

ABUTTERS

Lot 251/Sheet 129
David M. & Pamela L. Peabody
58 Linton Street
Nashua, NH 03060
Acct. No. 26388
Bk. 7296/Pg. 1876

Lot 203/Sheet 129
Ainsworth Rev. Trust
David C. Ainsworth, Trustee
57 Linton Street
Nashua, NH 03060-5330
Acct. No. 1196
Bk. 8620/Pg. 1304

Lots 249, 250 & 184/Sheet 129
Michael S. McCullough
Alyson Hewitt
60 Linton Street
Nashua, NH 03060-5379
Acct. No. 20706, 20708 & 20710
Bk. 9111/Pg. 1672

Lot 250/Sheet A
City of Nashua
PO Box 2019
Nashua, NH 03061
Acct. No. 39721

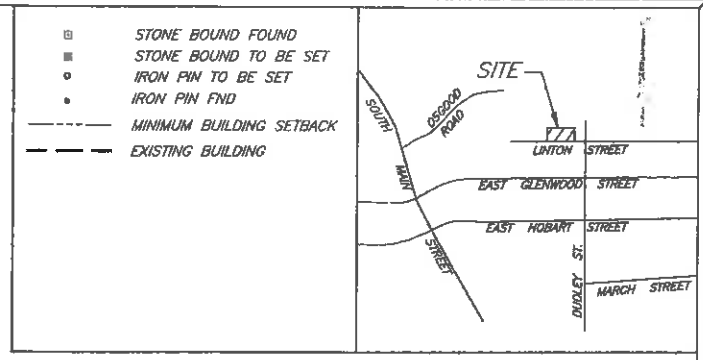
Lot 201/Sheet 129
Joanne M. Bausch
55 Linton Street
Nashua, NH 03060-5330
Acct. No. 4250
Bk. 5255/Pg. 1585

Lot 254/Sheet 129
Robert J. D'Ortona Jr.
40 Linton Street
Nashua, NH 03060-5379
Acct. No. 44039
Bk. 5628/Pg. 1732

Maynard & Paquette Eng. Associates, LLC
31 Quincy Street
Nashua, NH 03060

PLAN REFERENCES:

- 1) MAP OF ROSEMONT NASHUA, NH DATED APRIL-1924 BY E.H. SHEFFIELD ENGINEER, FILED HC RD PLAN NO. 326.
- 2) CONSOLIDATION PLAN, LAND OF WILFRED M. & PRISCILLA L. LEBLANC; FOR: BRENTWOOD REALTY & DEVELOPMENT; BY: ROLAND R. GIROUARD; SCALE: 1"=20'; DATED: OCT. 3, 1985 FILED HC RD PLAN NO. 1656



LEGEND

NOTES:

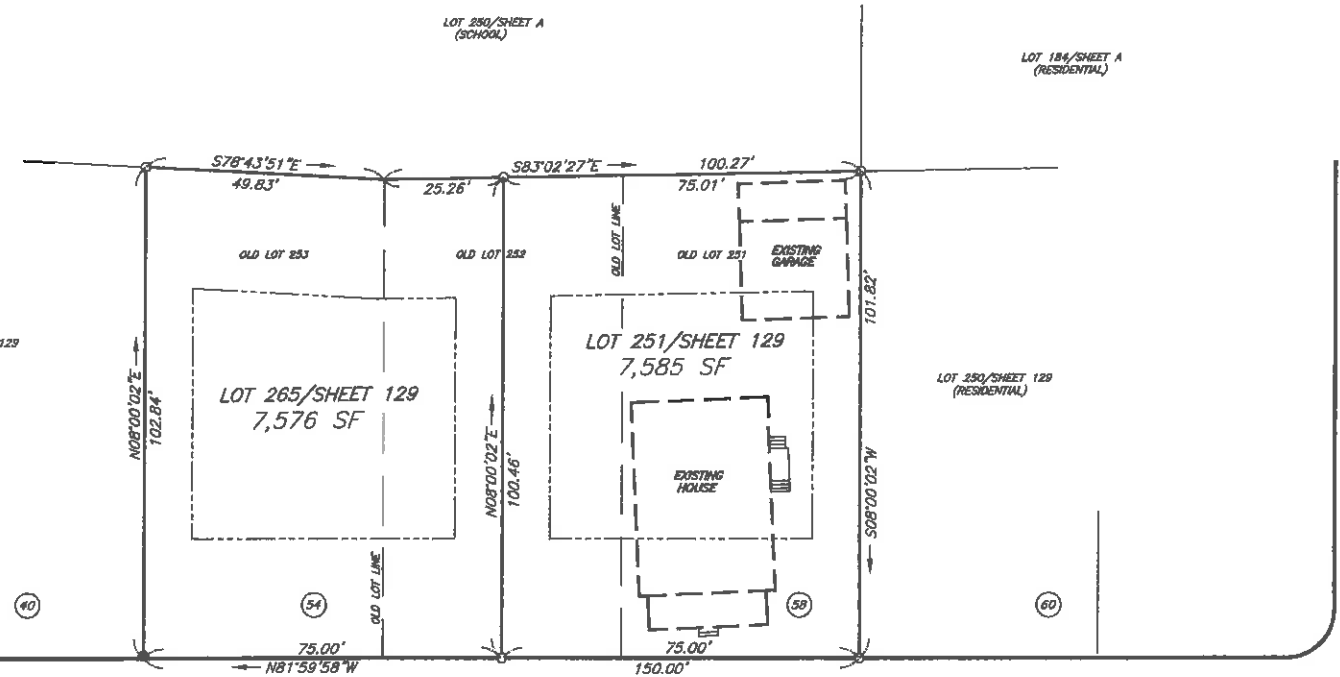
1. PRESENT ZONING: "RA" RESIDENTIAL
2. TOTAL LOT AREA: 15,161 SF OR 0.349 AC.
3. EXISTING USE: RESIDENTIAL
4. PROPOSED USE: RESIDENTIAL
5. THE PURPOSE OF THIS PLAN IS TO RELOCATE THE LOT LINE FOR LOT 251 AND TO CONSOLIDATE THE REMAINING 1 1/2 LOTS (LOTS 252 & 253) TO CREATE A NEW BUILDING LOT.
6. AREAS OF EXCHANGE:

LOT	OLD AREA	NEW AREA	AREA OF EXCHANGE
251	5,088 SF	7,585 SF	+2,517 SF
252	5,023 SF	7,576 SF	+2,553 SF
253	5,070 SF	0 SF	-5,070 SF
15,161 SF		15,161 SF	0 SF

7. DIMENSIONAL REQUIREMENTS:

SINGLE FAMILY - "RA"	LOT 251	LOT 252
MINIMUM LOT AREA - 7,500 SF	7,585 SF	7,576 SF
FRONT YARD SETBACK - 25 FEET	5.8 FT.	5.8 FT. MIN.
SIDE YARD SETBACK - 10 FEET	17.8 FT.	10 FT. MIN.
REAR YARD SETBACK - 25 FEET	46.7 FT.	25 FT. MIN.
MIN. OPEN SPACE - 30% MIN.	57%	30% MIN.
MIN. LOT WIDTH - 75 FEET	75.00 FT.	73.00 FT.
MIN. LOT DEPTH - 90 FEET	101.14 FT.	101.60 FT.
MIN. LOT FRONTAGE - 60 FEET	75.00 FT.	75.00 FT.

8. LOT IS SERVICED BY MUNICIPAL SEWER AND PENNHUCK WATER WORKS.
9. PLAN COMPLIES WITH MINIMUM REQUIREMENTS.
10. FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATIONS OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THIS PLAN PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN PRIOR TO PROCEEDING WITH THE WORK.
12. THE SITE IS LOCATED WITHIN ZONE X, OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD PLAIN, PER F.I.R.M. COMMUNITY MAP NUMBER 33011C0514E, EFFECTIVE DATE: APRIL 24, 2011
13. FOR EXISTING AND PROPOSED ON-SITE/OFF-SITE FEATURES, SEE EXISTING CONDITIONS PLAN, SHEET 2.
14. SHEET 1 TO BE RECORDED AT THE H.C.R.D.
15. PARKING REQUIRED: 2 SPACES PER LOT
PARKING PROPOSED: 2 SPACES
16. UTILITIES INCLUDING ALL ELECTRIC, TELEPHONE, CABLE TELEVISION, AND OTHER COMMUNICATION LINES, BOTH MAIN AND SERVICE CONNECTIONS, SERVICING NEW DEVELOPMENTS SHALL BE PROVIDED BY OVERHEAD WIRING, PER WAIVER REQUEST.
17. THE PROPOSED DRIVEWAY WILL MEET SITE DISTANCE REQUIREMENTS PER SECTION 190-208 OF THE CITY OF NASHUA ZONING REGULATIONS.
18. STREET RESTORATION SHALL BE IN ACCORDANCE WITH CHAPTER 285 DIVISION 13 ARTICLE II OF THE CITY OF NASHUA ORDINANCES. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED TO THE SATISFACTION OF THE DIVISION OF PUBLIC WORKS (NO NEW PUBLIC R.O.W.'S PROPOSED).
19. EROSION CONTROL MEASURES (SILT FENCE SCREENING) SHALL BE INSTALLED ALONG DOWN GRADIENT SLOPES PRIOR TO INITIATION OF ANY WORK AND SHALL BE MAINTAINED BY THE DEVELOPER UNTIL ADEQUATE VEGETATIVE COVER HAS BEEN ESTABLISHED ON ALL GRADED AREAS.
20. THERE ARE NO WETLANDS ON THE SITE.
21. A BUILDING PERMIT PLAN AND A DRIVEWAY PLAN WITH PROPOSED SITE GRADING AND DRAINAGE SHALL BE APPROVED BY THE ENGINEERING DEPT. PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR A SINGLE FAMILY HOME, THE STANDARD STORM WATER LETTER SHALL ALSO BE SUBMITTED AT THIS TIME.
22. ALL STREET AND UTILITY IMPROVEMENTS WILL BE COMPLETED TO THE SATISFACTION OF THE CITY OF NASHUA PLANNING AND ENGINEERING DEPARTMENTS.
23. EXISTING LOTS OF RECORD AND NO NEW LOTS BEING CREATED THUS NO SIDEWALK REQUIRED.
24. HOUSE ON LOT 253 SHALL REQUIRE ONE STANDARD LEACHING CATCH BASIN IN REAR YARD. (ALSO SEE NOTE NO. 21)
25. EXISTING GRAVEL DRIVE TO LEFT (WEST) OF EXISTING HOUSE TO BE ASPHALT PAVED WITHIN THE PUBLIC ROW.



LINTON STREET

DUDLEY STREET

CONSOLIDATION & LOT LINE RELOCATION PLAN LOT 251/SHEET 129

**58 LINTON STREET
NASHUA, NEW HAMPSHIRE**

PREPARED FOR:
OWNERS:
DAVID M. & PAMELA L. PEABODY
58 LINTON STREET
NASHUA, NH 03060
PHONE NO. (603) 566-3793

SCALE: 1"=20' DATE: DECEMBER 10, 2018

Maynard & Paquette
Engineering Associates, LLC
Consulting Engineers and Land Surveyors
31 Quincy Street, Nashua, N.H. 03060
Phone: (603)883-8433 Fax: (603)883-7227

JWY	APB		739 / 34	1	D	12606
DESIGNED	DRAFTED	CHECKED	APPROVED	BOOK & PAGE	REVISION	SIZE

APPROVED BY THE CITY OF NASHUA PLANNING BOARD

SECRETARY _____ DATE _____
CHAIRMAN _____ DATE _____

David M. Peabody
DAVID M. PEABODY
1/9/19
DATE

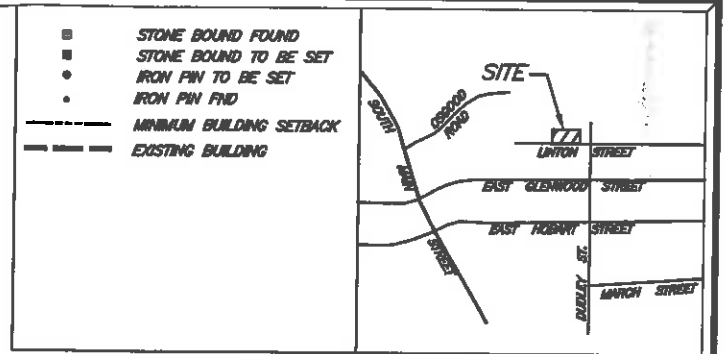
I CERTIFY THAT THIS PLAN WAS PREPARED FROM BOUNDARY INFORMATION SHOWN ON PLAN REFERENCES 1 AND A FIELD SURVEY MADE ON THE GROUND IN SEPTEMBER 2018 HAVING A MAXIMUM ERROR OF CLOSURE OF 1:10,000.

NO.	DATE	REVISION	BY
1	02-04-19	REVERSE PER REVIEW LETTER COMMENTS DATED 1-31-19	JWY
2	03-13-19	REVERSE STREET NUMBER FOR NEW LOT	APB

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MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC

PLAN REFERENCES:

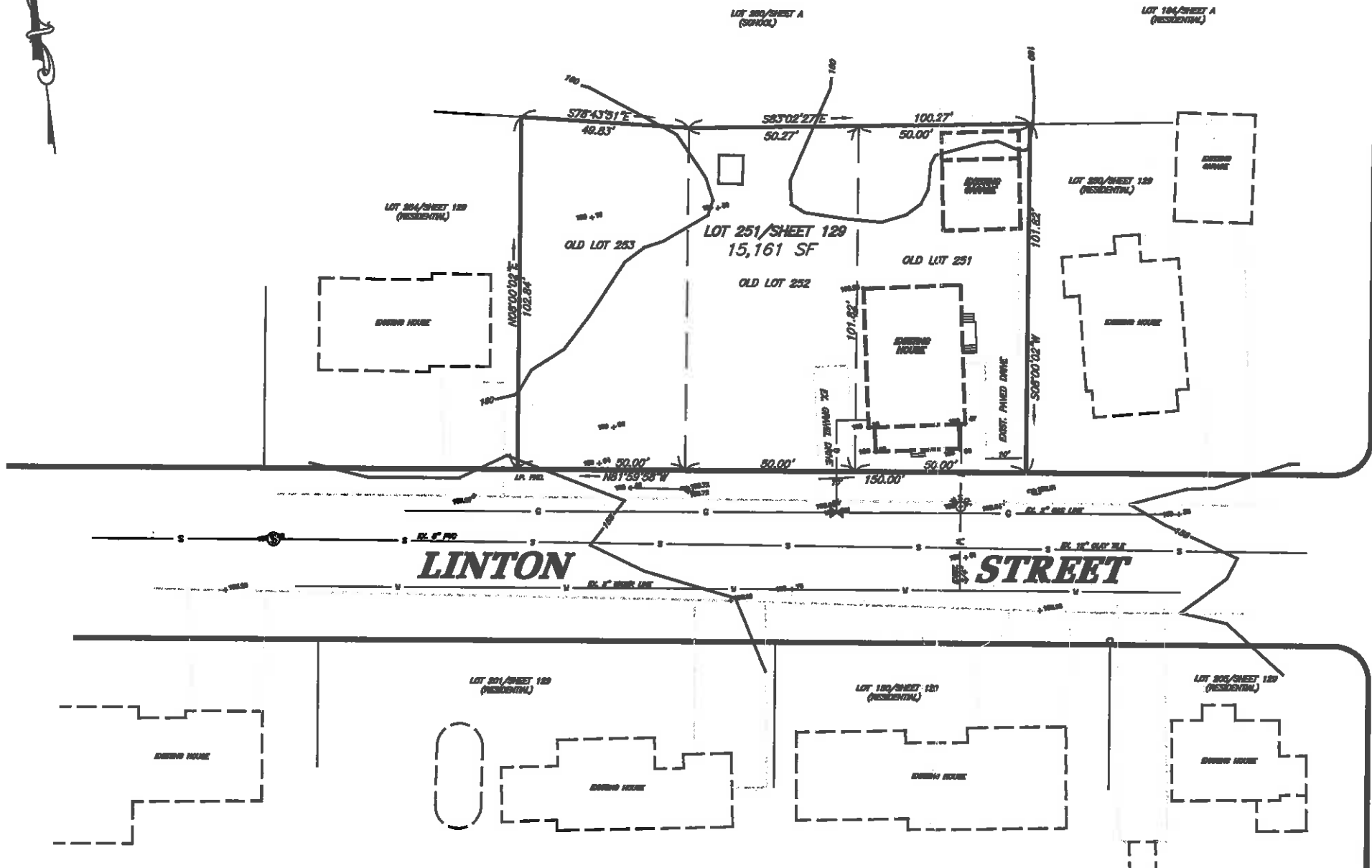
- 1) MAP OF ROSEMONT NASHUA, NH DATED APRIL-1924 BY E.H. SHEFFIELD ENGINEER. FILED HCRO PLAN NO. 526.
- 2) CONSOLIDATION PLAN, LAND OF WILFRED M. & PRISCILLA L. LEBLANC; FOR: BRENTWOOD REALTY & DEVELOPMENT; BY: ROLAND R. GIROUARD; SCALE: 1"=20'; DATED: OCT. 3, 1985 FILED HCRO PLAN NO. 1658



LEGEND

LOCUS

N.T.S.



EXISTING CONDITIONS PLAN LOT 251/SHEET 129
58 LINTON STREET
NASHUA, NEW HAMPSHIRE

PREPARED FOR:
 DAVID M. & PAMELA L. PEABODY
 58 LINTON STREET
 NASHUA, NH 03060
 PHONE NO. (603) 586-3793



SCALE: 1"=20' DATE: DECEMBER 10, 2018

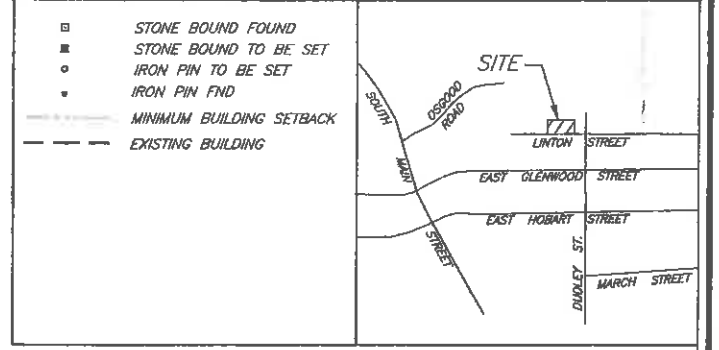
MP Maynard & Paquette
 Engineering Associates, LLC
 Consulting Engineers and Land Surveyors
 51 Quincy Street, Nashua, N.H. 03060
 Phone: (603) 883-8433 Fax: (603) 883-7227

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PLAN REFERENCES:

- 1) MAP OF ROSEMONT NASHUA, NH DATED APRIL-1924 BY E.H. SHEFFIELD ENGINEER. FILED HCRD PLAN NO. 526.
- 2) CONSOLIDATION PLAN, LAND OF WILFRED M. & PRISCILLA L. LEBLANC; FOR: BRENTWOOD REALTY & DEVELOPMENT; BY: ROLAND R. GIROUARD; SCALE: 1"=20'; DATED: OCT. 3, 1985 FILED HCRD PLAN NO. 1656

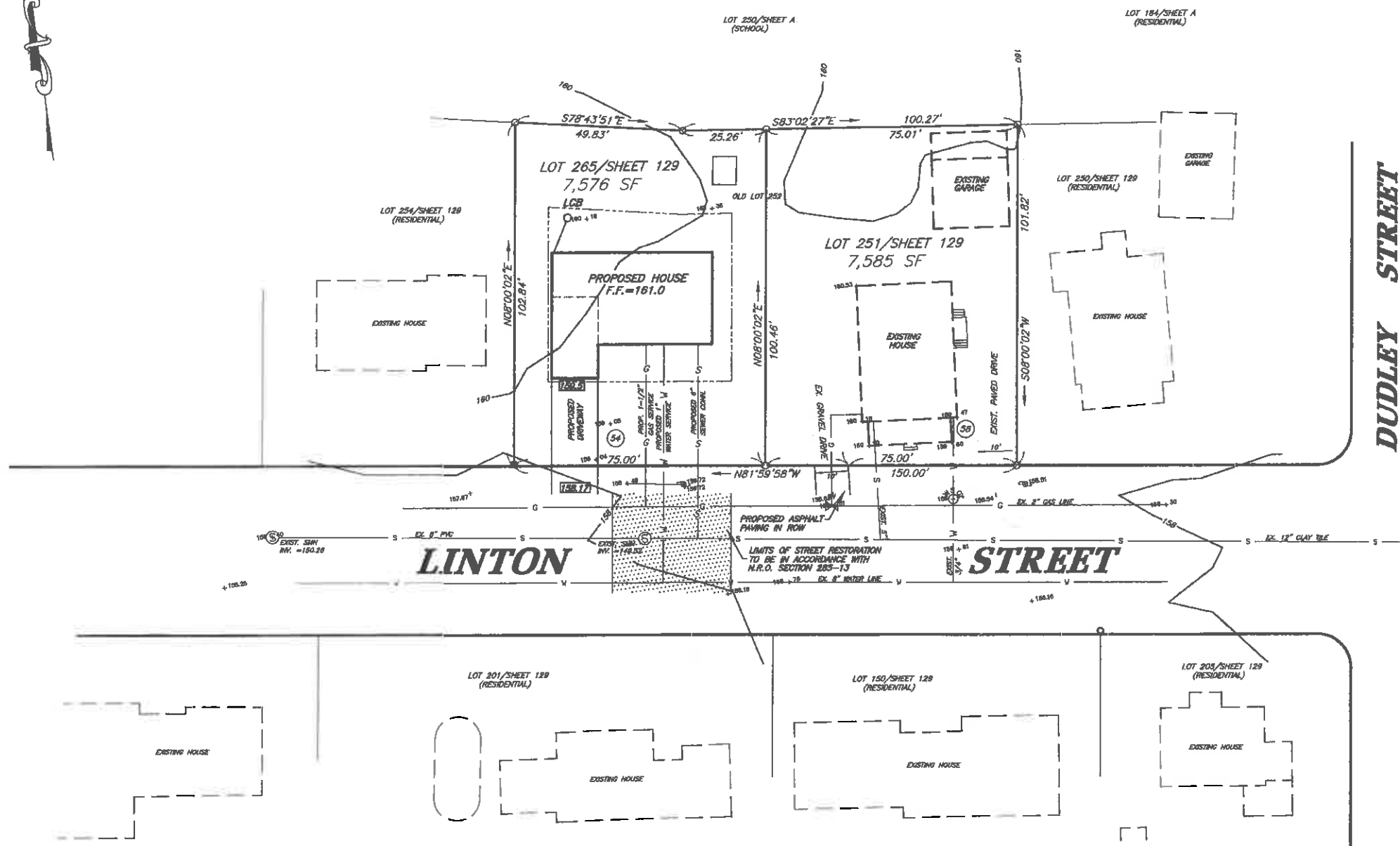


LEGEND

LOCUS

NOTES:

1. HOUSE SIZE, LOCATION, GRADING, ETC. SHOWN FOR LOT 265 IS ILLUSTRATIVE ONLY. SEE NOTE No. 21 ON DEG. 1.
2. SEE DWG. 4 FOR LANDSCAPING.



NO.	DATE	BY	REVISION
1	02-04-19	JY	REVISOR PER REVIEW LETTER COMMENTS DATED 1-31-19
2	02-20-19	APB	REVISOR PER REVIEW LETTER COMMENTS DATED 2-12-19
3	03-13-19	APB	REVISED SHEET NUMBER FOR NEW LOT

GRADING PLAN
58 LINTON STREET
NASHUA, NEW HAMPSHIRE

PREPARED FOR:
 DAVID M. & PAMELA L. PEABODY
 58 LINTON STREET
 NASHUA, NH 03060
 PHONE NO. (603) 566-3793

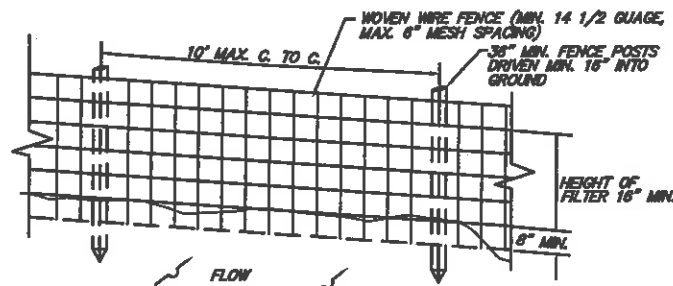


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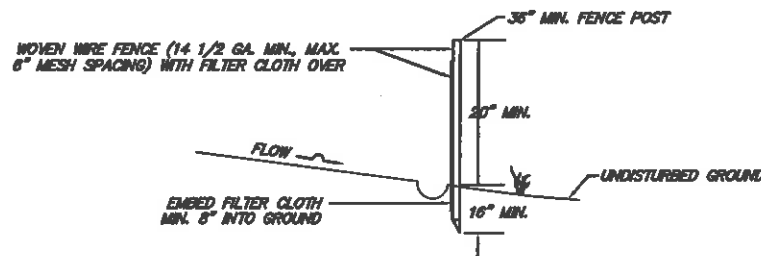
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PERSPECTIVE VIEW



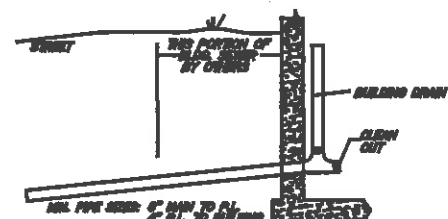
SECTION VIEW
TYPICAL SILT FENCE DETAIL
N.T.S.

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

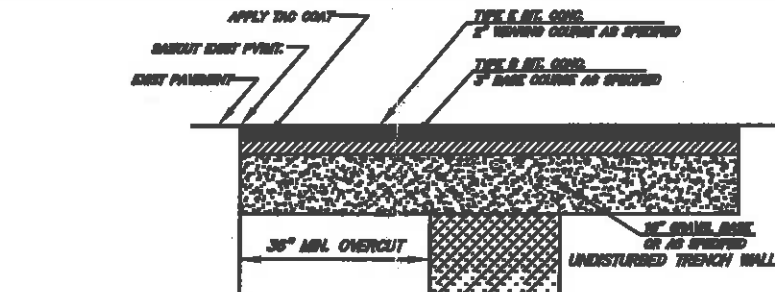
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT TOP AND MID-SECTION.
3. WHERE TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES AND FOLDED TOGETHER.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

INSTALLATION PROCEDURE

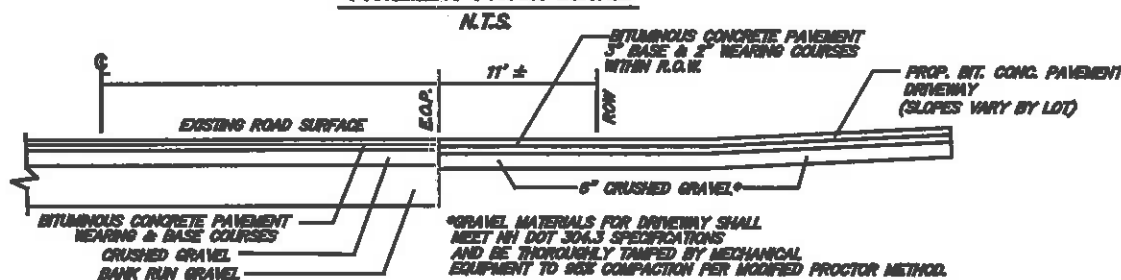
1. LAY OUT A SUITABLE FENCE LINE AND SET POSTS ALONG IT. ON SLOPES, ALIGN THE FENCE ALONG THE CONTOUR AS CLOSELY AS POSSIBLE. IN SMALL SWALES, CURVE THE FENCE LINE UPSTREAM AT THE SIDES TO DIRECT THE FLOW TOWARD THE MIDDLE OF THE FENCE. THE SIDES SHOULD BE HIGHER THAN THE CENTER. SPACE POSTS A MAXIMUM OF 10 FEET APART AND DRIVE THEM AT LEAST 12 INCHES INTO THE GROUND. WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING MUST NOT EXCEED 6 FEET. POSTS FOR SILT FENCES CAN BE EITHER 4 INCH ϕ WOOD OR 1.33 LB/FT STEEL WITH A MINIMUM LENGTH OF FIVE FEET. STEEL POSTS HAVE PROJECTIONS FOR FASTENING WIRE TO THEM. EXCAVATE A TRENCH APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
2. FASTEN WIRE MESH SECURELY TO THE UPSLOPE SIDE OF THE POSTS. USE HEAVY-DUTY WIRE STAPLES AT LEAST 1 INCH LONG TO THE WIRES OR HOG RINGS. EXTEND THE WIRE 6 INCHES INTO THE TRENCH. WIRE FENCE REINFORCEMENT FOR SILT FENCES MUST BE A MINIMUM OF 42 INCHES WIDE, BE A MINIMUM OF 14 GAUGE, AND HAVE A MAXIMUM MESH SPACING OF 6 INCHES. THE 42 INCH LENGTH IS NEEDED SO THAT 6 INCHES CAN BE EXTENDED INTO THE TRENCH AND LEAVE A 36 INCH SUPPORT FENCE ABOVE THE GROUND. WHEN EXTRA-STRENGTH FABRIC IS USED AND FENCE POSTS ARE MORE CLOSELY SPACED, THE WIRE MESH CAN BE OMITTED.
3. FASTEN THE FILTER FABRIC TO THE UPSLOPE SIDE OF THE FENCE POSTS AND EXTEND IT 6 TO 8 INCHES INTO THE TRENCH. THE HEIGHT OF THE FENCE SHOULD NOT EXCEED 36 INCHES. DO NOT STAPLE FABRIC ONTO TREES. CUT THE FILTER FABRIC FROM A CONTINUOUS ROLL TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, SPlice THE FILTER CLOTH AT A SUPPORT POST, WITH A MINIMUM 6 INCH OVERLAP, AND SECURELY FASTEN BOTH ENDS TO THE POST.
4. BACKFILL THE TRENCH OVER THE TOP OF THE FABRIC AND COMPACT THE SOIL.



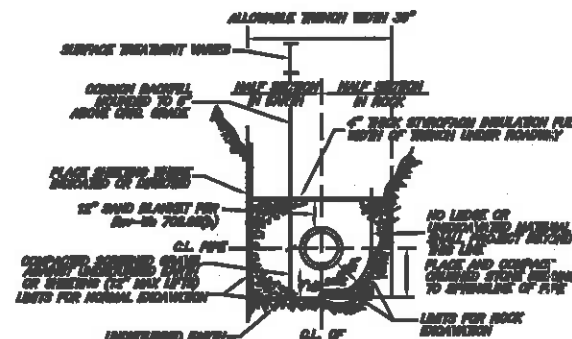
SEWER SERVICE CONNECTION
N.T.S.



PAVEMENT PATCH DETAIL
N.T.S.



TYPICAL DRIVEWAY SECTION
N.T.S.



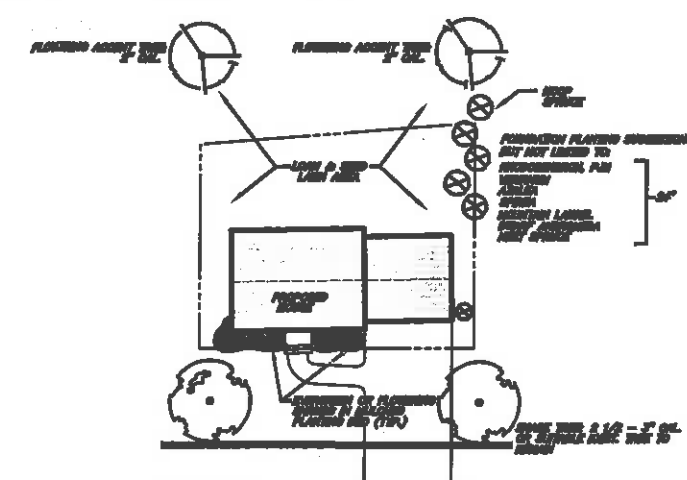
TYP. GRAVITY SEWER TRENCH
N.T.S.

- NOTES: SEWER CONNECTION IN EXISTING PAVED PUBLIC ROW
- 1.0 GENERAL
 - 1.1 CONTRACTOR IS RESPONSIBLE TO HAVE ALL PROPER PERMITS OBTAINED TO UTILIZE AND OBTAIN REQUIRED PERMITS FROM APPROPRIATE AGENCIES IN CHARGE OF THE PUBLIC RIGHT OF WAY TO BE OBTAINED PRIOR TO START OF CONSTRUCTION.
 - 1.2 CUTTING AND REMOVING PAVEMENT
 - 1.3 PAVEMENT REMOVAL SHALL BE APPROVED
 - 1.4 PAVEMENT REMOVAL SHALL BE CUT OUT BEFORE REMOVING AND REMOVING IT WITHIN THE EXISTING LIMITS.
 - 1.5 REMOVAL AND PAVEMENT REMOVAL SHALL BE DONE SO AS TO PRODUCE CLEAN, UNIFORM, VERTICAL EDGES WITHOUT DAMAGE TO THE REMAINING PAVEMENT AND/OR UNDERLAYS BY TRENCH EXCAVATION.
 - 1.6 TRENCH EXCAVATION
 - 1.7 THE CONTRACTOR SHALL FURNISH, PUT IN PLACE, AND MAINTAIN SHIELDING AND BRACING IF REQUIRED TO SUPPORT THE SIDES OF THE EXCAVATION TO PREVENT LOSS OF SOIL WHICH COULD CAUSE OR DELAY WORK OF ADJACENT STRUCTURES OR CAUSE OBSTRUCTION OF EXISTING PASSAGES.
 - 1.8 ALL APPROPRIATE SIGNS SHALL BE SHOWN BY CONTRACTOR TO MAINTAIN THE TRAFFIC.
 - 1.9 PIPE INSTALLATION AND BEDDING
 - 1.10 REFER TO PLANS FOR SIZE AND MATERIAL OF PIPE AND EXCAVATION TRENCH DESIGN FOR BEDDING.
 - 1.11 BACKFILL
 - 1.12 AS SOON AS PRACTICABLE AFTER THE PIPE HAS BEEN LAID, JOINTS, PROPERLY BEDDED (AND TESTED, IF REQUIRED) BACKFILL SHALL BE SHOWN AND THEREAFTER BE PROCEEDED THEREAFTER.
 - 1.13 BACKFILL OF THE REMAINDER OF THE TRENCH TO BE IN ACCORDANCE WITH THE STANDARD TRENCH SECTION DETAIL.
 - 1.14 PAVEMENT REPLACEMENT
 - 1.15 NO PAVEMENT PAVEMENT SHALL BE PLACED OVER A BACKFILLED TRENCH WITHIN 60 DAYS AFTER COMPLETION OF THE BACKFILL UNLESS PERMITTED TO DO SO IN WRITING BY THE TOWN/CITY ENGINEER. REPAIRS MAY BE DELAYED FOR A LONGER TIME IF THE TOWN/CITY ENGINEER SO DIRECTS.
 - 1.16 CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN APPROVAL OF QUALIFIED FACILITY TO SUPPLY PERMANENT INTERLOCK PAVEMENT MATERIAL FROM TOWN/CITY ENGINEER PRIOR TO START OF PAVEMENT REPLACEMENT.
 - 1.17 THE PAVEMENT PAVEMENT SHALL CONSIST OF A 5-1/2 INCH BASE COURSE OF TYPE B AND 1-1/2 INCH COURSE OF TYPE E NOT INTERLOCK PAVEMENT MATERIAL LISTED BELOW.

PERCENTAGE BY WEIGHT FINNING - COMMOD APPROXIMATE

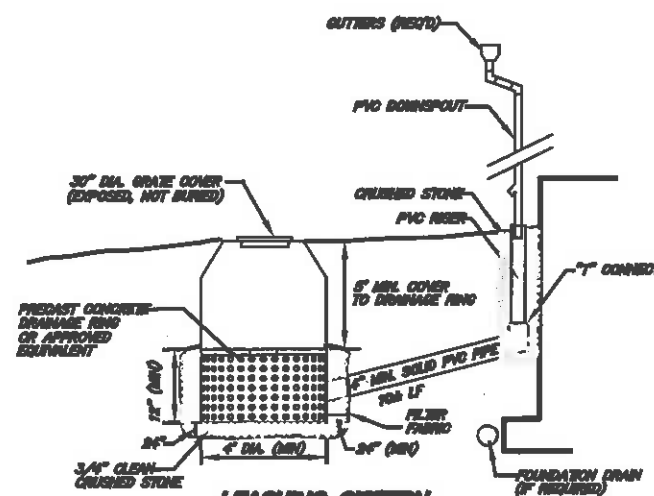
SIEVE SIZE	TYPE B		TYPE E	
	MIN	MAX	MIN	MAX
3/8"	85	100	85	100
1/2"	70	85	80	95
3/4"	60	75	65	80
1"	45	60	50	70
1 1/2"	30	45	35	50
2"	15	30	20	35
2 1/2"	5	15	10	25
3"	0	5	0	10
3 1/2"	0	0	0	0

- 1.18 ASPHALT COURSE
- 1.19 2" MIN
- 1.20 IMMEDIATELY PRIOR TO LAYING THE ASPHALT AND BEFORE COURSE, TRENCH EDGES SHALL BE STABLE AND OVERLAPPING. FINE OF LOSS OF SOIL FROM FENCES AND ALL EDGES SHALL BE THOROUGHLY BROKEN AND COATED WITH AN ASPHALT TAPE COAT FROM THE EXISTING ROAD COURSE PRIOR TO LAYING ROAD COURSE.
- 1.21 THE TRENCH COURSE SHALL BE ROLLED UNTIL THOROUGHLY COMPACTED BY A ROLLER BEHIND APPROXIMATELY TO TRENCH, BUT NOT HEAVY ENOUGH TO DAMAGE THE EXISTING ADJACENT PAVEMENT.



TYPICAL INDIVIDUAL LOT LANDSCAPE PLAN
N.T.S.

1. PROPOSED BUILDING FOOTPRINT, DRIVEWAY LOCATION & FOUNDATION PLANINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE ON A LOT BY LOT BASIS.
2. 1 SHADE THE REQUIRED PER FOOTY (40) LINEAR FEET OF FRONTAGE OR TWO (2) CORNERED TURNS FOR 1 SHADE THE PER SECTION 100-1000) OF THE NARRATIVE LAND USE CODE.
3. TYPICAL INDIVIDUAL LOT LANDSCAPE PLAN IS FOR PROPOSED BUILDING LOT ONLY. LANDSCAPING ON EXISTING BUILDING LOTS TO REMAIN.



LEACHING CISTERN RESIDENTIAL GROUNDWATER RECHARGE SYSTEM
N.T.S.
(FOR NEW CONSTRUCTION ONLY)



- 10.0 BEDDING SHALL BE 1/2" STONE FINE FROM CLAY LOAM, GRANULAR MATERIAL AND MIXING SPECIFICATIONS BELOW. CHANGED STONE GRADES (ASTM C33 STONE SIZE NO. 4)
 - 10.1 1/2" PAVING 1 1/2 INCH SCREEN
 - 10.2 2" PAVING 1 INCH SCREEN
 - 10.3 3" PAVING 3/4 INCH SCREEN
 - 10.4 4" PAVING 1/2 INCH SCREEN
 - 10.5 6" PAVING 3/8 INCH SCREEN
 - 10.6 8" PAVING NO. 4 SIEVE
- WHERE CHANGED BY THE ENGINEER TO STABILIZE THE ADEQ. GRADED STONE 1/2 TO 1-1/2 INCH SHALL BE USED.
- 11.0 LOCATION: THE LOCATION OF THE TIE OR TIE - NOT APPLICABLE TO THIS PROJECT.
 - 12.0 CONCRETE: FOR MANHOLE SECTIONS SHALL HAVE MINIMUM 60 DAY COMPRESSIVE STRENGTH OF 3000 PSI AND MEET THE FOLLOWING SPECIFICATIONS:
 - 12.1 6.5 BASE FOR CURB AND CURB
 - 12.2 6.5 BELL FOR PER DIA OF CURB
 - 12.3 MINIMUM SIZE OF APPROXIMATE 1 INCH
 - 12.4 CURBING: - NOT APPLICABLE TO THIS PROJECT.

SEWER SERVICE CONNECTIONS
N.T.S.

DETAIL SHEET
58 LINTON STREET
NASHUA, NEW HAMPSHIRE

OWNER:
DAVID M. & PAMELA L. PEABODY
58 LINTON STREET
NASHUA, NH 03080
PHONE NO. (603) 586-3793

SCALE: NTS DATE: DECEMBER 10, 2018

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DESIGNED	DRAWN	CHECKED	APPROVED	BOOK & TITLE	REVISION	DOC	JAN 2008

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