

GENERAL INFORMATION

OWNER/APPLICANT

MAP 40 LOT 50
RESIDENCES AT RIVERFRONT LANDING LIMITED
PARTNERSHIP
100 GALEN STREET
WATERTOWN, MA 02472

RESOURCE LIST

PLANNING/ZONING DEPARTMENT
229 MAIN STREET
NASHUA, NH 03061-2019
(603) 589-3112
ROGER HOUSTON, MANAGER

BUILDING DEPARTMENT

229 MAIN STREET
NASHUA, NH 03061-2019
(603) 589-3080
WILLIAM MCKINNEY, MANAGER/BUILDING OFFICIAL

PUBLIC WORKS

9 RIVERSIDE STREET
NASHUA, NH 03062
(603) 589-3140
LISA FAUTEUX, DIRECTOR

POLICE DEPARTMENT

0 PANTHER DRIVE
NASHUA, NH 03062
(603) 594-3600
ANDREW J. LAVOIE, CHIEF

FIRE DEPARTMENT

FIRE STATION
177 LAKE STREET
NASHUA, NH 03060
(603) 594-3651
BRIAN D. RHODES, FIRE CHIEF

BUSINESS OFFICE

70 EAST HOLLIS STREET
NASHUA, NH 03060

ARCHITECT

DESTEFANO ARCHITECTS, PLLC
23 HIGH STREET
PORTSMOUTH, NH 03801
(603) 431-8701

RESIDENCES AT RIVERFRONT LANDING

PHASE 1A - AMENDED SITE PLANS

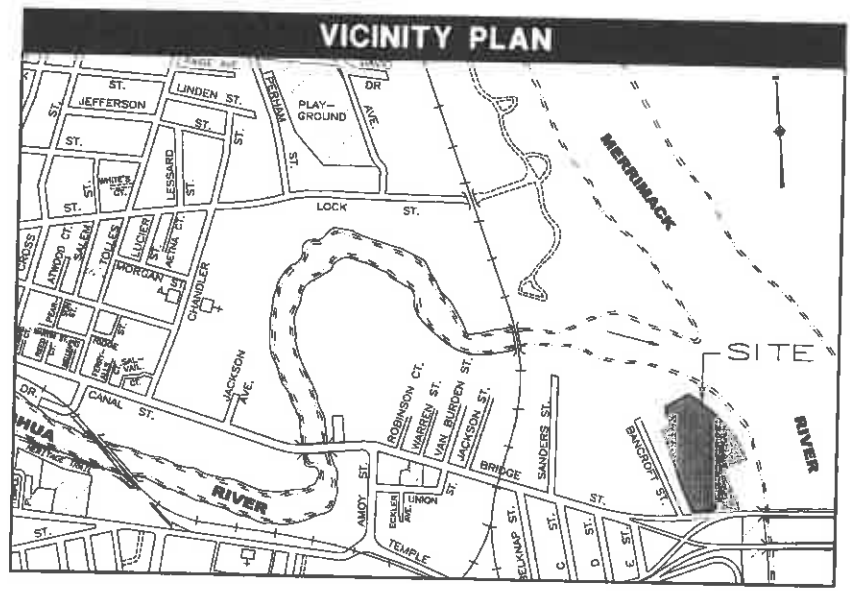
**7 BANCROFT STREET
NASHUA, NEW HAMPSHIRE**

DECEMBER 20, 2018

INDEX OF SHEETS	
SHEET	SHEET TITLE
C-0	COVER SHEET
C-1	OVERALL SITE PLAN
C-2	SITE PLAN
C-3	GRADING & EROSION CONTROL PLAN
C-4	DRAINAGE PLAN
C-5	UTILITY PLAN
C-6	LIGHTING PLAN
C-7	EROSION CONTROL NOTES & DETAILS
C-8	DETAILS
-	ELEVATION BUILDING B
A1.0	FIRST FLOOR PLAN
A1.1	SECOND FLOOR PLAN

PERMITS / APPROVALS		
NUMBER	APPROVED	EXPIRES
CITY SITE PLAN		

THESE PLANS ARE PERMIT DRAWINGS ONLY AND NOT INTENDED FOR CONSTRUCTION OR BIDDING



SCALE: 1"=2000'



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

SITE PLAN AMENDMENT

TAX MAP 40 LOT 50
PHASE 1A AMENDED - COVER SHEET
RESIDENCES AT RIVERFRONT LANDING
7 BANCROFT STREET
NASHUA, NEW HAMPSHIRE

OWNER / APPLICANT
RESIDENCES AT RIVERFRONT LANDING
LIMITED PARTNERSHIP

DECEMBER 20, 2018

TFM MSC
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

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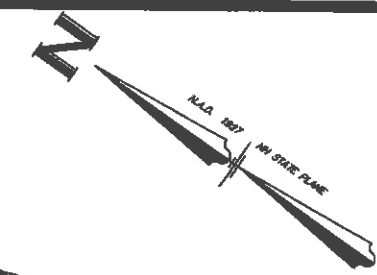
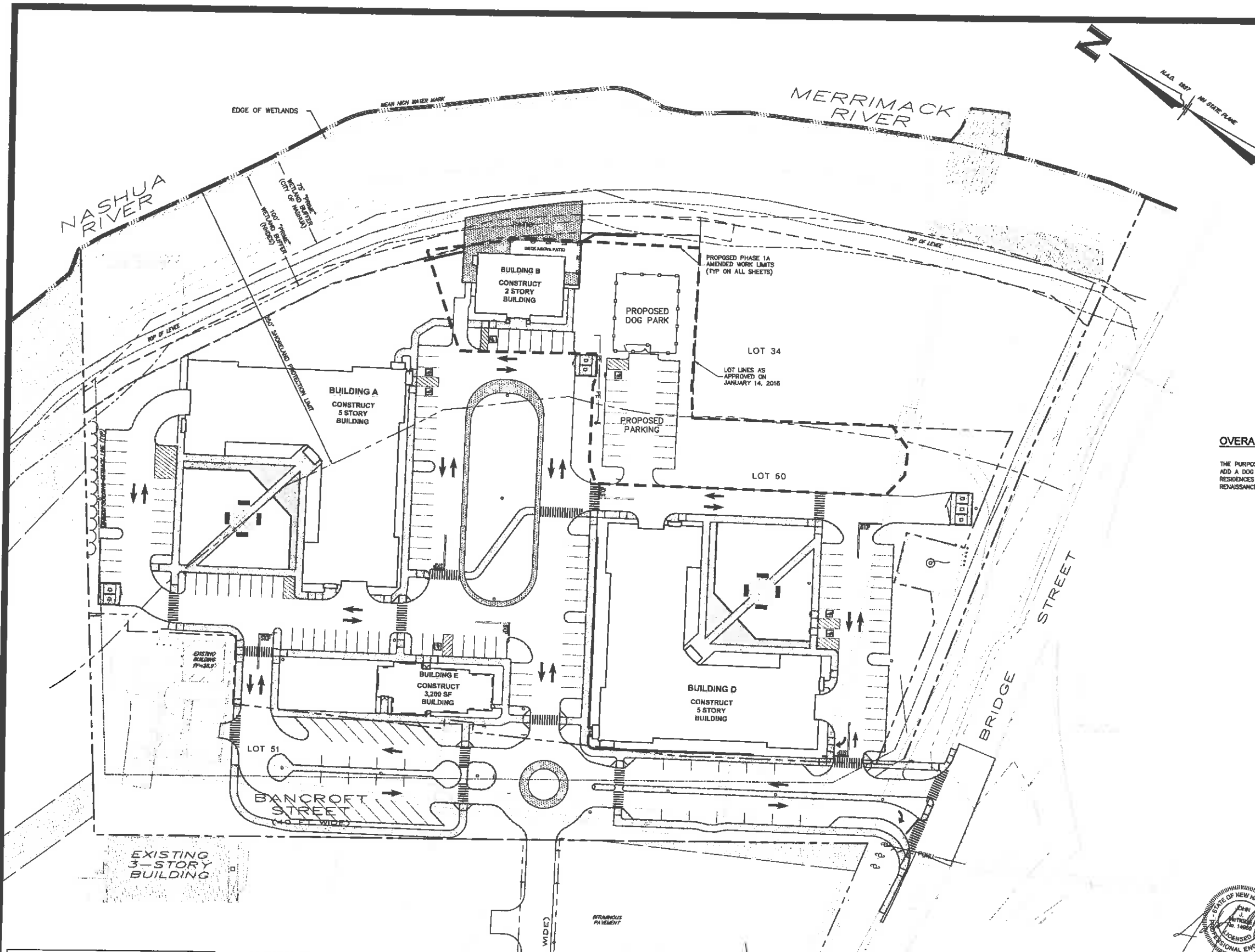
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Riverfront Landing 12/18



LEGEND			
SF	SQUARE FEET	[Symbol]	PROPOSED PAINT
[Symbol]	ACCESSIBLE PARKING	[Symbol]	EXISTING RIP RAP
TYP	TYPICAL	[Symbol]	PROPOSED CONCRETE
VGC	VERTICAL GRANITE CURB	[Symbol]	PROPERTY LINE
[Symbol]	EXISTING UTILITY POLE	[Symbol]	PROPOSED EDGE OF WETLANDS
[Symbol]	PROPOSED UTILITY POLE	[Symbol]	EDGE OF WETLANDS BUFFER
[Symbol]	EXISTING GUY WIRE	[Symbol]	SETBACK LINE
[Symbol]	EXISTING SEWER MANHOLE	[Symbol]	EXISTING TREELINE
[Symbol]	PROPOSED SIGN	[Symbol]	PROPOSED TREELINE
[Symbol]	PROPOSED LIGHTPOLE BASE	[Symbol]	EXISTING GUARD RAIL
[Symbol]	PROPOSED PARKING COUNT	[Symbol]	EXISTING FENCE
[Symbol]	PROPOSED DUMPSTER	[Symbol]	TOP OF LEVEL
[Symbol]	PROPOSED TRANSFORMER PAD	[Symbol]	ZONE LINE
		[Symbol]	BUFFER LINE

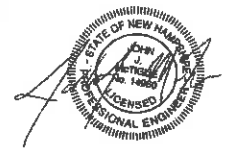
OVERALL SITE NOTES

THE PURPOSE OF THESE AMENDED SITE PLANS IS TO SHOW THE USE OF BUILDING B (7 BANCROFT STREET) AS RESIDENTIAL AND ADD A DOG PARK AND AN ADDITIONAL 19 PARKING SPACES. THESE PLANS AMEND PLANS TITLED TAX MAP 40 LOTS 34, 50 & 51 RESIDENCES AT RIVERFRONT LANDING 62 & 70 BRIDGE STREET NASHUA, NEW HAMPSHIRE OWNED BY CITY OF NASHUA APPLICANT: RENAISSANCE DOWNTOWNS AT NASHUA LLC.

TAX MAP 40 LOT 50
PHASE 1A AMENDED - OVERALL SITE PLAN
 RESIDENCES AT RIVERFRONT LANDING
 7 BANCROFT STREET
 NASHUA, NEW HAMPSHIRE

OWNER / APPLICANT
RESIDENCES AT RIVERFRONT LANDING
 LIMITED PARTNERSHIP

SCALE: 1"=40'
 DECEMBER 20, 2018



APPROVED BY THE NASHUA PLANNING BOARD
 ON _____ AND _____
 CHAIRMAN: _____ SECRETARY: _____



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CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION



REV.	DATE	DESCRIPTION	DR	CR

		Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.tfmoran.com

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PROPOSED PARKING PER PHASE & LOTS

PHASE 1 SPACES -	LOT 34	0 SPACES
	LOT 50	227 SPACES (INCLUDES 92 WITHIN GARAGE)
	LOT 51	41 SPACES
	TOTAL	268 SPACES

SITE DATA (PHASE 1)

ZONED: GENERAL INDUSTRIAL/MIXED USE OVERLAY DISTRICT (GI/MU)
 EXISTING USE: VACANT/RECREATIONAL
 PROPOSED USE: RESIDENTIAL

DIMENSIONAL REQUIREMENTS (LAND USE CODE 9/1/12)

	REQUIRED:	PROVIDED:
MINIMUM LOT DIMENSIONS:		
LOT AREA	5,000 SF	230,744.7 SF
WIDTH	50 FT	277 FT
STREET FRONTAGE	50 FT	297 FT
DEPTH	75 FT	518 FT
MINIMUM YARD DIMENSIONS:		
FRONT	10 FT	50 FT
SIDE	10 FT	2 FT
REAR	15 FT	82 FT
MAXIMUM STRUCTURE DIMENSIONS:		
STRUCTURE HEIGHT	60 FT	63.5 FT
STORIES	5 EA	5 EA
MINIMUM OPEN SPACE	10 %	40.2 %

PARKING REQUIREMENTS

PARKING SPACES (SEE CALCULATION)	241 SPACES	268 SPACES
ACCESSIBLE SPACES (REQ'D BY ADA)	7 SPACES	8 SPACES
PARKING SPACE SIZE	9 FT x 20 FT	9 FT x 18 FT
aisle width	24/22 FT	24/22 FT

PARKING CALCULATIONS

REQUIRED PARKING RATIO:		
MULTI FAMILY DWELLING:	1.5 SPACE PER UNIT (MIN)	
FITNESS CLUB:	1 SPACE PER 650 SF	
OFFICE:	1 SPACE PER 1,000 SF	
CYBER LOUNGE:	1 SPACE PER 600 SF	
COMMUNITY ROOM:	1.5 SPACES PER 1,000 SF	
TOTAL REQUIRED =	159 DWELLING UNITS * 1.5 SPACES/UNIT = 238.5 SPACES +	
	439 SF FITNESS CENTER * 1/650 SF = 0.7 SPACES +	
	617 SF OFFICE * 1/1,000 SF = 0.6 SPACES +	
	339 SF CYBER LOUNGE * 1/600 SF = 0.8 SPACES +	
	876 SF COMMUNITY ROOM * 1/1,000 SF = 0.9 SPACES	
	TOTAL REQUIRED = 241 SPACES	
TOTAL PROVIDED =	DOG PARK = 18 SPACES	
	OUTSIDE OF GARAGE = 116 SPACES	
	WITHIN GARAGE = 92 SPACES	
	TOTAL PROVIDED = 227 SPACES	

NOTES - SEE GENERAL NOTES SHEET FOR ADDITIONAL NOTES.

- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN IN ANY WAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
- FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE REVISED BUILD USE FOR BUILDING B AND THE NEIGHBORING DOG PARK AND PARKING AREA FOR THE DOG PARK.
- PRIOR TO ANY WORK BEING CONDUCTED A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PLANNING STAFF AND OTHER CITY DEPARTMENTS AS NECESSARY TO REVIEW THE PROPOSED WORK.
- NOT USED.
- THERE ARE NO INLAND WETLANDS LOCATED ON THE PROPERTY, THE PROPERTY BORDERS THE NASHUA AND MERRIMACK RIVERS.
- NOT USED.

THE UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

APPLICANT _____

DATE _____

PLAN REFERENCES

- TOPOGRAPHIC WORKSHEET (LOT 32, MAP 39 AND LOTS 34, 37, 38 & 48, MAP 40) BRIDGE, SANDERS & BANCROFT STREETS NASHUA, NEW HAMPSHIRE PREPARED FOR RENAISSANCE AT NASHUA, LLC BY HAYNER/SWANSON, INC. DATED SEPTEMBER 4, 2015. THIS PLAN WAS UTILIZED TO CREATE A BASE DRAWING FOR THIS PROJECT.
- EXISTING CONDITIONS PLAN (MAP 40, LOTS 34, 50 & 51) 82 & 70 BRIDGE STREET NASHUA, NEW HAMPSHIRE PREPARED FOR RENAISSANCE AT NASHUA, LLC BY HAYNER/SWANSON, INC. DATED FEBRUARY 10, 2016.

LEGEND

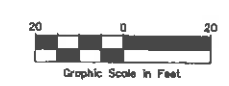
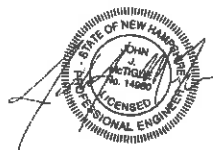
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[Symbol]	ACCESSIBLE PARKING	[Symbol]	EXISTING RIP RAP
TYP	TYPICAL	[Symbol]	PROPOSED CONCRETE
VGC	VERTICAL GRANITE CURB	[Symbol]	PROPERTY LINE
[Symbol]	EXISTING UTILITY POLE	[Symbol]	PROPOSED EDGE OF WETLANDS
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[Symbol]	EXISTING GUY WIRE	[Symbol]	SETBACK LINE
[Symbol]	EXISTING SEWER MANHOLE	[Symbol]	EXISTING TREELINE
[Symbol]	PROPOSED SIGN	[Symbol]	PROPOSED TREELINE
[Symbol]	PROPOSED LIGHTPOLE BASE	[Symbol]	EXISTING CLAUD RAIL
[Symbol]	PROPOSED PARKING COUNT	[Symbol]	EXISTING FENCE
[Symbol]	PROPOSED DUMPSTER	[Symbol]	TOP OF LEVEE
[Symbol]	PROPOSED TRANSFORMER PAD	[Symbol]	ZONE LINE
		[Symbol]	BUFFER LINE

TAX MAP 40 LOT 50
PHASE 1A AMENDED - SITE PLAN
RESIDENCES AT RIVERFRONT LANDING
7 BANCROFT STREET
NASHUA, NEW HAMPSHIRE

OWNER / APPLICANT
RESIDENCES AT RIVERFRONT LANDING
LIMITED PARTNERSHIP

SCALE: 1"=80'
 DECEMBER 20, 2016

WAIVERS APPROVED OCTOBER 6, 2016:
 A. SECTION 190-23 F (1), WHICH SET DIMENSIONAL AND DENSITY REQUIREMENTS.
 B. SECTION 190-193, WHICH SETS MINIMUM DIMENSIONAL REQUIREMENTS FOR PARKING SPACES.
 C. SECTION 190-194, WHICH SETS MINIMUM PARKING STANDARDS.
 D. SECTION 190-199, WHICH SETS MINIMUM DIMENSIONAL REQUIREMENTS FOR LOADING SPACES.
 E. SECTION 190-206, WHICH SETS MINIMUM GEOMETRIC DESIGN STANDARDS FOR STREET.

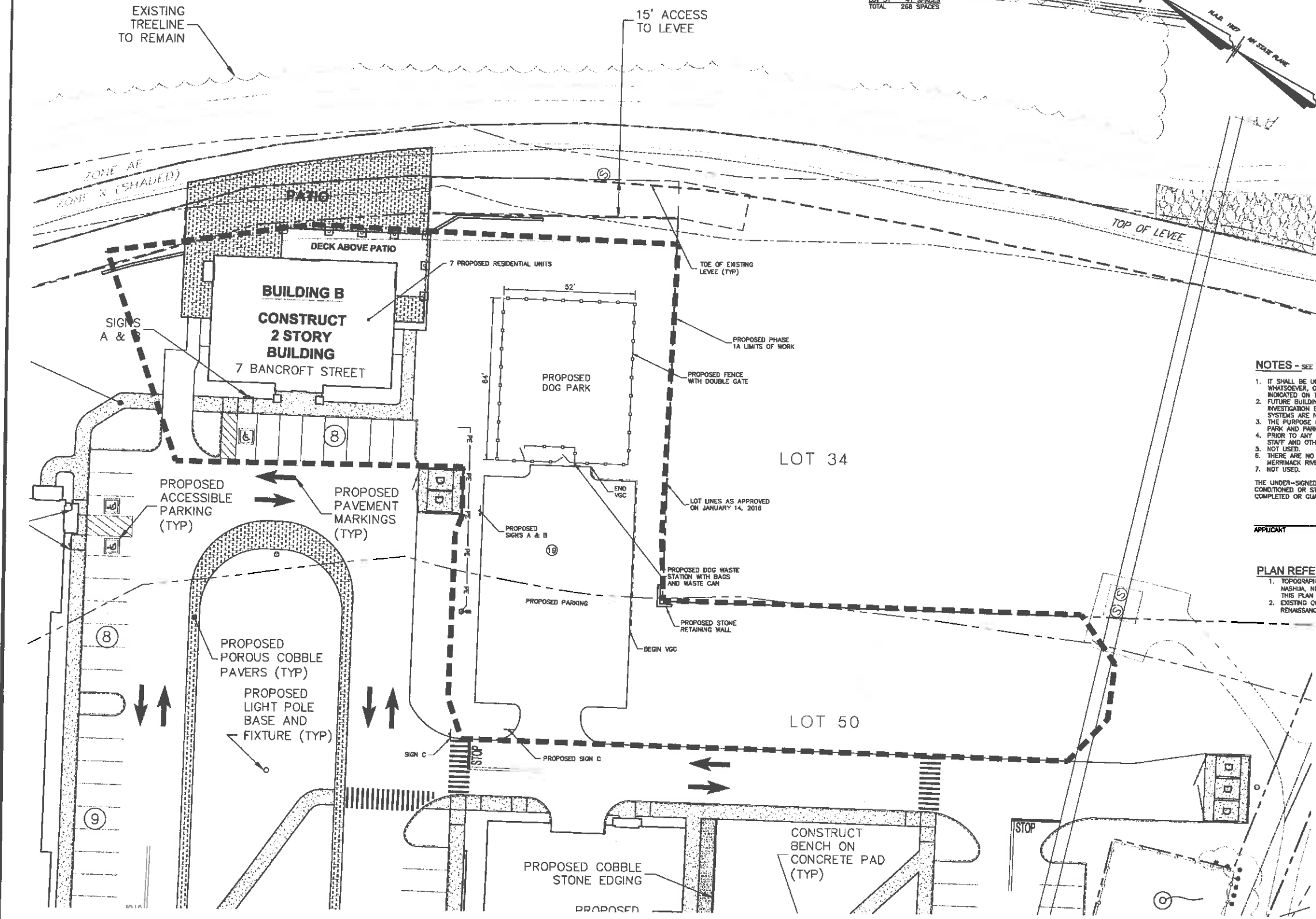


REV.	DATE	DESCRIPTION	DR	CK

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 CIVIL ENGINEERS
TFM
 STRUCTURAL ENGINEERS
MSC
 TRAFFIC ENGINEERS
 LAND SURVEYORS
 LANDSCAPE ARCHITECTS
 SCIENTISTS

170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.tfmorean.com

Site - Amended.dwg
 C-2



APPROVED BY THE NASHUA PLANNING BOARD
 ON _____ AND _____
 CHAIRMAN: _____
 SECRETARY: _____

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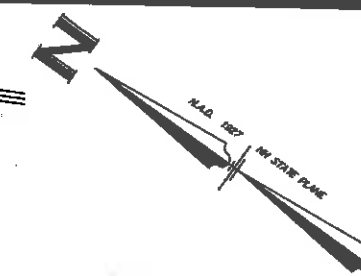
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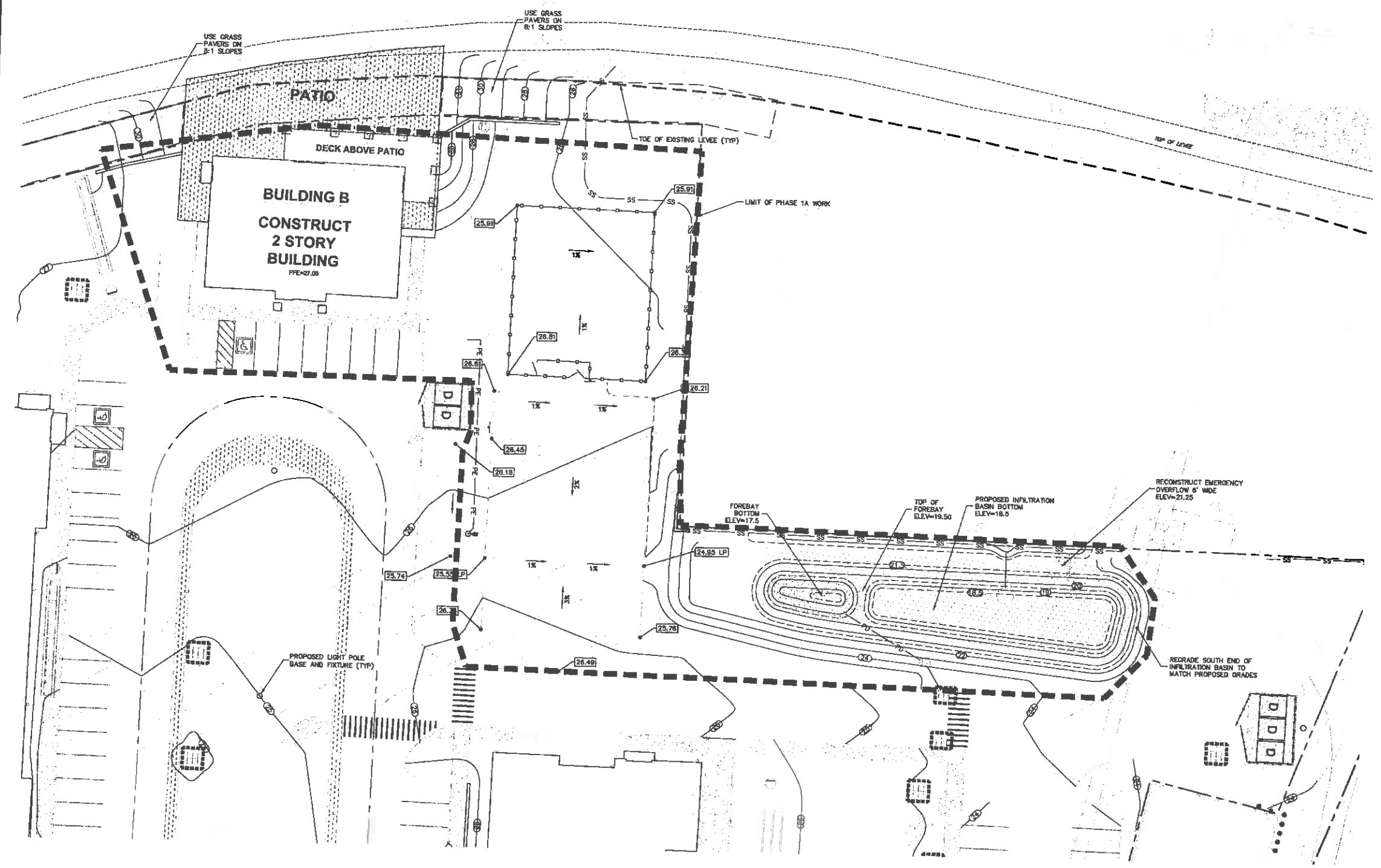


DIRECTIONAL SIGN LEGEND

ID	SIGN	NO./SIZE/COLOR	ID	SIGN	NO./SIZE/COLOR
A	[Symbol]	R7-B 12" x 18" BLACK AND WHITE	C	STOP	R1-1 30" x 30" RED AND WHITE
B	[Symbol]	R7-BF 18" x 9" BLACK AND WHITE			



LEGEND	
○	PROPOSED LIGHTPOLE BASE
⊙	EXISTING SEWER MANHOLE
⊕	PROPOSED DRAIN MANHOLE
⊞	PROPOSED CATCH BASIN
□	PROPOSED INLET PROTECTION
—	EXISTING CONTOUR
- - -	PROPOSED CONTOUR
— —	PROPOSED SILT SOCK

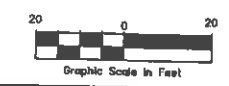
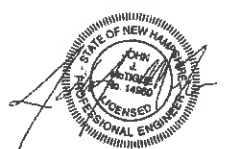


GRADING NOTES

- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER AND MULCH.
- DENSITY REQUIREMENTS:
 MINIMUM DENSITY* LOCATION
 95% BELOW PAVED OR CONCRETE AREAS
 95% TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL
 90% BELOW LOAM AND SEED AREAS
 *ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557. METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM D-5936.
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.
- CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS AND LOADING AREAS.
- SEE EXISTING FEATURES PLAN FOR BENCHMARK INFORMATION. VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
- ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6" WITH A TOLERANCE OF PLUS OR MINUS 3/8". WHERE SIDEWALK IS TO BE FLUSH, THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
- THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE AND SHALL NOT POND WATER DEEPER THEN 1/4" INCH FOR A PERIOD OF MORE THEN 15 MINUTES AFTER FLOODING.
- THE FINISHED GRADE AT BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH PAVEMENT WITH A TOLERANCE OF PLUS OR MINUS 1/4".
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SLOPE STABILITY DURING CONSTRUCTION.
- NOT USED.
- ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
- ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING, AND SIZE AND LOCATION OF ALL BUILDING SERVICES.
- COORDINATE WITH GEOTECHNICAL/STRUCTURAL PLANS FOR SITE PREPARATION AND OTHER BUILDING INFORMATION.
- LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS AND ALIGNMENTS.
- THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT SOIL AND GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEERS RECOMMENDED METHODS TO ADDRESS ANY SOIL AND GROUNDWATER ISSUES THAT ARE FOUND ON SITE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.

TAX MAP 40 LOT 50
PHASE 1A AMENDED - GRADING & EROSION CONTROL PLAN
 RESIDENCES AT RIVERFRONT LANDING
 7 BANCROFT STREET
 NASHUA, NEW HAMPSHIRE
 OWNER / APPLICANT
 RESIDENCES AT RIVERFRONT LANDING LIMITED PARTNERSHIP
 SCALE: 1"=20'
 DECEMBER 20, 2016

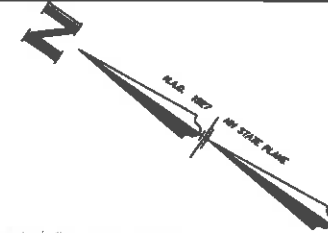
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REV.	DATE	DESCRIPTION	BY	CHK

		Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.tfmoran.com
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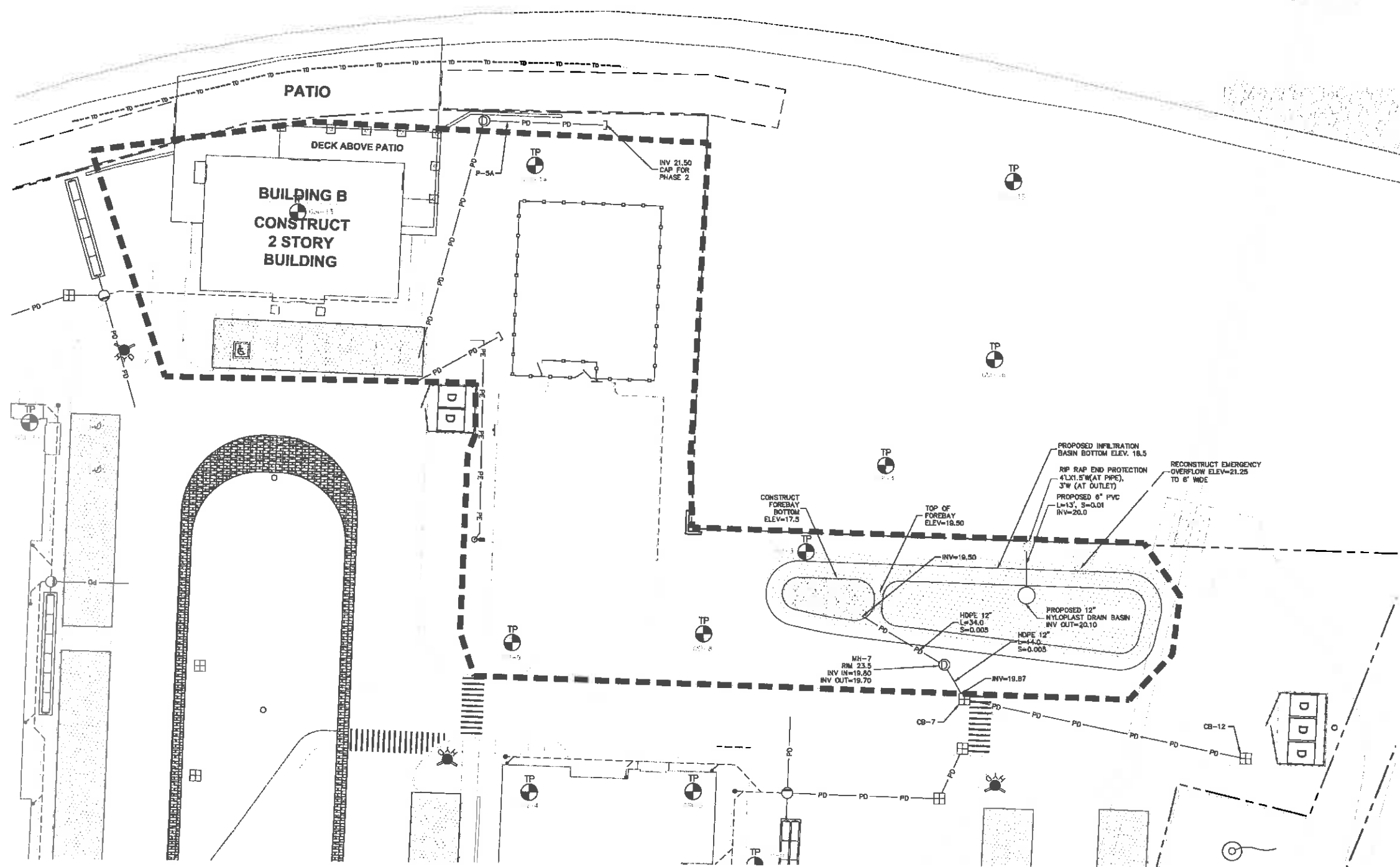
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LEGEND	
HDPE	HIGH DENSITY POLYETHYLENE
INV	INVERT
LF	LINEAR FEET
CB	CATCH BASIN
S	SLOPE
TYP	TYPICAL
⊙	PROPOSED LIGHTPOLE BASE
⊕	PROPOSED DRAIN MANHOLE
⊖	PROPOSED CATCH BASIN
• RD	PROPOSED ROOF DRAIN
• CO	PROPOSED CLEAN OUT
---	PROPOSED INFILTRATION CHAMBERS
---	PROPOSED RAIN LEADER
---	PROPOSED DRAIN LINE
---	PROPOSED POROUS PAVEMENT
---	PROPOSED POROUS COBBLE STONE PAVERS
---	PROPOSED UNDERGROUND INFILTRATION CHAMBERS

DRAINAGE NOTES

- ALL STORM DRAIN LINES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR "HD", ADS "N-12", OR APPROVED EQUAL) UNLESS OTHERWISE NOTED FOR ROOF DRAINS & CANOPY LEADERS.
- ALL CATCH BASINS, MANHOLES, AND DRAIN LINES SHALL BE THOROUGHLY CLEANED OF ALL SEDIMENT AND DEBRIS AFTER ALL AREAS HAVE BEEN STABILIZED.
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE CITY/TOWN, COUNTY, AND STATE CODES.
- LENGTH OF PIPE IS PROVIDED FOR CONVENIENCE ONLY. ACTUAL PIPE LENGTH SHALL BE DETERMINED IN THE FIELD.
- COORDINATE ROOF AND CANOPY DRAINS WITH BUILDING PLANS.
- ALL PROPOSED MANHOLES, CATCH BASINS AND OTHER STORMWATER STRUCTURES SHALL BE SUBJECT TO REVIEW AND APPROVAL UNDER SUBMITTAL REQUIREMENTS.
- NOT USED.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE NHDOT STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
- STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS, SECTION 803. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 804. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO NHDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- ALL MANHOLES IN PAVEMENT SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
- ROOF DRAIN TIE-INS AND DRAIN LINES WILL BE INSPECTED PRIOR TO BACKFILLING AND PAVING.



TAX MAP 40 LOT 50
PHASE 1A AMENDED - DRAINAGE PLAN
RESIDENCES AT RIVERFRONT LANDING
7 BANCROFT STREET
NASHUA, NEW HAMPSHIRE

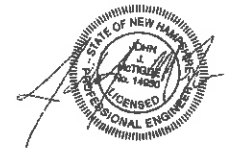
OWNER / APPLICANT
RESIDENCES AT RIVERFRONT LANDING
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		Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	170 Comarca Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.tfmoran.com
		17776.00	DR: JM CK: JM DATE: 12/20/18 FILE: Drainage.dwg

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PAVED DRIVES AND PARKING

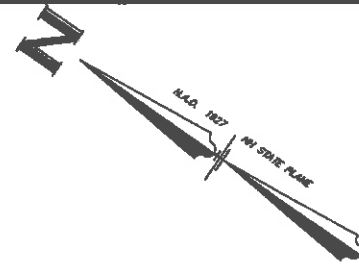
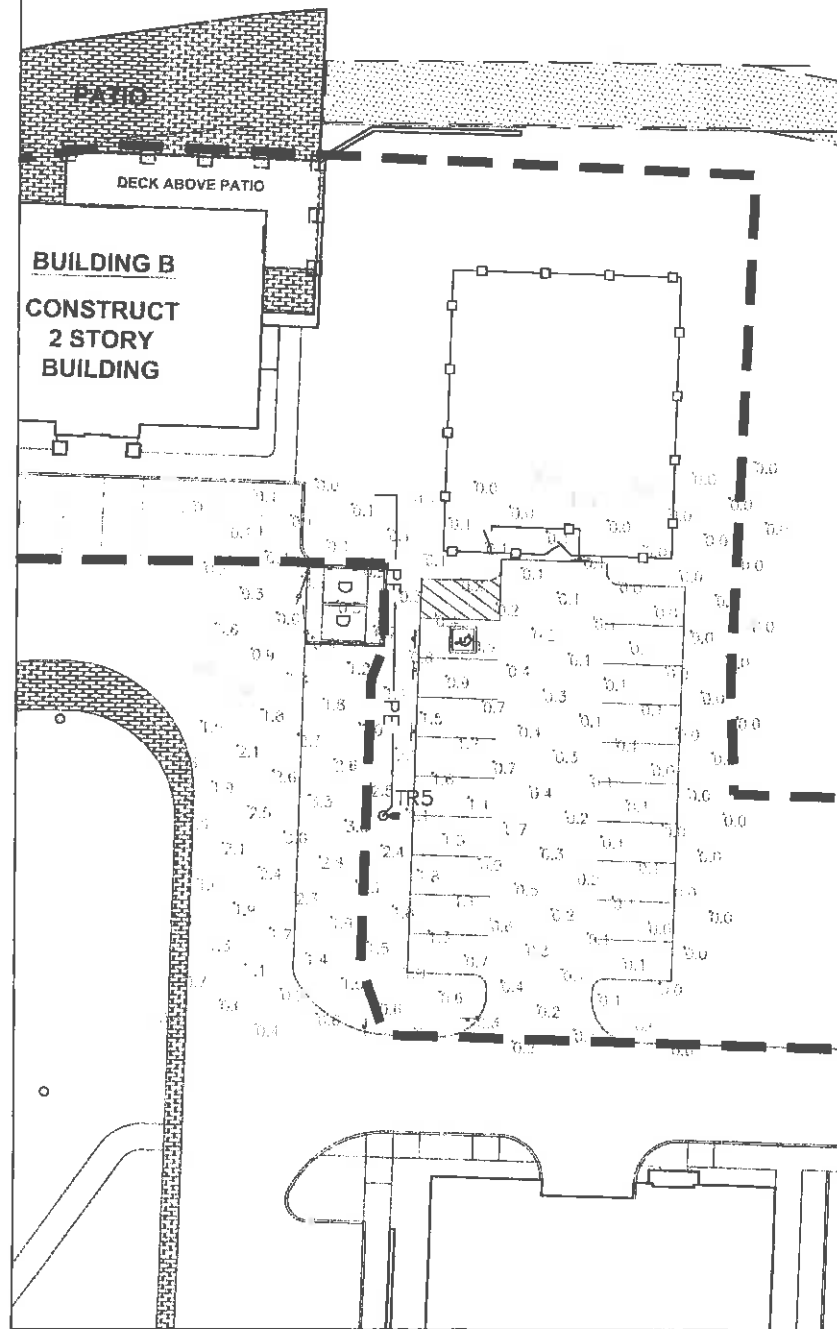
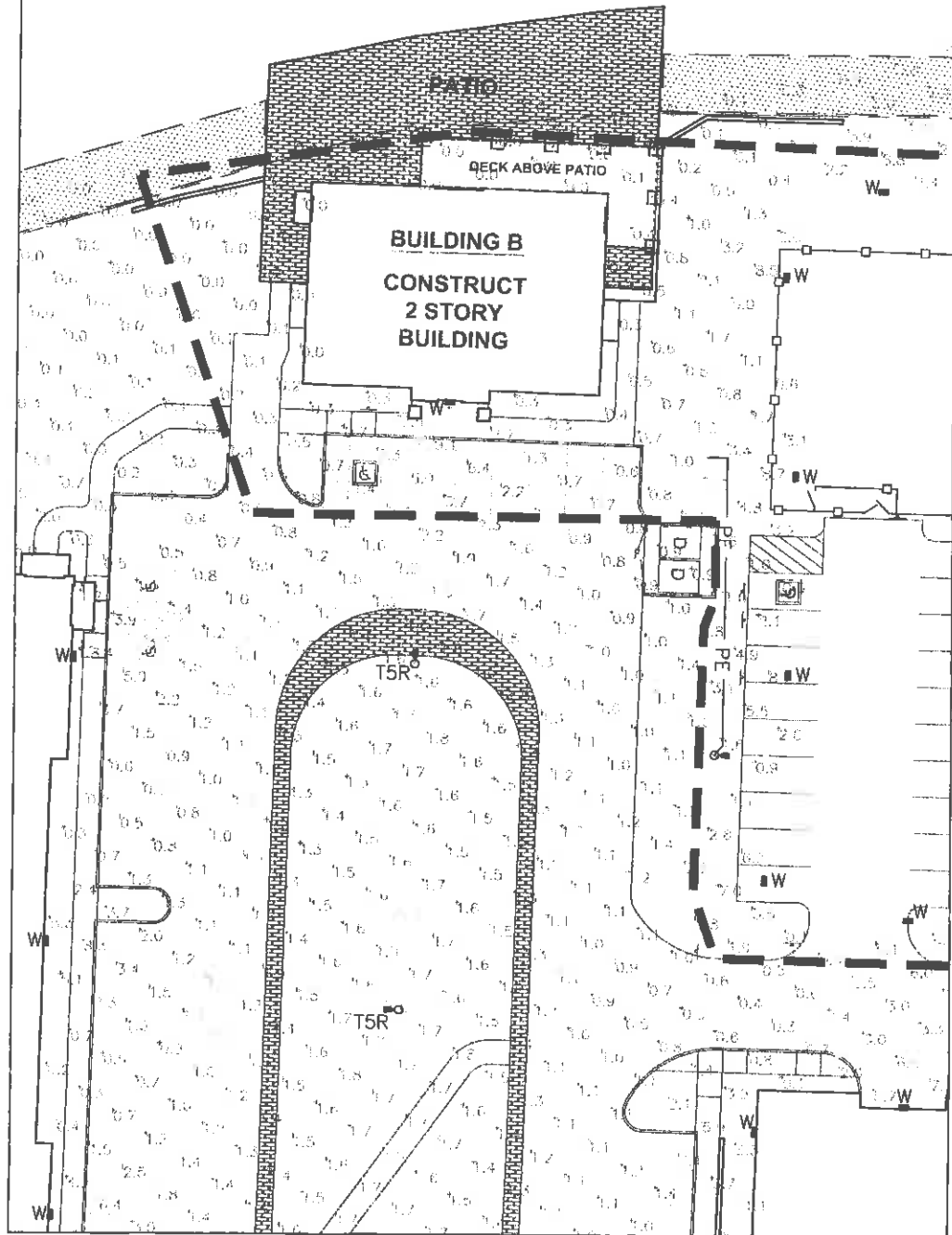
ILLUMINANCE (FO)
 AVERAGE = 1.37
 MAXIMUM = 0.1
 MINIMUM = 0.4
 AVG./MIN RATIO = 3.43
 MAX./MIN RATIO = 22.75

SYMBOL	QTY	LABEL	ARRANGEMENT	DESCRIPTION
no 1	1	R3R	SINGLE	VLL-Y-SQ-W-80PLED-NW-525/ 20' AFG
no 2	3	R5R	SINGLE	VLL-Y-SQ-W-80PLED-NW-525/ 20' AFG
no 3	1	T3R	SINGLE	VLL-Y-SQ-W-80PLED-NW-525/ 20' AFG
no 4	9	T5R	SINGLE	VLL-Y-SQ-W-80PLED-NW-525/ 20' AFG
no 5	35	W	SINGLE	XTOR5/ WALL MTD AT 14' AFG
no 6	12	B	SINGLE	BRA6-L-36LED-NW

DOG PARK & PARKING

ILLUMINANCE (FO)
 AVERAGE = 0.68
 MAXIMUM = 3.3
 MINIMUM = 0
 AVG./MIN RATIO = N/A
 MAX./MIN RATIO = N/A

SYMBOL	QTY	LABEL	ARRANGEMENT	DESCRIPTION
no 1	1	T3R	SINGLE	VLL-Y-SQ-W-80PLED-NW-525/ 20' AFG

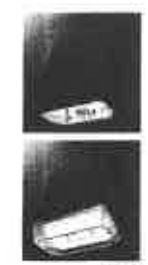


LEGEND	
TYP	TYPICAL
FO	ILLUMINANCE AT PAVEMENT SURFACE
no	LIGHT POLE BASE/FIXTURE
B	BOLLARD MOUNTED LIGHT
W	WALL MOUNT FIXTURE
---	PROPERTY LINE

PHASE A1 NOTES

- WALL MOUNTED LIGHTING NOT TO CHANGE FROM PHASE 1 DRAWINGS.
- A LIGHT POLE AND FIXTURE HAS BEEN ADDED AS PART OF PHASE 1A FOR THE PROPOSED PARKING AREA.

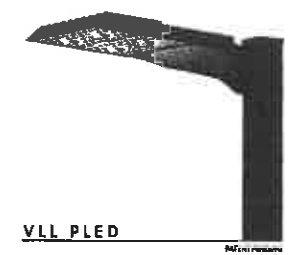
- NOTES**
- ALL FIXTURES SHALL BE LED FIXTURES MEETING FULL CUT-OFF, DARK-SKY COMPLIANCE.
 - ALL EXTERIOR CONDUITS FOR LIGHTING SHALL BE A MINIMUM 1 1/2" DIAMETER SCHEDULE 40 PVC. ALL CONDUITS UNDER ROADWAYS AND PARKING AREAS SHALL HAVE MINIMUM COVER OF 24 INCHES.
 - ALL UNDERGROUND CONDUITS WILL HAVE NYLON FULL ROPE.
 - ALL WORK SHALL MEET REQUIREMENTS OF NATIONAL ELECTRIC CODE.
 - ALL POLE MOUNTED LIGHT FIXTURES SHALL BE RECESSED TO SHIELD THE ILLUMINATION SOURCE FROM THE VIEW OF ADJACENT PROPERTIES.
 - LUMINAIRE AND FIXTURE MOUNTING HEIGHT SHALL BE SET AT A MAXIMUM OF A 20 FEET HIGH (SEE LUMINAIRE SCHEDULE).
 - PROVIDE SHIMS AS REQUIRED AND SET ALL POLES PLUMB. PROVIDE FULL ANCHOR BOLT COVERS.
 - POLES SHALL BE FACTORY CUT AS REQUIRED TO PROVIDE REQUIRED FIXTURE MOUNTING HEIGHT.
 - ALL LIGHT BASES TO BE SQUARE.
 - LIGHTING DESIGN, CALCULATIONS AND PHOTOMETRICS PROVIDED BY CHARRON, INC. AND SK & ASSOCIATES.



WALL MOUNT FIXTURE (W1R)
 LUMINAIRE - XTOR CROSSTOUR MAXX LED



BOLLARD MOUNT (B)
 U.S. ARCHITECTURAL LIGHTING - BRA SERIES LED



LIGHT POLE FIXTURE (R3R, R5R, T3R & T5R)
 U.S. ARCHITECTURAL LIGHTING - VLL PLED

TAX MAP 40 LOT 50
PHASE 1A AMENDED - LIGHTING PLAN
 RESIDENCES AT RIVERFRONT LANDING
 7 BANCROFT STREET
 NASHUA, NEW HAMPSHIRE

OWNER / APPLICANT
 RESIDENCES AT RIVERFRONT LANDING
 LIMITED PARTNERSHIP

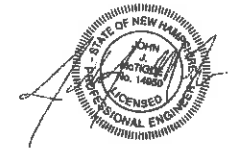
SCALE: 1"=20'
 DECEMBER 20, 2016

F:\MSCD\Projects\1776 - Bridge Street - Nashua\1776-00 - SMCDD\9117\16-00-CVS_Lighting - Auto\1776.dwg

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CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION



REV	DATE	DESCRIPTION	DR	CK

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BUILDING B



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PH: 617.923.6933
www.smcmgco.com

OWNER:



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NASHUA, NH
SCHEMATIC DESIGN

10/31/2018