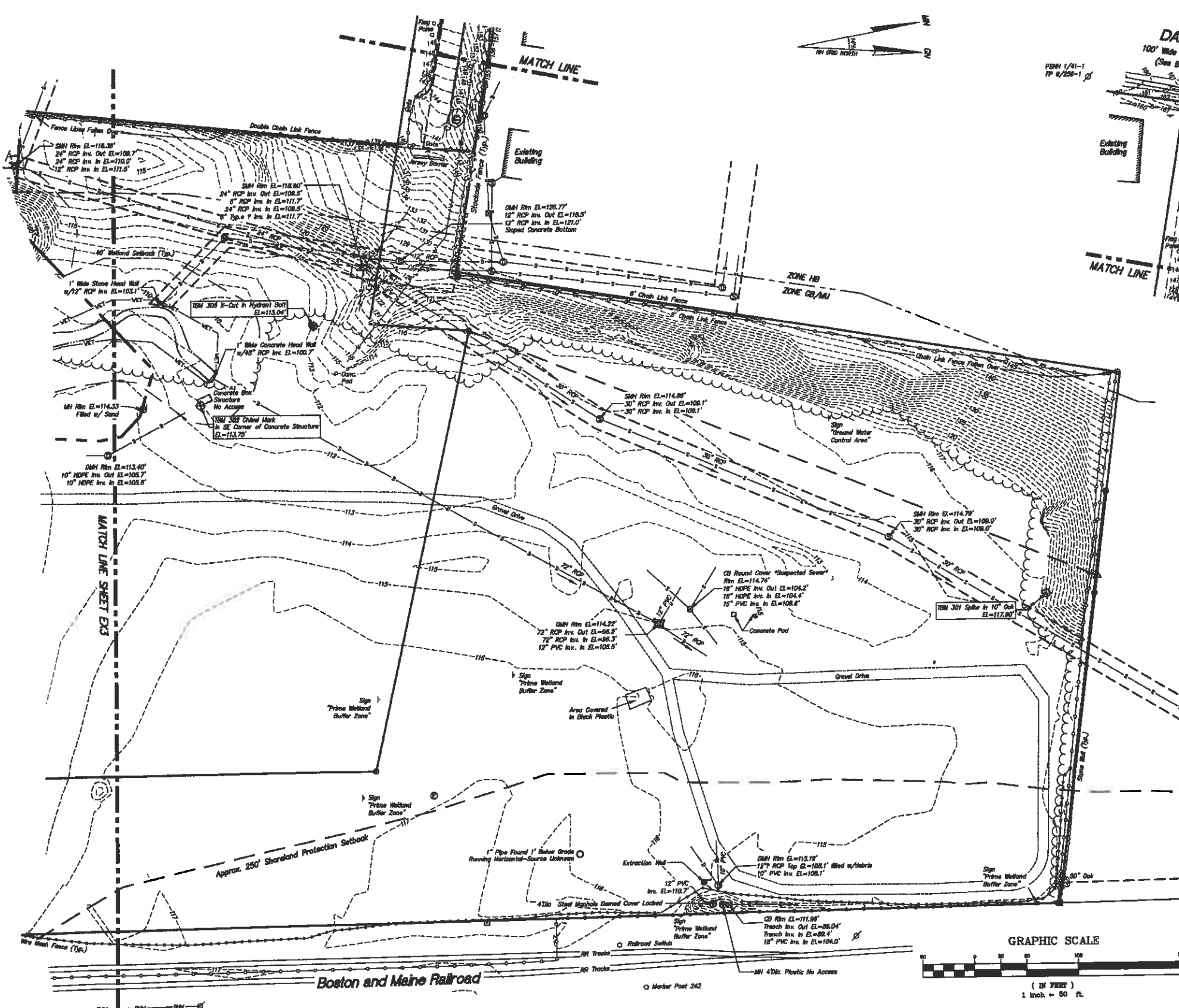
FUSS & O'NEILL
 540 COMMERCIAL STREET
 MANCHESTER, NEW HAMPSHIRE 03101
 603.668.8229
 www.fussandoneill.com

CLIENT: ANACOST COMPANIES
 1802 ELM STREET
 MANCHESTER, NH 03101

DEED HOLDER: THE LANING AT NASHUA, LLC
 1802 ELM STREET
 MANCHESTER, NH 03101
 BOOK 8744 PAGE 1788

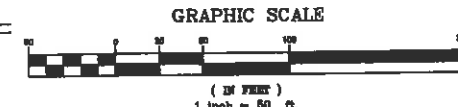
**NASHUA LANDING
 EXISTING CONDITIONS**
 TAX MAP A LOT 218
 2 EAST SPIT BROOK RD
 NASHUA, NEW HAMPSHIRE 03060
 HILLSBOROUGH COUNTY

SCALE: 1"=50'	JOB NO. 20180801A10
DATE: JAN 2019	DWG. EX3 SH 6 OF 9



LEGEND

- Iron Pin To Be Set
- Granite/Concrete Bound Found
- Iron Pin Found
- Iron Pipe Found
- Aze Found
- Drill Hole Found
- Telephone Manhole
- Electric Manhole
- Sewer Manhole
- Catch Manhole
- Catch Basin
- Stockade Fence
- Chain Link Fence
- Wire Fence
- Sewer Line
- Drain Line
- Gas Line
- Water Line
- Overhead Wires
- Sign
- Signal Pole
- ★ Light Pole
- Utility Pole
- Guy Wire
- Mailbox
- Bollard
- Monitoring Well
- Hydrant
- Water Valve
- Gas Valve
- Manhole
- E.G.A. Edge of Gravel Area
- A.G. Above Grade
- B.G. Below Grade
- Deciduous Tree
- Coniferous Tree



NEW HAMPSHIRE
 I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL GROUND SURVEY PERFORMED WITH A TOTAL STATION AND THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, SAID SURVEY MEETS OR EXCEEDS THE MINIMUM PRECISION AND/OR ACCURACY REQUIREMENTS FOR SURVEY CLASSIFICATION "1" AS SET FORTH IN TABLE 502.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS, EFFECTIVE 11/1/16.
 DATE: 2-7-19

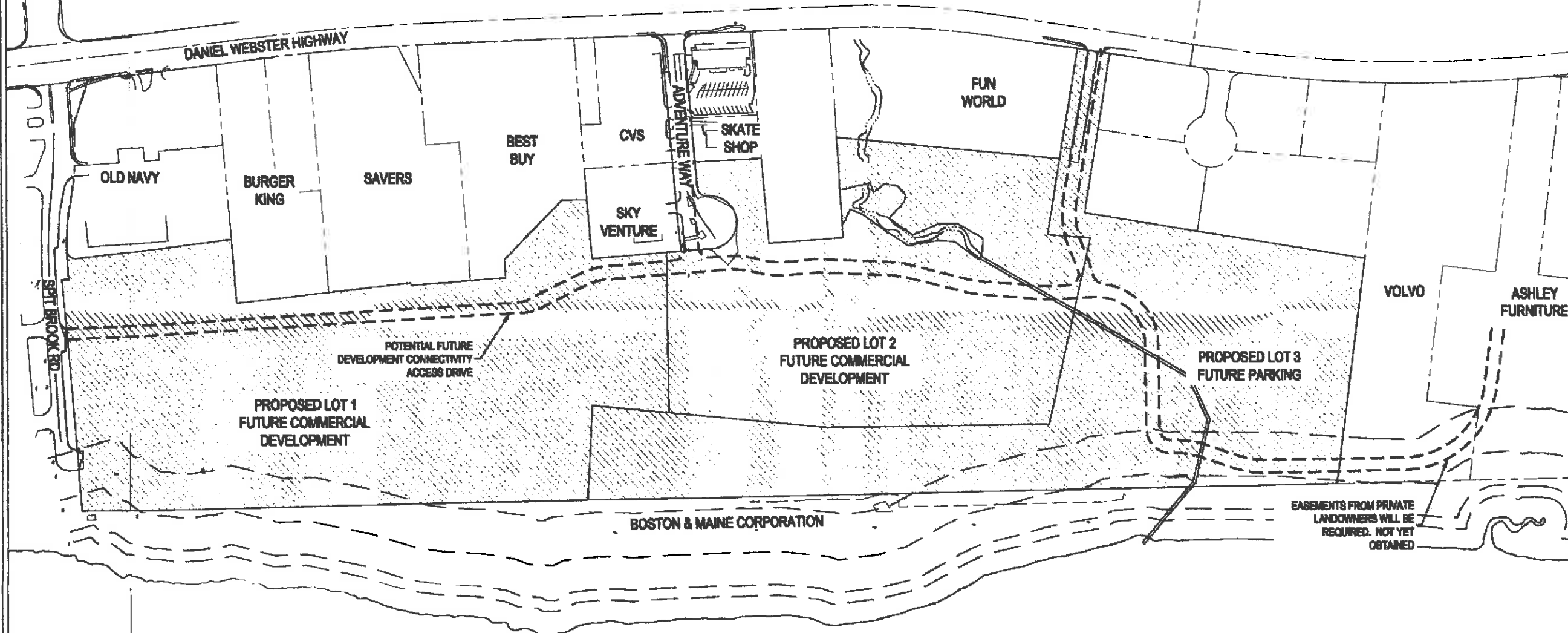


GREGORY S. BROWN, L.L.S. #948
 For and on Behalf of
 Fuss & O'Neill, Inc.
 DRAWN BY:
 J.D.G./H.A.Q./G.S.B.

SEE DWG.'S SD1 & EX1 FOR NOTES & PLAN REFERENCES

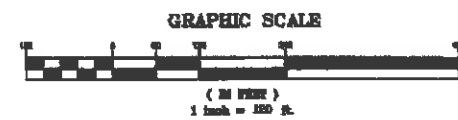
FUSS & O'NEILL 540 COMMERCIAL STREET MANCHESTER, NEW HAMPSHIRE 03101 603.668.8225 www.fussandoneill.com	
CLIENT: ANAKOST COMPANIES 1692 ELM STREET MANCHESTER, NH 03101 DEED HOLDER: THE LANDING AT NASHUA, LLC 1692 ELM STREET MANCHESTER, NH 03101 BOOK 1784 PAGE 1785	PROJECT: NASHUA LANDING EXISTING CONDITIONS TAX MAP A LOT 218 2 EAST SPT BROOK RD NASHUA, NEW HAMPSHIRE 03060 HILLSBOROUGH COUNTY
SCALE: 1"=50' DATE: JAN. 2019	JOB NO. 201808BL10 DWG. EX4 SH. 0 OF 9

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MASTER ACCESS PLAN NOTES

1. THE PURPOSE OF THIS PLAN IS TO SHOW POTENTIAL FUTURE ACCESS CONNECTIONS BETWEEN FUTURE COMMERCIAL DEVELOPED PROPERTIES.
2. THESE ARE NOT PROPOSED FUTURE STREETS, BUT INSTEAD ARE MEANT TO SHOW POSSIBLE INTER-CONNECTIVITY BETWEEN THE FUTURE ADJACENT COMMERCIAL PROPERTIES.



NO.	DATE	REVISION	CHECKED:	APPROVED:
			ANS	BAP
			ANS	BAP



ANAGNOST COMPANIES
1662 ELM STREET
MANCHESTER, NH 03101

THE LANDING AT NASHUA LLC
1662 ELM STREET
MANCHESTER, NH 03101

NASHUA LANDING
MASTER ACCESS PLAN
TAX MAP A LOT 218
2 EAST SPIT BROOK RD
NASHUA, NH 03060
HILLSBOROUGH COUNTY

SCALE:
1"=120'

JOB NO.
2018089L10

DATE:
2/7/19

DWG.
MA1