

1. Planning Board Regular Zoom Meeting Agenda - Amended

Documents:

[20200910 NCPB AGENDA AMENDED.PDF](#)

2. Planning Board Staff Reports And Plans

Documents:

[20200910 1C PINE CUP STAFF REPORT STREET.PDF](#)

[20200910 1C PINE STREET CUP PLAN.PDF](#)

[20200910 15 PITTSBURGH AVENUE CUP STAFF REPORT.PDF](#)

[20200910 15 PITTSBURGH AVENUE CUP PLAN.PDF](#)

[20200910 117 WEST GLENWOOD STREET LOT LINE RELOCATION STAFF REPORT.PDF](#)

[20200910 117 WEST GLENWOOD STREET LOT LINE RELOCATION PLAN.PDF](#)

[20200910 4 AND 6 EDGEWOOD AVENUE LOT LINE RELOCATION PLAN STAFF REPORT.PDF](#)

[20200910 4 AND 6 EDGEWOOD AVENUE LOT LINE RELOCATION PLAN.PDF](#)

[20200910 1 MORNINGSIDE DRIVE SUBDIVISION STAFF REPORT.PDF](#)

[20200910 1 MORNINGSIDE DRIVE SUBDIVISION PLAN.PDF](#)

[20200910 438 MAIN DUNSTABLE ROAD SUBDIVISION STAFF REPORT.PDF](#)

[20200910 438 MAIN DUNSTABLE ROAD SUBDIVISION PLAN.PDF](#)

[20200910 117 WEST HOBART STREET SITE PLAN STAFF REPORT.PDF](#)

[20200910 117 WEST HOBART STREET SITE PLAN.PDF](#)



City of Nashua
Planning Department
229 Main Street
Nashua, New Hampshire 03061-2019

Planning & Zoning 589-3090
Fax 589-3119
WEB www.nashuanh.gov

September 3, 2020

AMENDED AGENDA

To: NCPB Members

From: Planning Staff

Re: Regular Meeting and Public Hearing, September 10, 2020

Notice is hereby given that a Public hearing of the City of Nashua Planning Board will meet on Thursday, September 10, 2020 at 7:00 PM via a Zoom Meeting. Real-time public comment can be addressed to the Board utilizing Zoom virtual meeting software for remote access. This application will allow users to view the meeting and ask questions to the Board via the chat function. The public is also encouraged to submit their comments via email planningdepartment@nashuanh.gov to the Department email or by mail (please make sure to include your name/address and comments) by 5pm on September 10, 2020 and read into the record at the appropriate time. Letters should be addressed to City of Nashua, Planning Department, P.O. Box 2019, Nashua, NH 03061. Plans can be viewed on online starting September 4, 2020 at www.nashuanh.gov in the Calendar or Agendas and Minutes.

To access Zoom: <https://us02web.zoom.us/j/85429309822?pwd=eDFvYTRNVEMxb0hva3YxV2NzUzlxUT09>

Meeting number/access code: **854 2930 9822** – Password: **314486**

To join by phone: **1 (929) 436-2866** - Meeting number/access code: **854 2930 9822**

If for some reason you can't connect to Zoom, please contact us at **(603) 589-3115**.

- A. Call to Order
- B. Roll Call
- C. Approval of Minutes – August 6, 2020
- D. Communications
- E. Report of Chairman, Committee, & Liaison
- F. Executive Session

OLD BUSINESS – CONDITIONAL / SPECIAL USE PERMITS

None

OLD BUSINESS - SUBDIVISION PLANS

None

OLD BUSINESS – SITE PLANS

None

NEW BUSINESS – CONDITIONAL / SPICAL USE P-RMITS

1. Riverside Properties of Nashua, Inc. (Owner) Haywood's Ice Cream Stand, Inc. (Applicant) – Application and acceptance of proposed Conditional Use Permit to allow for a production facility. Property is located at 1C Pine Street, Unit P. Sheet 77 - Lot 11. GI/MU General Industrial/Mixed Use. Ward 4.
2. Worldmark Homes, LLC (owner). Application and acceptance of proposed Conditional Use Permit to allow for an estheticians office. Property is located at 15 Pittsburgh Avenue. Sheet 140 - Lot 37. Zoned "PI" Park Industrial. Ward 9.

NEW BUSINESS –SUBDIVISION PLANS

3. Roscommon Investments, LLC and MAG RE Holdings-Nashua, LLC (Owners). Application and acceptance of proposed lot line adjustment. Property is located at 117 West Glenwood Street and "L" West Hobart Street. Sheet 132 - Lots 84 & 31. Zoned "RA" Urban Residence. Ward 7.
4. Thomas G. & Justine A. Bergin (Owners). Proposed lot line relocation plan. Property is located at 4 & 6 Edgewood Avenue. Sheet 60 - Lots 42 & 36. Zoned "RA" Urban Residence. Ward 2.
5. MG Holdings (Owner). Proposed three lot subdivision. Application and acceptance of property is located at 1 Morningside Drive. Sheet 118 - Lot 129. Zoned "RA" Urban Residence. Ward 7.
6. Stanley and Ruth Choate (Owners). Proposed 2-lot subdivision. Property is located at 438 Main Dunstable Road. Sheet C - Lot 825. Zoned "R-30" Suburban Residence. Ward 5.

NEW BUSINESS – SITE PLANS

7. Roscommon Investments, LLC (Owner). Application and acceptance of proposed site plan to construct a new 22,560 sf auto body shop with parking, vehicle storage, and associated site improvements. Property is located at 117 West Hobart Street, "L" Glenwood Street, and "L" West Hobart Street. Sheet 132, Lots 84 & 38. Sheet 128, Lots 31, 32, & 84. Zoned HB-Highway Business and RA-Urban Residence. Ward 7.
8. Liberty Utilities (Owner). Application and acceptance of proposed amendment to install an impermeable cap over former Gas Holders #1 & #2 to meet requirements of the NH Department of Environmental Services, regrade, repave and expand the site's existing parking lot and improve the stormwater management system. Property is located at 25 Van Buren & 38 Bridge Streets. Sheets 4 & 39, Lots 11 & 26. Zoned TOD-Transit Oriented Development and GI-General Industrial. Ward 7. **(Postponed until October 22, 2020 meeting).**

OTHER BUSINESS

1. Review of tentative agenda to determine proposals of regional impact.
2. Referral from the Board of Aldermen on proposed R-20-059, authorizing the sale of City real property located at 141-143 Burke Street. (Map 11, Lot 158) to Burke Street Nashua, LLC.
3. Referral from the Board of Aldermen on proposed R-19-183, to establish a Committee to draft a Master Plan.
4. Amendment to the FY 2021 Capital Improvement Program, proposed new item(s).

DISCUSSION ITEM

None

NONPUBLIC SESSION

The Planning Board will need to make a motion to enter into a Nonpublic Session under RSA 91-A:3, II (e) for consideration or negotiation of pending claims or litigation which has been threatened in writing or filed against the public body.

NEXT MEETING

September 24, 2020

ADJOURN

WORKSHOP

ACCOMMODATIONS FOR THE SENSORY IMPAIRED

**"SUITABLE ACCOMMODATIONS FOR THE SENSORY IMPAIRED
WILL BE PROVIDED UPON ADEQUATE ADVANCE NOTICE."**

CONDUCT AT PLANNING BOARD MEETING

When the meeting is called to order, the only talking allowed in the Auditorium will be remarks addressed to the Chairman. Except for the original presentation of the subject or application, each person speaking for or against shall be limited to five (5) minutes until all have been given an opportunity to be heard, at which time each person may be allowed additional time if deemed necessary by the Board or the Chairman. When you are recognized by the Chairman, proceed to the podium, using the microphone, state your name and address and then make your comments. Courtesy is shown when you reserve your comments for the proper time.

PLEASE BE COURTEOUS

By Order of the Chair

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda McGhee, Deputy Planning Manager
FOR: September 10, 2020
RE: **New Business #1- Conditional Use Permit**

Owner: Riverside Properties
Proposal: Conditional Use Permit to allow
Location: 1C Pine Street
Total Site Area: 2.569 acres
Existing Zoning: GI-General Industrial
Surrounding Uses: Commercial

II. Background Information:

According to Assessing records, the existing industrial style building was built around 1850. In 2008 the planning board approved tenant additions, revised parking calculations and paving of existing grass area.

III. Project Description:

The applicant is proposing a production facility for Hayward's Ice Cream. The proposed use is permitted by Conditional Use Permit in the General Industrial Zone. There are nine approval criteria for a conditional use permit found in NRO § 190-133(F). The applicant addresses the criteria in the attached letter dated July 29, 2020 from Christopher Ordway. No exterior changes are proposed to the site at this time.

City Staff reviewed the plans; there are no outstanding issues.

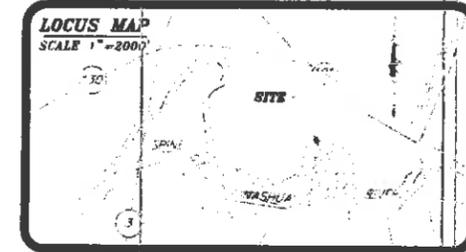
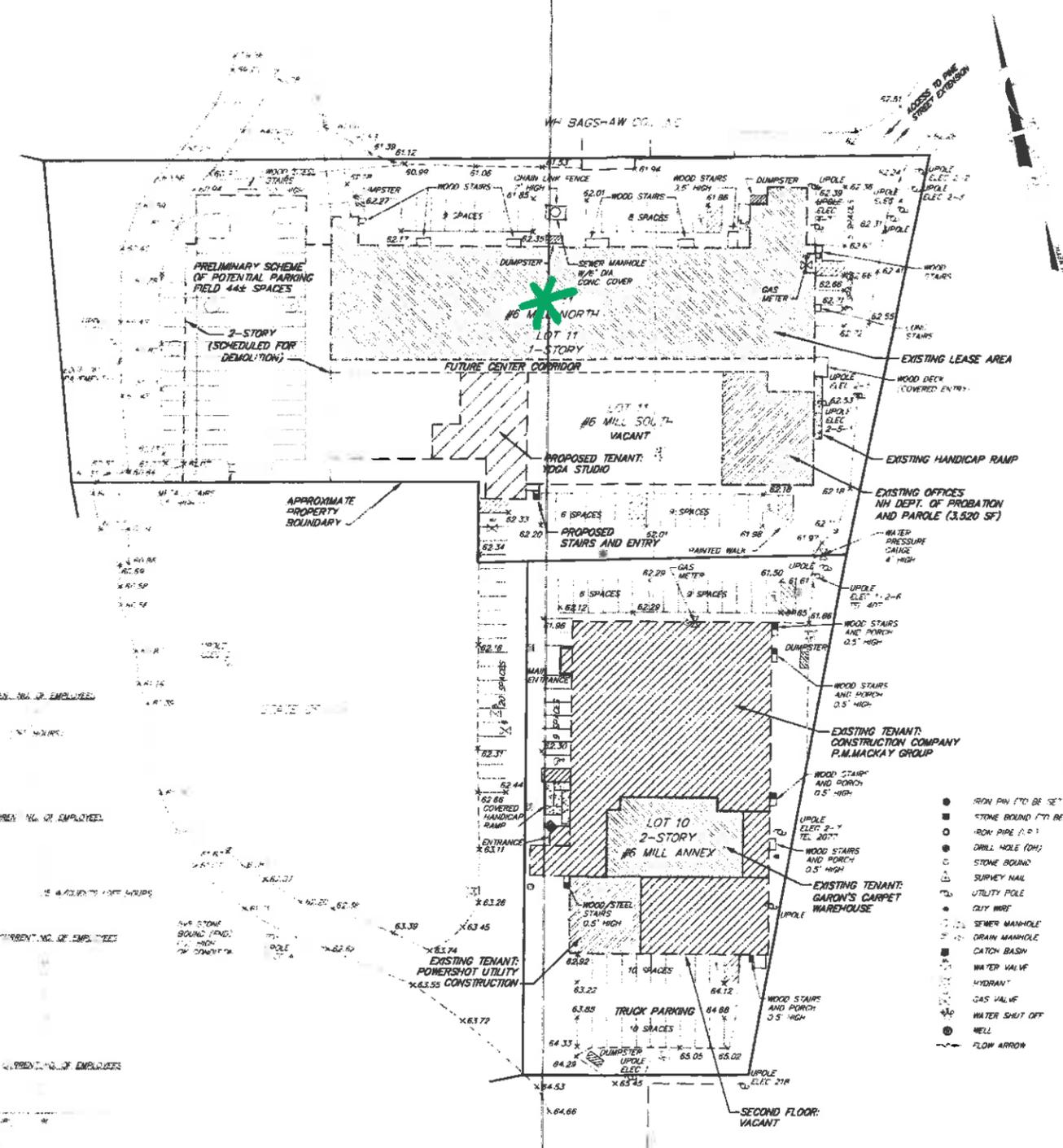
IV. Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO Section 190-133(F). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, they should state specific reasons. If the Planning Board chooses to approve this plan, the staff recommends the following stipulation be made part of that approval:

1. Prior to the issuance of a building permit all comments in an e-mail from Douglas Starr, P.E. dated August 6, 2020 shall be addressed to the satisfaction of the Wastewater Treatment Plant.

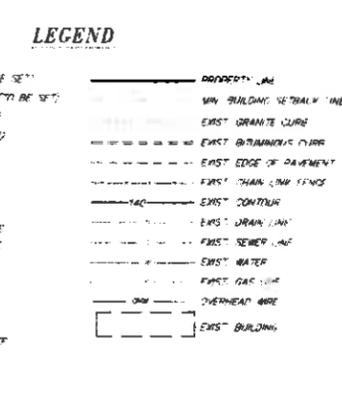
ABUTTERS LIST

LOT #	OWNER	ADDRESS	ADJACENT TO	ADJACENT TO
46 MILL NORTH	STATE OF NH	1000 STATE ST	WEST	STATE ST
46 MILL SOUTH	STATE OF NH	1000 STATE ST	EAST	STATE ST
46 MILL ANNEEY	RIVERSIDE PROPERTIES OF NASHUA, INC.	22 KEHOE STREET	WEST	STATE ST
46 MILL ANNEEY (SECOND FLOOR)	RIVERSIDE PROPERTIES OF NASHUA, INC.	22 KEHOE STREET	WEST	STATE ST



REFERENCE PLAN:
 PLAN ENTITLED "BROAD STREET PARKWAY FRONT OF LOT 10 & 11 BY 44' SPACED" DRAWING NO. SCALE 1/8"=1'-0"

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO AMEND THE 2002 SITE PLAN FOR LOT 10 & 11.
 - THESE PLANS, PREPARED BY CUOCO & CORMIER ENGINEERING, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS RELATING TO THE DESIGN OF THE CONSTRUCTION CONTRACTOR OR TO THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL AND STATE REGULATIONS.
 - ELEVATIONS ARE BASED ON THE CITY OF NASHUA DATUM.
 - THE TOTAL LOT 10 AREA IS 51,688.37 SQUARE FEET. THE TOTAL LOT 11 AREA IS 11,918.57 SQUARE FEET.
 - PRESENT ZONING CLASSIFICATION: GENERAL INDUSTRIAL (I-1).
 - LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSOR'S MAP.
 - ZONING REQUIREMENTS:
 (a) GENERAL INDUSTRIAL
 MINIMUM LOT AREA: 5,000 SQUARE FEET
 MINIMUM LOT FRONTAGE: 30 FEET
 MINIMUM LOT WIDTH: 50 FEET
 MINIMUM LOT DEPTH: 75 FEET
 BUILDING SETBACKS:
 FRONT = 10 FEET
 SIDE = 10 FEET
 REAR = 15 FEET
 MAXIMUM BUILDING AREA ALLOWED: 1/4
 MAXIMUM FLOOR AREA RATIO: 2.0, EXISTING LOT 10 ONLY
 OPEN SPACE REQUIRED: 10% EXISTING LOT 10 ONLY
 PARKING REQUIRED: 80 SPACES (CURRENT OCCUPANCY: 100 SPACES)
 PARKING PROVIDED: 104 (INCLUDES 8 HANDICAP SPACES)
 NOTE: SCHEDULED DEMOLITION OF 2-STORY BUILDING ON LOT 10 FOR ADDITIONAL PARKING (44)
 - LOTS SERVICED BY CITY SEWER (W/SEWER MAIN) AND WATER BY 24-INCH DIAMETER WATER MAIN.
 - OWNER OF RECORD: SHEET 77 - LOT 10 & 11, RIVERSIDE PROPERTIES OF NASHUA, INC., 22 KEHOE STREET, NASHUA, NEW HAMPSHIRE.
 - WETLAND BOUNDARIES: THERE ARE NO WETLANDS LOCATED ON THE PROPERTY.
 - ALL PROPOSED LIGHTING SHALL CONFORM TO THE CITY OF NASHUA REGULATION SECTION 16-27(A).
 - ALL PROPOSED SIGNS SHALL CONFORM TO THE CITY OF NASHUA REGULATION SECTION 16-27(B).
 - ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND ORDINANCES OF THE CITY OF NASHUA AND SHALL BE SUBJECT TO A "NON-MAJOR" VARIANCE ACCORDANCE WITH THE PLANS AND THE CITY OF NASHUA REGULATION SECTION 16-11.
 - THIS SITE PLAN SHALL COMPLY WITH THE AMERICAN WITH DISABILITIES ACT, TITLE II AND ALL OTHER STATE AND LOCAL REGULATIONS.
 - PROPOSED LANDSCAPING SHALL CONFORM TO THE CITY OF NASHUA REGULATION SECTION 16-13 UNLESS A VARIANCE IS GRANTED.
 - ALL DUMPSTERS PROVIDED ON SITE SHALL BE PLACED ON A CONCRETE PAD AND FULLY ENCLOSED WITH SOLID FENCING AT LEAST 4' HIGH.
 - IT SHALL BE PLANNED TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE ON THIS LOT AS AN ADDITIONAL USE OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE OR AS SHOWN ON THE ABOVE USE INDICATED ON THE PLAN WITHOUT BEING A VARIANCE FROM THE CITY OF NASHUA (16-107).
 - THERE WILL BE NO NET INCREASE IN SITE STORM WATER RUNOFF.
 - PROPERTY BOUNDARY SHOWN ON THIS PLAN IS NOT THE TRUE BOUNDARY IS APPROXIMATE ONLY.



OWNER'S ACKNOWLEDGMENT
 I, RIVERSIDE PROPERTIES OF NASHUA, INC.
 DATE 3/30/04

APPROVED NASHUA PLANNING BOARD
 CHAIRMAN _____ DATE _____
 SECRETARY _____ DATE _____

HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE ON JANUARY 10, 2002 AND THAT THIS PLAN IS IN ACCORD WITH THE CITY OF NASHUA SITE PLAN REGULATIONS.
 DATE 3/30/04

PREPARED FOR:
RIVERSIDE PROPERTIES OF NASHUA, INC.
 22 KEHOE STREET
 NASHUA, NEW HAMPSHIRE 03060

SCALE: 1" = 40'
 40 0 40 80 120 160
 SCALE IN FEET
 JANUARY 10, 2002

SHEET 77/LOT 10 & 11
 SITE PLAN
RIVERSIDE PROPERTIES OF NASHUA, INC.
 5 PINE STREET EXTENSION - NORTH
 NASHUA, NEW HAMPSHIRE
 PREPARED BY:
Cuoco & Cormier
 ENGINEERING ARCHITECTS INC.
 786 PINE STREET
 NASHUA, NH 03060
 SHEET 1 OF 1 FILE 785

Amend NR2009

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda McGhee, Deputy Planning Manager
FOR: September 10, 2020
RE: **New Business #2- Conditional Use Permit**

Owner: Worldmark Homes, LLC
Proposal: Conditional Use Permit to allow an esthetician business
Location: 15 Pittsburgh Avenue
Total Site Area: 1.393 acres (60,666) sf
Existing Zoning: PI-Park Industrial
Surrounding Uses: Commercial and residential

II. Background Information:

According to Assessing records, the multi-tenant building on site was built around 1970 and is 14,328 sf. Over the years there have been various warehouse and office uses.

III. Project Description:

The proposed use is permitted by Conditional Use Permit. Certain uses are allowed conditionally in the PI District as long as they occupy less than 25% of the gross floor area. The building is approximately 14,328 sf. The proposed esthetician business will occupy approximately 1,248 sf and the rest of the building is occupied by conforming uses.

There are nine approval criteria for a conditional use permit found in NRO § 190-133(F). The applicant addresses the criteria in the attached letter dated August 10, 2020 from Chad Branon, P.E. No exterior changes are proposed to the site at this time.

City Staff reviewed the plans; there are no outstanding issues.

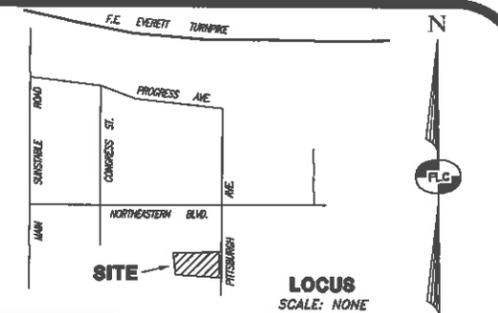
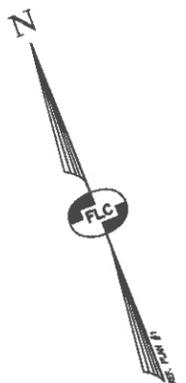
IV. Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO Section 190-133(F). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, they should state specific reasons. If the Planning Board chooses to approve this plan, the staff recommends the following stipulation be made part of that approval:

None

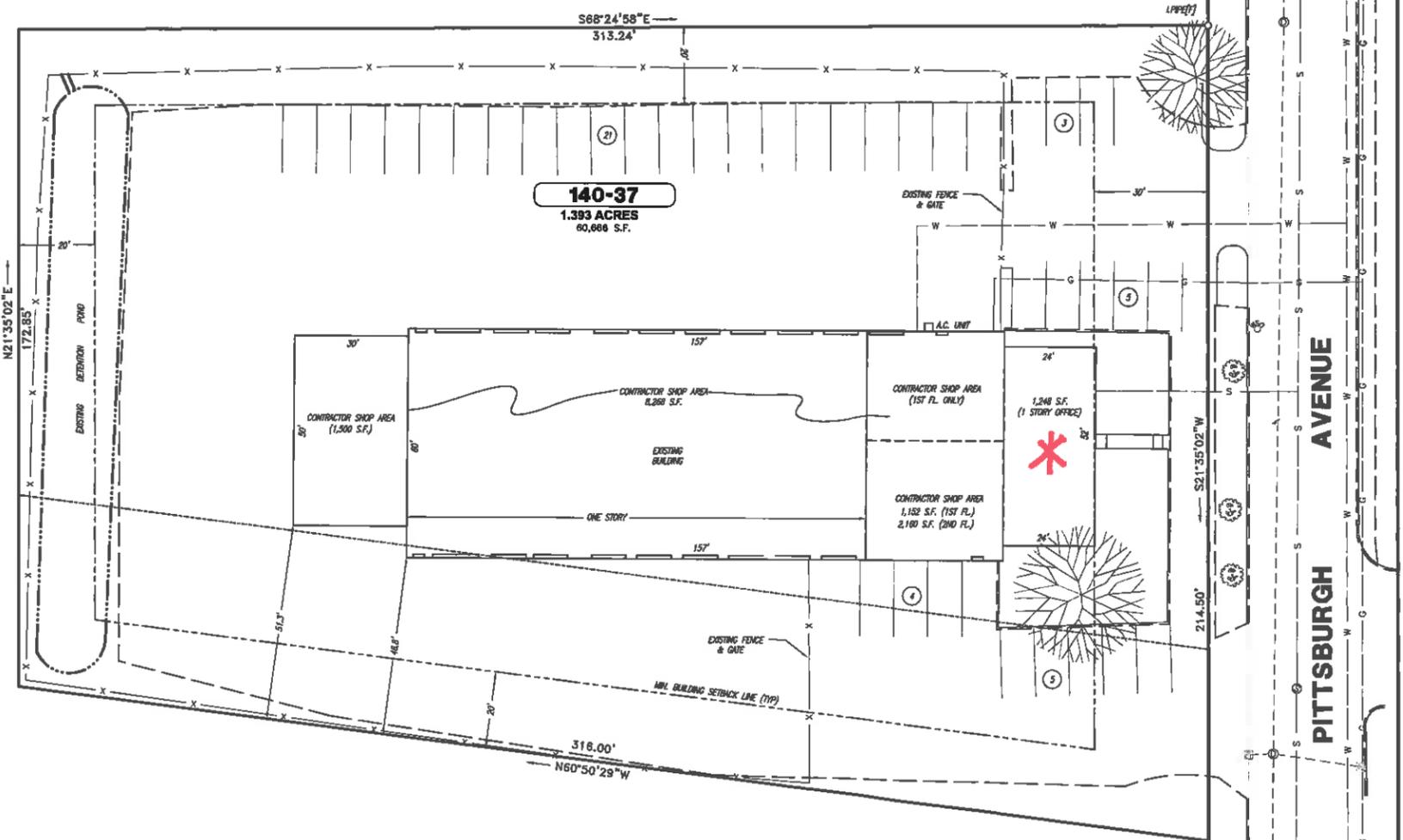
- LEGEND:**
EXISTING FEATURES
- K-14 TAX MAP AND LOT NUMBER
 - RIGHT-OF-WAY SIDELINE
 - PROPERTY LINE
 - - - - - EDGE OF PAVEMENT
 - CURBING
 - S — SEWER LINE
 - DRAIN LINE
 - x — CHAIN LINK FENCE
 - ⊙ [PIPE] IRON PIPE FOUND
 - ⊙ SEWER MANHOLE
 - ⊙ DRAIN MANHOLE
 - ⊙ CATCH BASIN
 - CATCH BASIN (ROUND)
 - ⊕ SHUT-OFF
 - (TRR) TO BE REMOVED

- REFERENCE PLANS:**
- SITE PLAN - LOT 37 / SHEET 140, PITTSBURGH AVENUE, NASHUA, NH PREPARED FOR QUALITY INSULATION, INC.; BY MAYNARD & PAQUETTE, INC. DATED: DECEMBER 1983; SCALE: 1"=20'; ON FILE AT CITY OF NASHUA PLANNING DEPT. AS NR1105.
 - AMENDED SITE PLAN LOT 37 / SHEET 140 15 PITTSBURGH AVENUE NASHUA, NEW HAMPSHIRE, PREPARED FOR WORLDMARK HOMES, LLC.; BY MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC. DATED: OCTOBER 30, 2010; SCALE: 1"=20'.
 - INDUSTRIAL PARK OF NASHUA, NORTHEASTERN BOULEVARD, NASHUA, NH FOR: GERALD Q. NASH; BY: A.E. MAYNARD, C.E.; DATED: NOVEMBER 1967 H.C.R.D. NO. 3697.
 - TITLE INSURANCE PLAN - LOTS 38 & 41 / SHEET 140, 100 NORTHEASTERN BLVD. NASHUA, NH; PREPARED FOR: R.F.I. LLC; BY: ALLAN SWANSON, INC. DATED: AUGUST 10, 1994; SCALE: 1"=50'; H.C.R.D. NO. 27042.



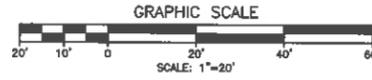
140-41
1987 TAMPOSI LIMITED PARTNERSHIP
BALLINGER PROPERTY & BT REALTY LP
20TRAFALGAR SQUARE - UNIT 802
NASHUA, NH 03083-19010
BK 7028 PG 2544
ACCT. No. 16582

140-41
1987 TAMPOSI LIMITED PARTNERSHIP
BALLINGER PROPERTY & BT REALTY LP
20TRAFALGAR SQUARE - UNIT 802
NASHUA, NH 03083-19010
BK 7028 PG 2544
ACCT. No. 16592



140-22
HARVEY INDUSTRIES, INC.
1400 MAIN STREET
NORTH WATFALL, MA 02451-3160
BK 7388 PG 2019
ACCT No. 16626

140-38
GP - NASHUA LIMITED PARTNERSHIP
610 OLD YORK ROAD, JENKINTOWN, PA. 19046
BK 5575 PG 213
ACCT. No. 30078



- NOTES:**
- THE OWNER OF RECORD OF TAX MAP PARCEL 140-37 IS WORLDMARK HOMES, LLC., P.O. BOX 748, NASHUA, NH 03061. DEED REFERENCE FOR THE PARCEL IS BK. 7858 PG. 0378 DATED 6/7/2007 IN THE H.C.R.D.
 - THE PURPOSE OF THIS PLAN IS TO AMEND THE EXISTING SITE PLAN FOR TAX MAP PARCEL 140-37 (NRD 1105) TO ALLOW FOR AN ESTHETICIAN BUSINESS TO OCCUPY THE FRONT OFFICE SPACE.
 - THE TOTAL AREA OF TAX MAP PARCEL 140-37 IS 60,666 SQ.FT. OR 1.393 ACRES.
 - THE TOTAL GREEN SPACE AREA:
REQUIRED= 12,133 SQ.FT. OR 20% OF THE TOTAL LOT AREA.
EXISTING= 16,827 SQ.FT. OR 27.8% OF THE TOTAL LOT AREA.
PROPOSED= 16,827 SQ.FT. OR 27.8% OF THE TOTAL LOT AREA.
 - ZONING FOR THE PARCEL IS PARK INDUSTRIAL (PI). MINIMUM BUILDING SETBACKS ARE 30 FEET FRONT AND 20 FEET SIDE AND REAR.
 - THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A 100 YEAR FLOOD HAZARD AREA PER FEMA F.I.R.M. MAP #33011C0851D, DATED SEPTEMBER 25, 2009.
 - EXISTING IMPROVEMENTS AND UTILITIES SHOWN WERE DERIVED FROM REFERENCE PLAN #2.
 - AREA OF EXISTING BUILDING - 14,328 S.F.
TOTAL AREA OF BUILDING COVERAGE - 14,328 S.F. (24%)
 - LOT SERVICED BY CITY SEWER AND PENNICHUCK WATER WORKS.
 - ALL LIGHTING TO BE DIRECTED ON SITE AND SHALL CONFORM TO THE CITY OF NASHUA REGULATIONS.
 - PARKING CALCULATION:
EXISTING OFFICE: (1,268 S.F.)
REQUIRED: 1 SPACE / 1,000 S.F. = 1.3 SPACES 1 SPACE / 200 S.F. = 6.3 SPACES
EXISTING CONTRACTOR WITH OUTSIDE STORAGE: (13,080 S.F.)
REQUIRED: 1 SPACE / 800 S.F. = 21.8 SPACES 1 SPACE / 300 S.F. = 43.6 SPACES
ENTIRE SITE:
TOTAL REQUIRED: 24 SPACES
TOTAL PROVIDED: 45 SPACES
 - OWNER SHALL BE RESPONSIBLE FOR KEEPING THE DETENTION POND OUTLET AND THE PROTECTIVE TRASH RACK FREE OF LEAVES AND DEBRIS AT ALL TIMES TO PREVENT THE POND AND SURROUNDING AREA FROM BECOMING SURCHARGED OR FLOODED.
 - THE EXISTING IMPROVEMENTS AND UTILITIES SHOWN ARE PER REFERENCE PLANS AND A SITE INSPECTION BY THIS OFFICE.
 - ALL EXISTING STORAGE BINS WILL BE REMOVED.
 - THE EXISTING DRAINAGE BASIN AT THE REAR OF THE PROPERTY WILL BE MAINTAINED AND WILL ADEQUATELY HANDLE STORWATER DRAINING TO THIS LOCATION.
 - THE TOTAL AREA OF THE BUILDING IS APPROXIMATELY 14,328 S.F.. THE COMMERCIAL USES DESIGNATED WITH THE SUPERSCRIPIT "1" IN THE USE MATRIX TABLE CONSISTS OF APPROXIMATELY 1,248 S.F. OR 9% OF THE TOTAL BUILDING AREA.

C	7/15/20	REV'S TO ACCOUNT FOR ADDITION AND CHANGE OF USE	CEB	CEB
REV.	DATE	DESCRIPTION	C/O	DR

AMENDED SITE PLAN
TAX MAP 140 LOT 37
15 PITTSBURGH AVENUE
NASHUA, NEW HAMPSHIRE

PREPARED FOR:
RAISANEN HOMES ELITE, LLC
P.O. BOX 748, NASHUA, NH 03061

LAND OF:
WORLDMARK HOMES, LLC
P.O. BOX 748, NASHUA, NH 03061

SCALE: 1" = 20' NOVEMBER 8, 2016
Surveying + Engineering + Land Planning + Permitting + Septic Designs

206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda McGhee, Deputy Planning Manager
FOR: September 10, 2020
RE: **New Business #3 - Subdivision**

I. Project Statistics:

Owner : Roscommon Investments, LLC and MAG RE Holdings-Nashua, LLC
Proposal: Lot line relocation plan and consolidation
Location: 117 West Glenwood Street and "L" West Hobart Street
Total Site Area: 3.761 acres (163,828 sf)
Existing Zoning: RA-Urban Residence
Surrounding Uses: Residential and commercial

II. Background Information:

Lot 84 ("L" West Hobart Street) is a vacant lot that is mostly wooded. On August 4, 2016 the planning board approved a site plan for a 163 space parking lot on Lot 31 (117 West Glenwood Street); the approval letter and staff report are attached.

III. Project Description:

The purpose of this plan is to show a proposed lot line adjustment and consolidation for Sheet 132, Lot 84 and Sheet 132 Lot 31. A proposed access easement will be created to benefit Roscommon Investments, LLC. Parcel "A" as shown on the plan will be consolidated with Sheet 132, Lot 84. Parcels "B" & "C" as shown on the plan will be consolidated with Sheet 132, Lot 31. A site plan has also been submitted as part of the project.

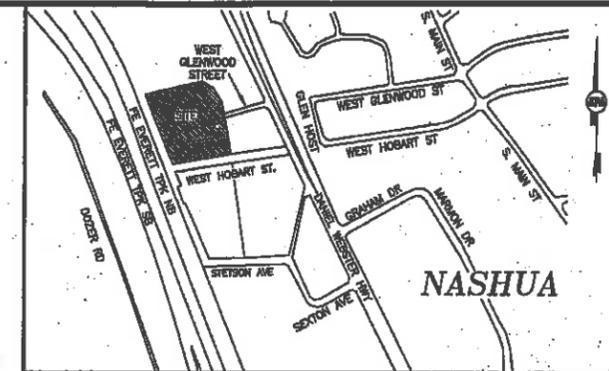
The applicant has requested a waiver from the requirement to show physical features on site and within 1,000 feet.

The plan was reviewed by City staff; comments are attached.

Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet the requirements outlined in the Subdivision NRO § 190-138(G). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulation be made part of that approval:

1. The request for a waiver of § 190-282(B)(9), which requires an existing conditions plan, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. Prior to the Chair signing the plan, all minor drafting corrections will be made.
3. Prior to the Chair signing the plan, all comments in an e-mail from Joe Mendola, Street Construction Engineer dated _____ shall be addressed to the satisfaction of the Engineering Department.
4. Prior to recording of the plan, all conditions from the Planning Board approval letter will be added to the final mylar and paper copies submitted to the City.
5. Prior to recording the plan, the electronic file of the plan shall be submitted to the City of Nashua.
6. Any easements will be submitted to Planning staff for review and recorded with the plan at the applicant's expense.
7. The site plan for 117 West Glenwood Street will need to be amended to show the change in lot size.



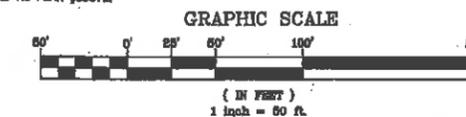
VICINITY PLAN
SCALE: 1" = 500' +/-

NOTES:

- THE PURPOSE OF THIS PLAN IS TO DEPICT PROPOSED LOT LINE ADJUSTMENTS AND CONSOLIDATIONS ON ASSESSOR'S MAP 128 LOT 84 AND MAP 132 LOT 31 SITUATED ON THE WESTERLY END OF WEST GLENWOOD STREET IN NASHUA, NEW HAMPSHIRE. FURTHER TO SHOW INFORMATION FOR A PROPOSED ACCESS EASEMENT FOR THE BENEFIT OF ROSCOMMON INVESTMENTS, LLC AND NO OTHER PURPOSE. LOT AREAS PRIOR TO ADJUSTMENTS: MAP 132 LOT 31: 112,108 S.F. OR 2.573 ACRES. MAP 128 LOT 84: 35,385 S.F. OR 0.812 ACRES.
- PARCEL "A" IS TO BE CONSOLIDATED WITH MAP 132 LOT 84.
- PARCELS "B" & "C" TO BE CONSOLIDATED WITH MAP 132 LOT 31.
- ZONING: URBAN RESIDENCE DISTRICT (R-A)
MINIMUM BUILDING SETBACKS:
- FRONT: 25 FT
- SIDE: 10 FT
- REAR: 25 FT
HIGHWAY BUSINESS DISTRICT (HB)
- FRONT: 20 FT
- SIDE: 10 FT
- REAR: 20 FT
- BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A FIELD SURVEY PERFORMED BY THIS OFFICE IN DECEMBER OF 2017 AND JANUARY OF 2018 HAVING A MINIMUM ERROR OF CLOSURE OF NOT LESS THAN ONE PART IN TEN THOUSAND (1/10,000).
- HORIZONTAL DATUM IS NAD 83, NORTH ORIENTATION IS NAD 83, VERTICAL DATUM IS NAVD83.
- EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR THE CITY OF NASHUA NEW HAMPSHIRE, HILLSBOROUGH COUNTY, COMMUNITY PANEL NUMBER 330087 0822 PANEL NUMBER 852 OF 701, EFFECTIVE DATE: APRIL 16, 2011 INDICATES THAT NO PORTION OF THE SUBJECT PREMISES IS LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
- EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED HEREON ARE THOSE FOUND DURING RESEARCH AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER EASEMENTS, RIGHTS AND RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PREMISES MAY DETERMINE.
- BOUNDARY INFORMATION FOR MAP 132 LOT 31 IS BASED ON REFERENCE PLAN 1. THE BEARINGS SHOWN ON REFERENCE PLAN 4 HAVE BEEN TRANSLATED TO MATCH THE BEARING SYSTEM OF THE SURVEY WORK BY THIS OFFICE.
- SUBJECT TRACTS HAVE AVAILABLE MUNICIPAL SEWER SERVICE AND PENNACLUK WATER WORKS WATER SERVICE.
- ANY FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS, EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED WITHIN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.

REFERENCE PLANS:

- EASEMENT PLAN, MAP 132 LOT 31, 117 WEST GLENWOOD STREET, NASHUA, NEW HAMPSHIRE. DATED: 30 SEPTEMBER 2016. SCALE: 1"=30'. PREPARED BY HATNER/SWANSON INC. HORD PLAN #39110.
- BOUNDARY PLAN - SENKEWICZ PROPERTY, WEST GLENWOOD STREET, NASHUA, NEW HAMPSHIRE. SCALE: 1"=50'. DATED: JANUARY 22, 2018. PREPARED BY THIS OFFICE. RECORDED AT THE HORD AS PLAN #39572.



Lot Line Adjustment & Consolidation Plan

between the lands of
ROSCOMMON INVESTMENTS, LLC & MAG RE HOLDINGS-NASHUA, LLC
MAP 132 LOTS 31 & 84 and MAP 128 LOTS 31, 32 & 84
117 WEST GLENWOOD STREET
NASHUA, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNERS OF RECORD:

ROSCOMMON INVESTMENTS, LLC 147 D.W. HIGHWAY NASHUA, NH 03080 H.C.R.D. BK. 9045 PG. 874	MAG RE HOLDINGS-NASHUA, LLC 777 WASHINGTON STREET NEWTON, MA 02460 H.C.R.D. BK. 8926 PG. 2664
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10 Commerce Park North, Suite 35, Bedford, NH 03110 Phone (603) 687-8881

REVISIONS

No.	DATE	DESCRIPTION	BY



SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND BY THIS OFFICE DURING DECEMBER OF 2017 AND JANUARY OF 2018. SAID SURVEY HAS AN ERROR OF CLOSURE BETTER THAN ONE PART IN TEN THOUSAND (1/10,000).

Michael D. Berg 6-16-2020
LICENSED LAND SURVEYOR DATE

OWNER'S SIGNATURE BLOCK

<i>[Signature]</i> ROSCOMMON INVESTMENTS, LLC	6/18/2020 DATE
<i>[Signature]</i> MAG RE HOLDINGS-NASHUA, LLC	6/22/20 DATE

APPROVED - NASHUA CITY PLANNING BOARD

CHAIRMAN	DATE
SECRETARY	DATE

LINE TABLE

LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L1	16.19	N00°26'13"E	L12	19.78	S78°16'50"W
L2	20.41	N03°04'07"E	L13	22.00	S70°27'06"W
L3	12.78	N08°37'05"E	L14	18.03	S69°32'30"W
L4	17.21	N16°43'40"E	L15	22.84	S46°10'07"W
L5	18.61	N53°36'37"E	L16	22.29	S33°36'37"W
L6	18.42	N45°10'07"E	L17	20.49	S18°43'40"W
L7	12.70	N59°32'30"E	L18	14.64	S08°37'05"W
L8	19.81	N70°27'58"E	L19	21.49	S03°04'07"W
L9	20.84	N78°12'28"E	L20	16.54	S00°28'13"W
L10	1.43	N81°36'00"E	L21	2.28	S03°29'30"E
L11	15.48	N28°18'28"W	L22	15.00	N81°40'47"E
			L23	22.44	S81°11'03"E
			L24	19.04	N76°18'50"E
			L25	24.58	N70°27'58"E
			L26	10.67	S59°32'30"W
			L27	69.83	N05°12'25"W

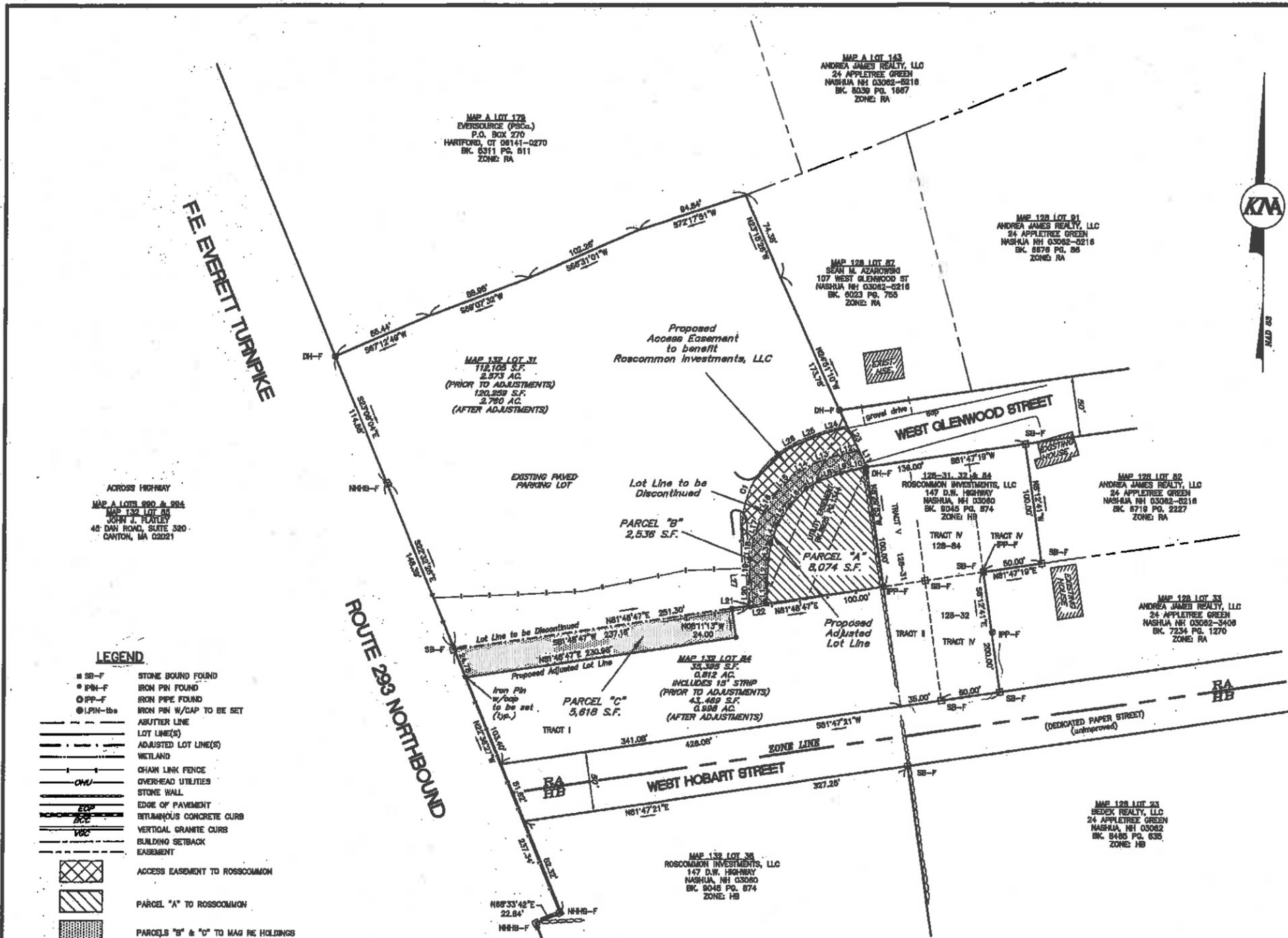
CURVE RADII/ARC LENGTH/CHORD LENGTH/CHORD BEARING/DELTA ANGLE

C1	175.00	184.76	180.32	1S27°10'02"W	164°44'55"
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UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN DRAWN FROM FIELD SURVEY INFORMATION AND OR PLOTTED FROM EXISTING DRAWINGS. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, KEACH-NORDSTROM ASSOCIATES, INC. DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. KEACH-NORDSTROM ASSOCIATES, INC. HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.



LEGEND

- SB-F STONE BOUND FOUND
- IPN-F IRON PIN FOUND
- IPP-F IRON PIPE FOUND
- I/PIN-1/8" IRON PIN W/CAP TO BE SET
- ABUTTER LINE
- LOT LINE(S)
- ADJUSTED LOT LINE(S)
- WETLAND
- CHAIN LINK FENCE
- OVERHEAD UTILITIES
- STONE WALL
- EOP EDGE OF PAVEMENT
- BCC BITUMINOUS CONCRETE CURB
- VGC VERTICAL GRANITE CURB
- BUILDING SETBACK EASEMENT
- ACCESS EASEMENT TO ROSCOMMON
- PARCEL "A" TO ROSCOMMON
- PARCELS "B" & "C" TO MAG RE HOLDINGS

FE. EVERETT TURNPIKE

ROUTE 293 NORTHBOUND



ACROSS HIGHWAY
MAP A LOTS 880 & 884
MAP 132 LOT 88
JOHN J. FAYES
45 DAN ROAD, SUITE 320
CANTON, MA 02021

MAP A LOT 178
EVENSOURCE (PSCo.)
P.O. BOX 270
HARRIFORD, CT 06111-0270
BK. 6311 PG. 611
ZONE: RA

MAP A LOT 143
ANDREA JAMES REALTY, LLC
24 APPLE TREE GREEN
NASHUA, NH 03082-0218
BK. 8039 PG. 1867
ZONE: RA

MAP 128 LOT 81
ANDREA JAMES REALTY, LLC
24 APPLE TREE GREEN
NASHUA, NH 03082-0218
BK. 8676 PG. 26
ZONE: RA

MAP 128 LOT 87
SEAN H. AZAROVICH
107 WEST GLENWOOD ST
NASHUA, NH 03082-0218
BK. 8023 PG. 768
ZONE: RA

MAP 132 LOT 31
112,108 S.F.
2.573 AC.
(PRIOR TO ADJUSTMENTS)
120,329 S.F.
2.780 AC.
(AFTER ADJUSTMENTS)

Proposed Access Easement to benefit Roscommon Investments, LLC

Lot Line to be Discontinued
PARCEL "B"
2,538 S.F.

Proposed Adjusted Lot Line
PARCEL "A"
8,074 S.F.

Lot Line to be Discontinued
PARCEL "C"
5,618 S.F.

MAP 132 LOT 84
35,385 S.F.
0.812 AC.
INCLUDES 18' STRIP
(PRIOR TO ADJUSTMENTS)
43,489 S.F.
0.998 AC.
(AFTER ADJUSTMENTS)

MAP 128 LOT 82
ANDREA JAMES REALTY, LLC
24 APPLE TREE GREEN
NASHUA, NH 03082-0218
BK. 8719 PG. 2227
ZONE: RA

MAP 128 LOT 31
ANDREA JAMES REALTY, LLC
24 APPLE TREE GREEN
NASHUA, NH 03082-3408
BK. 7234 PG. 1270
ZONE: RA

MAP 128 LOT 33
SEBEK REALTY, LLC
24 APPLE TREE GREEN
NASHUA, NH 03082
BK. 8485 PG. 838
ZONE: HB

MAP 132 LOT 38
ROSCOMMON INVESTMENTS, LLC
147 D.W. HIGHWAY
NASHUA, NH 03080
BK. 9046 PG. 874
ZONE: HB

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda McGhee, Deputy Planning Manager/Development
FOR: September 10, 2020
RE: **New Business #4 - Subdivision Plan**

I. Project Statistics:

Owner : Thomas G. & Justine A. Bergin
Proposal: Lot line relocation plan
Location: 4 & 6 Edgewood Avenue
Total Site Area: 19,086 sf
Existing Zoning: RA - Urban Residence
Surrounding Uses: Residential

II. Background Information:

There are single-family homes that exist on each of the lots. There is a 15' access easement located on Lot 36.

III. Project Description:

The purpose of this plan is to transfer 1,050 sf from Lot 36 to Lot 42. Both lots are owned by the applicant. One waiver has been requested to show existing condition within 1,000 feet (see attached).

The plan was reviewed by City staff; comments are attached.

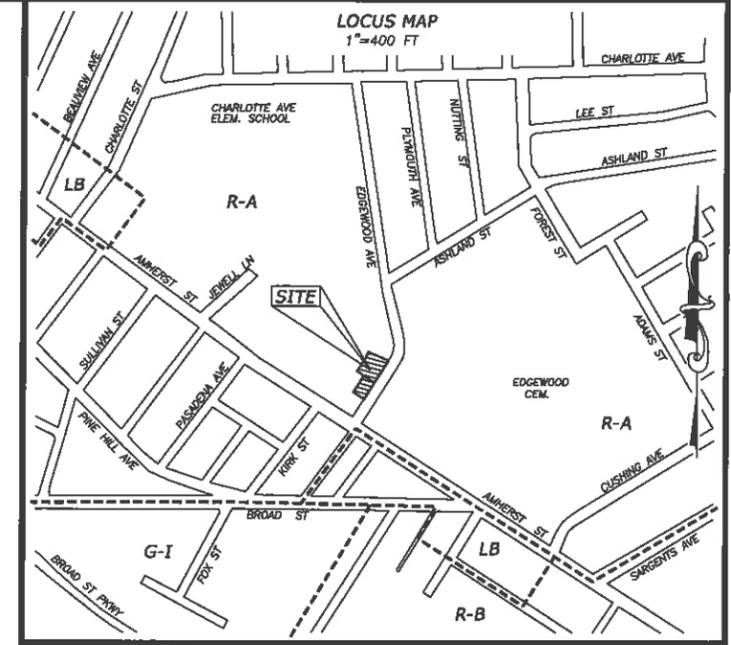
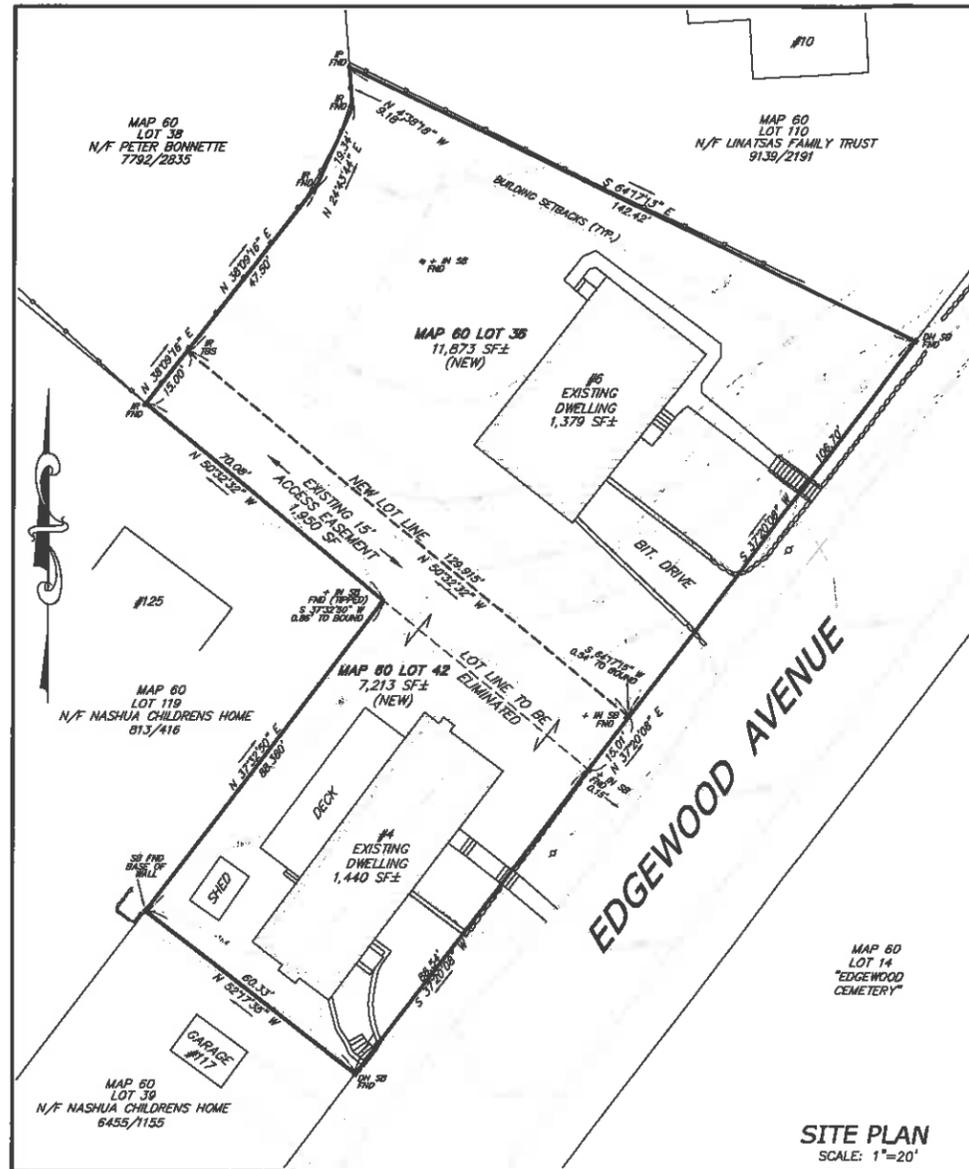
Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet the requirements outlined in the Subdivision NRO § 190-138(G). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulation be made part of that approval:

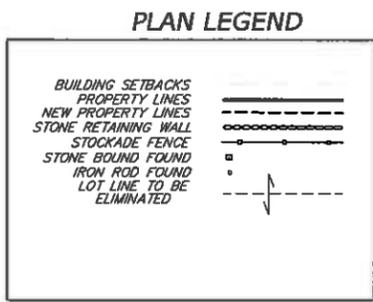
1. The request for a waiver of § 190-282(B)(9), which requires an existing conditions plan, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. Prior to the Chair signing the plan, all minor drafting corrections will be made.

3. Prior to the Chair signing the plan, all conditions from the Planning Board approval letter will be added to the cover page of the final plans.
4. Prior to the Chair signing the plan, the electronic file of the plan shall be submitted to the City of Nashua.
5. Prior to recording the plan, all comments in an e-mail from Joe Mendola, Street Construction Engineer, dated August 20, 2020 shall be addressed to the satisfaction of the Engineering Department.

REFERENCE PLAN:
 1. REFERENCE PLAN: "PLAN OF LAND OF EVERETT W. KEMP, 10 EDGEWOOD AVE., NASHUA, NH, SCALE 1 IN=20 FT, 1954" RECORDED IN THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS (HCRD) AS PLAN 1127.



- PLAN NOTES:**
- THE PURPOSE OF THIS PLAN IS ILLUSTRATE A LOT LINE RELOCATION PLAN BETWEEN NASHUA LOTS 60-42 AND 60-36.
 - OWNERS OF RECORD:
 LOT 60-42: THOMAS G. BERGIN & JUSTINE A. BERGIN, 4 EDGEWOOD AVE., NASHUA, NH 03060, HCRD DEED 8965/2610
 LOT 60-36: JUSTINE A. BERGIN, 6 EDGEWOOD AVE., NASHUA, NH 03060, HCRD DEED 9189/2852
 - CURRENT ZONING DISTRICT: R-A
 MINIMUM SETBACKS: FRONT= 25', SIDE= 10', REAR= 25', MIN. AREA = 7,300 SF, MIN. FRONTAGE= 60'
 - FOR BOUNDARY INFORMATION SEE PLAN REFERENCE 1.
 - TOPOGRAPHIC INFORMATION DEPICTED HEREON IS A RESULT OF AN ON-THE-GROUND SURVEY PREPARED BY THIS OFFICE IN FEBRUARY 2020.
 - NO PORTION OF THE PROPERTY IS WITHIN THE 100-YEAR FLOOD PLAN AS PER FIRM MAP NUMBER 33011C0513D.
 - BOTH LOTS ARE SERVICED BY PENNICHUCK WATER AND MUNICIPAL SEWER.
 - THE LOCATION OF ANY UNDERGROUND UTILITIES SHOWN IS APPROXIMATE. JEFFREY LAND SURVEY MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. CONTRACTOR IS TO CONTACT DIGSAFE PRIOR TO ANY EXCAVATION.
 - THE ACCESS EASEMENT CURRENTLY LOCATED ON MAP 60 LOT 36 (#6 EDGEWOOD AVE.) WILL NOT BE VOIDED BY THE LOT LINE ADJUSTMENT, BUT WILL IN FACT BE TRANSFERRED TO MAP 60 LOT 42 (#4 EDGEWOOD AVE.).



REV. 3		BY:
REV. 2		BY:
REV. 1	TEXT AS PER CITY REVIEW	8/31/20 BY: GRJ

LOT LINE RELOCATION PLAN
 PREPARED FOR
THOMAS G. AND JUSTINE A BERGIN
 OWNERS AND APPLICANTS, LOTS 60-42 & 60-36
 4 & 6 EDGEWOOD AVENUE
 NASHUA, NH
 HILLSBOROUGH COUNTY, NH

JEFFREY LAND SURVEY, LLC
 1 BURGESS DRIVE
 LITCHFIELD, NH 03052

SHEET 1 OF 1

1"=20' DATE: FEB. 2020

APPROVED - NASHUA CITY PLANNING BOARD

CHAIRMAN _____ DATE _____
 SECRETARY _____ DATE _____

OWNER OF MAP 60 LOT 36

SIGNATURE _____
 DATE _____

OWNER OF MAP 60 LOT 42

SIGNATURE _____
 DATE _____

LOT NUMBER	TOTAL AREA (EXISTING)	CHANGE IN AREA	TOTAL AREA PROPOSED
60-36	12,923 SF±	-1,050 SF±	11,873 SF±
60-42	6,163 SF±	+1,050 SF±	7,213 SF±

CERTIFICATION:

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

 LICENSED LAND SURVEYOR DATE _____

CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND BY THIS OFFICE DURING FEBRUARY OF 2020. SAID SURVEY HAS AN ERROR OF CLOSURE BETTER THAN ONE PART IN TEN THOUSAND (1:10,000).

 LICENSED LAND SURVEYOR DATE _____

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda McGhee, Deputy Planning Manager
FOR: September 10, 2020
RE: **New Business #5 - Subdivision Plan**

I. Project Statistics:

Owners: MG Holdings
Proposal: Three lot subdivision
Location: 1 Morningside Drive
Total Site Area: 0.68 acres 29,714 sf
Existing Zoning: RA-Urban Residence
Surrounding Uses: Residential and Rivier University

II. Background Information:

According to city records, presently on the lot is a single family 2-story home with a basement. There is a pool and shed also on the property.

III. Project Description:

The purpose of this plan is to subdivide the parcel into three residential lots. The existing home will remain on Lot 129 and contain 12,276 sf. Lot 131 will contain 7,822 sf and have an address of 7 Morningside Drive. Lot 132 will contain 9,616 sf and have an address of 11 Morningside Drive. The minimum lot area in the RA zone is 7,500 sf and all lots meet the minimum requirements. The pool and shed will be removed. Underground utilities are being proposed.

Three waivers are being requested. The first waiver is from the requirement to show physical features on site and within 1,000 feet of the subdivision. The applicant has requested a waiver from the requirement to show existing waterlines on the plan.

The final waiver is for sidewalks. While there is a significant need for sidewalks and pedestrian facilities throughout the City of Nashua, Morningside Drive and Taft Street are not on the sidewalk priority list and does meet the standards for granting a waiver. The site meets the criteria in § 190-212(D) and the owner would be eligible to make a contribution in lieu of sidewalk construction. The applicant has offered to make a contribution in the amount of \$13,576.50, which is based on \$50 per linear foot along the entire frontage of the lots on Morningside Drive, subtracting a driveway width of 36 feet (18 feet per lot for the driveway). If the frontage on Taft Street is included in the sidewalk calculation of \$50 per linear foot (131.90 feet – 18 feet for a driveway), an additional \$5,695.00 contribution (or a total of \$19,271.50 would be required.

City Staff reviewed the plans; comments are attached.

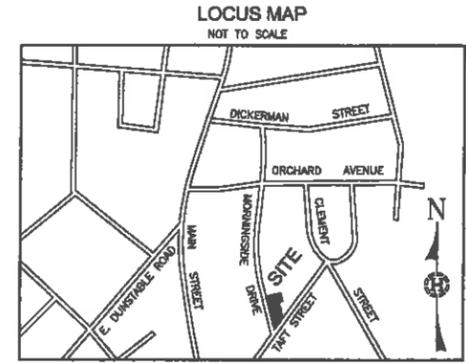
Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet the requirements outlined in the Subdivision NRO § 190-138(G). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulation be made part of that approval:

1. The request for a waiver of § 190-282(B)(9), which requires physical features on site and within 1,000 feet, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. The request for a waiver of § 190-282(B)(28), which waterlines to be shown for new subdivisions, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
3. The request for a waiver § 190-212(A)(1), which requires that a sidewalk be located on at least one side of the street, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation. The applicant has agreed to make a contribution in the amount of \$_____ in lieu of sidewalk construction pursuant to §190-212(D)(2), payment to be made prior to recording the plan.
4. Prior to the Chair signing the plan, all minor drafting corrections will be made.
5. Prior to recording the plan, all comments in an e-mail from Joe Mendola, Street Construction Engineer, dated August 31, 2020 shall be addressed to the satisfaction of the Engineering Department.
6. Prior to recording of the plan, all conditions from the Planning Board approval letter will be added to the cover page of the final mylar and paper copies submitted to the City.
7. Prior to recording of the plan, addresses shall be shown on the plan as assigned by the Fire Marshal.
8. Prior to recording the plan, a drainage report shall be submitted to Planning and Engineering staff for review.
9. Stormwater documents and utility easements will be submitted to Planning staff for review and recorded with the plan at the applicant's expense.
10. Prior to the issuance of a building permit, the plan electronic file of the subdivision plan shall be submitted to the City of Nashua.
11. Prior to any work, a pre-construction meeting shall be held and a financial guarantee shall be approved.

REFERENCE PLANS:

1. "ORCHARD HEIGHTS - HOUSE LOTS & BUNGALOW LOTS - OWNED BY - MASSACHUSETTS LAND CO.," SCALE: 1"=40' DATED AUGUST 1915 (H.C.R.D. PLAN #329A).
2. "MORNING SIDE PARK - MAIN STREET NASHUA NH" SCALE: 1"=40' DATED DECEMBER 2, 1955 AND LAST REVISED 2/12/59 (H.C.R.D. PLAN # 1720)
3. "LAND OF - ETHEL M. LANGSTON - MAIN STREET & ORCHARD AVENUE - NASHUA-N.H." SCALE: 1"=40' DATED MAY 20, 1940 AND LAST REVISED SEPTEMBER 7, 1940 (H.C.R.D. PLAN #)
4. "LAND IN NASHUA, NH - DRAWN TO SHOW - LOT LINE RELOCATION - OWNED BY - THOMAS & CAROL GRASSO - 408 MAIN ST. NASHUA NH - & ROBERT & CAROL DROUIN - 8 TAFT STREET NASHUA, NH" SCALE: 1"=30' DATED JANUARY 1989 (H.C.R.D. PLAN # 23205).

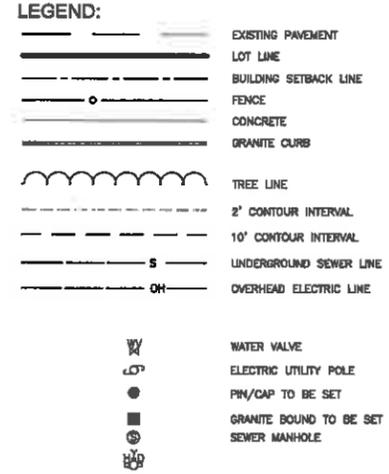
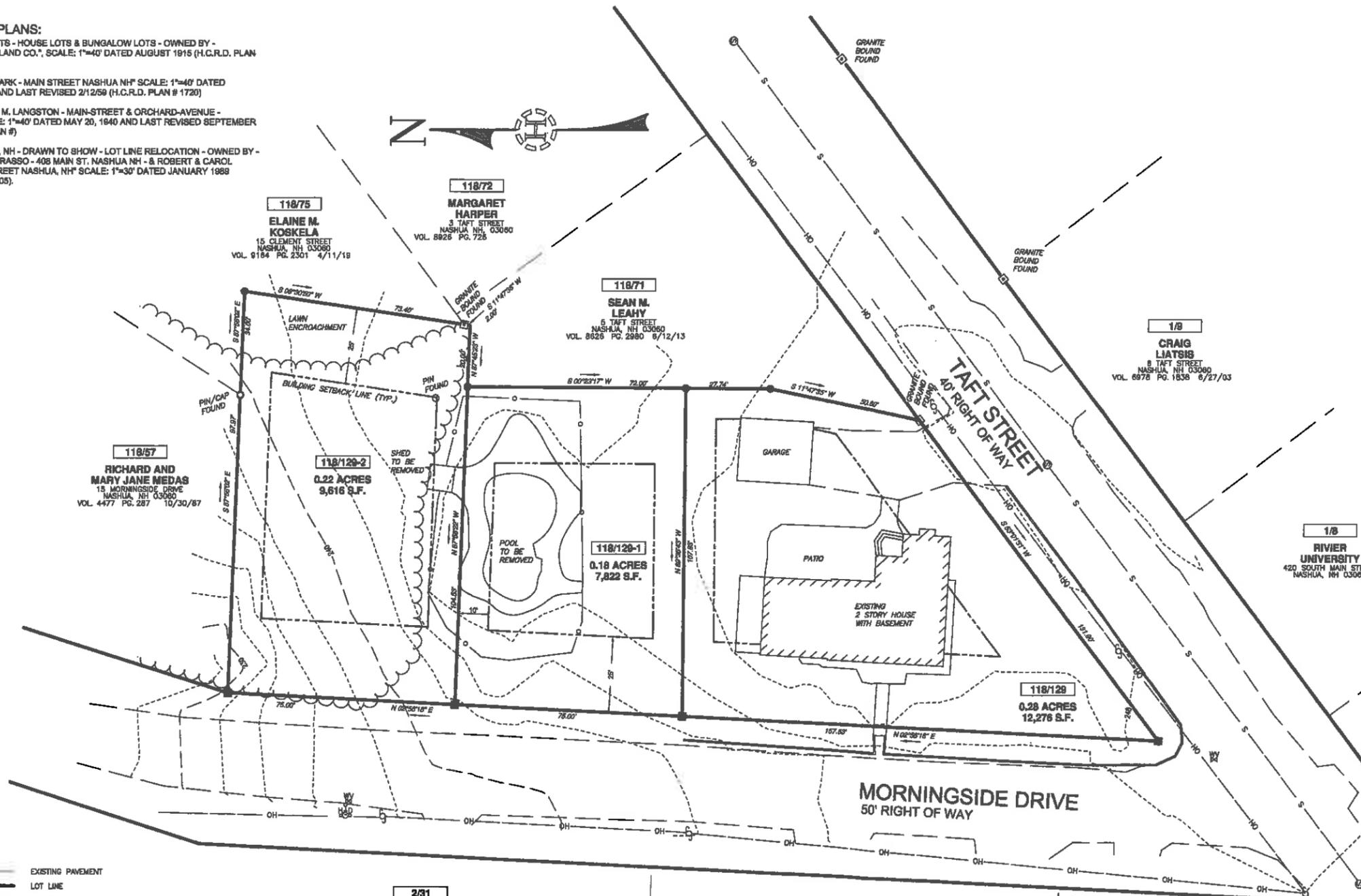


NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT A 3 LOT SUBDIVISION OF TAX MAP 118 LOT 129.
2. THE OWNER OF RECORD OF TAX MAP 118 LOT 129 IS MG HOLDINGS LLC, P.O. BOX 10088 BEDFORD, NH 03110 (SEE H.C.R.D. BK. 2885 PG. 1251 DATED 3/16/20).
3. THE TOTAL AREA OF TAX MAP 118 LOT 129 IS 0.68 ACRES OR 29,714 S.F.
4. TAX MAP 118 LOT 129 IS LOCATED IN THE R-A ZONE, MINIMUM LOT AREA IS 7,500 S.F. WITH 60' OF FRONTAGE. MINIMUM BUILDING SETBACKS ARE 25' FRONT, 10' SIDE AND 25' REAR.
5. THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE DURING THE MONTHS OF APRIL AND MAY 2020.
6. TAX MAP 118 LOT 129 DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE PER FIRM # 33011C0552E EFFECTIVE DATE 4/18/11.
7. UNDERGROUND UTILITIES DEPICTED HEREON ARE APPROXIMATE. THIS SITE IS SERVICES BY MUNICIPAL SEWER AND PENNICHUCK WATER WORKS.
8. PARKING REQUIREMENTS FOR SINGLE FAMILY RESIDENTIAL ARE TWO 10' x 20' OFF STREET PARKING PLACES PER LOT.
9. FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS.
10. ANY WORK WITHIN THE RIGHT OF WAY OF ANY STREETS SHALL COMPLY WITH THE N.R.D. SECTION 285-13.
11. PROPOSED UTILITY LINES ARE TO BE UNDERGROUND.
12. A MINIMUM OF 2 STREET TREES PER LOT SHALL BE LOCATED ALONG THE STREET FRONTAGE WITH A 2 FEET MINIMUM CALCULATION.

WETLAND CERTIFICATION:

AN ONSITE INVESTIGATION FOR THE PURPOSE OF DELINEATING WETLANDS WAS CONDUCTED BY SPENCER TATE DURING THE MONTH OF MAY 2020 IN ACCORDANCE WITH THE TECHNIQUES OUTLINES IN THE ARMY CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 AND THE NORTH EAST REGIONAL SUPPLEMENT. THIS INVESTIGATION REVEALED THAT THERE WERE NO WETLANDS ON THE SITE.



REV.	DATE	DESCRIPTION	BY

2/31
JOSEPH L. BINGHAM
 3 MORNINGSIDE DRIVE
 NASHUA, NH 03080
 VOL. 4546 PG. 289 12/14/87

2/28
SUNLIN V. & SUNETA S. KULKARIN
 933 NE SHIMMEL STREET
 HILLSBORO, NH 07124-5010
 VOL. 5800 PG. 341 12/22/84

2/28
ROBERT G. DROUIN REVOCABLE TRUST
 8 TAFT STREET
 NASHUA, NH 03060
 VOL. 8322 PG. 1848 5/27/11



OWNER'S SIGNATURES
 DATE _____ MG HOLDINGS LLC

APPROVED - NASHUA PLANNING BOARD
 DATE _____ CHAIR OF NASHUA PLANNING BOARD
 DATE _____ SECRETARY OF NASHUA PLANNING BOARD

CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

SUBDIVISION PLAN
 PREPARED FOR:
MG HOLDINGS
 1 MORNING SIDE DRIVE
TAX MAP 118 LOT 129
NASHUA, NEW HAMPSHIRE

JUNE 18, 2020
HIGGINSON LAND SERVICES
 LAND SURVEYING - SEPTIC SYSTEM DESIGNS - PERMITTING
 76 PATTERSON HILL ROAD HENNIKER, NH 03242
 TEL: 603-880-8412 | NOTE BOOK #16 | JOB #625

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda McGhee, Deputy Planning Manager
FOR: September 10, 2020
RE: **New Business #6 - Subdivision Plan**

I. Project Statistics:

Owner: Stanley and Ruth Choate
Proposal: Two lot subdivision
Location: 438 Main Dunstable Road
Total Site Area: 3.834 acres
Existing Zoning: R30-Suburban Residence
Surrounding Uses: Residential

II. Background Information:

According to city records, the existing single family home was built in the 1970s.

III. Project Description:

The purpose of this plan is to subdivide the parcel into two residential lots. The existing home will remain on Lot 825 and contain 88,206 sf. The new lot, 2990, will have an address of 432 Main Dunstable Road and contain 78,791 sf. Both lots will meet all the minimum zoning requirements. The applicant's engineer has provided a stormwater letter and indicates there will not be any significant changes in drainage patterns.

Several waivers are being requested. The applicant has requested a waiver from the requirement to provide underground utilities; overhead utilities are proposed.

The second waiver is for sidewalks. There is a significant need for sidewalks and pedestrian facilities throughout the City of Nashua and Main Dunstable Road is on the sidewalk priority list. The site meets the criteria in § 190-212(D) and the owner would be eligible to make a contribution in lieu of sidewalk construction; however the applicant's engineer is not offering to make a contribution. Based on \$50 per linear foot along the entire frontage of the both lots (365.76 linear feet) and subtracting a driveway width of 36 feet (18 feet per lot for the driveway), the amount of the contribution should be \$16,488.00.

The third waiver is to allow the plan to be recorded within the 30 day appeal period. The fourth waiver is from the requirement to show existing conditions within 1,000 feet of the subdivision. The final waiver request is for a grading plan, drainage report and drainage calculations.

City Staff reviewed the plans; comments are attached.

Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet the requirements outlined in the Subdivision NRO § 190-138(G). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulation be made part of that approval:

1. The request for a waiver of § 190-221, which requires underground utilities for new subdivisions, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. The request for a waiver § 190-212(A)(1), which requires that a sidewalk be located on at least one side of the street, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation. The applicant has agreed to make a contribution in the amount of \$ _____ in lieu of sidewalk construction pursuant to §190-212(D)(2), payment to be made prior to recording the plan.
3. The request for a waiver of Nashua Planning Board Bylaws Section 9.5, which requires a 30 day appeal period prior to recording the approved subdivision plan, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
4. The request for a waiver of § 190-282(B)(9), which requires an existing conditions plan, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
5. The request for a waiver of § 190-282(B)(15)(25)& (39), which requires a grading plan, drainage report, and drainage calculations, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
6. Prior to the Chair signing the plan, all minor drafting corrections will be made.
7. Prior to recording of the plan, all conditions from the Planning Board approval letter will be added to the cover page of the final mylar and paper copies submitted to the City.
8. Prior to the Chair signing the plan, all comments in a letter from Pete Kohalmi, P.E., dated August 31, 2020 shall be addressed to the satisfaction of the Engineering Department.
9. Stormwater documents will be submitted to Planning staff for review and recorded with the plan at the applicant's expense.
10. Prior to the issuance of a building permit, the plan electronic file of the subdivision plan shall be submitted to the City of Nashua.
11. Prior to any work and a pre-construction meeting, a financial guarantee shall be approved.

LEGEND:

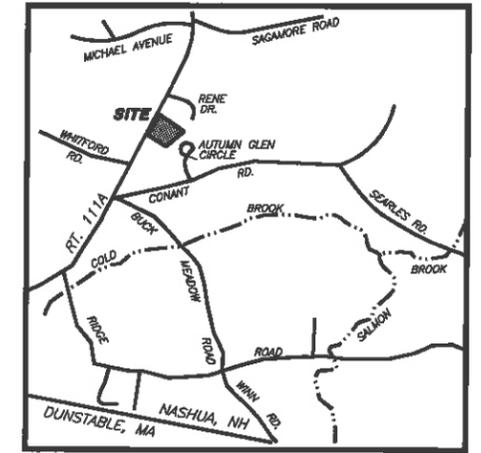
- RIGHT-OF-WAY SIDELINE
- PROPERTY LINE
- ABUTTING LOT LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- EDGE OF WETLANDS
- OH — EXISTING TELEPHONE LINE
- W — EXISTING WATER LINE
- G — EXISTING GAS LINE
- S — EXISTING SEWER LINE
- 10' CONTOUR INTERVAL
- 2' CONTOUR INTERVAL
- 2-29 EXISTING TAX MAP AND LOT NUMBER
- EXISTING BUILDING
- EXISTING TREE LINE
- EXIST. GRANITE BOUND FOUND
- EXIST. PIN AND CAP FOUND
- ⊙ EXISTING UTILITY POLE
- ☆ EXISTING LIGHT
- EXISTING SINGLE POST SIGN
- ⊕ EXISTING WELL
- EXISTING MAILBOX
- EXISTING GUY WIRE
- ⊕ EXISTING SEWER MANHOLE
- ⊕ EXISTING DRAIN MANHOLE
- ⊕ EXISTING WATER HYDRANT

SOIL CLASSIFICATION

- KEY SOIL SERIES DESCRIPTION
- CmC CANTON FINE SANDY LOAM, VERY STONY, 8-15% SLOPES
 - Gw FREETOWN MUCKY PEAT, 0-2% SLOPES
 - So SCARBORO MUCKY FINE SANDY LOAM, 0-3% SLOPES

CONDITIONS OF APPROVAL:

1. TO BE DETERMINED BY THE BOARD.



NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT A PROPOSED SUBDIVISION OF LOT C-825 TO CREATE 1 NEW FRONTAGE BUILDING LOT.
2. THE OWNER OF RECORD OF LOT C-825 IS STANLEY & RUTH CHOATE, 438 MAIN DUNSTABLE ROAD, NASHUA NH 03062 HCRD, VOL. 3246 PG. 325 (12/24/1984).
3. THE TOTAL LAND AREA OF THE EXISTING LOT C-825 IS 3.834 ACRES, OR 166,986 SQUARE FEET. REFER TO ZONING TABLE BELOW FOR PROPOSED LAND AREAS.
4. THE PARCEL IS LOCATED WITHIN THE R-30 ZONING DISTRICT. REFER TO ZONING TABLE BELOW FOR LOT REQUIREMENTS.
5. PER FEMA DFIRM PANEL 33011C0632D, EFFECTIVE DATE 9/25/09, THE PARCEL IS NOT SUBJECT TO THE 1% ANNUAL CHANCE FLOOD (NOT IN THE 100 YEAR FLOOD PLAIN).
6. THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY THIS OFFICE ON APRIL 29, 2020.
7. NO EASEMENTS WERE FOUND IN THE COURSE OF THIS SURVEY AFFECTING THE PARCEL.
8. THE WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE ARMY CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 REGIONAL SUPPLEMENT (JANUARY 1987), BY SPENCER C. TATE, WETLAND SCIENTIST IN APRIL 2020.
9. THE EXISTING DWELLING IS SLAB ON GRADE AND THERE IS NO GAS SERVICE TO THE DWELLING.
10. THE LOCATION OF UTILITY SERVES TO THE PROPOSED LOT WILL BE DETERMINED AS PART OF A SUBSEQUENT BUILDING APPLICATION.
11. NORTH ORIENTATION REFERENCES NH GRID COORDINATES (NAD83/2011) ESTABLISHED BY STATIC GPS OBSERVATIONS ON APRIL 29, 2020 POST PROCESSED USING NGS OPUS PROJECTS AND CORS STATIONS ZSW1, NHCO, MAMI, MASA AND MAWN. VERTICAL DATUM IS NAVD83 GEOID12B

CERTIFICATION

"I HEREBY CERTIFY THAT THE BOUNDARY LINES SHOWN ARE PER THE REFERENCE PLAN NOTED HEREON, AND HAVE A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY."

**SUBDIVISION PLAN
LAND OF
STANLEY & RUTH
CHOATE
TAX PARCEL C-825
438 MAIN DUBSTABLE ROAD
432 MAIN DUBSTABLE ROAD
NASHUA, NEW HAMPSHIRE**

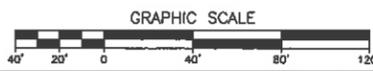
SCALE: 1" = 40' MAY 15, 2020



**MERIDIAN
LAND SERVICES, INC.**
ENGINEERING | SURVEYING | PERMITTING
SOIL & WETLAND MAPPING | SEPTIC DESIGN
31 OLD NASHUA ROAD, AMHERST, NH 03031 TEL. 603-673-1441
MERIDIANLANDSERVICES.COM FAX 603-673-1384

PLAN REFERENCE:

1. PLAN OF LAND IN - NASHUA, N.H. - OWNED BY - CHARLES O. LANOIE - 428 MAIN DUNSTABLE ROAD - SCALE: 1"=40' - DATED: JUNE 1973 - PREPARED BY PIANTIDOSI ASSOCIATES, (H.C.R.D. PLAN NO.6959).
2. AS BUILT PLAN AND PROFILE, MAIN DUNSTABLE ROAD, SANITARY SEWER NASHUA, NEW HAMPSHIRE - SCALE: AS NOTED - DATED: JANUARY 20, 1971 PREPARED BY HAMILTON ENGINEERING ASSOCIATES, INC. (SHEETS 5 & 6).
3. MAP C / LOT 2541 FINAL SUBDIVISION PLAN, AUTUMN GLEN CIRCLE AT MAPLEWOOD, CONANT ROAD, NASHUA, N.H. - SCALE: 1"=50' - DATED: APRIL 22, 1998, PREPARED BY CUOCO & CORMIER ENGINEERING ASSOCIATES, INC. SHEET 4 OF 12 (H.C.R.D. PLAN NO.29578).



LOT REQUIREMENTS:

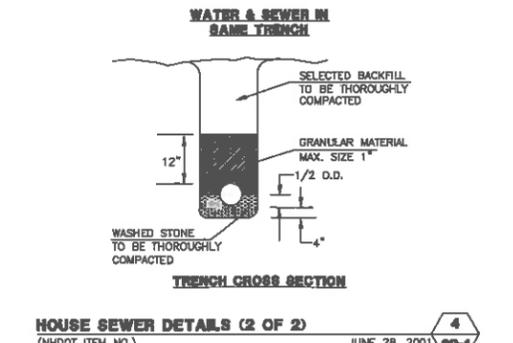
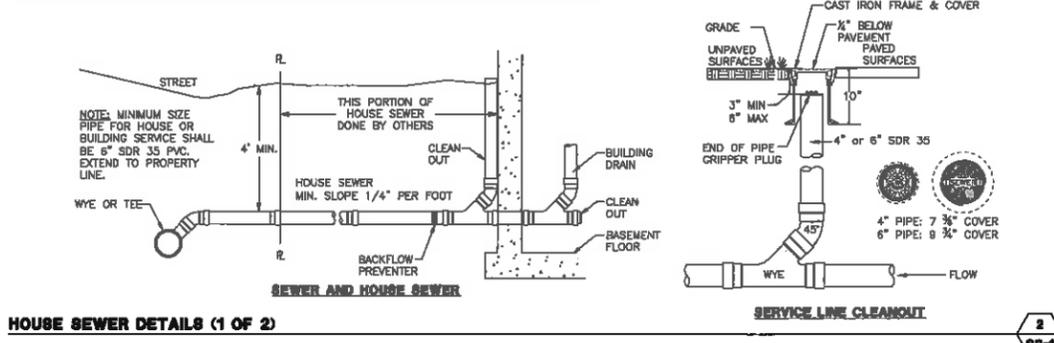
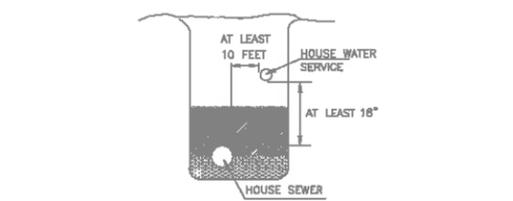
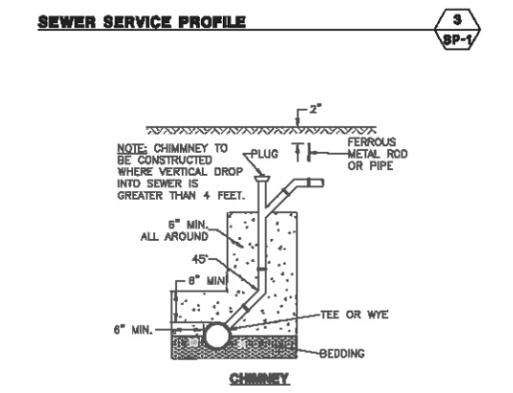
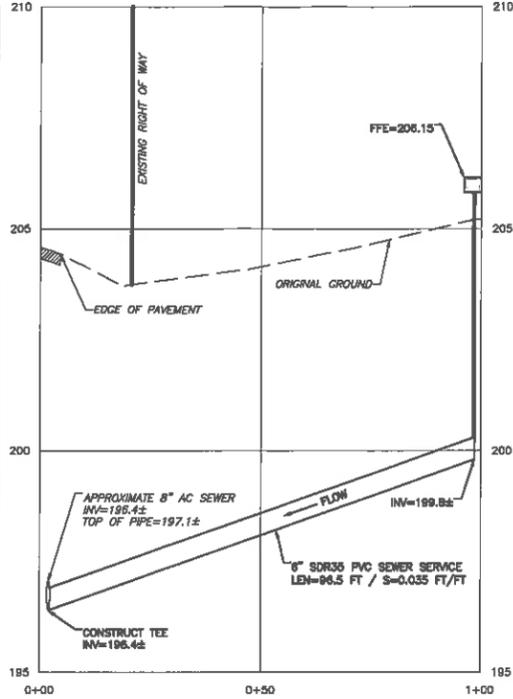
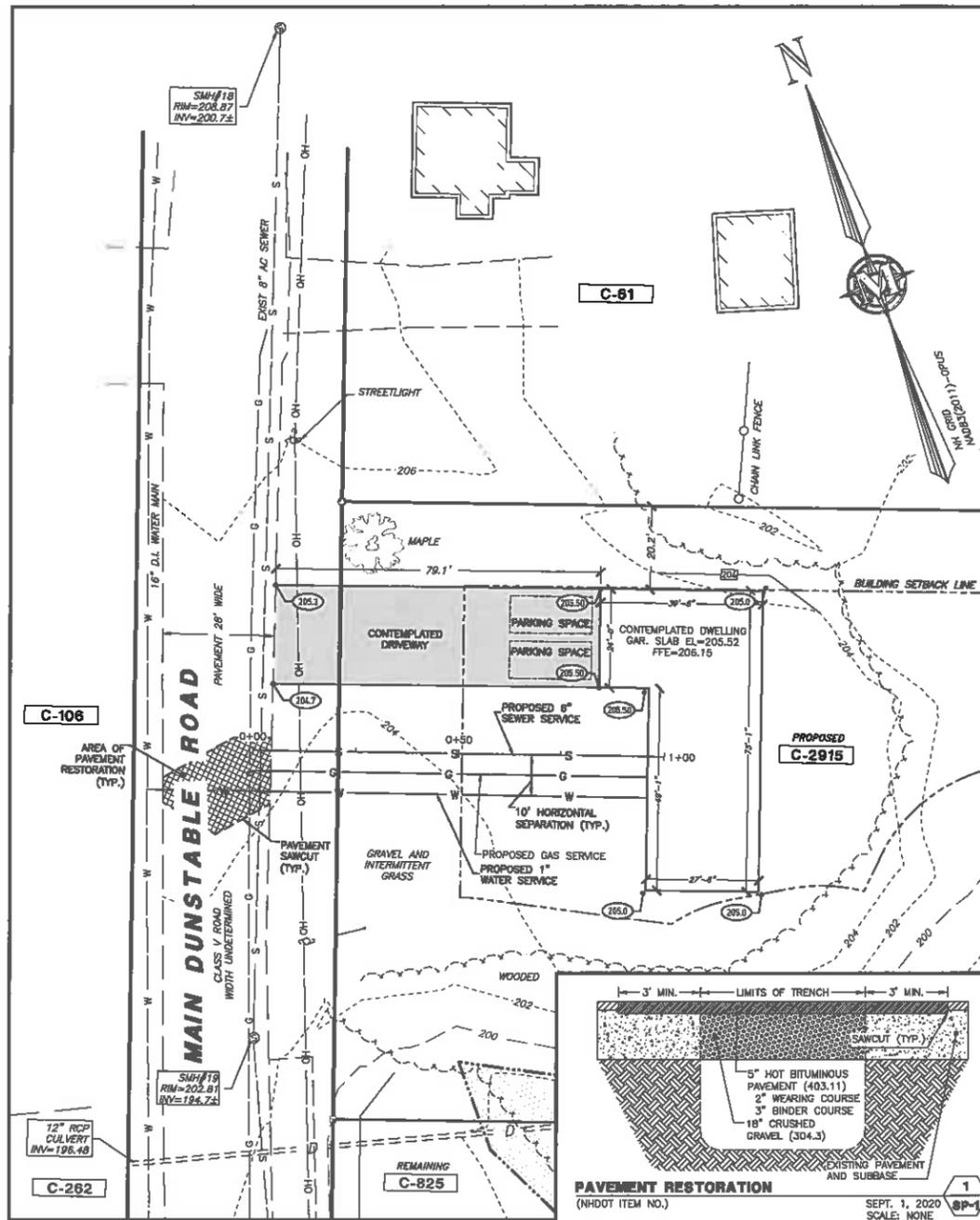
	GROSS LOT AREA	USABLE LOT AREA	LOT WIDTH	FRONTAGE	LOT DEPTH	FRONT YARD	SIDE YARD	REAR YARD	OPEN SPACE	LOT COVERAGE	STORIES
REQUIRED:	30,000 S.F.	40,000 SQ.FT.	130'	105'	120'	20'	20'	40'	60%	—	2 1/2
C-825	88,206 SQ.FT.	54,296 SQ.FT.	213'	215.76'	403'	66.7'	80.0'	320.7'	94%	6%	2 1/2
C-2915	78,791 SQ.FT.	44,712 SQ.FT.	150'	150'	496'	N/A	N/A	N/A	100%	0%	N/A

OWNER'S ENDORSMENT

APPROVED - NASHUA PLANNING BOARD

CHAIRMAN: _____ DATE _____

SECRETARY: _____ DATE _____

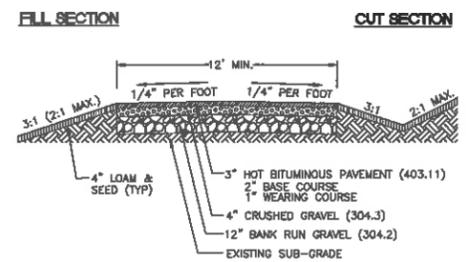


1. PARKING REQUIREMENTS FOR A SINGLE FAMILY DWELLING ON AN INDIVIDUALLY OWNED LOT: 2 SPACES PER UNIT (NASHUA LAND USE CODE, PAGE 190:284, TABLE 19B-1)
2. THE PROPOSED HOUSE LOTS WILL BE SERVICED BY MUNICIPAL SEWER AND MUNICIPAL WATER.
3. THE PROPOSED HOUSE LOT WILL BE SERVICED BY UNDERGROUND UTILITIES.
4. FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SUCH SYSTEMS ARE NOT REQUIRED
5. STREET RESTORATION TO BE IN ACCORDANCE WITH N.R.D. SEC. 285-13.

GENERAL NOTES NOV. 13, 2009 SCALE: NONE

1. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF NASHUA. OTHERWISE, ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION - STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. MERIDIAN LAND SERVICES, INC., AS DESIGN ENGINEER, SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
3. THE OWNER AND/OR CONTRACTOR SHALL VERIFY ALL ZONING REQUIREMENTS FOR CONFORMANCE PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL CONTACT "DISAFE" (811) 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
5. COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND SPECIAL CONDITIONS OF TOWN/CITY AGENCIES, SUCH AS THE PLANNING BOARD, CONSERVATION COMMISSION, AND OTHERS, IS MANDATORY AND IS THE RESPONSIBILITY OF THE OWNER.
6. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND MERIDIAN LAND SERVICES, INC. PRIOR TO CONSTRUCTION.
7. ALL DRAINAGE STRUCTURES SHALL CONFORM TO NHDOT STANDARDS.
8. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENT PRIOR TO CONSTRUCTION TO ARRANGE FOR INSPECTIONS OF THE CONSTRUCTION.
9. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCURATE AS-BUILT INFORMATION OF ALL WORK, ESPECIALLY UNDERGROUND CONSTRUCTION OF UTILITY LINES, SERVICES, CONNECTIONS, ETC. AND APPROPRIATE TIES TO ABOVE GROUND PERMANENT STRUCTURES, FIELD SURVEY COORDINATES, OR SOME OTHER METHOD OF ESTABLISHING THE AS-BUILT CONDITION OF ALL CONSTRUCTION.

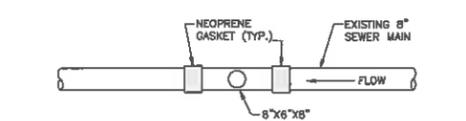
CONSTRUCTION NOTES NOV. 13, 2009 SCALE: NONE



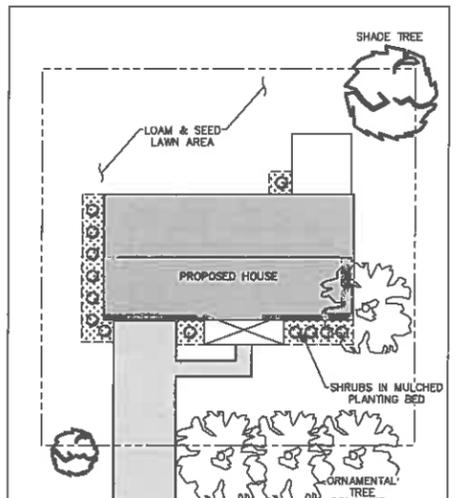
DRIVEWAY CONSTRUCTION NOTES:

1. ALL DRIVEWAYS CONNECTED TO PUBLIC ROADS MUST BE BUILT AND MAINTAINED BY THE HOMEOWNER OR HIS/HER REPRESENTATIVE IN ACCORDANCE WITH THESE SPECIFICATIONS.
2. DRIVEWAYS SHALL NOT DIVERT OR INTERRUPT THE NATURAL OR DITCHLINE FLOW OF RUNOFF.
3. WHERE SHALLOW DITCHLINES EXIST AT THE CREST OF A PRIVATE ROAD OR NATURAL DRAINAGE COURSES DISCHARGE RUNOFF FROM THE ROADWAY, DRIVEWAYS MAY BE REQUIRED TO BE DEPRESSSED AT A POINT BEYOND THE ROAD SHOULDER TO ACCOMMODATE THE FLOW OF SURFACE WATER (SEE TYPICAL DRIVEWAY PROFILES).
4. THERE SHALL BE NO PERMANENT STRUCTURE CONSTRUCTED, BELOW OR ABOVE THE FINISH GRADE, THAT IS CONTAINED WITHIN THE RIGHT-OF-WAY. IT SHALL BE THE HOMEOWNER'S RESPONSIBILITY TO DETERMINE THE LOCATION OF THE RIGHT-OF-WAY LINE (PROPERTY LINE).
5. THE MAXIMUM DRIVEWAY WIDTH AT A PROPERTY LINE SHALL NOT EXCEED 24'. THE MINIMUM DISTANCE FROM A DRIVEWAY TO INTERSECTION MUST BE AT LEAST 50'. DRIVEWAYS SHALL NOT INTERSECT A STREET AT LESS THAN 60 DEGREE ANGLES.

TYPICAL DRIVEWAY (NHDOT ITEM NO.) JUNE 28, 2001 SCALE: NONE



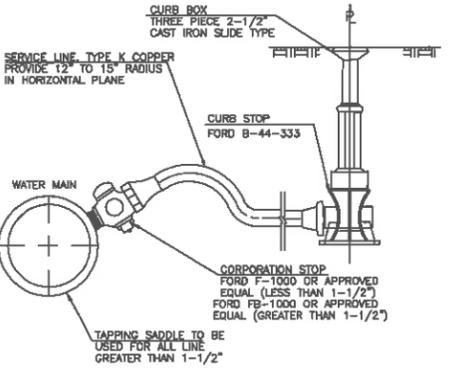
SEWER SERVICE TEE JUNE 28, 2001 SCALE: NONE



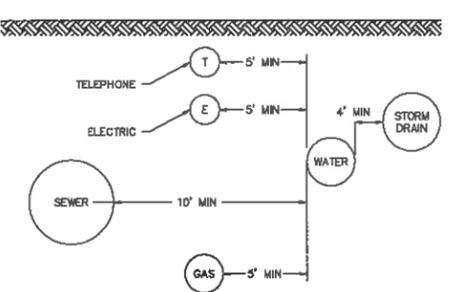
NOTE: HOUSE FOOTPRINT, DRIVEWAY LOCATION AND FOUNDATION PLANTINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE ON A LOT BY LOT BASIS. LIMIT OF CLEARING TO BE ESTABLISHED BY DEVELOPER PRIOR TO ANY TREE REMOVAL. FOR ADDITIONAL LANDSCAPING REQUIREMENTS, REFER TO NASHUA LAND USE CODE, ARTICLE 27, PAGES 276-280.

LANDSCAPED YARD AREA REQUIREMENTS: NASHUA LAND USE CODE, SECTION 190-185
 B1. ONE (1) SHADE TREE PER 40 LF OF FRONTAGE
 B2. TWO (2) ORNAMENTAL TREES PER 40 LF OF FRONTAGE IN FRONT YARD
 C. ONE (1) SHRUB PLUS ONE (1) SHRUB PER 5 LF OF FRONTAGE

TYPICAL INDIVIDUAL LOT LANDSCAPE PLAN D-1

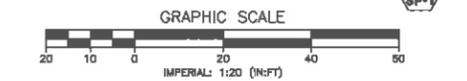


**SERVICE CONNECTION 3/4\"/>
 OCT. 17, 1995 SCALE: NONE**



- NOTES:
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO THE TOWN OF NASHUA SPECIFICATIONS.
 2. ALL WATER MAIN SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 3. SEE DETAIL 4/D-1 FOR EXACT DEPTH AND LOCATION.

TYPICAL UTILITY HORIZONTAL SEPARATION TO WATER LINE 11



MERIDIAN LAND SERVICES, INC.
 ENGINEERING | SURVEYING | PERMITTING
 SOIL & WETLAND MAPPING | SEPTIC DESIGN
 31 OLD NASHUA ROAD, ANDOVER, NH 03001 TEL: 603-673-1441
 MERIDIAN.LANDSERVICES.COM FAX: 603-673-1384

DOUGLAS V. BRODEUR
 No. 12389
 REGISTERED PROFESSIONAL ENGINEER

REV.	DATE	DESCRIPTION
A	9/7/20	ADDRESS PUBLIC WORKS COMMENTS
B		
C		
D		
E		
F		
G		
H		

TRK DR DK

SUBDIVISION OF MAP C LOT 825
 PROPOSED LOT C-2915
 SITE LAYOUT AND DETAILS

STANLEY AND RUTH CHOATE
 438 MAIN DUNSTABLE ROAD
 MAP C LOT 2915
 NASHUA, NEW HAMPSHIRE

SCALE: 1" = 20' HORIZ / 2' VERT.
 MAY 28, 2020

SP-1
 SHEET
 FILE: 2861P01A.dwg
 PROJECT: 2861.01
 SHEET NO. 2 OF 2

Plotfile: 9/7/2020 2:32 PM 8x: TRK
 R: \\US1\02861\2861.01\0_Drawing\ENG\2861P01A.dwg

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda McGhee, Deputy Planning Manager
FOR: September 10, 2020
RE: **New Business #7 - Site Plan**

I. Project Statistics:

Owner: Roscommon Investments, LLC
Proposal: Site plan to show a new 24,020 sf auto body shop with associated site improvements
Location: 117 West Hobart St, "L" West Glenwood St, & "L" West Hobart St
Total Site Area: 220,696 sf
Existing Zoning: RA-Urban Residence & HB-Highway Business
Surrounding Uses: Commercial and residential

II. Background Information:

The property consists of five lots, approximately 5.01 acres. Currently the project area is cleared; however the site was historically comprised of woods and an existing house. The lots are bordered by the Everett Turnpike to the west, BJ's Wholesale to the south, Nashua Foreign Auto and two residential homes to the east and a car lot and more residential homes to the north.

III. Project Description:

The proposal is to construct a 22,560 sf (22,560 sf footprint and a 1,460 sf mezzanine) auto body shop with overflow auto storage from the Tulley dealership located further south on the Daniel Webster Highway. The project also proposes the reconstruction of a section of Sexton Road to provide adequate access to the site. Site work includes construction of a new building, parking lot and auto storage area, reconstruction of Sexton Road and stormwater management provisions. The proposed stormwater management system will include two proposed detention ponds, a proposed subsurface infiltration system, a treatment swale, and a series of catch basins and drainage pipes which will direct runoff into said pond.

A Traffic Impact Report (TIR) Threshold Worksheet was submitted for this project and indicates that a formal TIR Report is not required as the daily and peak hour trip estimates are below the TIR threshold values.

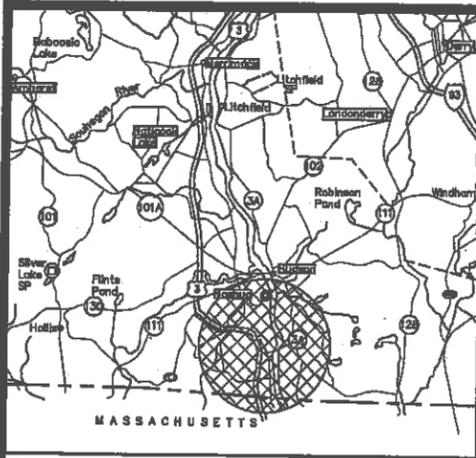
The site will be serviced by underground utilities, Pennichuck water, and city sewer. Hours of operation will be seven days a week, from 6 am to 8 pm. A landscape plan, lighting plan, and building elevations have been submitted as part of this application. One waiver is being requested from the requirement for landscaped islands for every 10 parking spaces in a row.

City Staff reviewed the plans; comments are attached.

Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

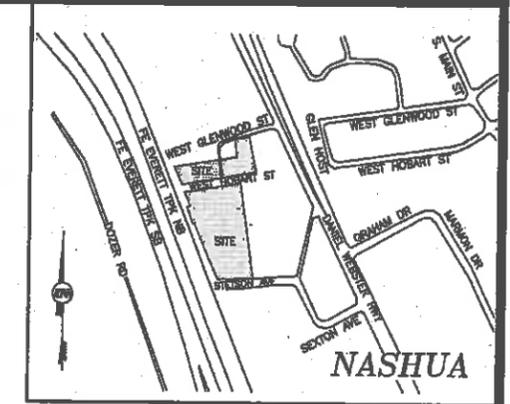
1. The request for a waiver of § 190-184 D (1) which requires parking aisles not contain more than 10 spaces in a row without a planted median and/or island, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. Prior to the Chair signing the plan, minor drafting corrections will be made.
3. Prior to the Chair signing the plan, all conditions from the Planning Board approval letter will be added to the cover page of the final mylar and paper copies submitted to the City.
4. Prior to the Chair signing the plan, all comments in an e-mail from Joe Mendola, Street Construction Engineer, dated _____ shall be addressed to the satisfaction of the Engineering Department.
5. Prior to the issuance of a building permit, the lots will be merged.
6. Prior to the issuance of a building permit, all comments in an e-mail from Mark Rapaglia, Inspector/Investigator, dated July 7, 2020 shall be addressed to the satisfaction of the Fire Marshal's Office.
7. Prior to the issuance of a building permit, stormwater documents will be submitted to City staff for review and recorded at the applicant's expense.
8. Prior to the issuance of a building permit, the electronic file of the plan will be submitted to the City of Nashua.
9. Prior to any work on site, a pre-construction meeting shall be held and a financial guarantee shall be approved.
10. Prior to any site disturbance, the Alteration of Terrain Permit for the project shall be approved by NHDES.
11. Prior to the issuance of the Certificate of Occupancy, all off-site and on-site improvements will be completed.



VICINITY PLAN
NOT TO SCALE

NON-RESIDENTIAL SITE PLAN AUTO BODY SHOP

MAP 128 LOTS 31, 32 & 84
MAP 132 LOTS 38 & 84
WEST GLENWOOD STREET
NASHUA, NEW HAMPSHIRE



LOCATION PLAN
SCALE: 1" = 500' +/-



EXISTING FEATURES WITHIN 1,000-FT
NOT TO SCALE

OWNER/APPLICANT:
ROSCOMMON INVESTMENTS, LLC
147 DANIEL WEBSTER HIGHWAY
NASHUA, NH 03060
(603) 888-5050

PREPARED BY:
KEACH-NORDSTROM ASSOCIATES, INC.
10 COMMERCE PARK NORTH, SUITE 3B
BEDFORD, NEW HAMPSHIRE 03110
(603) 627-2881



KN KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

JUNE 22, 2020

PROJECT NO. 17-1011-1

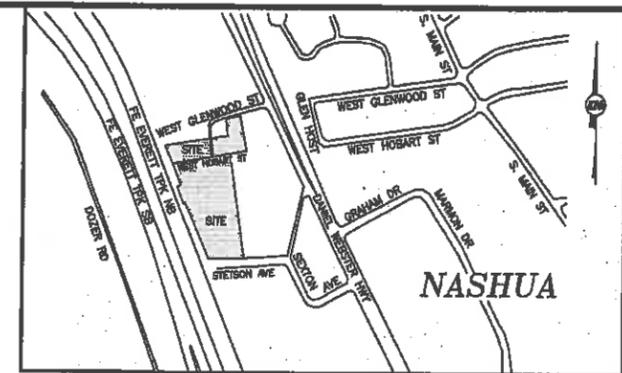
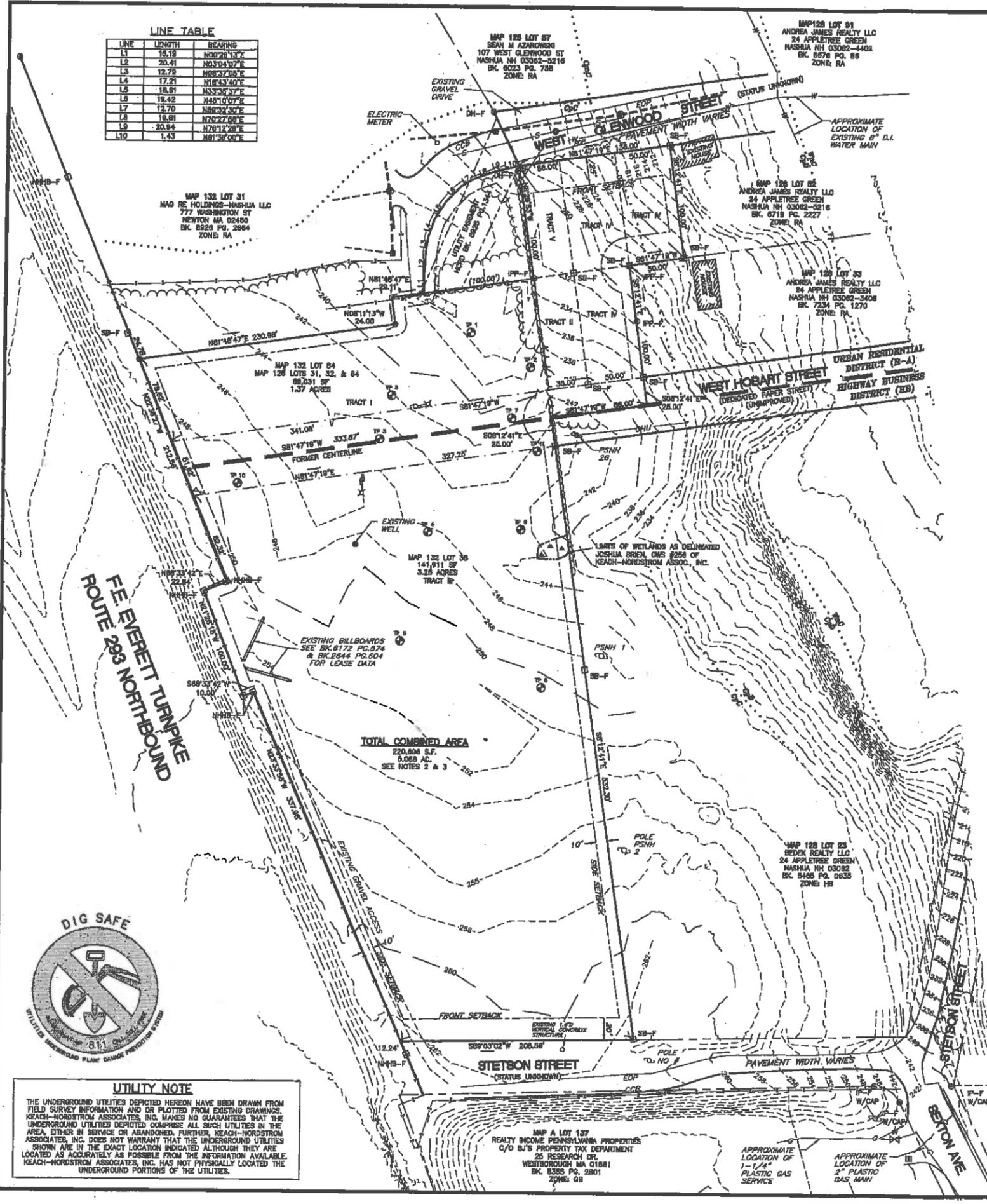
SHEET TITLE

SHEET No.

EXISTING CONDITIONS PLAN	1
REMOVALS PLAN	2
NON-RESIDENTIAL SITE PLAN	3
GRADING & DRAINAGE PLAN	4
UTILITY PLAN	5
EROSION CONTROL PLAN	6
LANDSCAPE PLAN	7
LIGHTING PLAN	8
ROADWAY PLAN & PROFILE	9
SEWER PROFILE	10
CONSTRUCTION DETAILS	11 - 17

LINE TABLE

LINE	LENGTH	BEARING
L1	16.19	N02°28'17"E
L2	20.41	N03°04'07"E
L3	12.79	N08°37'05"E
L4	17.21	N14°37'40"E
L5	18.81	N33°38'37"E
L6	19.42	N48°10'07"E
L7	12.70	N89°32'30"E
L8	19.81	N70°22'08"E
L9	20.84	N78°12'28"E
L10	1.43	N81°36'00"E



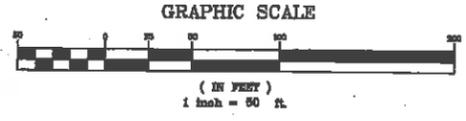
VICINITY PLAN
SCALE: 1" = 500' +/-

NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS FOR HORD BOOK 8046 PAGE 874, ASSESSOR'S MAP 128 LOTS 31, 32 & 84 AND MAP 132 LOTS 38 & 84 IN NASHUA, NEW HAMPSHIRE AND NO OTHER PURPOSE.
2. THIS PLAN PRESUMES THE APPROVAL OF THE LOT LINE ADJUSTMENT WITH MA-RE HOLDINGS - NASHUA, LLC AND THE REVERSION OF THOSE PORTIONS OF WEST HOBART STREET THAT ABUT THE ROSCOMMON INVESTMENTS, LLC PROPERTIES.
3. TOTAL SITE AREA = 230,898 SF, OR 5.088 ACRES (SEE NOTE 2).
4. TAX MAP 128 LOTS 31, 32 & 84 AND MAP 132 LOTS 38 & 84 INDICATE CITY OF NASHUA TAX ASSESSORS MAP AND LOT NUMBER.
5. OWNER OF RECORD:
 - ROSCOMMON INVESTMENTS, LLC
 - 147 DANIEL WEBSTER HIGHWAY
 - NASHUA, NEW HAMPSHIRE 03080
 - BK. 8046 PG. 874
- PRESENT ZONING: URBAN RESIDENCE DISTRICT (R-4)
 - MINIMUM BUILDING SETBACKS:
 - FRONT: 25 FT
 - SIDE: 10 FT
 - REAR: 25 FT
 - HIGHWAY BUSINESS DISTRICT (HB)
 - FRONT: 20 FT
 - SIDE: 10 FT
 - REAR: 20 FT
- BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A FIELD SURVEY PERFORMED BY THIS OFFICE IN OCTOBER OF 2017.
- HORIZONTAL DATUM IS NAD 83, NORTH ORIENTATION IS NAD 83, VERTICAL DATUM IS NAVD83.
- EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR THE CITY OF NASHUA, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, COMMUNITY PANEL NUMBER 330097, 0682E PANEL NUMBER 882 OF 701, EFFECTIVE DATE: APRIL 18, 2011 INDICATES THAT NO PORTION OF THE SUBJECT PREMISES IS LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
- EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED HEREON ARE THOSE FOUND DURING RESEARCH AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER EASEMENTS, RIGHTS AND RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PREMISES MAY DETERMINE.

REFERENCE PLANS:

1. COUNTRY CLUB HEIGHTS ANNEX, NASHUA, N.H. OWNED BY A.H. CHAPMAN LAND COMPANY. BY: EN SHEFFIELD, SCALE 1"=100', HORD PLAN #33A.
2. FINAL BOUNDARY PLAN-LAND OF SIENKIEWICZ, WEST GLENWOOD STREET, NASHUA, N.H. PREPARED FOR: JOHN & MARLYN SIENKIEWICZ, BY: GUOCCO & CORNER, INC. HORD PLANS #28738 & 28915.
3. NHDOT PROJECT PLANS OF CENTRAL NEW HAMPSHIRE TURNPIKE PROJECT(S), 10009, 10824-J & 10824-J ON FILE WITH THE NHDOT, CONCORD, NEW HAMPSHIRE.
4. EASEMENT PLAN, MAP 132 LOT 31, 117 WEST GLENWOOD STREET, NASHUA, NEW HAMPSHIRE. DATED: 30 SEPTEMBER 2016. SCALE: 1"=30'. PREPARED BY HAYNER/SWANSON INC. HORD PLAN #38110.



USDA SOIL MAP UNIT KEY

SYMBOL	MAP UNIT	SLOPE
CmC	CANTON FINE SANDY LOAM	8-10%
CpD	CHATFIELD-HOLLIS-CANTON COMPLEX	8-10%
CpD	CHATFIELD-HOLLIS-CANTON COMPLEX	15-25%
WmC	WINDSOR-URBAN LAND COMPLEX	3-15%

SOURCE: USDA.GOV WEB SOIL SURVEY

EXISTING CONDITIONS PLAN

AUTO BODY SHOP

MAP 128 LOTS 31, 32 & 84
MAP 132 LOTS 38 & 84
WEST GLENWOOD STREET
NASHUA, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER/APPLICANT:
ROSCOMMON INVESTMENTS, LLC
147 DANIEL WEBSTER HIGHWAY
NASHUA, NH 03080
(603) 888-5050

KEACH-NORDSTROM ASSOCIATES, INC.

Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 202, Bedford, NH 08110 Phone (603) 887-8881

REVISIONS

No.	DATE	DESCRIPTION	BY

DATE: JUNE 22, 2020 SCALE: 1"=50'
PROJECT NO: 17-1011-1 SHEET 1 OF 17

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND BY THIS OFFICE DURING OCTOBER OF 2017. SAID SURVEY HAS AN ERROR OF CLOSURE BETTER THAN ONE PART IN TEN THOUSAND (1:10,000).

me. [Signature] 6/22/2020
LICENSED LAND SURVEYOR DATE



JOSHUA BRIEN, CERTIFIED WETLAND SCIENTIST #258 OF KEACH-NORDSTROM ASSOCIATES, INC. OF BEDFORD, NH PERFORMED THE DELINEATION OF JURISDICTIONAL WETLANDS ON NOV. 10, 2017 USING THE TECHNICAL CRITERIA IN THE CODES OF ENGINEERS WETLAND DELINEATION MANUAL, (TECHNICAL REPORT 1-87-1, JANUARY 1987).



UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN DRAWN FROM FIELD SURVEY INFORMATION AND OR PLOTTED FROM EXISTING DRAWINGS. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, KEACH-NORDSTROM ASSOCIATES, INC. DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. KEACH-NORDSTROM ASSOCIATES, INC. HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

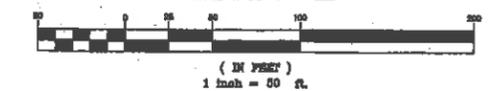
NOTES:

1. ALL STUMPS, ROOTS, BRANCHES, BRUSH, WOODS, AND OTHER PERISHABLE MATERIAL RESULTING FROM THE CLEARING AND GRUBBING OPERATIONS SHALL BE DISPOSED OF BY AN APPROVED METHOD.
2. STRIP, STOCKPILE, AND REUSE ON-SITE GRAVEL AND FILL AREAS WHERE APPROPRIATE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE DESIGN ENGINEER.
3. REMOVE ALL ASPHALT, CURBING, CONCRETE, VEGETATION, TREES, SHRUBS, LIGHT POLES, SIGNAGE, AND STRUCTURES WITHIN THE HATCHED AREA, UNLESS OTHERWISE NOTED.
4. DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
5. ALL WORK PERFORMED ON BEHALF OF THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF NASHUA'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION.
6. THE CONTRACTOR SHALL APPLY FOR AN EXCAVATION PERMIT FOR WORK WITHIN THE CITY RIGHT-OF-WAY OR ON CITY OWNED PROPERTY. CONTACT THE CITY OF NASHUA'S ENGINEERING SERVICES DIVISION PRIOR TO CONSTRUCTION TO APPLY FOR THE PERMIT.
7. THE CONTRACTOR SHALL APPLY FOR A DRIVEWAY PERMIT TO REPAIR, WIDEN, RECONSTRUCT, OR CONSTRUCT A DRIVEWAY.
8. THE CONTRACTOR SHALL REQUEST A PRECONSTRUCTION MEETING WITH ENGINEERING SERVICES TO DISCUSS SITE INSPECTIONS, SCHEDULES, SPECIAL CONDITIONS, ETC.
9. SITE CONTRACTOR SHALL ESTABLISH TEMPORARY PERIMETER CONTROLS PRIOR TO THE START OF SITE EXCAVATION.
10. CONTRACTOR SHALL WORK WITH LOCAL UTILITY PROVIDERS DURING SHUT DOWN AND REMOVAL EFFORTS.
11. ALL ITEMS TO REMAIN SHALL BE PROTECTED BY THE CONTRACTOR.

LEGEND

- SB-F STONE BOUND FOUND
- IPN-F IRON PIN FOUND
- IFF-F IRON PIPE FOUND
- ⊕ UTILITY POLE
- ⊙ SIGN
- ⊙ LIGHT
- ⊙ GAS VALVE
- ⊙ WATER VALVE
- ⊙ HYDRANT
- ⊙ WATER SHUT OFF
- ⊙ SEWER MANHOLE
- ⊙ DRAINAGE MANHOLE
- ⊙ CATCH BASIN
- ⊙ FLARED END SECTION
- ⊙ WELL
- ⊙ ABUTTER LINE
- ⊙ PROPERTY LINE
- ⊙ WETLAND
- ⊙ CHAIN LINK FENCE
- ⊙ OHU OVERHEAD UTILITIES
- ⊙ GAS LINE
- ⊙ WATER LINE
- ⊙ SEWER LINE
- ⊙ DRAINAGE LINE
- ⊙ TREELINE
- ⊙ STONE WALL
- ⊙ EDGE OF PAVEMENT
- ⊙ BITUMINOUS CONCRETE CURB
- ⊙ VCC VERTICAL GRANITE CURB
- ⊙ STONE WALL
- ⊙ BUILDING SETBACK
- ⊙ EASEMENT
- ⊙ ZONE LINE
- ⊙ SAWCUT LINE
- ⊙ REMOVALS

GRAPHIC SCALE



REMOVALS PLAN
AUTO BODY SHOP
 MAP 128 LOTS 31, 32 & 84
 MAP 132 LOTS 38 & 84
 WEST GLENWOOD STREET
 NASHUA, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER/APPLICANT:
 ROSCOMMON INVESTMENTS, LLC
 147 DANIEL WEBSTER HIGHWAY
 NASHUA, NH 03080
 (803) 888-5050

KM
 KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 30, Bedford, NH 03110 Phone (603) 887-8584

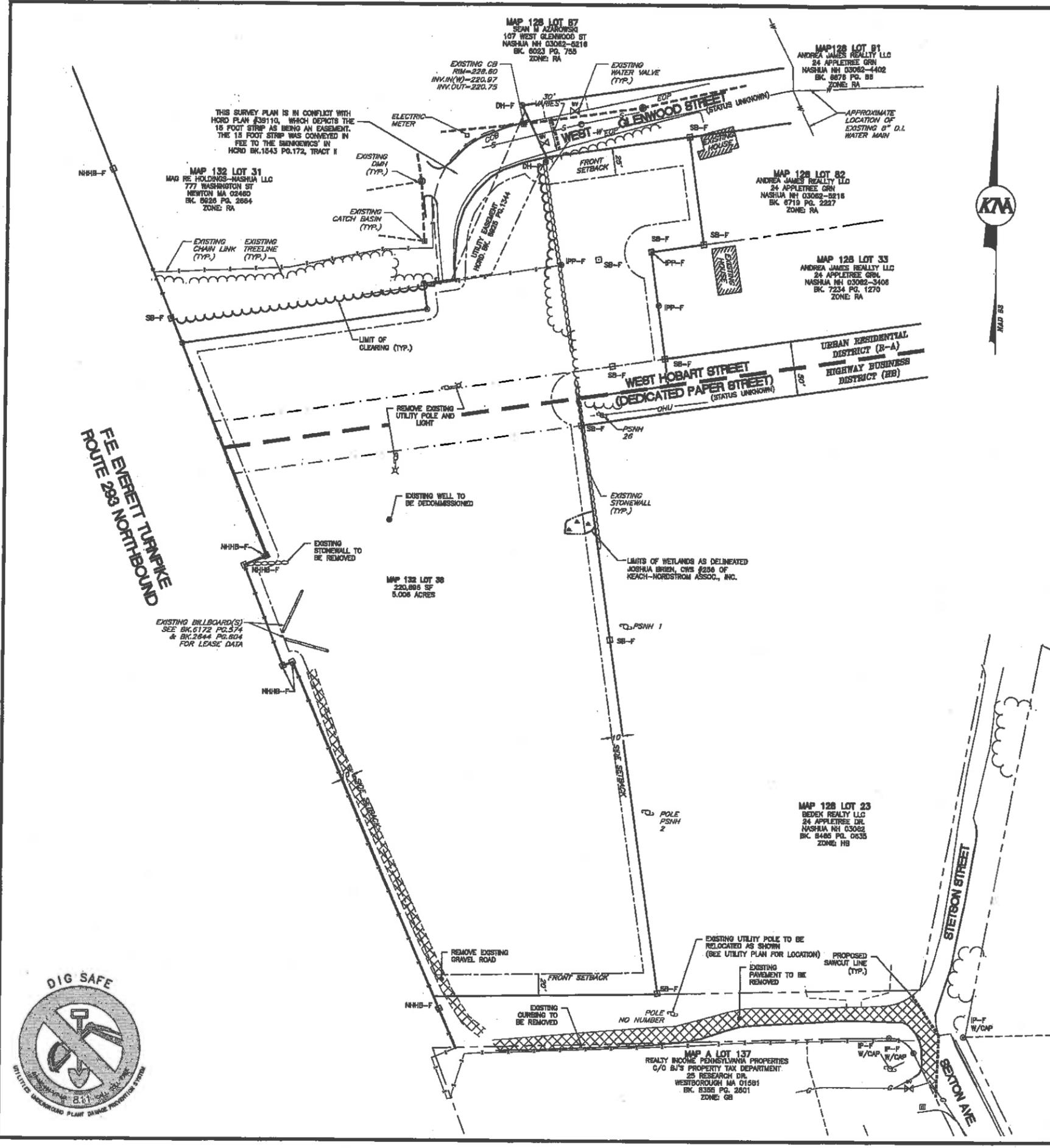
REVISIONS			
No.	DATE	DESCRIPTION	BY

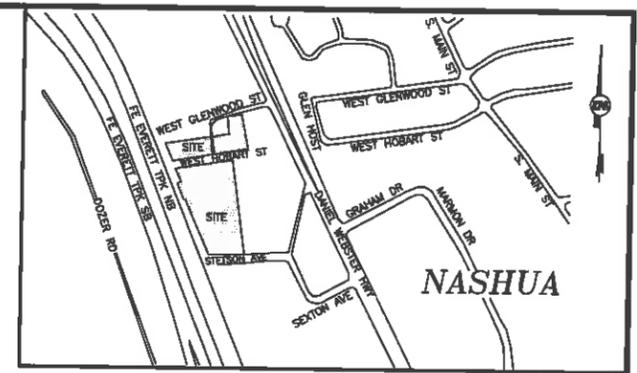
DATE: JUNE 22, 2020

SCALE: 1"=50'

PROJECT NO: 17-1011-1

SHEET 2 OF 17





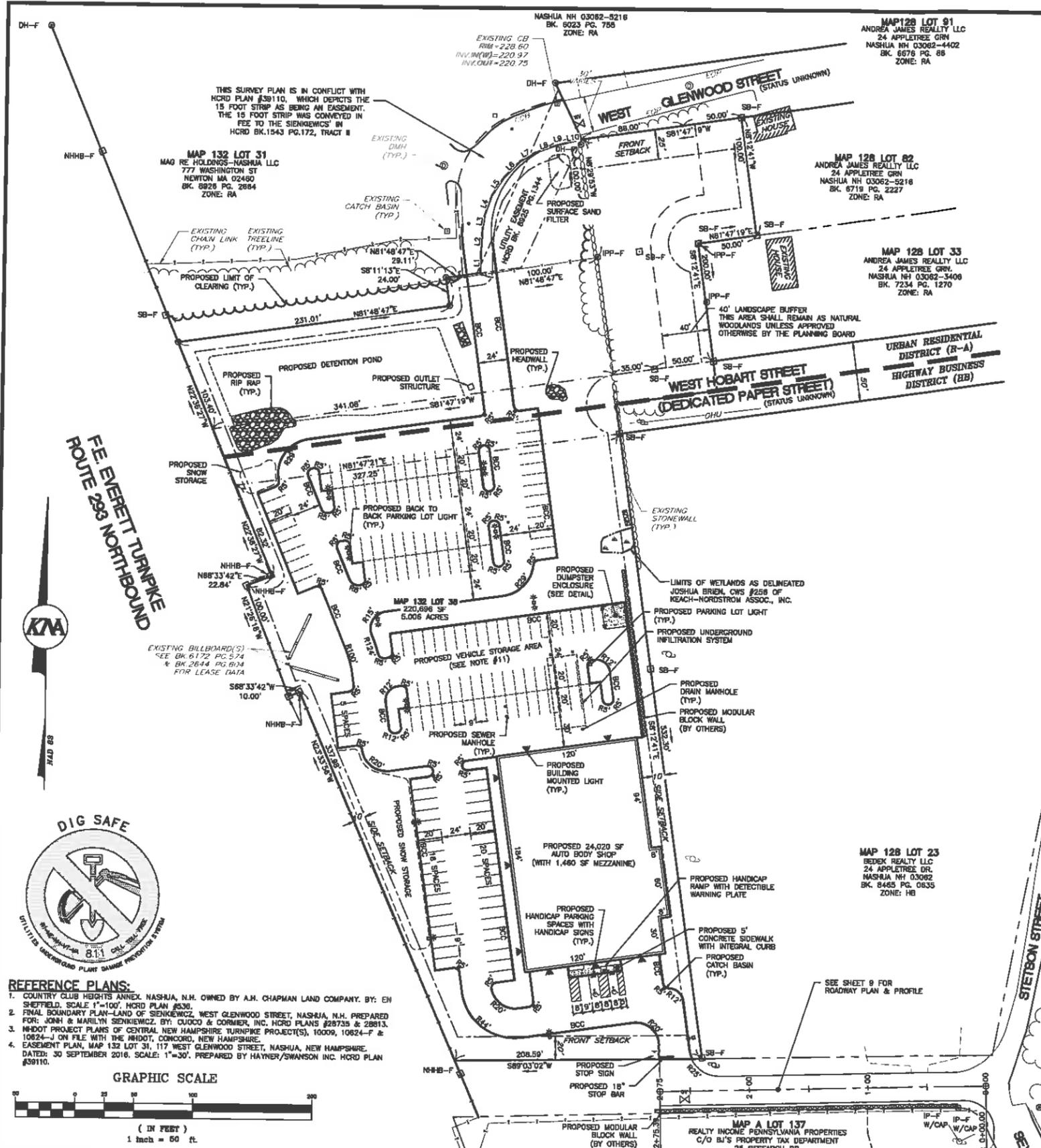
VICINITY PLAN
SCALE: 1" = 500' +/-

LEGEND

- SB-F STONE BOUND FOUND
- IPN-F IRON PIN FOUND
- IPP-F IRON PIPE FOUND
- UTILITY POLE SIGN
- LIGHT
- GAS VALVE
- WATER VALVE
- HYDRANT
- WATER SHUT OFF
- SEWER MANHOLE
- DRAINAGE MANHOLE
- CATCH BASIN
- FLARED END SECTION
- WELL
- ABUTTER LINE
- PROPERTY LINE
- WETLAND
- CHAIN LINK FENCE
- OVERHEAD UTILITIES
- OHU
- GAS LINE
- WATER LINE
- SEWER LINE
- DRAINAGE LINE
- TREELINE
- STONE WALL
- EDGE OF PAVEMENT
- VGC
- VERTICAL GRANITE CURB
- STONE WALL
- BUILDING SETBACK
- EASEMENT
- ZONE LINE
- PROPOSED UTILITY POLE
- PROPOSED SIGN
- PROPOSED BUILDING MOUNTED LIGHT
- PROPOSED PARKING LOT LIGHT
- PROPOSED BACK TO BACK PARKING LOT LIGHT
- PROPOSED GAS VALVE
- PROPOSED WATER VALVE
- PROPOSED SEWER MANHOLE
- PROPOSED DRAINAGE MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED OUTLET STRUCTURE
- PROPOSED BITUMINOUS CURB
- PROPOSED EDGE OF PAVEMENT
- SNOW STORAGE
- PROPOSED TREELINE
- PROPOSED STORMWATER SYSTEM
- PROPOSED MODULAR BLOCK WALL
- PROPOSED STOCKADE FENCE

NOTES:

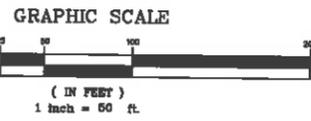
1. THE PURPOSE OF THIS PLAN IS TO SHOW INFORMATION REGARDING A PROPOSED 24,020 SQUARE FOOT (22,560 FOOTPRINT + 1,460 MEZZANINE) AUTO BODY SHOP AND ACCOMPANYING PARKING LOT FOR AUTO STORAGE AND NO OTHER PURPOSE.
 2. TOTAL SITE AREA = 210,942 SF, OR 4.84 ACRES.
 3. TAX MAP 128 LOTS 31, 32 & 84 AND MAP 132 LOTS 38 & 84 INDICATE CITY OF NASHUA TAX ASSESSORS MAP AND LOT NUMBER.
 4. PRESENT OWNER OF RECORD: ROSCOMMON INVESTMENTS, LLC, 147 DANIEL WEBSTER HIGHWAY, NASHUA, NH 03060
- PRESENT ZONING: URBAN RESIDENCE DISTRICT (R-A) HIGHWAY BUSINESS DISTRICT (HB)
- MINIMUM BUILDING SETBACKS:
- | | | |
|-------|-------|-------|
| FRONT | 25 FT | 20 FT |
| SIDE | 10 FT | 10 FT |
| REAR | 25 FT | 20 FT |
- LOT DIMENSIONS:
- | | | |
|--------------------------|-------------------|----------------------------|
| AREA | SECURED 22,000 SF | PROPOSED LOT 38 220,696 SF |
| FRONTAGE | 80 FT | 208.59 FT |
| WIDTH | 100 FT | 208.59 FT |
| DEPTH | 80 FT | 107.13 FT |
| OPEN SPACE | 208 FT | 51.365 FT |
| BUILDING HEIGHT | 60 FT | 21 FT |
| MAXIMUM FLOOR AREA RATIO | 0.75 | 0.11 |
| MAXIMUM NUMBER OF STORES | 2 STORES | 2 STORES |
5. BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A FIELD SURVEY PERFORMED BY THIS OFFICE IN OCTOBER OF 2017.
 6. HORIZONTAL DATUM IS NAD 83, NORTH ORIENTATION IS NAD 83, VERTICAL DATUM IS NGVD29.
 7. EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR THE CITY OF NASHUA, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, COMMUNITY PANEL NUMBER 330097 0652E PLAN, NUMBER 652 OF 701, EFFECTIVE DATE: APRIL 18, 2011 INDICATES THAT NO PORTION OF THE SUBJECT PREMISES IS LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
 8. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
 9. EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED HEREON ARE THOSE FOUND DURING RESEARCH AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. OTHER EASEMENTS, RIGHTS AND RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PREMISES MAY DETERMINE.
 10. PARKING CALCULATIONS FOR VEHICLE REPAIR AND STORAGE: REQUIRED: 1 SPACE PER 500 SF. PROPOSED: 24,020 SF / 500 SF = 48.04 = 48 SPACES. PROPOSED: 48 SPACES PROPOSED INCLUDING TWO HANDICAP SPACES.
 11. VEHICLE STORAGE SPACES ARE SHOWN FOR REPRESENTATION PURPOSES ONLY AND DO NOT NEED TO BE STRIPED.
 12. PROPOSED SNOW STORAGE AREAS ARE SHOWN AS APPROXIMATE. PLOWING SHALL BE DONE IN SUCH A FASHION AS TO NOT DAMAGE OR ADVERSELY IMPACT ANY LANDSCAPED FEATURES. SHOULD THE VOLUME OF ACCUMULATED SNOW EXCEED THE CAPACITY OF THE ON-SITE STORAGE AS SHOWN ON THIS PLAN, THE EXCESS SNOW SHALL BE DISPOSED OF OFF SITE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL LAWS.
 13. THE APPLICANT'S ENGINEER AND/OR CONTRACTOR SHALL CONTACT THE CITY OF NASHUA TO SCHEDULE A PRECONSTRUCTION MEETING, WHICH WILL BE HELD WITH STAFF PRIOR TO STARTING CONSTRUCTION.
 14. ALL IMPROVEMENTS SHOWN ON THE SITE PLAN-OF-RECORD, INCLUDING NOTES 1-30, SHALL BE COMPLETED IN THEIR ENTIRETY AND AT THE EXPENSE OF THE APPLICANT OR HIS ASSIGNS.
 15. THE CITY SHALL RESERVE THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION.
 16. THIS SITE IS SERVICED BY PENNSHUCK WATER AND SEWER.
 17. ALL LANDSCAPING SHALL BE AS SHOWN ON THE PLAN AND CONFORM TO THE APPLICABLE CITY OF NASHUA ZONING REGULATIONS. CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
 18. STREET RESTORATION TO BE IN ACCORDANCE WITH NRO 285-13.
 19. THIS PLAN COMPLIES WITH THE MINIMUM REQUIREMENTS SET FORTH IN THE NASHUA LAND USE CODE.
 20. DRAIN LINES WILL BE INSPECTED PRIOR TO BACKFILLING AND PAVING.
 21. ALL LIGHTING SHALL CONFORM TO THE NASHUA LAND USE CODE.
 22. A DRIVEWAY PLAN SHALL BE APPROVED BY THE ENGINEERING DEPARTMENT PRIOR TO ISSUANCE OF A BUILDING PERMIT.
 23. A BOND WILL BE REQUIRED FOR ALL WORK WITHIN THE CITY'S RIGHT OF WAY.
 24. HOURS OF OPERATION FOR THE PROPOSED AUTO BODY SHOP WILL BE SEVEN DAYS A WEEK FROM 6 AM TO 8 PM.
 25. ALL SIGNAGE SHALL CONFORM TO THE APPLICABLE CITY OF NASHUA ZONING REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
 26. SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM TO TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSIONS, GRADE, AND NUMBER OF SPACES.
 27. FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINS.
 28. NEW UTILITIES, BOTH MAIN AND SERVICE CONNECTIONS, SHALL BE PROVIDED UNDERGROUND AND INSTALLED IN ACCORDANCE WITH THE BOARD OF PUBLIC WORKS SPECIFICATIONS.
 29. A WAIVER IS REQUIRED FROM SECTION 190-84(0)(1) TO ALLOW AN ALTERNATIVE LANDSCAPE PLAN IN LIEU OF PROVIDING A LANDSCAPED ISLAND EVERY TEN PARKING SPACES.



ROUTE 288 NORTHBOUND
F.E. EVERETT TURNPIKE



- REFERENCE PLANS:
1. COUNTRY CLUB HEIGHTS ANNEX, NASHUA, N.H. OWNED BY A.H. CHAPMAN LAND COMPANY. BY: EN SHEFFIELD, SCALE 1"=100', HORD PLAN #636.
 2. FINAL BOUNDARY PLAN-LAND OF SENKIEWICZ, WEST GLENWOOD STREET, NASHUA, N.H. PREPARED FOR: JONH & MARILYN SENKIEWICZ, BY: CUCO & CORMIER, INC. HORD PLANS #28733 & 28813.
 3. MIDDOT PROJECT PLANS OF CENTRAL NEW HAMPSHIRE TURNPIKE PROJECT(S), 10009, 10824-F & 10824-J ON FILE WITH THE MIDDOT, CONCORD, NEW HAMPSHIRE.
 4. EASEMENT PLAN, MAP 132 LOT 31, 117 WEST GLENWOOD STREET, NASHUA, NEW HAMPSHIRE. DATED: 30 SEPTEMBER 2016. SCALE: 1"=30'. PREPARED BY HAYNER/SWANSON INC. HORD PLAN #39110.



APPROVED - NASHUA CITY PLANNING BOARD

SECRETARY	DATE
CHAIRMAN	DATE

THE UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

OWNER/APPLICANT

LINE TABLE

LINE	LENGTH	BEARING
L1	16.19	N09°26'13"E
L2	20.41	N03°04'07"E
L3	12.79	N08°37'05"E
L4	17.23	N18°43'40"E
L5	18.61	N33°35'37"E
L6	19.42	N45°10'07"E
L7	12.70	N99°32'30"E
L8	19.81	N70°27'58"E
L9	20.84	N78°12'28"E
L10	1.43	N81°56'00"E

OWNER OF RECORD

SIGNATURE: _____

DATE: _____

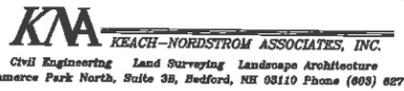


JOSHUA BRIEN, CERTIFIED WETLAND SCIENTIST #258 OF KEACH-NORDSTROM ASSOCIATES, INC. OF BEDFORD, NH PERFORMED THE DELINEATION OF JURISDICTIONAL WETLANDS ON NOV. 10, 2017 USING THE TECHNICAL CRITERIA IN THE CORPUS OF ENGINEERS WETLAND DELINEATION MANUAL (TECHNICAL REPORT Y-87-1, JANUARY 1987).

NON-RESIDENTIAL SITE PLAN

AUTO BODY SHOP
MAP 128 LOTS 31, 32 & 84
MAP 132 LOTS 38 & 84
WEST GLENWOOD STREET
NASHUA, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

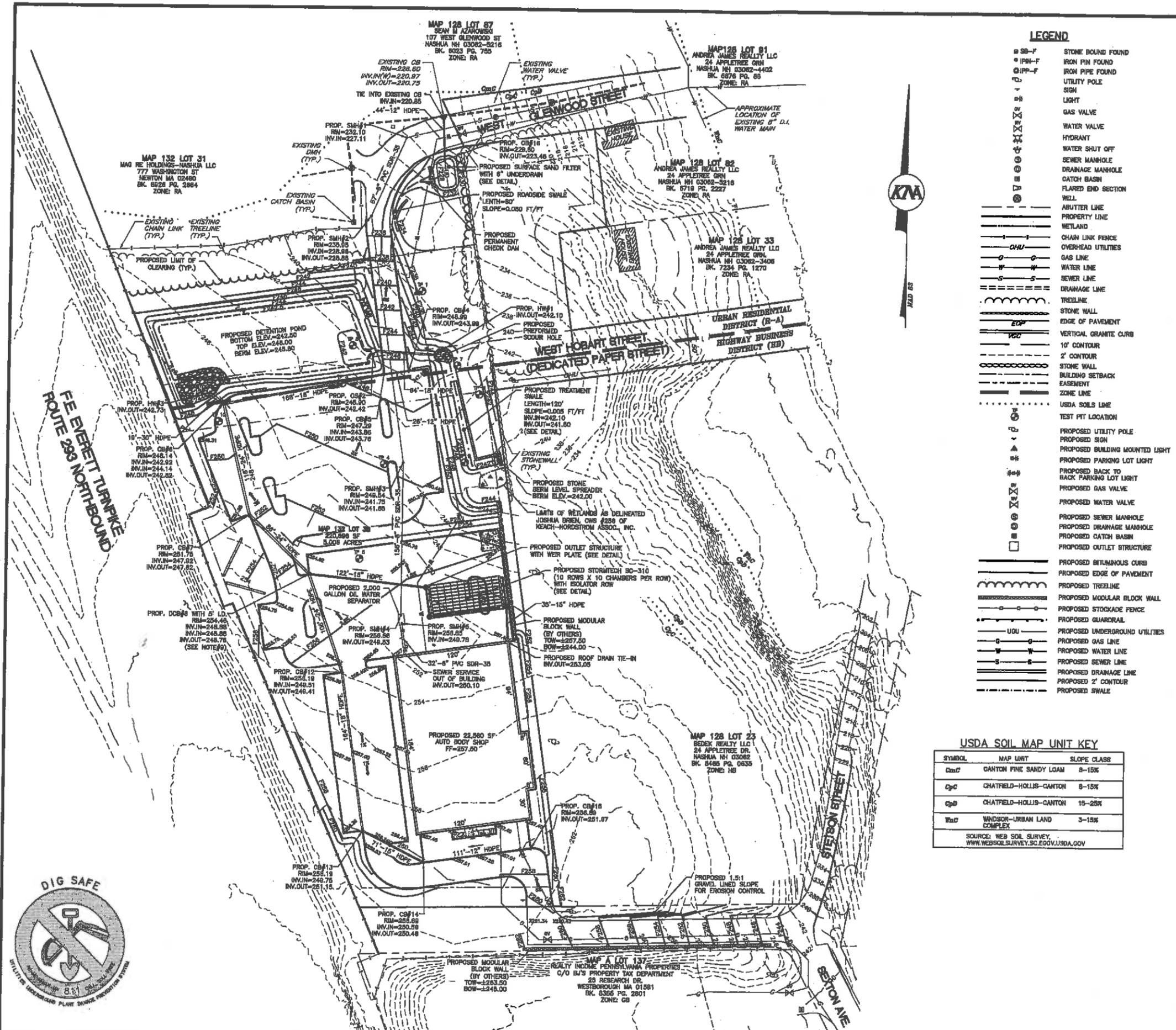
OWNER/APPLICANT:
ROSCOMMON INVESTMENTS, LLC
147 DANIEL WEBSTER HIGHWAY
NASHUA, NH 03060
(603) 888-5050



REVISIONS

No.	DATE	DESCRIPTION	BY

DATE: JUNE 22, 2020 SCALE: 1"=50'
PROJECT NO: 17-1011-1 SHEET 3 OF 17

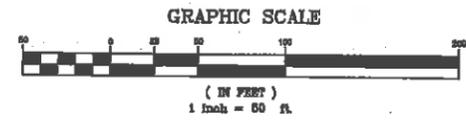


LEGEND

- SS-F STONE BOUND FOUND
- IPN-F IRON PIN FOUND
- IPP-F IRON PIPE FOUND
- UP-F UTILITY POLE FOUND
- S SIGN
- L LIGHT
- G GAS VALVE
- W WATER VALVE
- H HYDRANT
- WS WATER SHUT OFF
- SM SEWER MANHOLE
- DM DRAINAGE MANHOLE
- CB CATCH BASIN
- FLS FLARED END SECTION
- W WELL
- AL ABUTTER LINE
- PL PROPERTY LINE
- WL WETLAND
- CHU CHAIN LINK FENCE
- OU OVERHEAD UTILITIES
- GL GAS LINE
- WL WATER LINE
- SL SEWER LINE
- DL DRAINAGE LINE
- TL TREELINE
- SW STONE WALL
- EP EDGE OF PAVEMENT
- VC VERTICAL GRANITE CURB
- 10' 10' CONTOUR
- 2' 2' CONTOUR
- SW STONE WALL
- BS BUILDING SETBACK
- EA EASEMENT
- ZL ZONE LINE
- US USDA SOILS LINE
- TP TEST PIT LOCATION
- PU PROPOSED UTILITY POLE
- PS PROPOSED SIGN
- PLM PROPOSED PARKING MOUNTED LIGHT
- PPL PROPOSED BUILDING LOT LIGHT
- PBL PROPOSED BACK TO BACK PARKING LOT LIGHT
- PGV PROPOSED GAS VALVE
- PWS PROPOSED WATER VALVE
- PSM PROPOSED SEWER MANHOLE
- PDM PROPOSED DRAINAGE MANHOLE
- PCB PROPOSED CATCH BASIN
- POS PROPOSED OUTLET STRUCTURE
- POC PROPOSED BITUMINOUS CURB
- PEP PROPOSED EDGE OF PAVEMENT
- PTL PROPOSED TREELINE
- PMB PROPOSED MODULAR BLOCK WALL
- PPF PROPOSED STOCKADE FENCE
- PGR PROPOSED GUARDRAIL
- UOU PROPOSED UNDERGROUND UTILITIES
- PGL PROPOSED GAS LINE
- PWL PROPOSED WATER LINE
- PSL PROPOSED SEWER LINE
- PDL PROPOSED DRAINAGE LINE
- PC2 PROPOSED 2' CONTOUR
- PSW PROPOSED SWALE

CONSTRUCTION NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED GRADING AND DRAINAGE SYSTEMS FOR THIS SITE.
2. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF NASHUA, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. ALL WORK PERFORMED IN THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
3. CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPARTMENT, NASHUA, NEW HAMPSHIRE. ALL DRAINAGE PIPES SHOWN SHALL BE HDPE. CATCH BASINS SHALL BE TYPE B, AND HAVE 3\"/>



USDA SOIL MAP UNIT KEY

SYMBOL	MAP UNIT	SLOPE CLASS
OmC	CANTON FINE SANDY LOAM	8-15%
CpC	CHATFIELD-HOLLIS-CANTON	8-15%
CpD	CHATFIELD-HOLLIS-CANTON	15-25%
WuC	WINDSOR-URBAN LAND COMPLEX	3-15%

SOURCE: WEB SOIL SURVEY, WWW.WEBSOILSURVEY.SC.EGOV.USDA.GOV



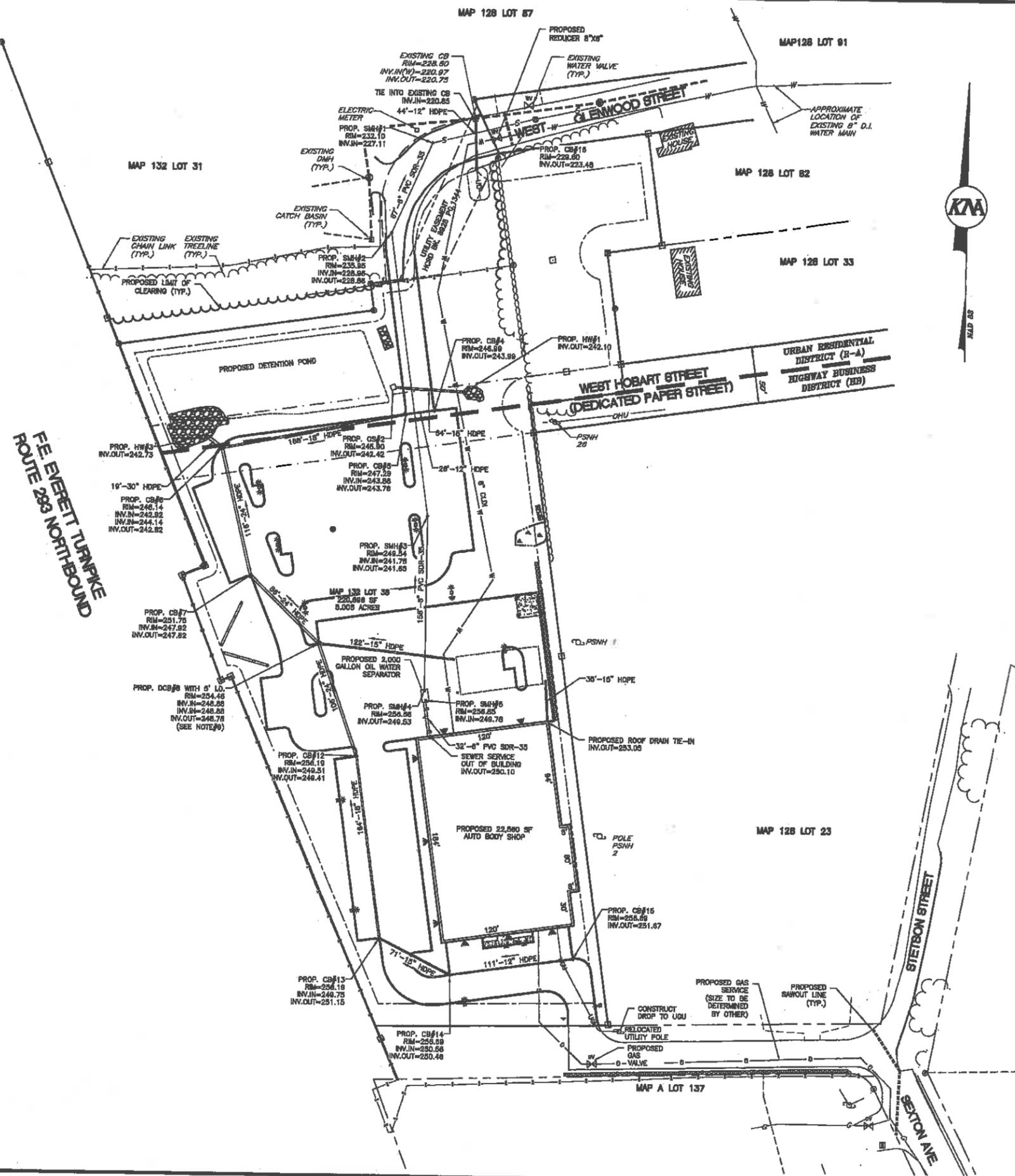
GRADING & DRAINAGE PLAN
AUTO BODY SHOP
 MAP 128 LOTS 31, 32 & 84
 MAP 132 LOTS 38 & 84
 WEST GLENWOOD STREET
 NASHUA, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER/APPLICANT:
 ROSCOMMON INVESTMENTS, LLC
 147 DANIEL WEBSTER HIGHWAY
 NASHUA, NH 03080
 (603) 888-3050

KMA
 KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 2B, Bedford, NH 03110 Phone (603) 887-8881

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: JUNE 22, 2020 SCALE: 1"=50'
 PROJECT NO: 17-1011-1 SHEET 4 OF 17



LEGEND

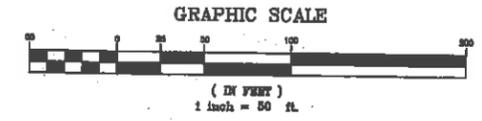
- STONE BOUND FOUND
- IRON PIN FOUND
- IRON PIPE FOUND
- UTILITY POLE
- SIGN
- LIGHT
- GAS VALVE
- WATER VALVE
- HYDRANT
- WATER SHUT OFF
- SEWER MANHOLE
- DRAINAGE MANHOLE
- CATCH BASIN
- FLARED END SECTION
- WELL
- ABUTTER LINE
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- TREELINE
- EOP
- EDGE OF PAVEMENT
- STONE WALL
- BUILDING SETBACK
- EASEMENT
- ZONE LINE
- PROPOSED UTILITY POLE
- PROPOSED SIGN
- PROPOSED BUILDING MOUNTED LIGHT
- PROPOSED PARKING LOT LIGHT
- PROPOSED BACK TO BACK PARKING LOT LIGHT
- PROPOSED GAS VALVE
- PROPOSED WATER VALVE
- PROPOSED SEWER MANHOLE
- PROPOSED DRAINAGE MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED OUTLET STRUCTURE
- PROPOSED BITUMINOUS CURB
- PROPOSED EDGE OF PAVEMENT
- PROPOSED TREELINE
- PROPOSED MODULAR BLOCK WALL
- PROPOSED STOCKADE FENCE
- PROPOSED GUARDRAIL
- PROPOSED UNDERGROUND UTILITIES
- PROPOSED GAS LINE
- PROPOSED WATER LINE
- PROPOSED SEWER LINE
- PROPOSED DRAINAGE LINE
- SAWCUT LINE

CONSTRUCTION NOTES:

1. ALL WORK SHALL CONFORM TO THE CITY OF NASHUA, LATEST EDITION, CONSTRUCTION STANDARDS AND DETAILS. IN THE ABSENCE OF A CITY STANDARD/SPECIFICATION, WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AS PUBLISHED BY THE STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, ARE HEREBY INCORPORATED BY REFERENCE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
3. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS.
4. CONTRACTOR TO VERIFY SIZE OF WATER AND GAS SERVICE LINES WITH MECHANICAL CONTRACTOR/FIRE SUPPRESSION ENGINEER PRIOR TO THE START OF CONSTRUCTION.
5. THE PROPOSED BUILDING SHALL BE FULLY SPRINKLER PROTECTED.
6. PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO ORDERING ANY WATER SYSTEM/SERVICE PARTS, THE PROPOSED SIZE OF THE VARIOUS WATER SERVICES SHALL BE CONFIRMED BY THE PROJECT FIRE SUPPRESSION ENGINEER. ANY ADJUSTMENTS TO THE DESIGN MUST BE APPROVED BY THE CITY OF NASHUA.
7. FINAL LAYOUT OF UNDERGROUND UTILITIES TO BE APPROVED BY LOCAL PROVIDER PRIOR TO CONSTRUCTION.
8. FINAL OIL/WATER SEPARATOR SIZE SHALL BE DETERMINED BY PLUMBING ENGINEER PRIOR TO CONSTRUCTION.



UTILITY NOTE
 THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.



UTILITY PLAN
AUTO BODY SHOP
 MAP 128 LOTS 31, 32 & 84
 MAP 132 LOTS 38 & 84
 WEST GLENWOOD STREET
 NASHUA, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER/APPLICANT:
 ROSCOMMON INVESTMENTS, LLC
 147 DANIEL WEBSTER HIGHWAY
 NASHUA, NH 03080
 (603) 888-5050

KMA
 KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 2B, Bedford, NH 08110 Phone (603) 657-8881

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: JUNE 22, 2020 SCALE: 1"=50'
 PROJECT NO: 17-1011-1 SHEET 5 OF 17



MAP 128 LOT 87

MAP 128 LOT 91

LOAM & SEED ALL DISTURBED AREAS (TYP.)

NPDES NOTE

THIS PROJECT DISTURBS IN EXCESS OF 1-ACRE OF LAND, THEREFORE IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE OWNER/DEVELOPER AND "OPERATOR" (GENERAL CONTRACTOR) SHALL EACH BE REQUIRED TO PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEETING THE REQUIREMENTS OF THE CURRENT CONSTRUCTION GENERAL PERMIT.

EROSION CONTROL NOTES:

- 1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE REQUIRED ONSITE TEMPORARY CONSTRUCTION EROSION CONTROL MEASURES AS WELL AS THE PERMANENT EROSION CONTROL MEASURES. ALL MEASURES IN THIS PLAN SHALL MEET AS A MINIMUM THE BEST MANAGEMENT PRACTICES SET FORTH IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL TITLED "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION," DATED DECEMBER 2010, AS AMENDED FROM TIME TO TIME.
2. WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED OR SUPPLEMENTED. THE STOPPING OF VEGETATION SHALL BE DONE IN A MANNER THAT MINIMIZES SOIL EROSION. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
3. THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDELE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
4. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA USING APPROVED MEASURES. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT. OFFSITE SURFACE WATER AND RUNOFF FROM UNDISTURBED AREAS SHALL BE DIVERTED AWAY FROM DISTURBED AREAS WHERE FEASIBLE OR CARRIED NON-EROSIVELY THROUGH THE PROJECT AREA. INTEGRITY OF DOWNSTREAM DRAINAGE SYSTEMS SHALL BE MAINTAINED.
5. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL SITE STABILIZATION IS ACCOMPLISHED.
6. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS UNLESS OTHERWISE DICTATED OTHERWISE.
7. THE CITY OF NASHUA SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.

LEGEND

- STONE BOUND FOUND
IRON PIN FOUND
IRON PIPE FOUND
UTILITY POLE
SIGN
LIGHT
GAS VALVE
WATER VALVE
HYDRANT
WATER SHUT OFF
SEWER MANHOLE
DRAINAGE MANHOLE
CATCH BASIN
FLARED END SECTION
WELL
ABUTTER LINE
PROPERTY LINE
WETLAND
CHAIN LINK FENCE
OVERHEAD UTILITIES
TREELINE
EDGE OF PAVEMENT
STONE WALL
BUILDING SETBACK
EASEMENT
ZONE LINE
PROPOSED UTILITY POLE
PROPOSED SIGN
PROPOSED BUILDING MOUNTED LIGHT
PROPOSED PARKING LOT LIGHT
PROPOSED BACK TO BACK PARKING LOT LIGHT
PROPOSED GAS VALVE
PROPOSED WATER VALVE
PROPOSED SEWER MANHOLE
PROPOSED DRAINAGE MANHOLE
PROPOSED CATCH BASIN
PROPOSED OUTLET STRUCTURE
PROPOSED BITUMINOUS CURB
PROPOSED EDGE OF PAVEMENT
PROPOSED TREELINE
PROPOSED MODULAR BLOCK WALL
PROPOSED STOCKADE FENCE
PROPOSED GUARDRAIL

EROSION & SEDIMENT CONTROL LEGEND

- PERMANENT OUTLET PROTECTION APRON (RIP RAP)
TEMPORARY SEDIMENT BARRIERS AT ALL CATCH BASINS
PERIMETER CONTROL
PERMANENT STONE CHECK DAM
LIMITS OF CLEARING
STABILIZED CONSTRUCTION EXIT
STAGING AND STOCKPILE AREA
EROSION CONTROL BLANKETS
NON DISTURBANCE AREA

EROSION CONTROL PLAN
AUTO BODY SHOP
MAP 128 LOTS 31, 32 & 84
MAP 132 LOTS 38 & 84
WEST GLENWOOD STREET
NASHUA, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER/APPLICANT:
ROSCOMMON INVESTMENTS, LLC
147 DANIEL WEBSTER HIGHWAY
NASHUA, NH 03080
(603) 888-5050

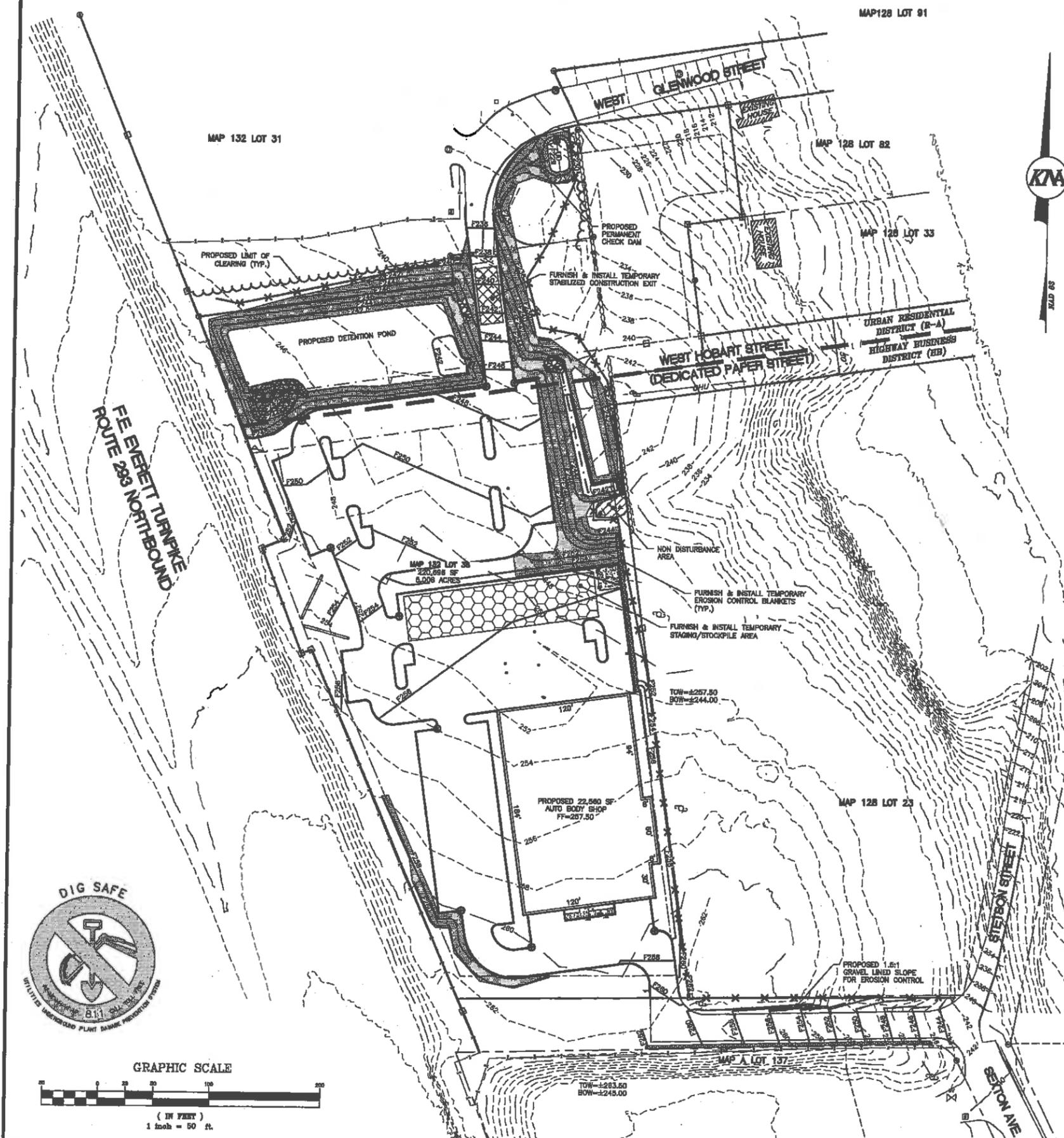
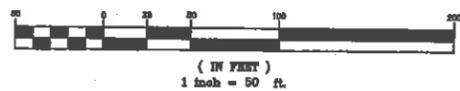
KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 20, Bedford, NH 03110 Phone (603) 887-8881



Table with columns: No., DATE, DESCRIPTION, BY. Includes project details: DATE: JUNE 22, 2020, SCALE: 1"=50', PROJECT NO: 17-1011-1, SHEET 6 OF 17.



GRAPHIC SCALE





MAP 188 LOT 87
SEAN W AZAROWSKI
107 WEST GLENWOOD ST
NASHUA NH 03062-8218
BK. 8023 PG. 706
ZONE: RA

MAP188 LOT 81
ANDREA JAMES REALTY LLC
24 APPLETREE DR
NASHUA NH 03062-4402
BK. 8678 PG. 88
ZONE: RA

MAP 132 LOT 31
MAD RE HOLDINGS-NASHUA LLC
777 WASHINGTON ST
NEWTON MA 02460
BK. 8926 PG. 2884
ZONE: RA

MAP 128 LOT 82
ANDREA JAMES REALTY LLC
24 APPLETREE DR
NASHUA NH 03062-8218
BK. 8719 PG. 2227
ZONE: RA

MAP 128 LOT 33
ANDREA JAMES REALTY LLC
24 APPLETREE DR
NASHUA NH 03062-3408
BK. 7234 PG. 1270
ZONE: RA

MAP 132 LOT 38
220,698 SF
5.008 ACRES

MAP128 LOT 23
BEDEK REALTY LLC
24 APPLETREE DR
NASHUA NH 03062
BK. 8485 PG. 0636
ZONE: HB

MAP A LOT 137
REALTY INCOME PENNSYLVANIA PROPERTIES
C/O B'S PROPERTY TAX DEPARTMENT
25 RESEARCH DR.
WESTBOROUGH MA 01581
BK. 8395 PG. 2201
ZONE: GB

PLANTING SCHEDULE

Botanical Name / Common Name	Size	Label	Quantity	Mature Height
Trees				
<i>Abies concolor</i> / White Fir	6-7' B&B	AC	9	30-40'
<i>Acer rubrum</i> 'Redpointe' / Redpointe Red Maple	2.5-3' CAL	AR	12	40-60'
<i>Picea glauca</i> / White Spruce	6-7' B&B	PG	9	40-60'
<i>Pinus nigra</i> / Austrian Pine	6-7' B&B	PN	17	40-60'
<i>Platanus x acerifolia</i> 'Exclamation' / Exclamation Planetree	2.5-3' CAL	PA	14	40-60'
<i>Quercus coccinea</i> / Scarlet Oak	2.5-3' CAL	QC	8	60'+
<i>Syringa reticulata</i> / Japanese Lilac Tree	2.5-3' CAL	SR	5	20-30'
<i>Tilia cordata</i> 'Greenspire' / Greenspire Littleleaf Linden	2.5-3' CAL	TC	15	40-60'
Shrubs				
<i>Clethra alnifolia</i> 'Compacta' / Compact Summersweet	2-2.5'	CA	36	3-4'
<i>Cornus sericea</i> 'Arctic Fire' / Arctic Fire Red-Osier Dogwood	2-2.5'	CS	26	3-6'
<i>Hydrangea paniculata</i> 'Grandiflora' / PeeGee Panicle Hydrangea	2-2.5'	HP	6	10-15'
<i>Ilex glabra</i> 'Compacta' / Compact Inkberry	2.5-3' B&B	IG	24	5-6'
<i>Kalmia latifolia</i> / Mountain Laurel	2-3' B&B	KL	34	6-8'
<i>Myrica pensylvanica</i> / Northern Bayberry	2-3' B&B	MP	20	6-8'
<i>Rhododendron maximum</i> / Rosebay Rhododendron	2-3' B&B	RM	25	10-15'
<i>Spiraea bumalda</i> 'Goldflame' / Goldflame Spiraea	2-2.5'	SB	12	2-3'
<i>Taxus media</i> 'L.C. Bobbink' / Bobbink Yew	2-3' B&B	TM	32	6-8'
<i>Viburnum dentatum</i> / Arrowwood Viburnum	2-3' B&B	VD	30	8-10'

LANDSCAPE CALCULATIONS

INTERIOR LANDSCAPE AREA:
LENGTH = 136'
TREES REQUIRED: 1 TREE + 1 TREE / 40' OF MEDIAN LENGTH
= 136 / 40 = 3.4 + 1 = 5 TREES REQUIRED
TREES PROVIDED: 5 TREES PROVIDED
SHRUBS REQUIRED: 1 SHRUB + 1 SHRUB / 5' OF MEDIAN LENGTH
= 136 / 5 = 27 + 1 = 28 SHRUBS REQUIRED
SHRUBS PROVIDED: 28 SHRUBS PROVIDED
ISLANDS:
6 ISLANDS (40' LENGTH EACH)
SHADE TREES REQUIRED = 2 x 8 = 12 SHADE TREES REQUIRED
SHADE TREES PROVIDED: 12 SHADE TREES PROVIDED
SHRUBS REQUIRED: 1 SHRUB + 1 SHRUB / 5' OF ISLAND LENGTH
= 40 / 5 = 8 + 1 = 9 SHRUBS REQUIRED PER ISLAND
SHRUBS PROVIDED: 9 SHRUBS PROVIDED PER ISLAND
LANDSCAPE YARD REQUIREMENTS:
SHADE TREES REQUIRED: 1 SHADE TREE / 40 LF OF FRONTAGE
SHRUBS REQUIRED: 1 SHRUB + 1 SHRUB / 5' OF FRONTAGE
MAP 132 LOT 31
70 LINEAR FEET OF FRONTAGE ON EVERETT TURNPIKE
SHADE TREES REQUIRED = 70 / 40 = 2 SHADE TREES REQUIRED
SHADE TREES PROVIDED: 2 SHADE TREES PROVIDED
SHRUBS = 70 / 5 = 14 + 1 = 15 SHRUBS REQUIRED
SHRUBS PROVIDED: 17 SHRUBS PROVIDED
MAP 132 LOT 38
175 LINEAR FEET OF FRONTAGE ON STETSON STREET (MINUS DRIVEWAY)
SHADE TREES REQUIRED = 175 / 40 = 4 SHADE TREES REQUIRED
SHADE TREES PROVIDED: 4 SHADE TREES PROVIDED
SHRUBS = 175 / 5 = 35 + 1 = 36 SHRUBS REQUIRED
SHRUBS PROVIDED: 40 SHRUBS PROVIDED
820 LINEAR FEET OF FRONTAGE ON EVERETT TURNPIKE
SHADE TREES REQUIRED = 820 / 40 = 20 SHADE TREES REQUIRED
SHADE TREES PROVIDED: 13 SHADE TREES PROVIDED
SHRUBS = 820 / 5 = 164 + 1 = 165 SHRUBS REQUIRED
SHRUBS PROVIDED: 108 SHRUBS PROVIDED

LANDSCAPE CALCULATIONS

REQUIRED BUFFER YARDS:
SUPPER TYPE C:
REQUIREMENTS: 20' WIDE
2 LARGE TREES + 3 MEDIUM/SMALL TREES + 20 SHRUBS / 100 LF
MAP 132 LOT 38 (REV) BUFFER FOR MAP A LOT 172 (GB).
60 LINEAR FEET / 100 = 0.6
LARGE TREES REQUIRED = 2 x 2 = 4 LARGE TREES REQUIRED
LARGE TREES PROVIDED: 4 LARGE TREES PROVIDED
MEDIUM/SMALL TREES REQUIRED = 2 x 3 = 6 MEDIUM/LARGE TREES REQUIRED
MEDIUM/LARGE TREES PROVIDED = 5 MEDIUM/LARGE TREES PROVIDED
SHRUBS = 2 x 20 = 40 SHRUBS REQUIRED
SHRUBS PROVIDED: 40 SHRUBS PROVIDED
SUPPER TYPE E:
REQUIREMENTS: 40' WIDE
2 LARGE TREES + 4 MEDIUM/SMALL TREES + 20 SHRUBS / 100 LF
MAP 132 LOT 38 (REV) BUFFER FOR MAP A LOT 984 (R-1B).
20 LINEAR FEET / 100 = 0.2
LARGE TREES REQUIRED = 5 x 2 = 10 LARGE TREES REQUIRED
LARGE TREES PROVIDED: 13 LARGE TREES PROVIDED
MEDIUM/SMALL TREES REQUIRED = 5 x 4 = 20 MEDIUM/LARGE TREES REQUIRED
MEDIUM/LARGE TREES PROVIDED = 20 MEDIUM/LARGE TREES PROVIDED
SHRUBS = 5 x 20 = 100 SHRUBS REQUIRED
SHRUBS PROVIDED: 108 SHRUBS PROVIDED

GRAPHIC SCALE



LANDSCAPE PLAN
AUTO BODY SHOP
MAP 128 LOTS 31, 32 & 84
MAP 132 LOTS 38 & 84
WEST GLENWOOD STREET
NASHUA, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER/APPLICANT:
ROSCOMMON INVESTMENTS, LLC
147 DANIEL WEBSTER HIGHWAY
NASHUA, NH 03080
(603) 888-6050

KMA KRACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 38, Bedford, NH 08110 Phone (603) 887-8801

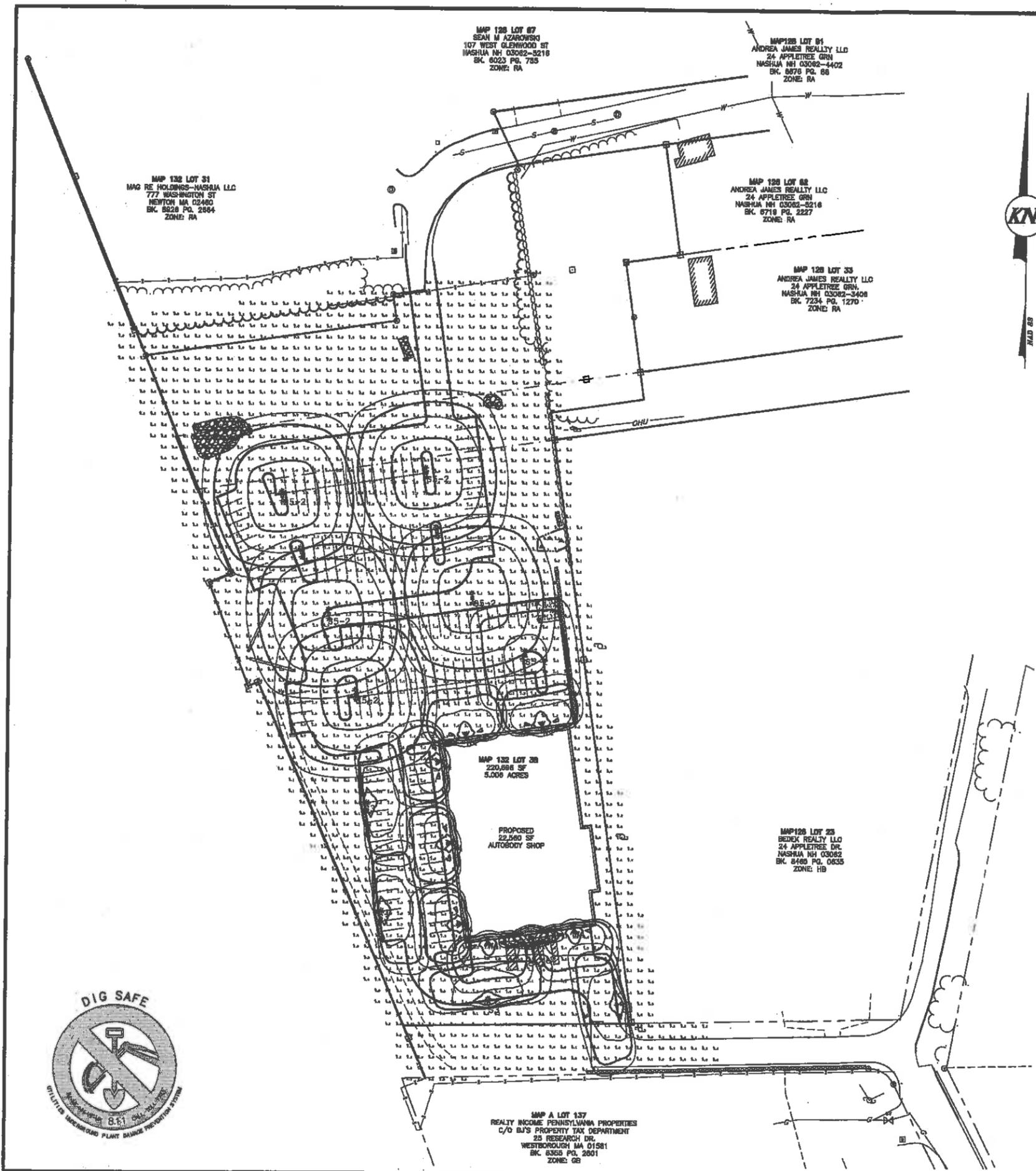


REVISIONS		
No.	DATE	DESCRIPTION

DATE: JUNE 22, 2020 SCALE: 1"=50'
PROJECT NO: 17-1011-1 SHEET 7 OF 17



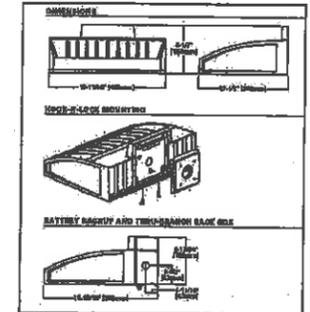
terrain
planning & design llc
311 kast hill road
hopkinton nh 03229
603. 746. 3512
terrainplanning.com



ILLUMINATION

Number of Light Fixtures	Wattage	Foot Candles					
1	100	10	10	10	10	10	10
2	200	20	20	20	20	20	20
3	300	30	30	30	30	30	30
4	400	40	40	40	40	40	40
5	500	50	50	50	50	50	50
6	600	60	60	60	60	60	60
7	700	70	70	70	70	70	70
8	800	80	80	80	80	80	80
9	900	90	90	90	90	90	90
10	1000	100	100	100	100	100	100

GLEON AERIAL/SITE LUMINAIRE



GWC WALL MOUNT LUMINAIRE

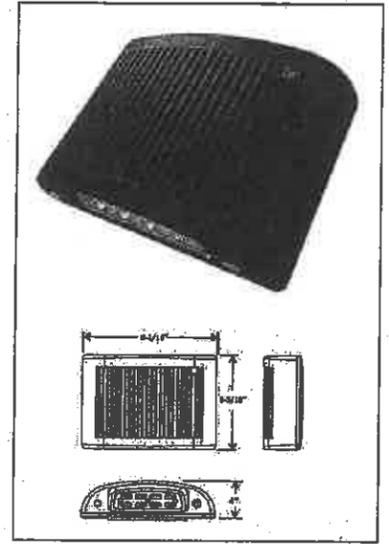


LUMINAIRE SCHEDULE

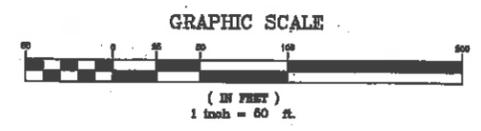
SYMBOL	QTY	LABEL	ARRANGEMENT	DESCRIPTION
☼	4	S3	SINGLE	GLEON-AF-01-LED-E1-SL3-HSV/8884208FH1 (20' AFG)
☼	1	S3-1	SINGLE	GLEON-AF-01-LED-E1-SM3/8884208FH1 (20' AFG)
☼	5	S3-2	BACK-BACK	GLEON-AF-02-LED-E1-SM3/8884208FH2 (20' AFG)
◀	1	W1	SINGLE	MERU-LED-AC8M-DS-41/WALL MTD (14' AFG)
◀	7	W4	SINGLE	GWC-AF-01-LED-E1-GL-600/WALL MTD (14' AFG)

LIGHTING NOTES:

1. ALL LIGHTS/FIXTURES SHALL BE AS SPECIFIED BY CHARRON LIGHTING.
2. ALL PROPOSED LIGHTS/FIXTURES ARE TO BE FULL CUTOFF.
3. FIXTURES SHALL BE MOUNTED AT HEIGHTS AS SPECIFIED IN TABLE.
4. PRIOR TO CONSTRUCTION, THE SITE CONTRACTOR SHALL COORDINATE WITH THE PROJECT ELECTRICIAN FOR THE EXACT LOCATION, LAYOUT, CONDUIT SIZE AND CIRCUITS ASSOCIATED WITH THE SITE LIGHTING.



MERU LED



IN ASSOCIATION WITH:

P.O. BOX 4850
MANCHESTER, NH 03108
(603) 854-4827
FAX (603) 854-2764
SALES@CHARRONINC.COM

LIGHTING PLAN
AUTO BODY SHOP
MAP 128 LOTS 31, 32 & 84
MAP 132 LOTS 38 & 84
WEST GLENWOOD STREET
NASHUA, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER/APPLICANT:
ROSCOMMON INVESTMENTS, LLC
147 DANIEL WEBSTER HIGHWAY
NASHUA, NH 03060
(603) 888-5050

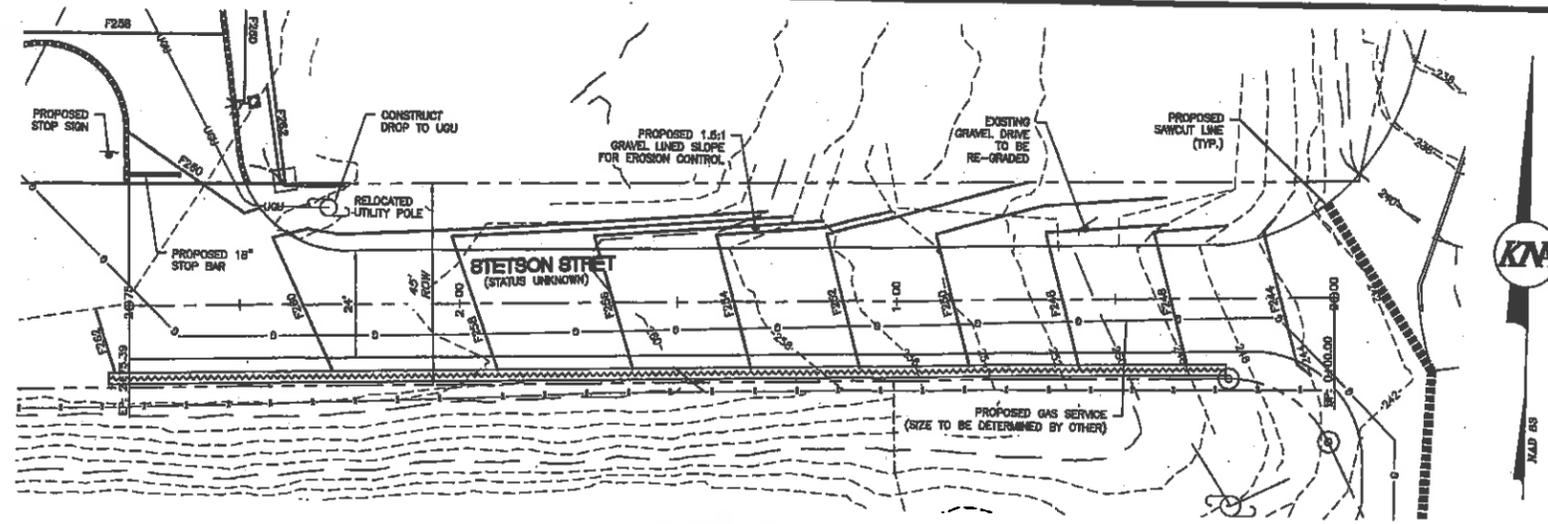
K/A **KRACH-NORDSTROM ASSOCIATES, INC.**
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 50, Bedford, NH 03110 Phone (603) 887-8881

REVISIONS

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DATE: JUNE 22, 2020 SCALE: 1"=60'
PROJECT NO: 17-1011-1 SHEET 8 OF 17

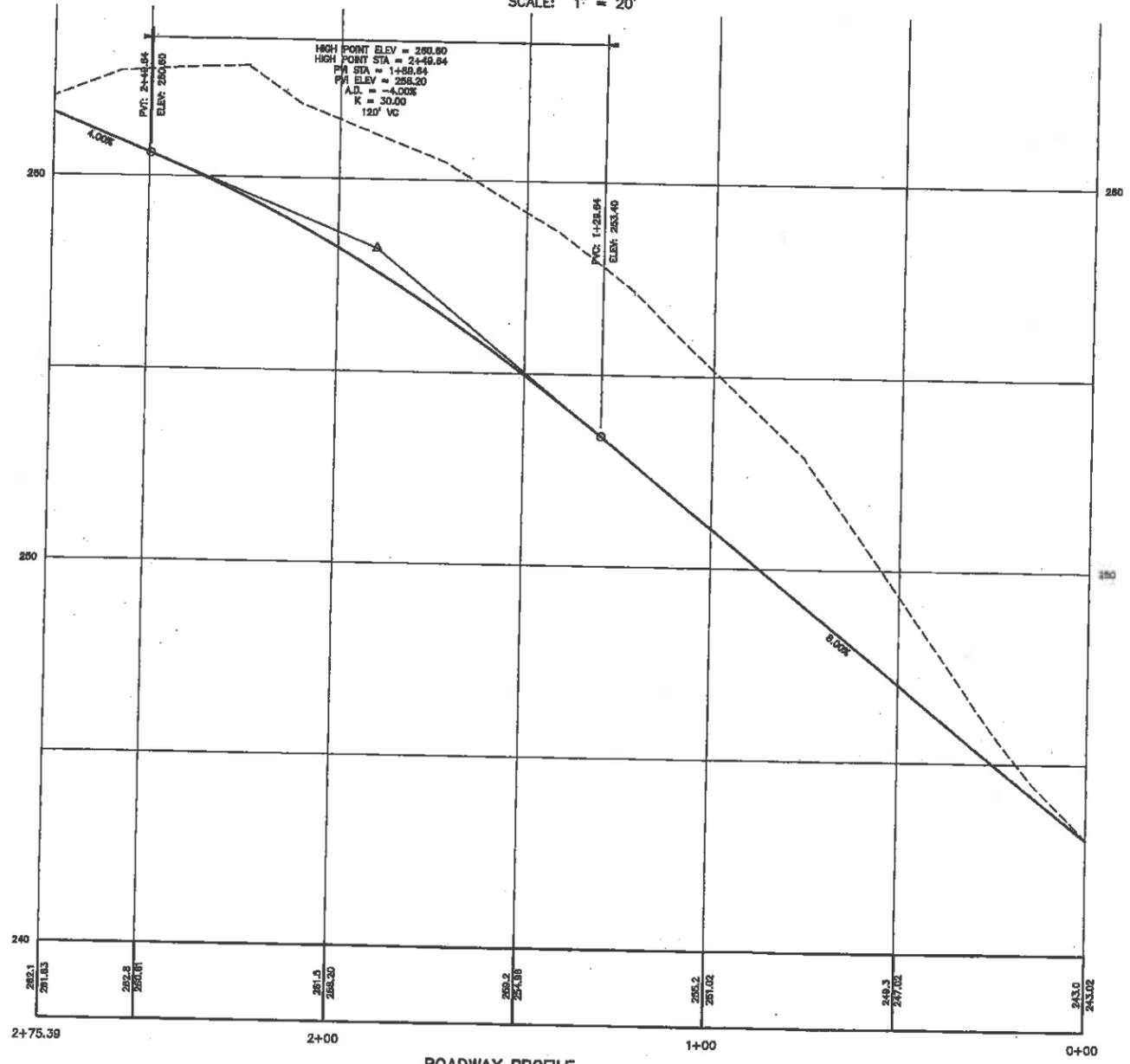




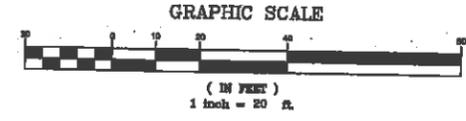
- CONSTRUCTION NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED GRADING FOR THE RECONSTRUCTION OF STETSON STREET.
 2. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF NASHUA, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. ALL WORK PERFORMED IN THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
 3. CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPARTMENT, NASHUA, NEW HAMPSHIRE.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
 5. THE GAS AND ELECTRICAL UTILITIES SHOWN HERE SHALL BE COORDINATED WITH THE FINAL BUILDING PLANS PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES.

- LEGEND**
- ABUTTER LINE
 - PROPERTY LINE
 - EDGE OF PAVEMENT
 - 10' CONTOUR
 - 2' CONTOUR
 - PROPOSED UTILITY POLE
 - PROPOSED SIGN
 - PROPOSED BITUMINOUS CURB
 - PROPOSED EDGE OF PAVEMENT
 - PROPOSED MODULAR BLOCK WALL
 - U&U PROPOSED UNDERGROUND UTILITIES
 - PROPOSED GAS LINE
 - PROPOSED 2' CONTOUR

ROADWAY PLAN
SCALE: 1" = 20'



ROADWAY PROFILE
SCALE: 1" = 20' (HORIZ.)
1" = 2' (VERT.)



ROADWAY PLAN & PROFILE
AUTO BODY SHOP
MAP 128 LOTS 31, 32 & 84
MAP 132 LOTS 38 & 84
WEST GLENWOOD STREET
NASHUA, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

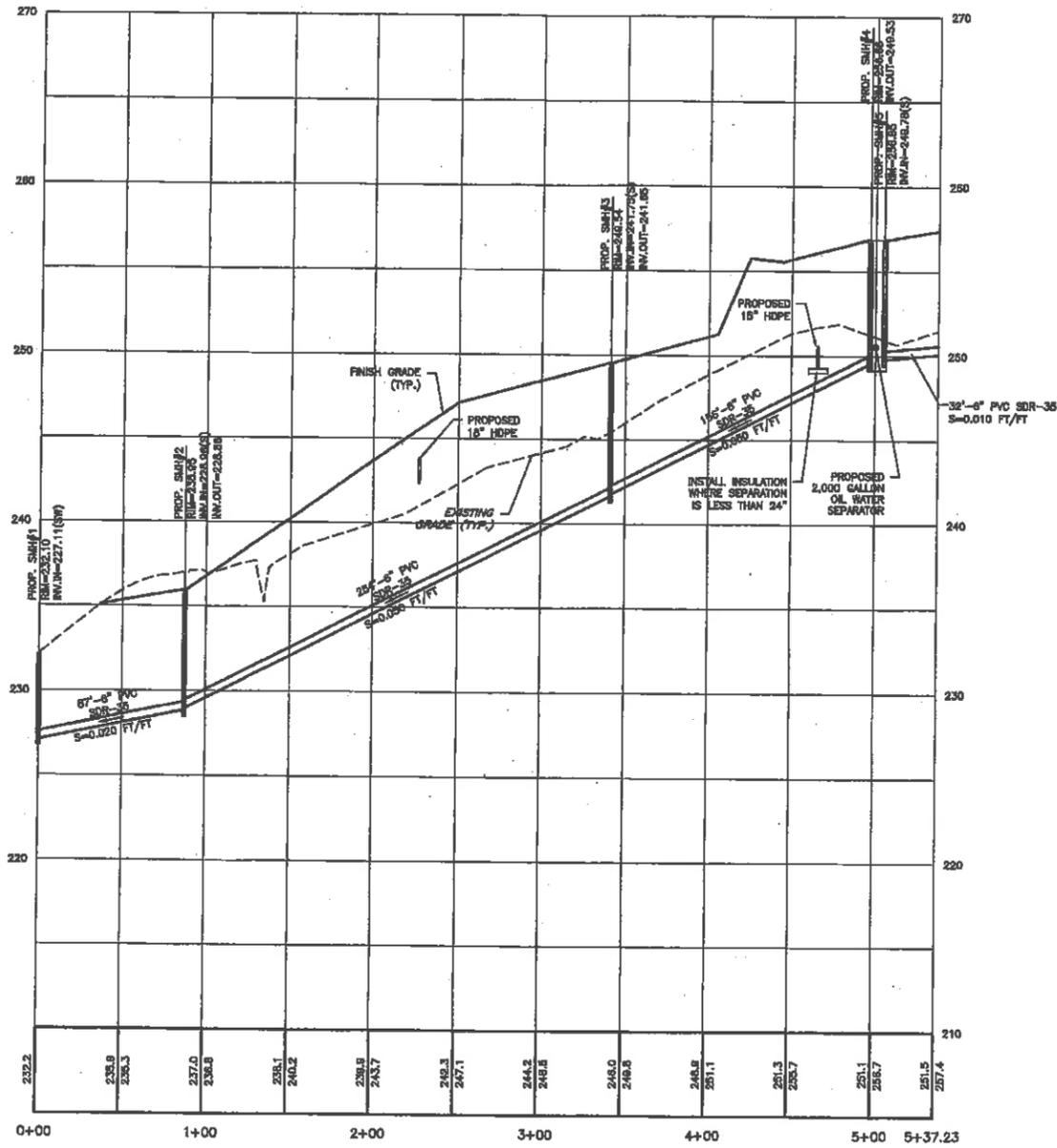
OWNER/APPLICANT:
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(603) 888-5050

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18 Commerce Park North, Suite 2B, Bedford, NH 03110 Phone (603) 687-8861

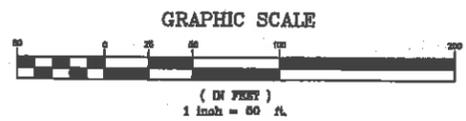
REVISIONS

No.	DATE	DESCRIPTION	BY

DATE: JUNE 22, 2020 SCALE: 1"=20'
PROJECT NO: 17-1011-1 SHEET 9 OF 17



SEWER PROFILE
 SCALE: 1" = 50' (HORIZ.)
 1" = 5' (VERT.)



SEWER PROFILE
AUTO BODY SHOP
 MAP 128 LOTS 31, 32 & 84
 MAP 132 LOTS 38 & 84
 WEST GLENWOOD STREET
 NASHUA, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER/APPLICANT:
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 147 DANIEL WEBSTER HIGHWAY
 NASHUA, NH 03080
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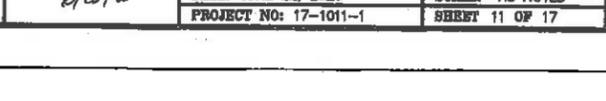
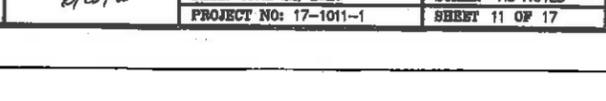
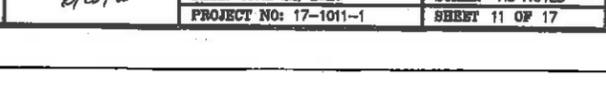
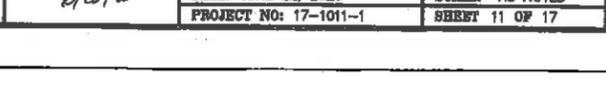
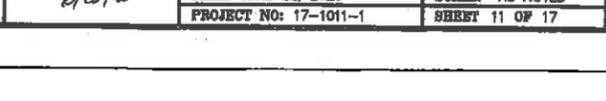
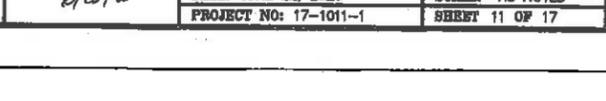
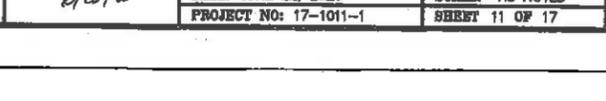
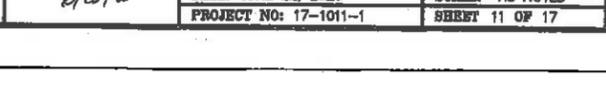
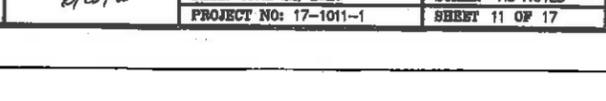
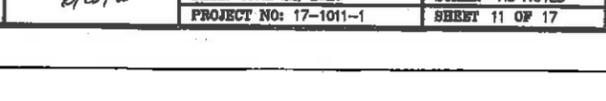
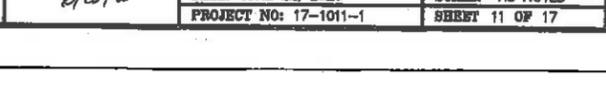
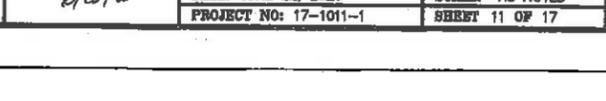
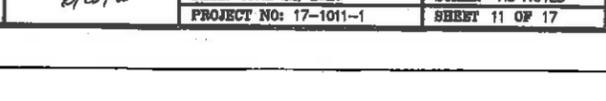
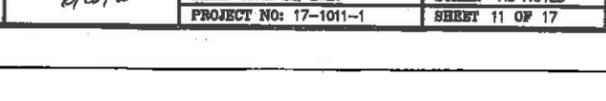
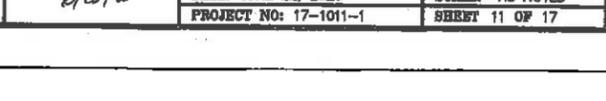
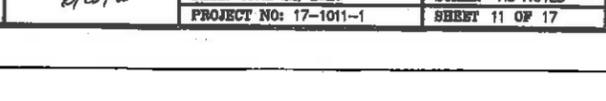
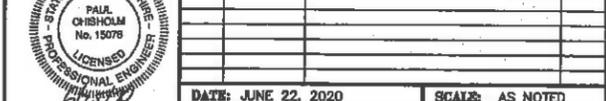
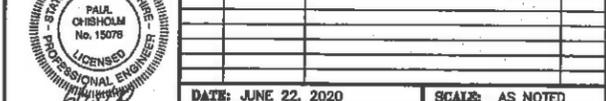
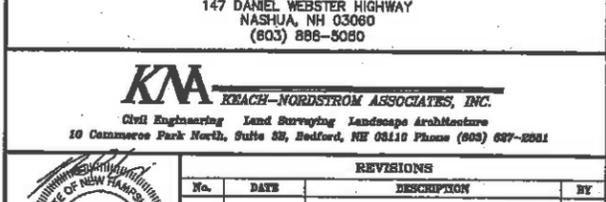
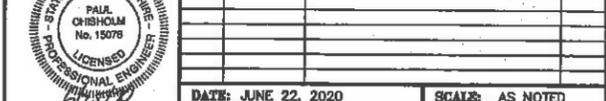
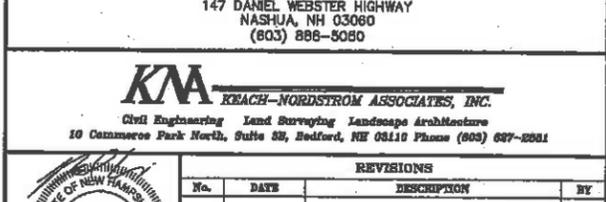
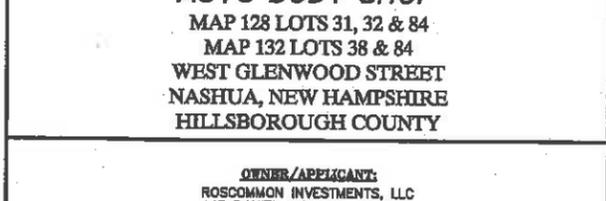
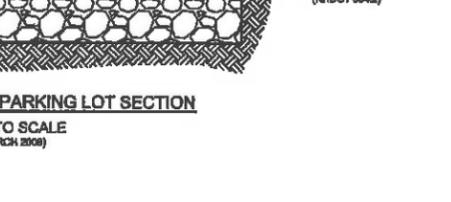
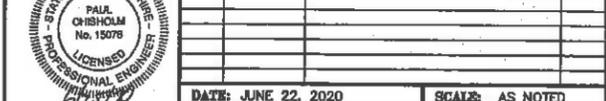
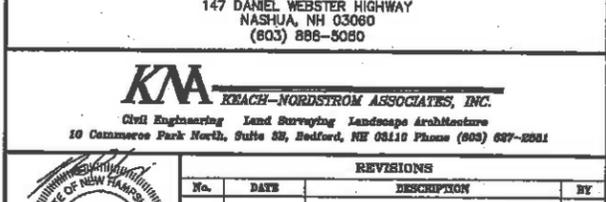
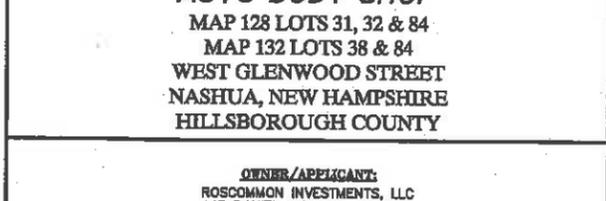
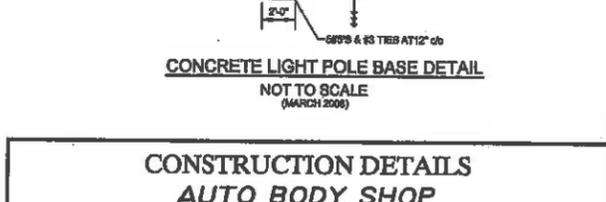
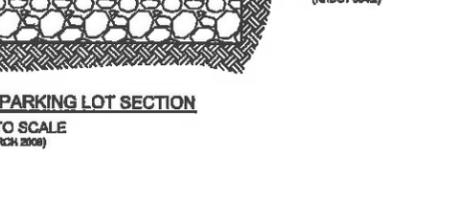
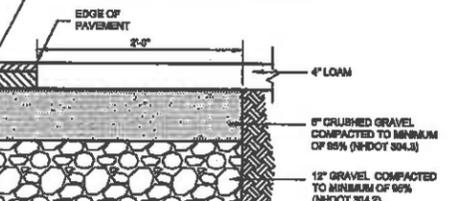
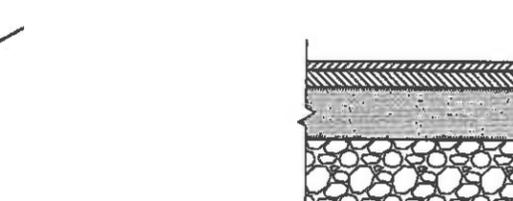
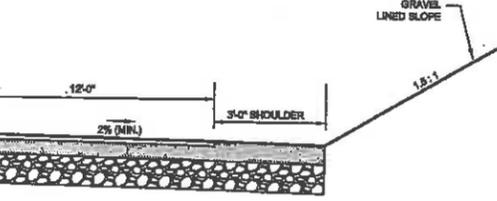
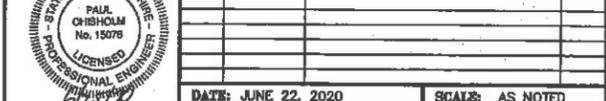
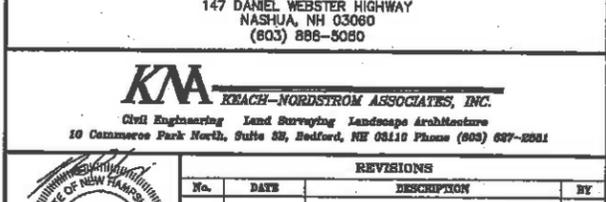
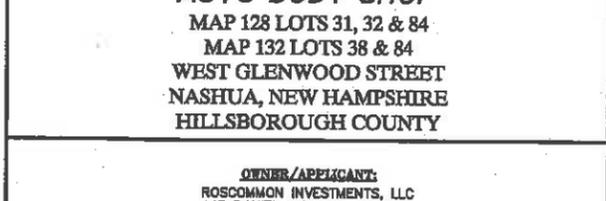
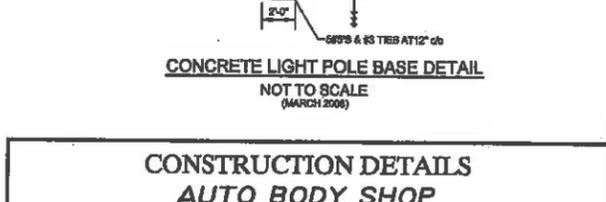
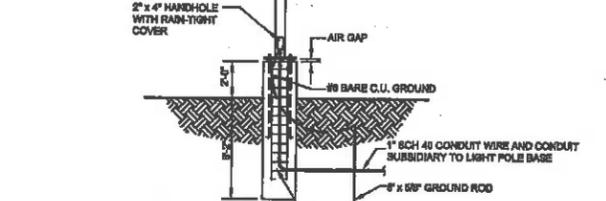
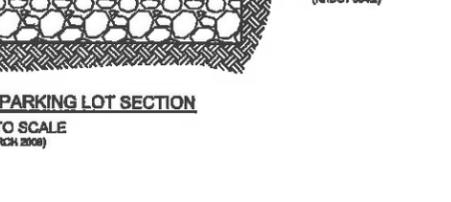
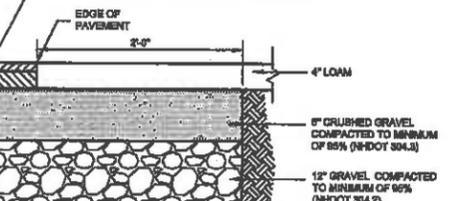
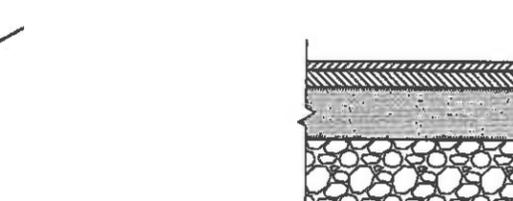
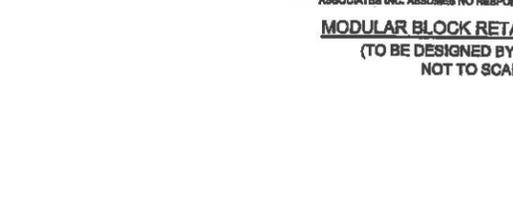
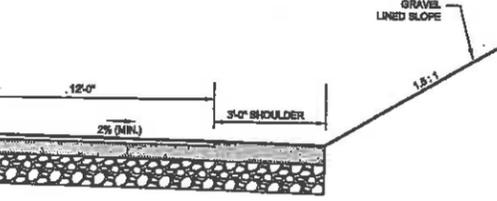
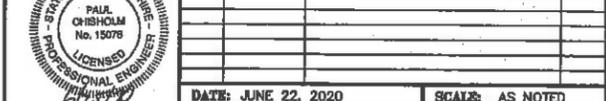
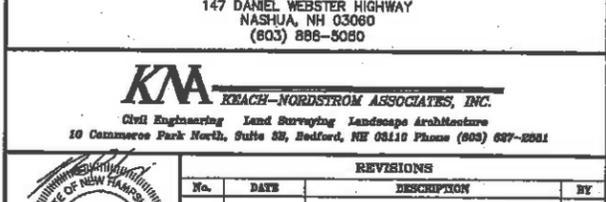
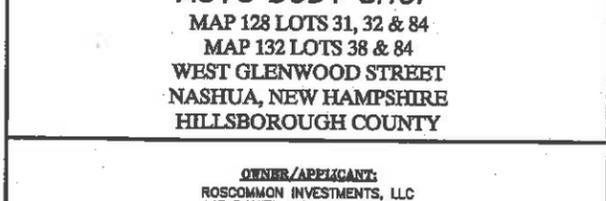
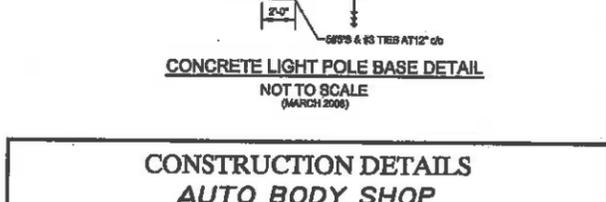
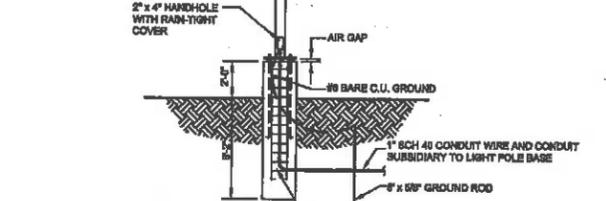
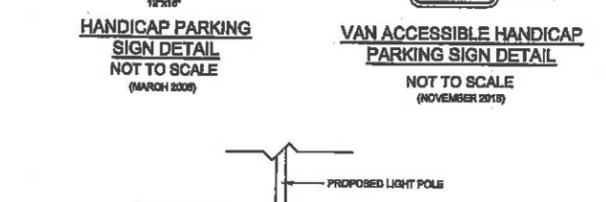
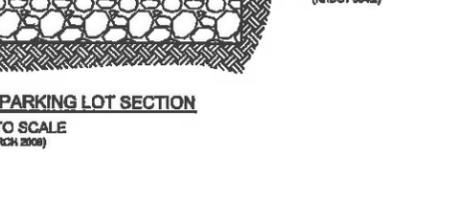
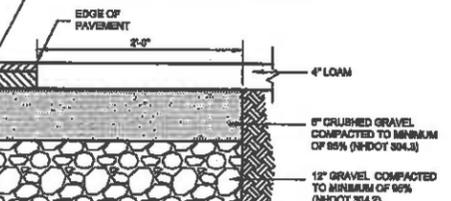
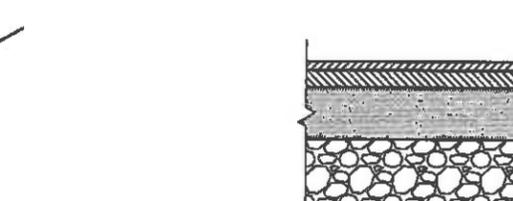
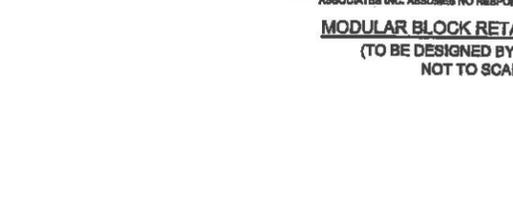
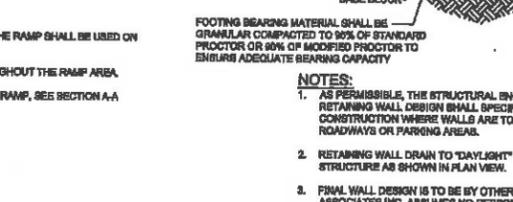
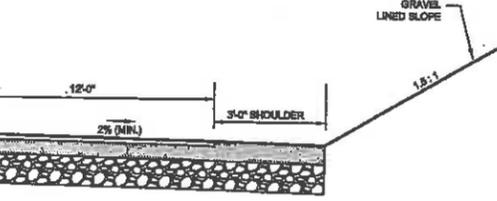
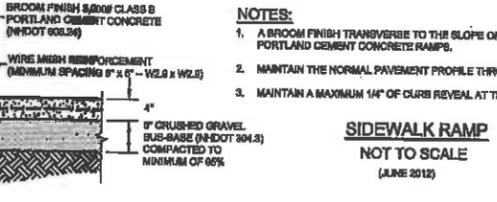
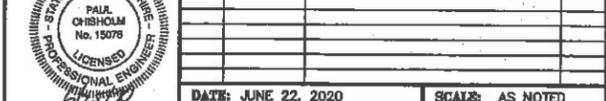
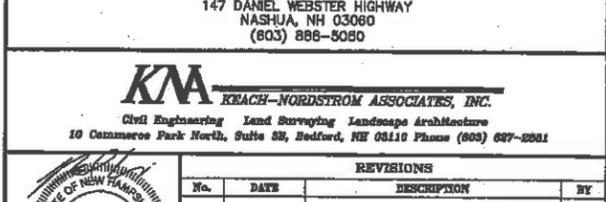
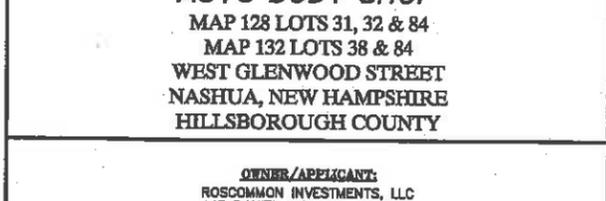
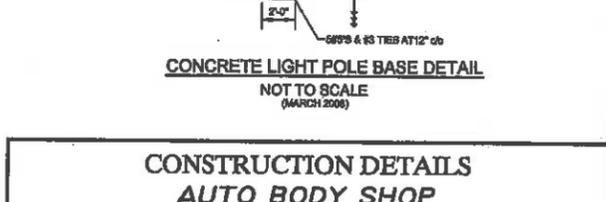
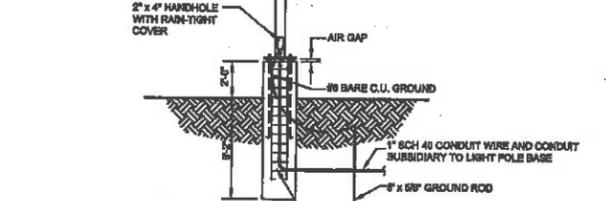
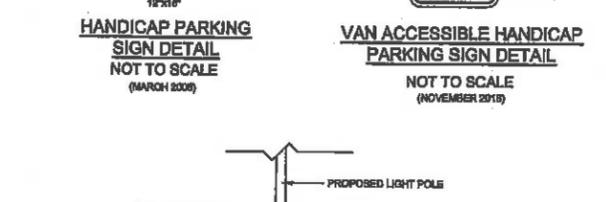
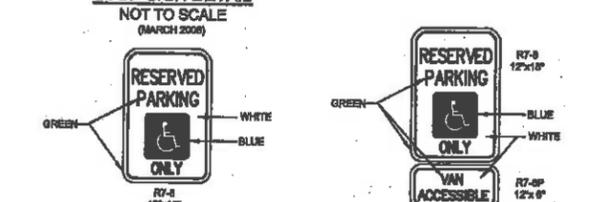
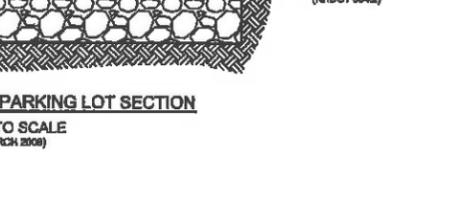
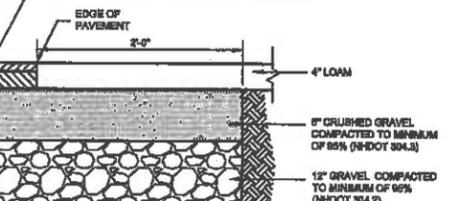
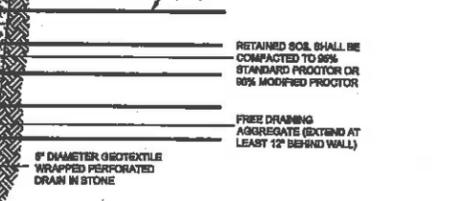
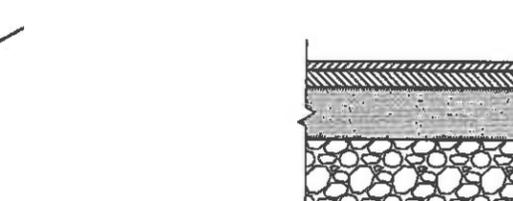
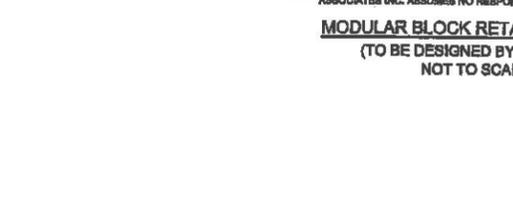
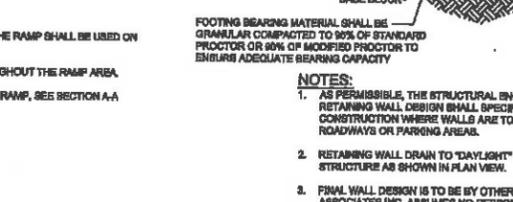
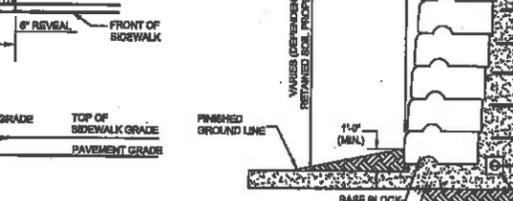
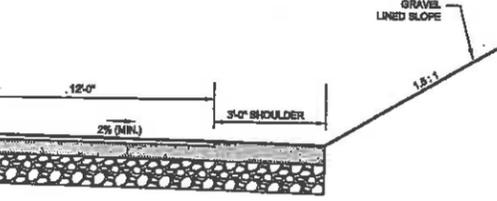
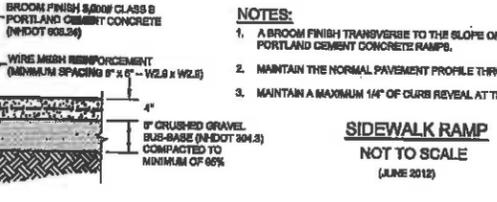
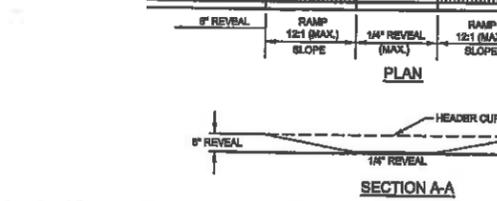
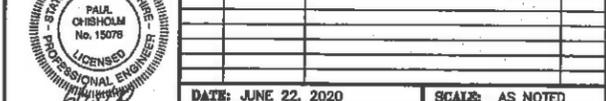
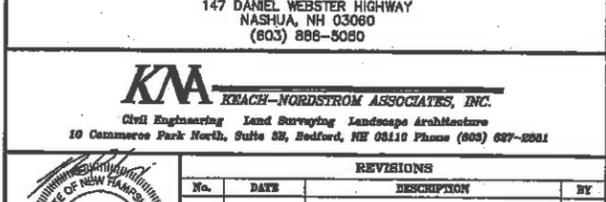
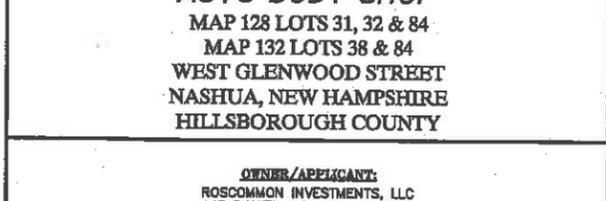
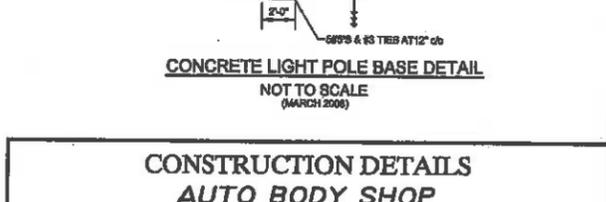
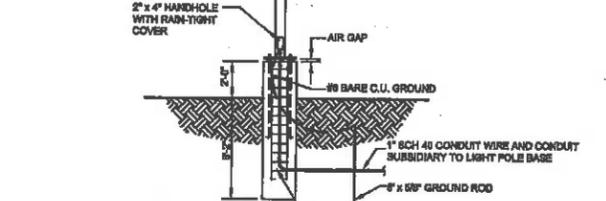
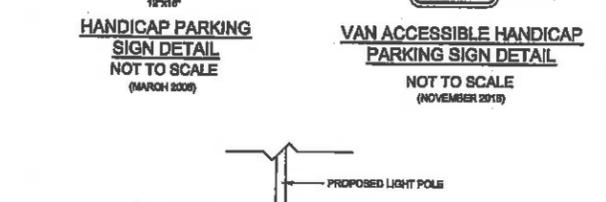
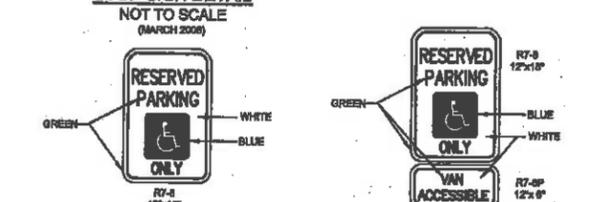
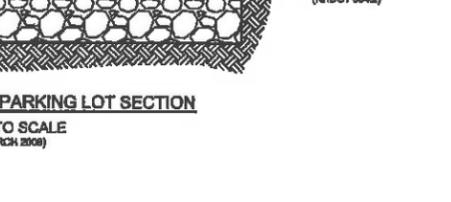
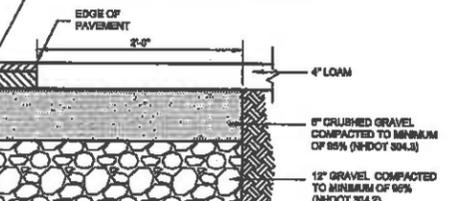
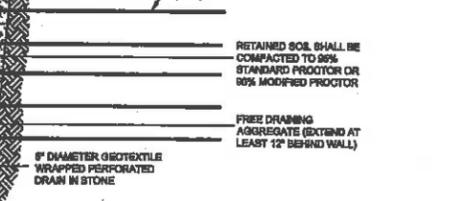
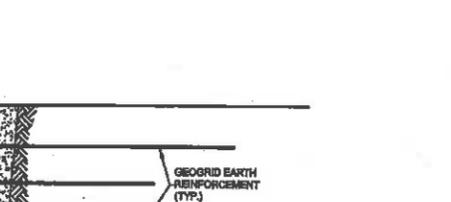
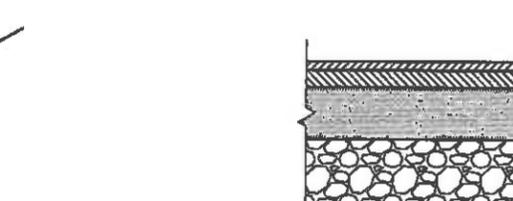
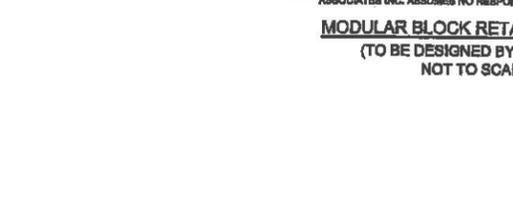
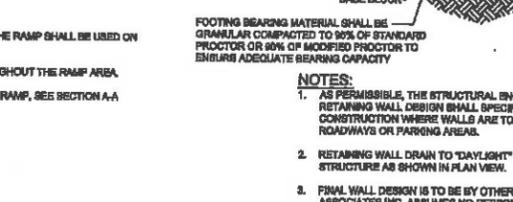
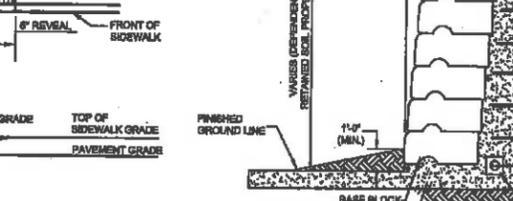
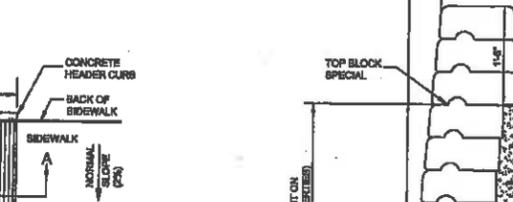
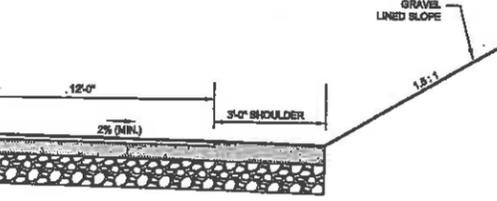
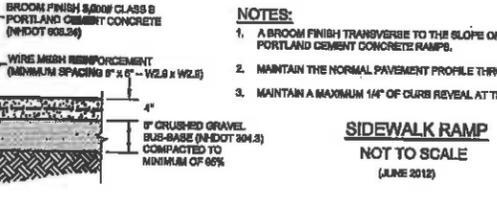
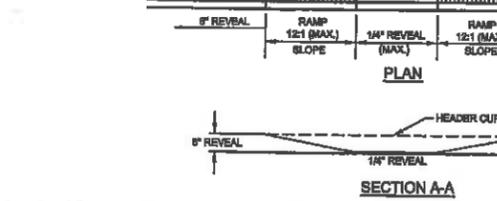
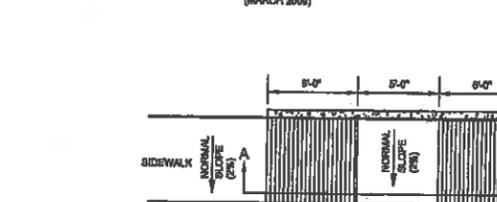
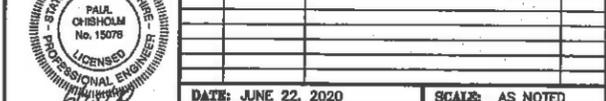
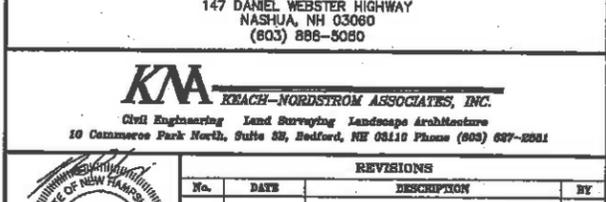
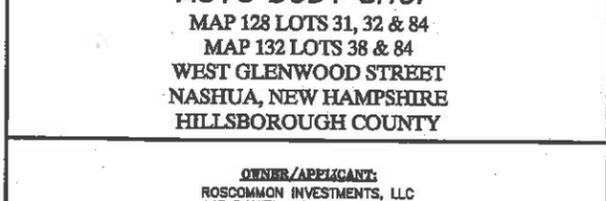
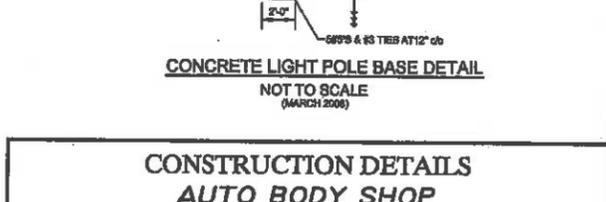
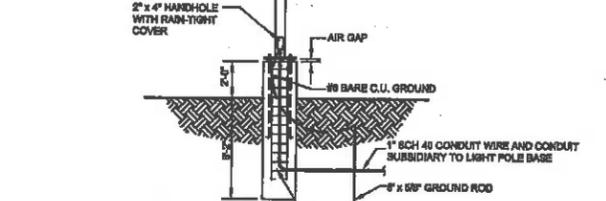
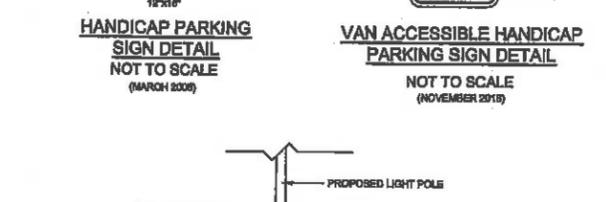
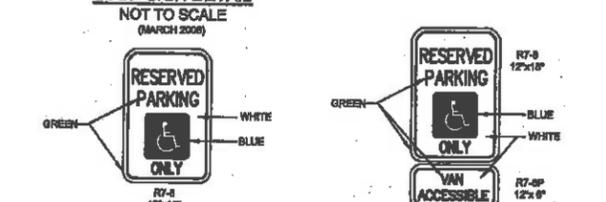
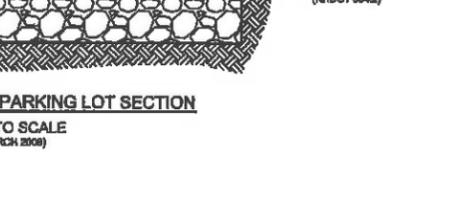
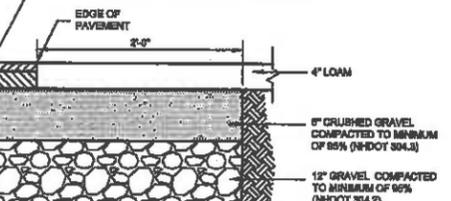
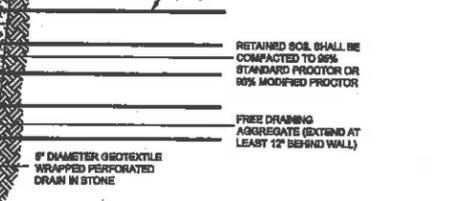
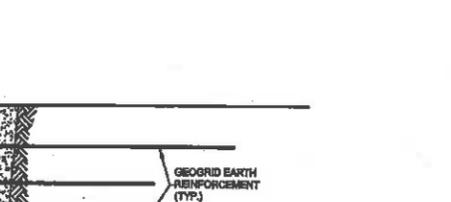
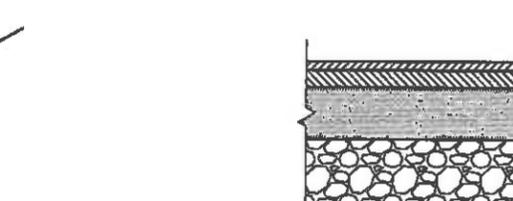
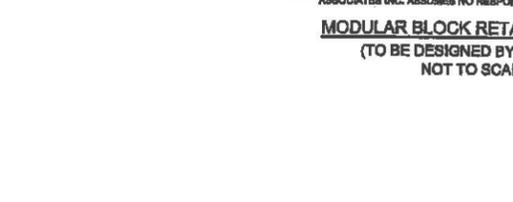
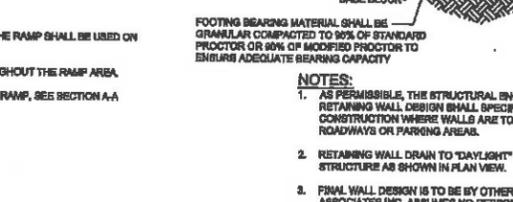
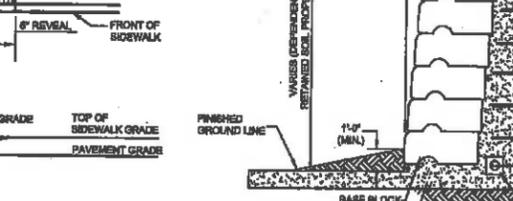
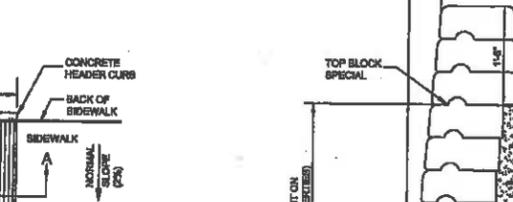
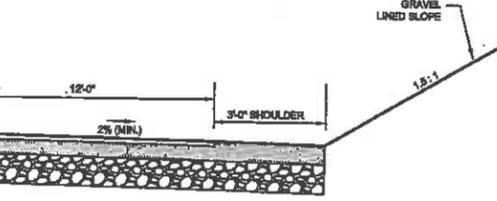
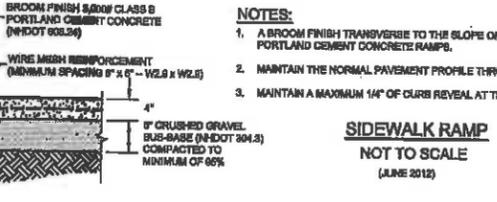
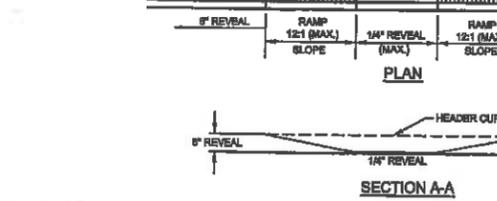
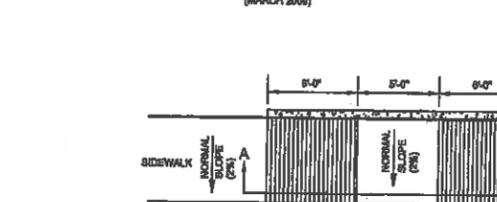
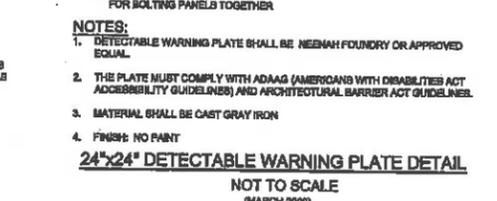
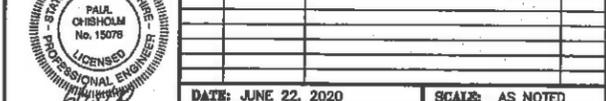
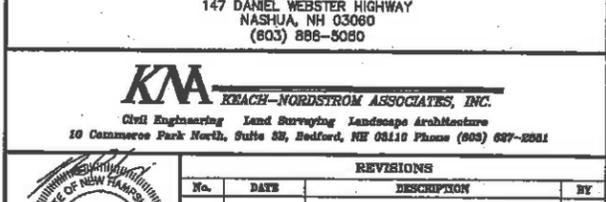
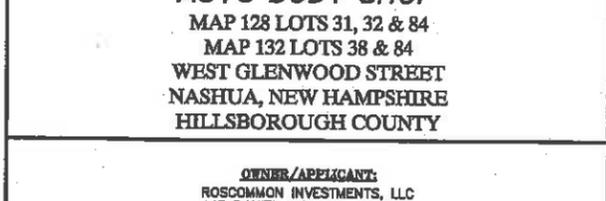
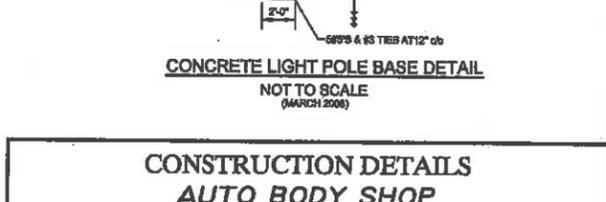
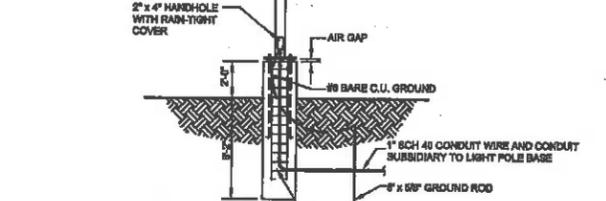
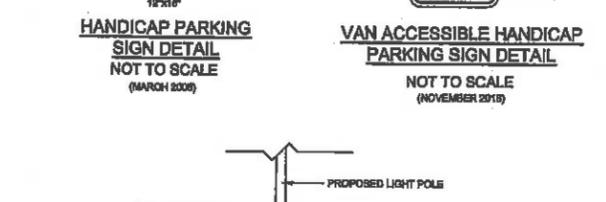
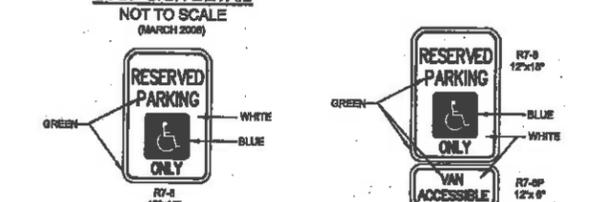
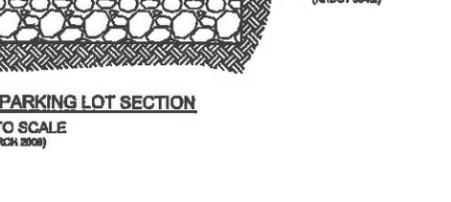
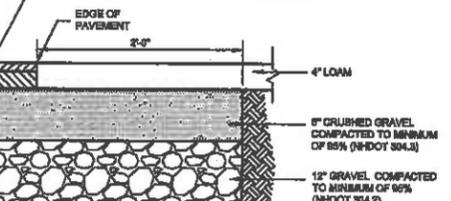
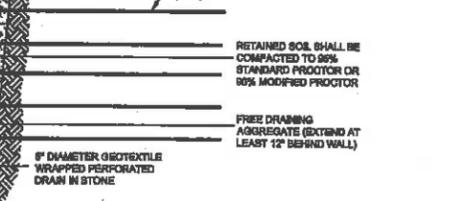
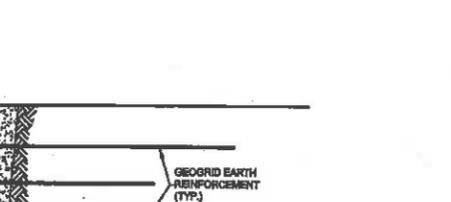
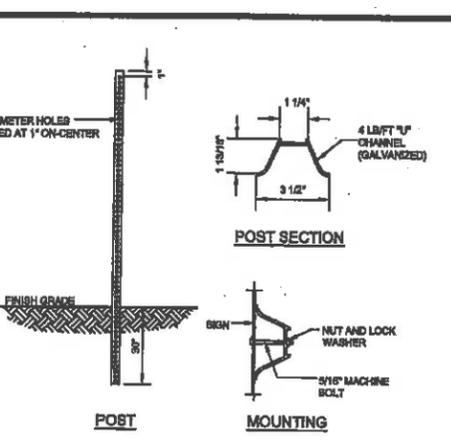
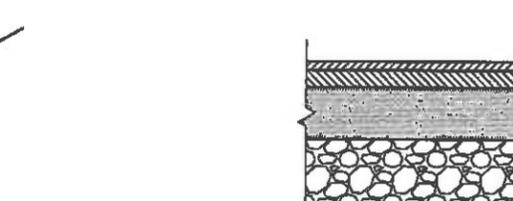
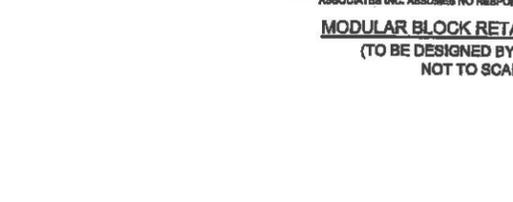
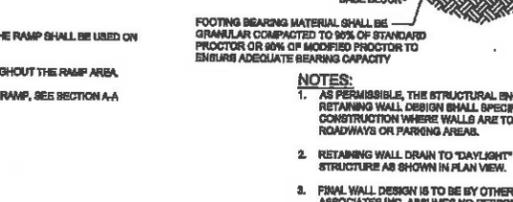
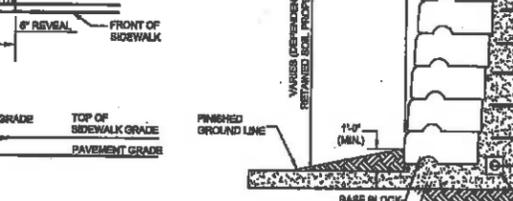
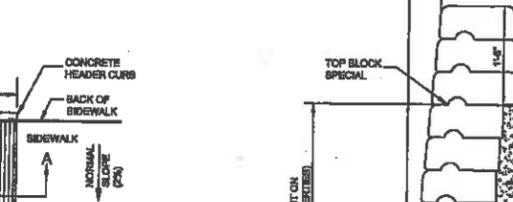
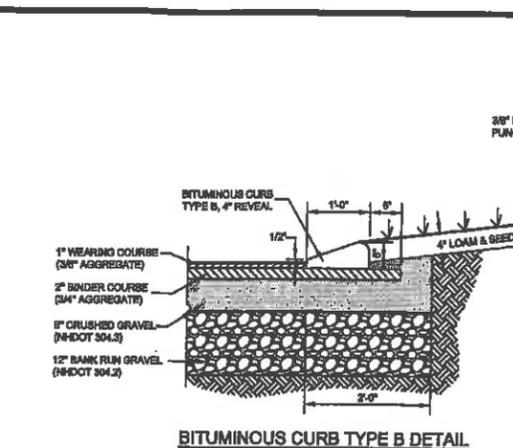
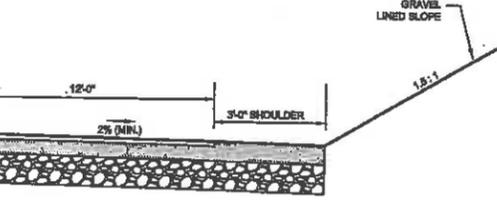
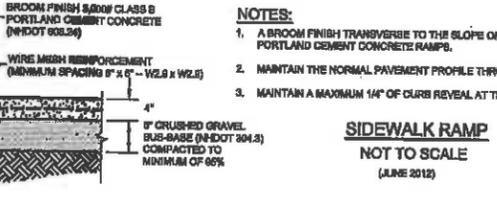
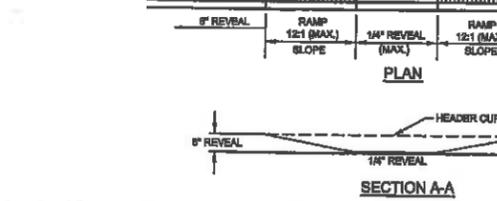
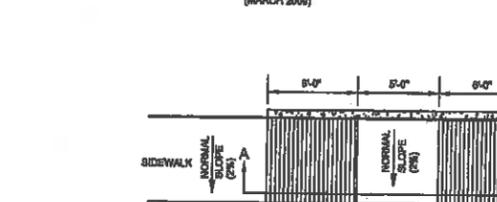
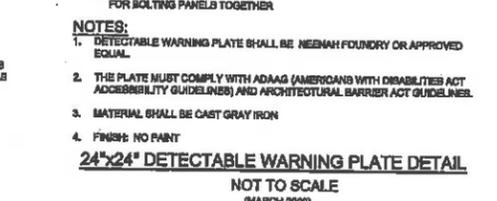
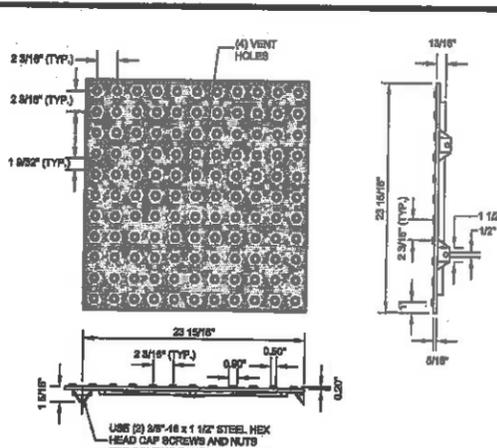
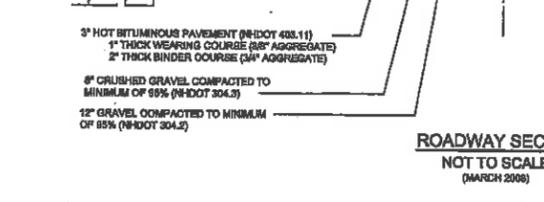
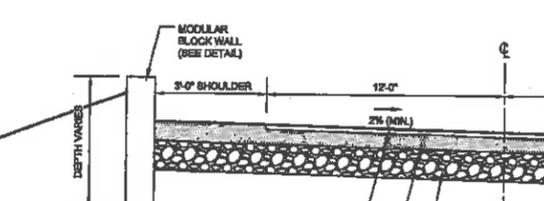
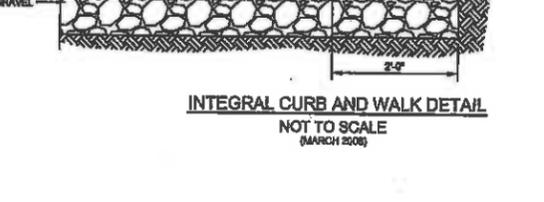
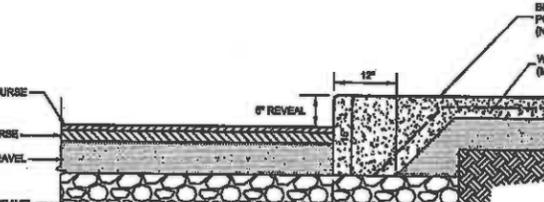
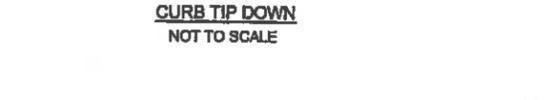
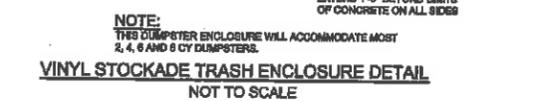
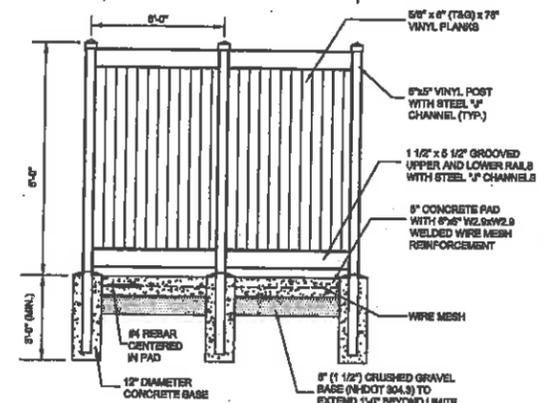
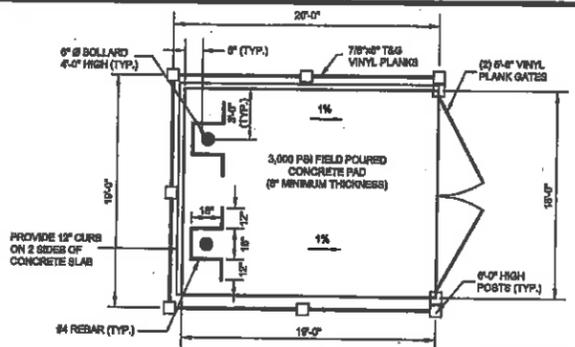
KMA KEACHE-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 20, Bedford, NH 03110 Phone (603) 687-2861



REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: JUNE 22, 2020 SCALE: 1"=50'
 PROJECT NO: 17-1011-1 SHEET 10 OF 17





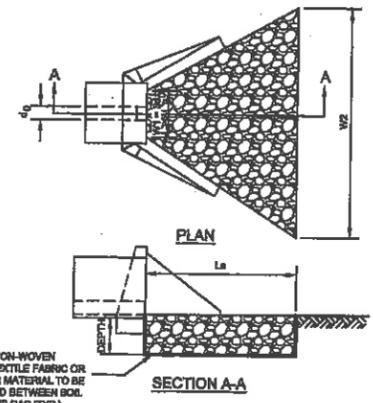
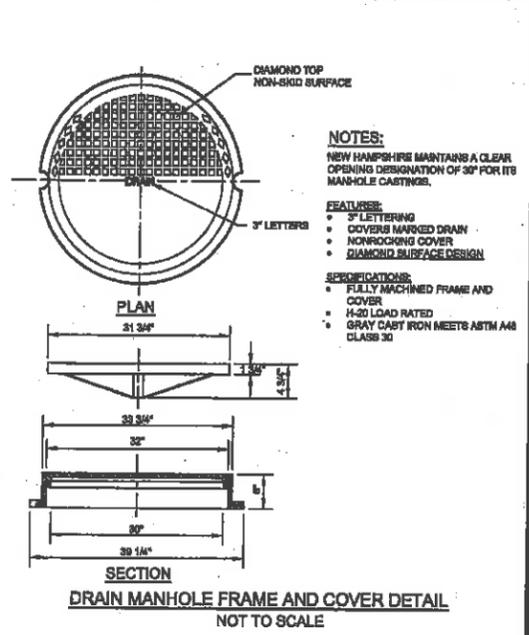
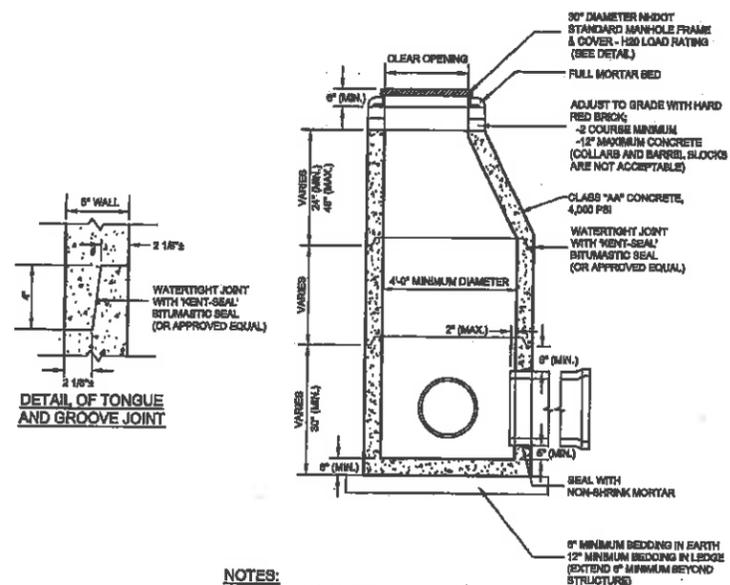
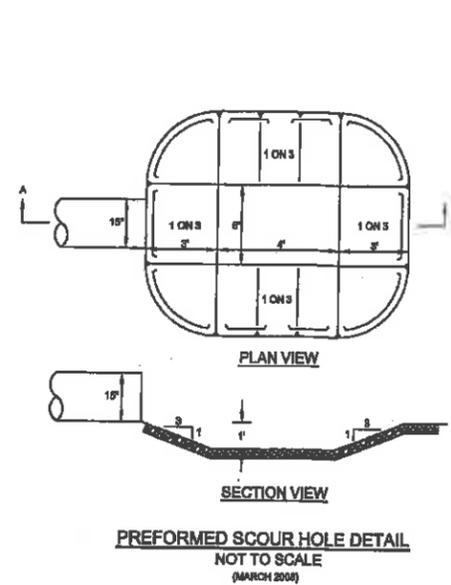
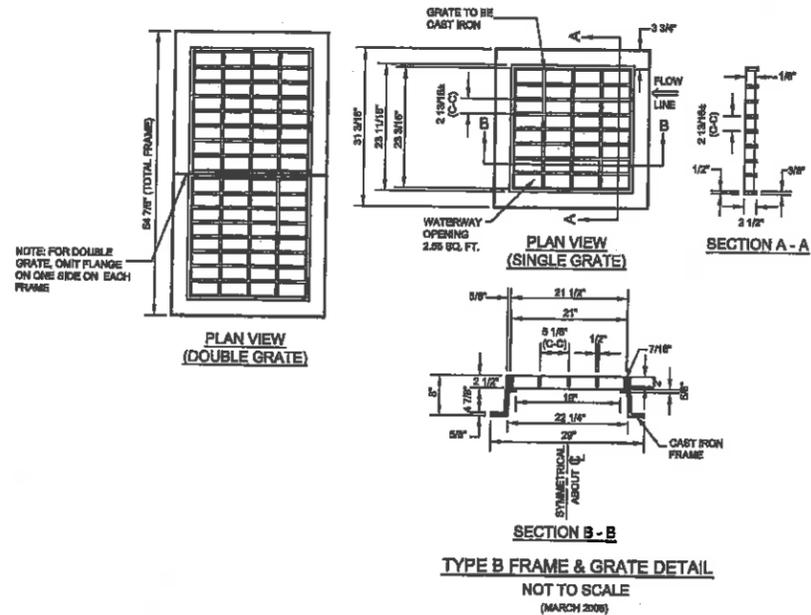


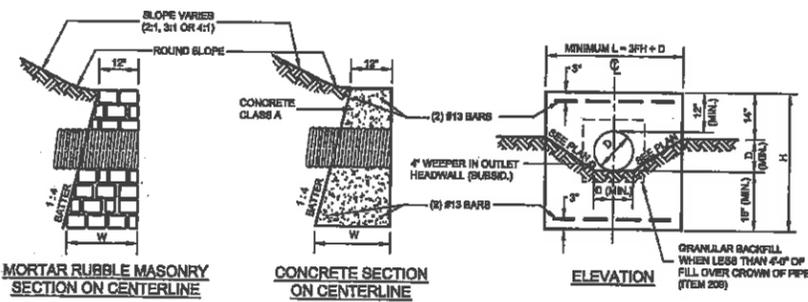
TABLE 7-24 - RECOMMENDED RIP RAP GRADATION RANGES

PERCENT OF WEIGHT SMALLER THAN THE SIZES LISTED	SIZE OF STONE
100%	1.5 TO 2.0 (30)
50%	1.3 TO 1.8 (30)
50%	1.5 TO 1.8 (30)
10%	0.3 TO 0.6 (30)

- CONSTRUCTION SPECIFICATIONS:**
- THE SURGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
 - FRACTURED ROCK USED FOR FILTER OR RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
 - GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
 - STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.

MAINTENANCE:
THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR RAIN EVENT. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED, OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

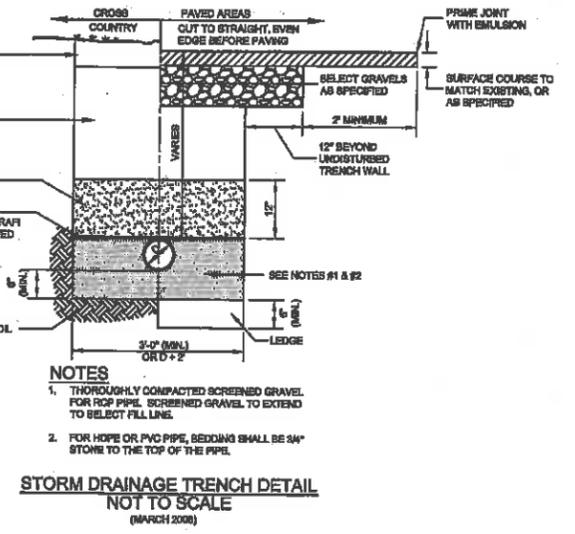
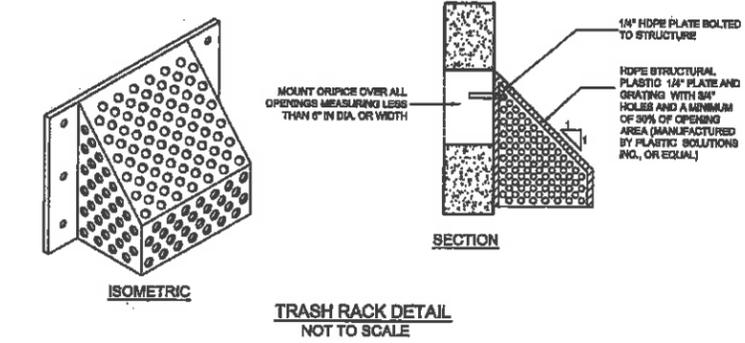
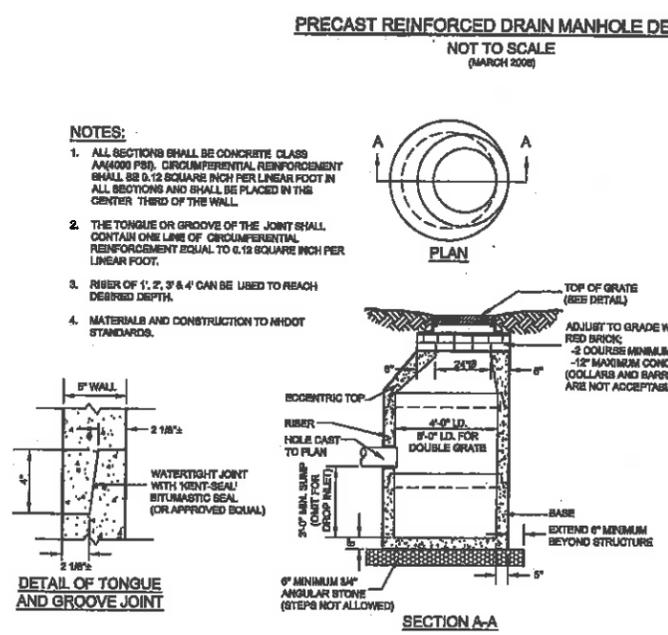
LOCATION	L _a	W ₁	W ₂	d ₅₀	DEPTH
PROP. HWYS	22'	8'	30'	4"	10"



NOTE:
DIMENSIONS SHOWN ARE TO PAYMENT LINES. MORTAR RUBBLE MASONRY TO BE STEPPED OUTSIDE PAYMENT LINES ON SLOPING FACES.

DIAMETER D (INCH)	AREA OF PIPE (SQ. FT.)	MASONRY PER FOOT OF WALL (CU. YD.)	MASONRY PER HOLE (CU. FT.)	MASONRY PER STANDARD HEADER (CU. YD.)	STEEL PER STANDARD HEADER (LB)	LENGTH OF BAR	PIPE EXC. 1' DEPTH (CU. YD.)	HEADER EXC. PER HEADER 1' DEPTH (CU. YD.)	ITEM 200 PER LINEAR FOOT	HEADER LENGTH L	HEADER HEIGHT H	FILL HEIGHT FH	1" HEADWALL		
													MASONRY IN CORNER FRUSTRUM (CU. YD.)	HEADER EXC. PER HEADER 1' DEPTH (CU. YD.)	
12"	0.78	0.169	1.28	0.91	8	3'-2"	0.786	0.786	0.30	3'-0"	3'-0"	10"	1'-10 1/2"	0.39	1.057
15"	1.20	0.202	1.73	0.93	11	3'-10"	0.932	0.932	0.38	4'-0"	3'-0"	11 1/4"	1'-11 1/4"	0.31	1.238
18"	1.77	0.222	2.32	1.13	14	4'-2"	0.932	1.111	0.39	4'-0"	3'-0"	11 1/4"	1'-11 1/4"	0.31	1.428
24"	3.14	0.390	4.71	1.76	20	7'-2"	0.348	1.251	0.46	4'-0"	4'-0"	11 1/2"	2'-0"	0.33	1.776
30"	4.51	0.501	7.57	2.58	25	8'-2"	0.188	1.850	0.58	6'-0"	6'-0"	2'-4"	2'-0"	0.51	2.194

MORTAR RUBBLE MASONRY AND CONCRETE HEADWALLS
NOT TO SCALE
(MARCH 2008)



CONSTRUCTION DETAILS
AUTO BODY SHOP
MAP 128 LOTS 31, 32 & 84
MAP 132 LOTS 38 & 84
WEST GLENWOOD STREET
NASHUA, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

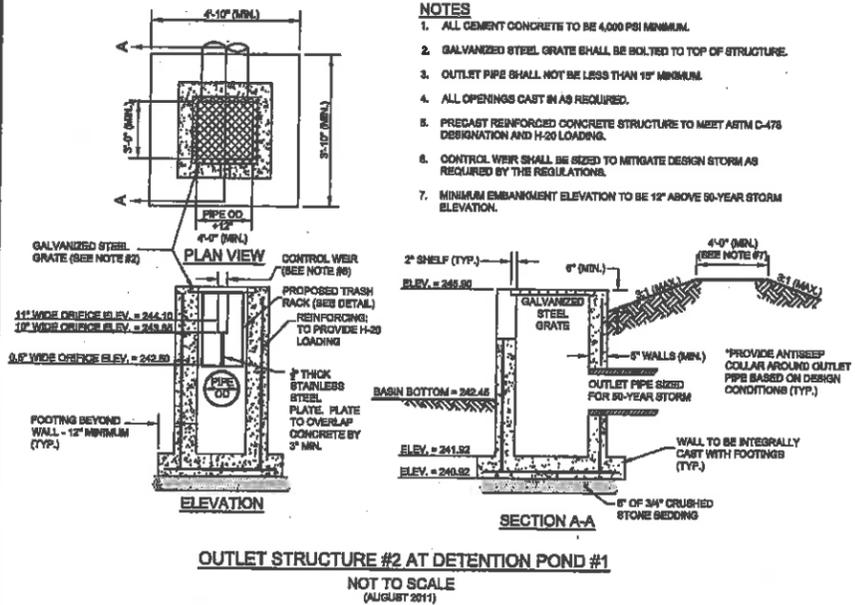
OWNER/APPLICANT:
ROSCOMMON INVESTMENTS, LLC
147 DANIEL WEBSTER HIGHWAY
NASHUA, NH 03060
(603) 888-5050

KM REACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 20, Bedford, NH 03110 Phone (603) 637-8841

PAUL CHISHOLM
No. 19078
LICENSED PROFESSIONAL ENGINEER

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: JUNE 22, 2020 SCALE: AS NOTED
PROJECT NO: 17-1011-1 SHEET 12 OF 17



OUTLET STRUCTURE #2 AT DETENTION POND #1
NOT TO SCALE
(AUGUST 2011)

MAINTENANCE REQUIREMENTS:

SEDIMENT FOREBAYS:

- INSPECT AT LEAST ANNUALLY;
- CONDUCT PERIODIC MOWING OF EMBANKMENTS (GENERALLY TWO TIMES PER YEAR) TO CONTROL GROWTH OF WOODY VEGETATION ON EMBANKMENTS;
- REMOVE DEBRIS FROM OUTLET STRUCTURES AT LEAST ONCE ANNUALLY;
- REMOVE AND DISPOSE OF ACCUMULATED SEDIMENT BASED ON INSPECTION;
- INSTALL AND MAINTAIN A STAFF GAGE OR OTHER MEASURING DEVICE, TO INDICATE DEPTH OF SEDIMENT ACCUMULATION AND LEVEL AT WHICH CLEAN-OUT IS REQUIRED.

INFILTRATION:

- REMOVAL OF DEBRIS FROM INLET AND OUTLET STRUCTURES;
- REMOVAL OF ACCUMULATED SEDIMENT;
- INSPECTION AND REPAIR OF OUTLET STRUCTURES AND APPURTENANCES;
- INSPECTION OF INFILTRATION COMPONENTS AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.8 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REPAIR/REPLACEMENT CONDUCTED AS WARRANTED BY SUCH INSPECTION;
- INSPECTION OF PRE-TREATMENT MEASURES AT LEAST TWICE ANNUALLY, AND REMOVAL OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY;
- PERIODIC MOWING OF EMBANKMENTS;
- REMOVAL OF WOODY VEGETATION FROM EMBANKMENTS;
- INSPECTION AND REPAIR OF EMBANKMENTS AND SPILLWAYS;
- IF AN INFILTRATION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE INFILTRATION FUNCTION, INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE INFILTRATION TRENCH.

DETENTION POND:

- THE BOTTOMS, INTERIOR AND EXTERIOR SIDE SLOPES AND CREST OF EARTHEN DETENTION BASINS SHOULD BE MOWED, AND THE VEGETATION MAINTAINED IN HEALTHY CONDITION, AS APPROPRIATE TO THE FUNCTION OF THE FACILITY AND TYPE OF VEGETATION.
- VEGETATED EMBANKMENTS THAT SERVE AS "BERMS" OR "DAMS" THAT IMPOUND WATER SHOULD BE MOWED AT LEAST ONCE ANNUALLY TO PREVENT THE ESTABLISHMENT OF WOODY VEGETATION.
- INLET AND OUTLET PIPES, INLET AND OUTLET STRUCTURES, ENERGY DISSIPATION STRUCTURES OR PRACTICES AND OTHER STRUCTURAL APPURTENANCES SHOULD BE INSPECTED AT LEAST ANNUALLY BY A QUALIFIED PROFESSIONAL AND CORRECTIVE ACTION IMPLEMENTED (EG, MAINTENANCE, REPAIRS OR REPLACEMENT) AS INDICATED BY SUCH INSPECTION;
- TRASH AND DEBRIS SHOULD BE REMOVED FROM THE BASIN AND ANY INLET OR OUTLET STRUCTURES WHENEVER OBSERVED BY INSPECTION;
- ACCUMULATED SEDIMENT SHOULD BE REMOVED WHEN IT SIGNIFICANTLY AFFECTS BASIN CAPACITY.

SUBSURFACE:

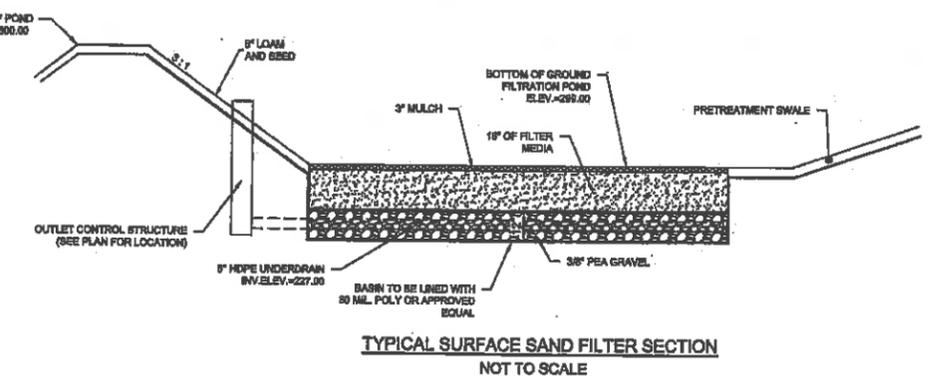
- INSPECT SUB-SURFACE CHAMBER OR PIPE SYSTEM TWO (2) TIMES PER YEAR (PREFERABLY IN SPRING AND FALL) VIA THE INSPECTION PORTS, CLEANOUTS OR OTHER ACCESS STRUCTURE. CLEAN SYSTEM PER MANUFACTURER'S RECOMMENDATIONS. INSPECT OUTLET CONTROL STRUCTURES TO ENSURE THEY ARE IN GOOD WORKING ORDER AND ARE UNOBSTRUCTED FROM TRASH AND DEBRIS. REMOVE AND DISPOSE OF ANY SEDIMENTS OR DEBRIS.

ISOLATOR ROW:

- INSPECT ALL UPSTREAM PRE-TREATMENT MEASURES FOR SEDIMENT AND FLOATABLE ACCUMULATION. REMOVE AND DISPOSE OF SEDIMENTS OR DEBRIS AS NEEDED. INSPECT ISOLATOR ROW ON A SEMI-ANNUAL BASIS BY USING INSPECTION PORT AND/OR ACCESS STRUCTURE. REMOVE SEDIMENT AS NEEDED WHEN AVERAGE DEPTHS REACH 1" PER THE MANUFACTURER'S RECOMMENDATION.

SWALE:

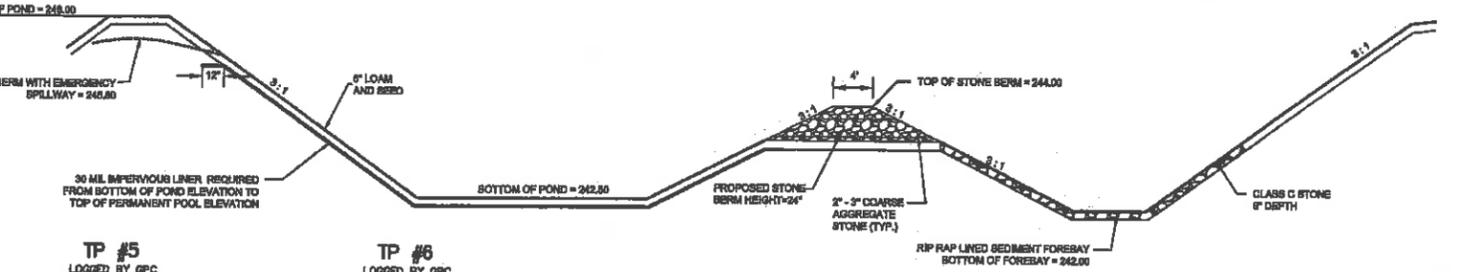
- INSPECT AT LEAST TWICE ANNUALLY
- CONDUCT PERIODIC MOWING OF EMBANKMENTS (GENERALLY TWO TIMES PER YEAR) TO CONTROL GROWTH OF WOODY VEGETATION ON EMBANKMENTS;
- REMOVE TRASH AND DEBRIS AT LEAST EACH INSPECTION;
- REMOVE AND DISPOSE OF ACCUMULATED SEDIMENT BASED ON INSPECTION;



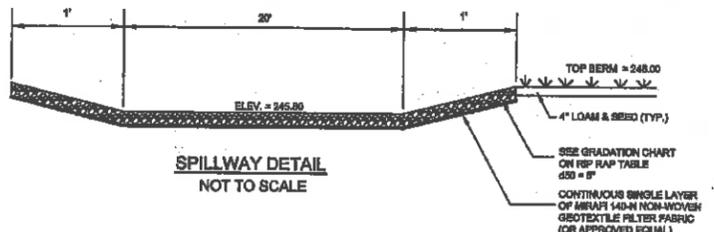
TYPICAL SURFACE SAND FILTER SECTION
NOT TO SCALE

CONSTRUCTION PRACTICE REQUIREMENTS:

- STORMWATER PONDS, INFILTRATION BASINS, AND SWALES MUST BE INSTALLED BEFORE ROUGH GRADING TO SITE.
- RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER SWIPS ARE STABILIZED.
- STORMWATER PONDS, INFILTRATION BASINS, AND SWALES MUST BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATION WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.



TYPICAL DETENTION POND SECTION
NOT TO SCALE



SPILLWAY DETAIL
NOT TO SCALE

TP #1
LOGGED BY GPC
PERC TEST @ 20"
DATE: 4-22-2020
PERC RATE: 8 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: 40"

0"	SANDY, STONE FILL
40" E.S.H.W.T.	2.5Y 6/4, FIRM, LOAMY SAND, W/ REDOX FEATURES
84" BOTTOM OF HOLE	

TP #2
LOGGED BY GPC
PERC TEST @ 20"
DATE: 4-22-2020
PERC RATE: 8 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: 26"

0"	FILL/TOPSOIL
10"	10YR 5/4, GRANULAR, FRIBLE LOAMY SAND, MASSIVE, COBBLES, ROOTS
26" E.S.H.W.T.	10YR 7/3, SAND, SINGLE GRAIN REDOX FEATURES
68" BOTTOM OF HOLE	

TP #3
LOGGED BY GPC
PERC TEST @ 20"
DATE: 4-22-2020
PERC RATE: 8 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: 36"

0"	SANDY, STONE FILL
36" E.S.H.W.T.	10YR 7/3, SAND, SINGLE GRAIN REDOX FEATURES
76" BOTTOM OF HOLE	

TP #4
LOGGED BY GPC
PERC TEST @ 20"
DATE: 4-22-2020
PERC RATE: 8 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: 35"

0"	SANDY, STONE FILL
35" E.S.H.W.T.	10YR 7/3, SAND, FIRM, FLATY REDOX FEATURES
85" BOTTOM OF HOLE	

TP #5
LOGGED BY GPC
PERC TEST @ 20"
DATE: 4-22-2020
PERC RATE: 8 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

0"	FILL/TOPSOIL
8" E.S.H.W.T.	SAND FILL STONES
88" BOTTOM OF HOLE	

TP #6
LOGGED BY GPC
PERC TEST @ 20"
DATE: 4-22-2020
PERC RATE: 8 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: 48"

0"	TOPSOIL
4"	7.5Y 4/4, GRANULAR, FRIBLE SANDY LOAM, MASSIVE, COBBLES, ROOTS
28" E.S.H.W.T.	10YR 7/3, SAND, SINGLE GRAIN REDOX FEATURES
88" BOTTOM OF HOLE	

TP #7
LOGGED BY GPC
PERC TEST @ 20"
DATE: 8-15-2020
PERC RATE: 8 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

0"	FILL/TOPSOIL
8" E.S.H.W.T.	10YR 6/3, GRANULAR, FRIBLE SILTY SAND, MASSIVE, REDOX FEATURES
48" E.S.H.W.T.	10YR 5/4, SAND, FLATY, REDOX FEATURES
80" BOTTOM OF HOLE	

TP #8
LOGGED BY GPC
PERC TEST @ 20"
DATE: 8-15-2020
PERC RATE: 8 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: 76"

0"	FILL/TOPSOIL
16"	10YR 4/6, GRANULAR, FRIBLE LOAMY SAND, MASSIVE, FEW ROOTS
32" E.S.H.W.T.	10YR 5/4, LOAMY SAND, MASSIVE, REDOX FEATURES, FEW ROOTS
80" BOTTOM OF HOLE	10YR 7/6, SILTY SAND, BLOCKY, REDOX FEATURES

TP #9
LOGGED BY GPC
PERC TEST @ 20"
DATE: 8-15-2020
PERC RATE: 8 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

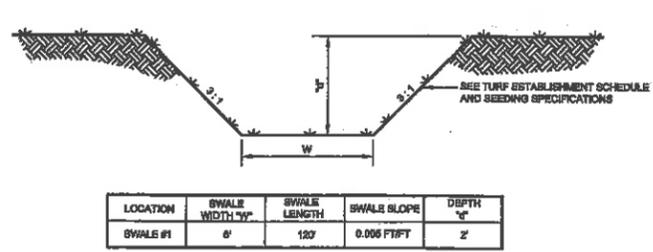
0"	FILL/TOPSOIL
20"	10YR 2/2, GRANULAR, FRIBLE LOAMY SAND, MASSIVE, FEW ROOTS
28" E.S.H.W.T.	10YR 5/6, LOAMY SAND, MASSIVE, REDOX FEATURES, FEW ROOTS
48" E.S.H.W.T.	10YR 7/6, SILTY SAND, BLOCKY, REDOX FEATURES
80" BOTTOM OF HOLE	

TP #10
LOGGED BY GPC
PERC TEST @ 20"
DATE: 8-15-2020
PERC RATE: 8 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: 32"

0"	FILL/TOPSOIL
18" E.S.H.W.T.	10YR 4/4, GRANULAR SAND, BLOCKY, FEW ROOTS
32" E.S.H.W.T.	10YR 7/6, SILTY SAND, BLOCKY, REDOX FEATURES
48" BOTTOM OF HOLE	

TP #11
LOGGED BY GPC
PERC TEST @ 20"
DATE: 8-15-2020
PERC RATE: 8 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

0"	FILL/TOPSOIL
20"	10YR 4/6, GRANULAR, FRIBLE GRAVELLY SAND, MASSIVE, FEW ROOTS
48" E.S.H.W.T.	10YR 5/6, GRANULAR, FRIBLE SANDY LOAM, MASSIVE
80" BOTTOM OF HOLE	



MAINTENANCE

- THE SWALE SHOULD BE INSPECTED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE THE CONDITION OF THE SWALE. RILLS AND DAMAGED AREAS SHOULD BE PROMPTLY REPAIRED AND RE-VEGETATED AS NECESSARY TO PREVENT FURTHER DETRIORATION.

TREATMENT SWALE DETAIL
NOT TO SCALE
(MARCH 2008)

CONSTRUCTION DETAILS
AUTO BODY SHOP
MAP 128 LOTS 31, 32 & 84
MAP 132 LOTS 38 & 84
WEST GLENWOOD STREET
NASHUA, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

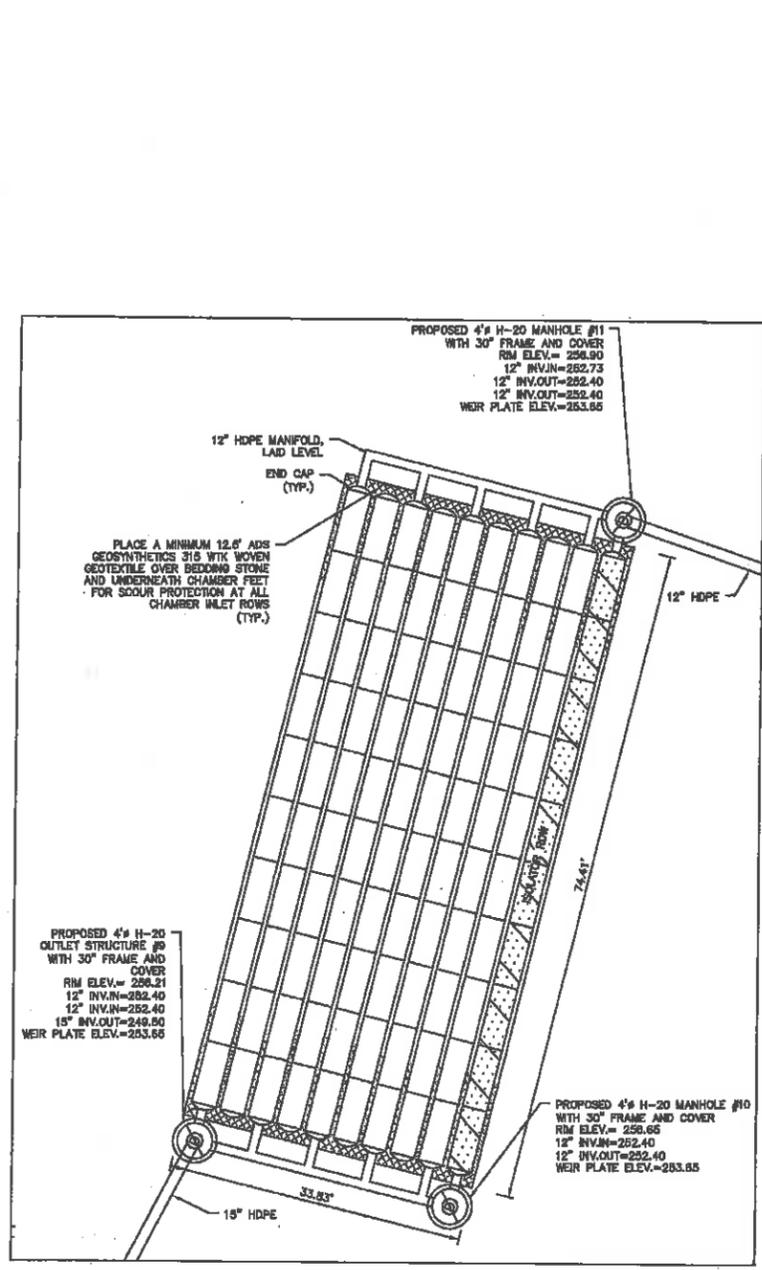
OWNER/APPLICANT:
ROSCOMMON INVESTMENTS, LLC
147 DANIEL WEBSTER HIGHWAY
NASHUA, NH 03080
(603) 888-5050

KM KEACH-NORSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 20, Bedford, NH 03110 Phone (603) 627-8861

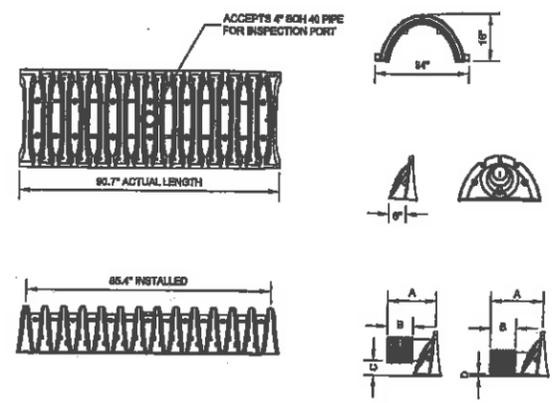
REVISIONS

No.	DATE	DESCRIPTION	BY

DATE: JUNE 22, 2020 SCALE: AS NOTED
PROJECT NO: 17-1011-1 SHEET 13 OF 17



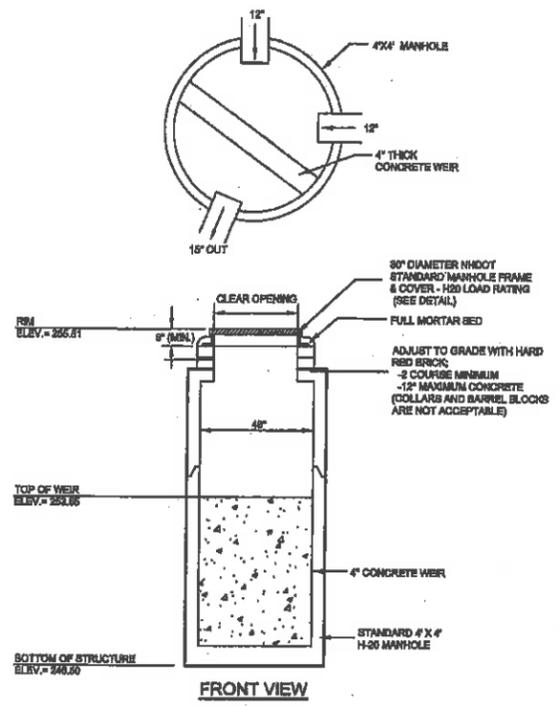
STORMTECH SC-310 CHAMBER SYSTEM
SCALE 1" = 10'



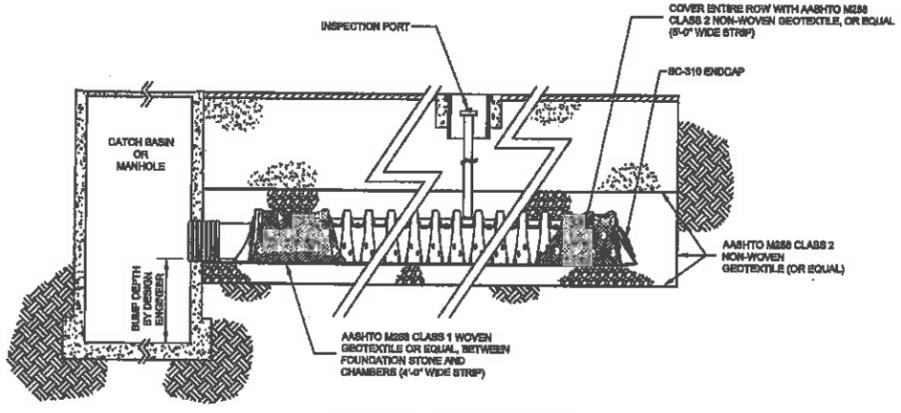
NOMINAL CHAMBER SPECIFICATIONS
(SIZE WITH INSTALLED LENGTH)
CHAMBER STORAGE
MINIMUM INSTALLED STORAGE
WEIGHT

PIPE SIZE	A	B	C	D
6 in (150 mm)	9.80 in (244 mm)	3.85 in (96 mm)	5.80 in (147 mm)	N/A
8 in (200 mm)	9.80 in (244 mm)	3.85 in (96 mm)	N/A	6.80 in (170 mm)
12 in (300 mm)	13.50 in (343 mm)	7.70 in (196 mm)	N/A	12.80 in (325 mm)

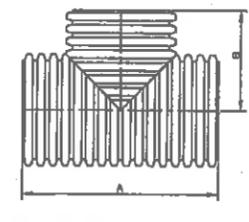
SC-310 TECHNICAL SPECIFICATIONS
NOT TO SCALE
(OCTOBER 2012)



OUTLET STRUCTURE #9
NOT TO SCALE

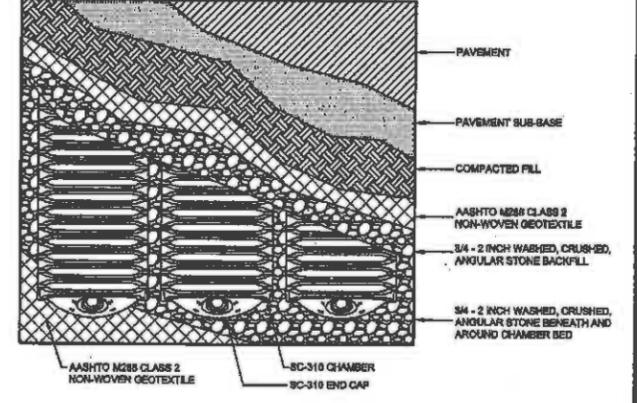


SC-310 ISOLATOR ROW PROFILE
NOT TO SCALE
(OCTOBER 2012)

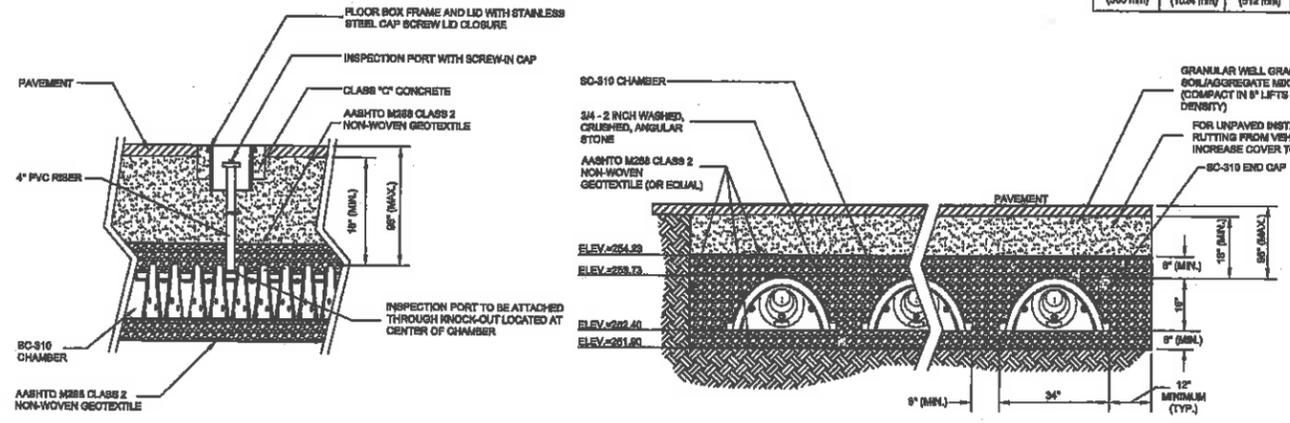


SC-310 SINGLE MANIFOLD
NOT TO SCALE
(OCTOBER 2012)

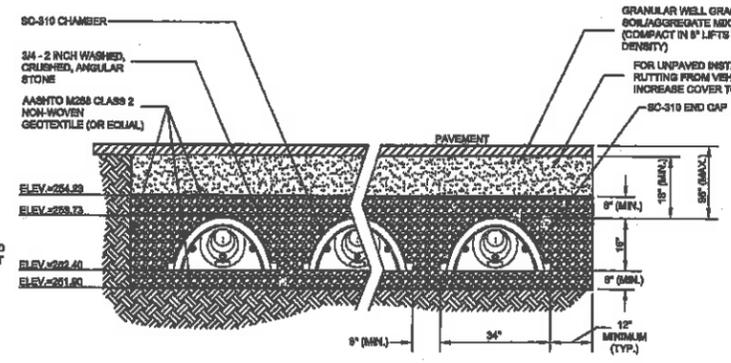
PIPE SIZE	A	B
6" (150 mm)	39.27" (997 mm)	19.84" (499 mm)
8" (200 mm)	39.30" (1000 mm)	19.81" (500 mm)
10" (250 mm)	39.08" (992 mm)	19.53" (496 mm)
12" (300 mm)	40.32" (1024 mm)	20.18" (512 mm)



SC-310 CHAMBER SYSTEM PLAN VIEW DETAIL
NOT TO SCALE
(OCTOBER 2012)



SC-310 INSPECTION PORT
NOT TO SCALE
(OCTOBER 2012)



SC-310 CROSS SECTION
NOT TO SCALE
(OCTOBER 2012)

STORMTECH GENERAL NOTES:

- INSTALLING CONTRACTORS ARE REQUIRED TO USE AND UNDERSTAND STORMTECH'S LATEST INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING SYSTEM INSTALLATION.
- OUR TECHNICAL SERVICES DEPARTMENT OFFERS INSTALLATION CONSULTATIONS TO INSTALLING CONTRACTORS. CONTACT OUR TECHNICAL SERVICES REPRESENTATIVE AT LEAST 30 DAYS PRIOR TO SYSTEM INSTALLATION TO ARRANGE A PRE-INSTALLATION CONSULTATION. OUR REPRESENTATIVES CAN THEN ANSWER QUESTIONS OR ADDRESS COMMENTS ON THE STORMTECH CHAMBER SYSTEM AND INFORM THE INSTALLING CONTRACTOR OF THE MINIMUM INSTALLATION REQUIREMENTS BEFORE BEGINNING THE SYSTEM'S CONSTRUCTION. CALL 1-888-882-2884 TO SPEAK TO A TECHNICAL SERVICE REPRESENTATIVE OR VISIT WWW.ADS-PEFT.COM TO RECEIVE A COPY OF OUR INSTALLATION INSTRUCTIONS.
- STORMTECH'S REQUIREMENTS FOR SYSTEMS WITH PAVEMENT DESIGN (ASPHALT, CONCRETE PAVEMENT, ETC.): MINIMUM COVER IS 18 INCHES NOT INCLUDING PAVEMENT; MAXIMUM COVER IS 98 INCHES INCLUDING PAVEMENT. FOR INSTALLATIONS THAT DO NOT INCLUDE PAVEMENT, WHERE RUTTING FROM VEHICLES MAY OCCUR, MINIMUM REQUIRED COVER IS 24 INCHES, MAXIMUM COVER IS 98 INCHES.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE DESIGN ENGINEER.
- AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE (FILTER FABRIC) MUST BE USED AS INDICATED IN THE PROJECT PLANS.
- STONE PLACEMENT BETWEEN CHAMBERS ROWS AND AROUND PERIMETER MUST FOLLOW INSTRUCTIONS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.
- BACKFILLING OVER THE CHAMBERS MUST FOLLOW REQUIREMENTS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.
- THE CONTRACTOR MUST REFER TO STORMTECH'S INSTALLATION INSTRUCTIONS FOR A TABLE OF ACCEPTABLE VEHICLE LOADS AT VARIOUS DEPTHS OF COVER. THIS INFORMATION IS ALSO AVAILABLE AT STORMTECH'S WEBSITE: WWW.ADS-PEFT.COM. THE CONTRACTOR IS RESPONSIBLE FOR PREVENTING VEHICLES THAT EXCEED STORMTECH'S REQUIREMENTS FROM TRAVELING ACROSS OR PARKING OVER THE STORMWATER SYSTEM. TEMPORARY FENCING, WARNING TAPE, AND APPROPRIATELY LOCATED SIGNS ARE COMMONLY USED TO PREVENT UNAUTHORIZED VEHICLES FROM ENTERING SENSITIVE CONSTRUCTION AREAS.
- THE CONTRACTOR MUST APPLY EROSION AND SEDIMENT CONTROL MEASURES TO PROTECT THE STORMWATER SYSTEM DURING ALL PHASES OF SITE CONSTRUCTION PER LOCAL CODES AND DESIGN ENGINEER'S SPECIFICATIONS.
- STORMTECH PRODUCT WARRANTY IS LIMITED. SEE CURRENT PRODUCT WARRANTY FOR DETAILS. TO ACQUIRE A COPY CALL STORMTECH AT 1-888-882-2884 OR VISIT WWW.ADS-PEFT.COM.

CONSTRUCTION DETAILS
AUTO BODY SHOP
MAP 128 LOTS 31, 32 & 84
MAP 132 LOTS 38 & 84
WEST GLENWOOD STREET
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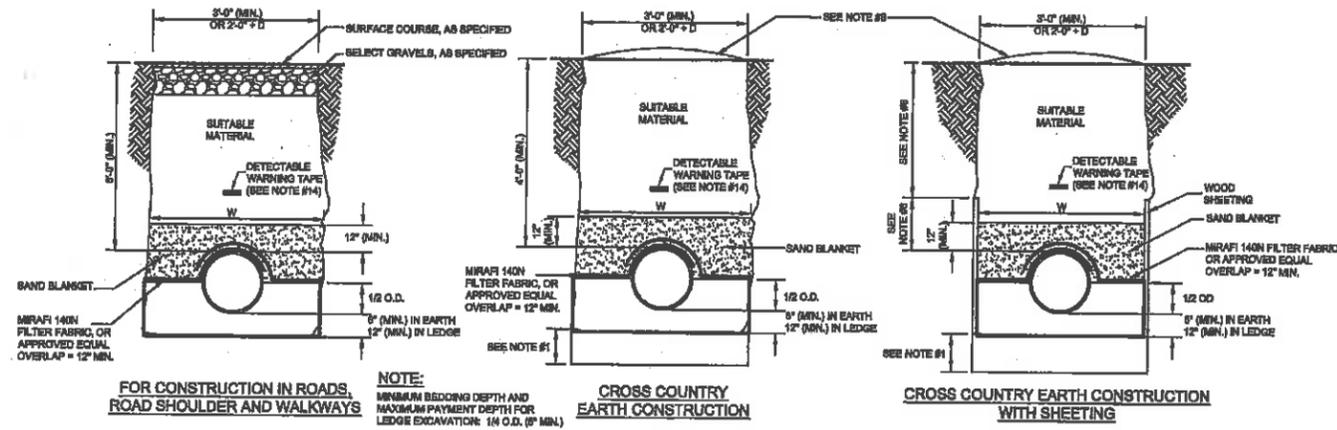
OWNER/APPLICANT:
ROSCOMMON INVESTMENTS, LLC
147 DANIEL WEBSTER HIGHWAY
NASHUA, NH 03060
(603) 888-5050

KM
KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 88, Bedford, NH 03110 Phone (603) 687-2881



REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: JUNE 22, 2020 SCALE: AS NOTED
PROJECT NO: 17-1011-1 SHEET 14 OF 17



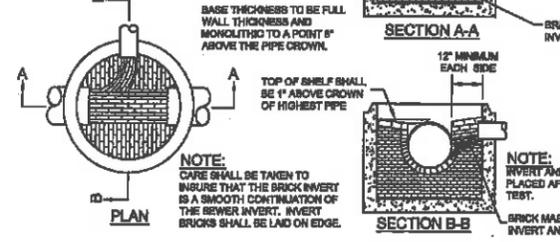
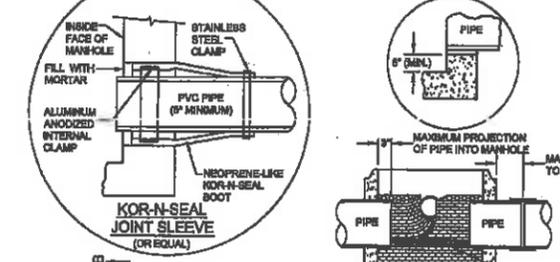
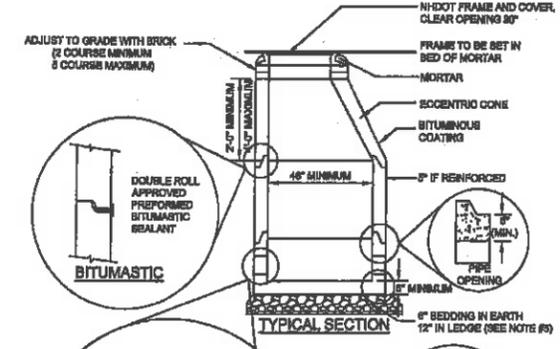
SANITARY SEWER TRENCH DETAIL
NOT TO SCALE
(NOVEMBER 2016)

NOTES:

- ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE. REFILL WITH BEDDING MATERIAL. ALSO SEE NOTE #7.
BEDDING: CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33/CSM STONE SIZE NO. 57.
100% PASSING 1 INCH SCREEN
90 - 100% PASSING 3/8 INCH SCREEN
20 - 35% PASSING 3/16 INCH SCREEN
0 - 10% PASSING #4 SIEVE
0 - 0% PASSING #8 SIEVE
WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, GRADED CRUSHED STONE 1/2 INCH TO 1-1/2 INCHES SHALL BE USED.
- SAND BLANKET: GRADED CLEAN SAND FREE FROM ORGANIC MATTER, SO THAT 100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 10% WILL PASS A # 200 SIEVE. BLANKET MAY BE OMITTED FOR CAST IRON, DUCTILE IRON AND REINFORCED CONCRETE PIPE PROVIDED, HOWEVER, THAT NO STONE LARGER THAN 2 INCHES IS IN CONTACT WITH THE PIPE.
- MIRAFI 140N FILTER FABRIC, OR APPROVED EQUAL, SHALL BE INSTALLED ABOVE PIPE.
- SUITABLE MATERIAL: IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL AND ALL ROCKS OVER 8 INCHES IN LARGEST DIMENSION, OR ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION.
IN CROSS COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT IF HE/she IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE SEWER WILL BE PROVIDED FOR MAINTENANCE AND POSSIBLY RECONSTRUCTION, WHEN NECESSARY.

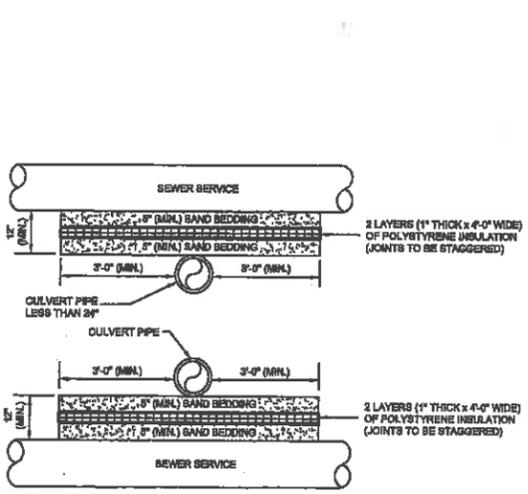
- BASE COURSE, IF ORDERED BY THE ENGINEER, SHALL MEET THE REQUIREMENTS OF DIVISION 300 OF THE LATEST EDITION OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF NEW HAMPSHIRE, DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS."
- WOOD SHEETING, IF REQUIRED, WHERE PLACED ALONGSIDE THE PIPE AND EXTENDING BELOW MID-DIAMETER, SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
- W = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 18 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 18 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D. W SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
- FOR CROSS COUNTRY CONSTRUCTION, BACKFILL OR FILL SHALL BE MOVED TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES DESIGN STANDARDS REQUIRE 10 FEET OF SEPARATION BETWEEN WATER AND SEWER. HOWEVER, SHOULD CONSTRUCTION REVEAL OR EXPOSE A WATERLINE (MAIN OR SERVICE) RUNNING APPROXIMATELY PARALLEL AND LESS THAN 10 FEET HORIZONTALLY FROM THE PROPOSED SEWER INSTALLATION AND WHERE IT IS NOT PRACTICAL TO RELOCATE THE SEWER, A DEVIATION MAY BE GRANTED PROVIDED THAT THE SEWER IS CONSTRUCTED IN ACCORDANCE WITH THE FORCE MAIN CONSTRUCTION REQUIREMENT SPECIFIED BELOW:
A. FORCE MAINS SHALL BE CONSTRUCTED FROM DUCTILE IRON, HIGH DENSITY POLYETHYLENE, OR PVC PER ASTM D2240-05.
B. PVC SHALL CONFORM TO ASTM D2240-05 OR ASTM D1785-05.
C. HDPE SHALL CONFORM TO ASTM D2638-05.
D. SHALL BE CORROSION PROTECTED IN CORROSIVE ENVIRONMENTS.

- WHERE WATER LINES AND SEWER LINES CROSS, THEY SHOULD CROSS AS PERPENDICULAR AS POSSIBLE AND THE WATER MAIN SHALL CROSS AT LEAST 18" INCHES ABOVE THE SEWER. FURTHER, THE SEWER JOINTS SHALL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATER MAIN.
- ALL SEWERS AT 8 PERCENT SLOPE OR GREATER, SHALL HAVE IMPROVED TRENCH DRAIN CONSTRUCTION EVERY 50 FEET.
- UNLESS OTHERWISE NOTED, ALL GRANULAR MATERIAL SHALL BE PLACED IN 12" LIFTS AND COMPACTED TO 98% OF THE MODIFIED PROCTOR TEST.
- WHERE WATER MAINS CROSS UNDER SEWER MAINS, BOTH THE SEWER AND WATER MAINS SHALL BE PRESSURE RATED PIPE PER ENH-400 T.M. AND TESTED PER ASTM C900-05 AT 1.5 TIMES DESIGN PRESSURE OR 100 PSI, WHICHEVER IS GREATER, WITH NO JOINTS WITHIN 6 FEET OF THE CROSSING POINT AND 18" MINIMUM VERTICAL SEPARATION.
- ALL SEWERS SHALL BE MARKED USING METAL APPROPRIATED MARKING TAPE OR TRACER WIRE THAT CAN BE LOCATED USING METAL DETECTION EQUIPMENT.
- GRAVITY PIPE SEWER TESTING:
A. ALL NEW GRAVITY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY THE USE OF "LOW-PRESSURE AIR TESTS."
B. LOW-PRESSURE AIR TESTING SHALL BE IN CONFORMANCE WITH:
1. ASTM F1417-22(2005) "STANDARD TEST METHOD FOR INSTALLATION ACCEPTANCE OF PLASTIC GRAVITY SEWER LINES USING LOW-PRESSURE AIR" OR
2. UN-SEAL PVC PIPE ASSOCIATION UNI-8-A, "LOW-PRESSURE AIR TESTING OF INSTALLED SEWER PIPE" (1998).
C. ALL NEW GRAVITY SEWERS SHALL BE CLEANED AND VISUALLY INSPECTED USING A LAMP TEST AND BY INTRODUCING WATER TO DETERMINE THAT THERE IS NO STANDING WATER IN THE SEWER AND SHALL BE TRUE TO LINE AND GRADE FOLLOWING INSTALLATION AND PRIOR TO USE.
D. ALL PLASTIC SEWER PIPE SHALL BE DEFLECTION TESTED NOT LESS THAN 30 DAYS NOR MORE THAN 90 DAYS FOLLOWING INSTALLATION.
E. THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 5 PERCENT OF AVERAGE INSIDE DIAMETER. A RIGID Ductile Iron or Manhole with a DIAMETER OF AT LEAST 36 PERCENT OF THE AVERAGE INSIDE PIPE DIAMETER SHALL BE USED FOR TESTING PIPE DEFLECTION. THE DEFLECTION TEST SHALL BE CONDUCTED WITHOUT MECHANICAL PULLING DEVICES.

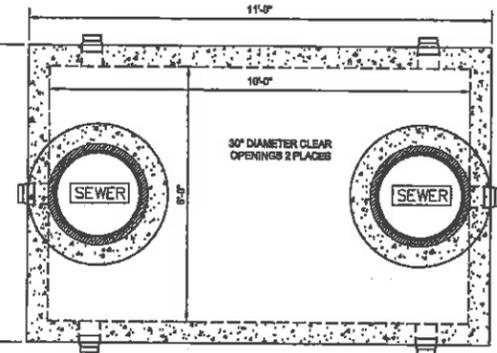


SANITARY SEWER MANHOLE

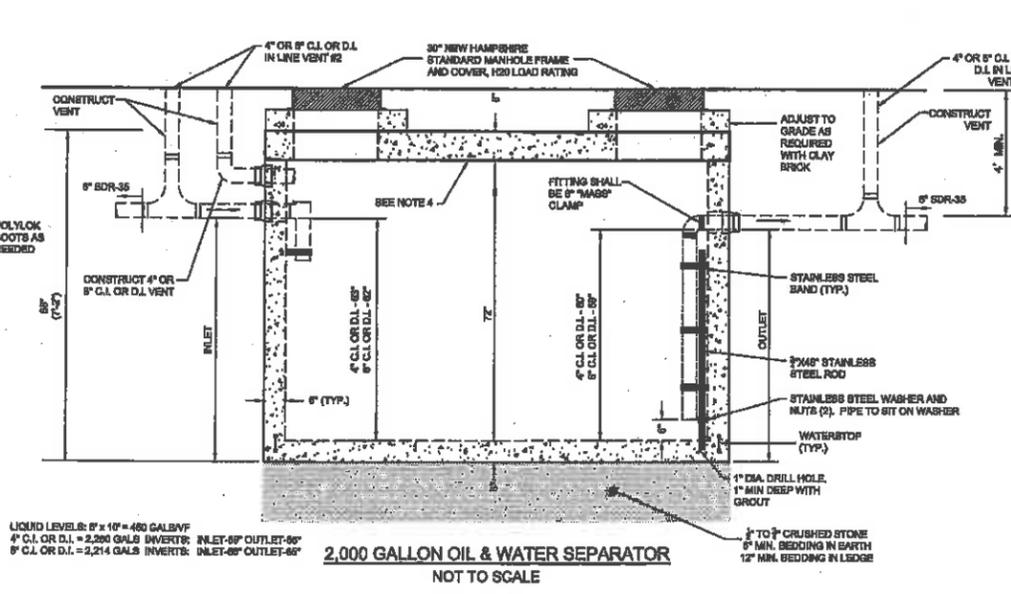
- NOTES: (NHDES ENV WQ700 - 2015)**
- ALL COMPONENT PARTS OF MANHOLE STRUCTURES SHALL HAVE THE STRENGTH, LEAK RESISTANCE AND GRADE NECESSARY FOR THE INTENDED SERVICE.
 - MANHOLE STRUCTURES SHALL HAVE A LIFE EXPECTANCY IN EXCESS OF 25 YEARS.
 - MANHOLE STRUCTURES SHALL BE DESIGNED TO WITHSTAND H-30 LOADING AND SHALL NOT LEAK IN EXCESS OF ONE GPD PER VERTICAL FOOT OF MANHOLE FOR THE LIFE OF THE STRUCTURE.
 - BARRELS, CONCRETE GRADE RINGS AND COLE SECTIONS SHALL BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE AND SHALL CONFORM TO ASTM C913.
 - BEDDING: CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33 WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE, CRUSHED STONE 1/2 INCH TO 1-1/2 INCH SHALL BE USED.
 - BASE SECTIONS SHALL BE OF MONOLITHIC CONSTRUCTION TO A POINT AT LEAST 6 INCHES ABOVE THE CROWN OF THE INVERTING PIPE.
 - HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF AN OVERLAPPING TYPE, SEALED FOR WATER-TIGHTNESS USING A DOUBLE ROW OF AN ELASTOMERIC OR MASTIC-LIKE SEALANT.
 - PIPE TO MANHOLE JOINTS SHALL BE AS FOLLOWS:
A. ELASTOMERIC RUBBER SLEEVE WITH WATER-TIGHT JOINTS AT THE MANHOLE OPENING AND PIPE SURFACES.
B. CAST INTO THE WALL OR SECURED WITH STAINLESS STEEL CLAMPS.
C. ELASTOMERIC SEALING RING CAST IN THE MANHOLE OPENING WITH SEAL FORMED ON THE SURFACE OF THE PIPE BY COMPRESSION OF THE RING; AND
D. NON-SHRINK GROUTED JOINTS WHERE WATER-TIGHT BONDING TO THE MANHOLE AND PIPE CAN BE OBTAINED.
 - MANHOLE COLE SECTIONS SHALL BE ECCENTRIC IN SHAPE.
 - ALL PRECAST SECTIONS AND BASES SHALL HAVE THE DATE OF MANUFACTURE AND THE NAME OR TRADEMARK OF THE MANUFACTURER IMPRESSED OR RELIABLY MARKED ON THE INSIDE WALL.
 - ALL PRECAST SECTIONS AND BASES SHALL BE COATED ON THE EXTERIOR WITH A STAINLESS DAMP-PROOFING COATING.
 - MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW. AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAD OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE FOR THE SIZE OF THE SEWER PIPE. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPED TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY. INVERTS AND SHELVES SHALL BE PLACED AFTER TESTING.
 - MATERIALS OF CONSTRUCTION FOR MANHOLES SHALL BE AS FOLLOWS:
A. CONCRETE FOR PRECAST BASES OR GRADE RINGS SHALL CONFORM TO THE REQUIREMENTS FOR CLASS AA CONCRETE IN THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION."
B. REINFORCING FOR PRECAST SHALL BE STRUCTURAL STEEL BARS THAT CONFORM TO THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION."
C. PRECAST CONCRETE BARREL SECTIONS, COLES AND BASES SHALL BE CERTIFIED BY THEIR MANUFACTURER AS CONFORMING TO ASTM C913.
D. THE MANHOLE FRAME AND COVER SHALL PROVIDE A 30-INCH DIAMETER CLEAR OPENING. THE MANHOLE COVER SHALL HAVE THE WORD "SEWER" IN 3-INCH LETTERS CAST INTO THE TOP SURFACE.
E. THE CASTINGS SHALL BE OF EVEN-GRAINED CAST IRON, SMOOTH AND FREE FROM SCALE, LUMPS, BUSTERS, SAND HOLES AND DEFECTS.
F. CONTACT SURFACES OF COVERS AND FRAMES SHALL BE MACHINED AT THE FOUNDRY TO PREVENT ROUNDOFF OF COVERS IN ANY ORIENTATION.
G. CASTINGS SHALL BE EQUAL TO CLASS 30, BE CERTIFIED BY THEIR MANUFACTURER(S) AS CONFORMING TO ASTM A898.
H. BRICK MASONRY FOR SHELF, INVERT AND GRADE ADJUSTMENT SHALL BE CERTIFIED BY THEIR MANUFACTURER(S) AS CONFORMING TO ASTM C114, CLAY OR SHALE, FOR GRADES 88 HARD BRICK.
I. MORTAR SHALL BE COMPOSED OF TYPE I PORTLAND CEMENT AND SAND WITH OR WITHOUT HYDRATED LIME ADDITION.
J. PROPORTIONS IN MORTAR OF PARTS BY VOLUMES SHALL BE:
1. 4.5 PARTS SAND AND 1.5 PARTS CEMENT OR
2. 4.5 PARTS SAND, ONE PART CEMENT AND 0.5 PARTS HYDRATED LIME.
K. CEMENT SHALL BE TYPE I PORTLAND CEMENT CONFORMING TO ASTM C150/159M.
L. HYDRATED LIME SHALL BE TYPE S CONFORMING TO THE ASTM C577 "STANDARD SPECIFICATIONS FOR HYDRATED LIME FOR MASONRY PURPOSES."
M. SAND SHALL CONSIST OF INERT NATURAL SAND CONFORMING TO THE ASTM C33 "STANDARD SPECIFICATIONS FOR CONCRETE, FINE AGGREGATES."
N. CONCRETE FOR DROP SUPPORTS SHALL CONFORM TO THE REQUIREMENT FOR CLASS AAA CONCRETE OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION."
O. SUBJECT TO (Q) BELOW, A FLEXIBLE PIPE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES FROM ANY MANHOLE CONNECTION:
1. WITHIN 48 INCHES FOR REINFORCED CONCRETE (RC) PIPE; AND
2. WITHIN 90 INCHES FOR PVC PIPE LARGER THAN 18-INCH DIAMETERS.
P. NO FLEXIBLE JOINT SHALL BE REQUIRED FOR D.I. PIPE OR FOR PVC PIPE UP THROUGH 16-INCH DIAMETER; AND
Q. WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED IN LIEU OF A COLE SECTION, PROVIDED THE SLAB HAS AN ECCENTRIC ENTRANCE OPENING AND IS CAPABLE OF SUPPORTING H-30 LOADS.
 - MANHOLE TESTING:
A. MANHOLES SHALL BE TESTED FOR LEAKAGE USING A VACUUM TEST.
B. THE MANHOLE VACUUM TEST SHALL CONFORM TO THE FOLLOWING:
1. THE INITIAL VACUUM GAUGE TEST PRESSURE SHALL BE 10 INCHES Hg; AND
2. THE MINIMUM ACCEPTABLE TEST HOLD TIME FOR A 1-INCH Hg PRESSURE DROP TO 9 INCH Hg SHALL BE:
a. NOT LESS THAN 2 MINUTES FOR MANHOLES LESS THAN 10 FEET DEEP IN DEPTH;
b. NOT LESS THAN 2.5 MINUTES FOR MANHOLES 10 TO 15 FEET DEEP; AND
c. NOT LESS THAN 3 MINUTES FOR MANHOLES MORE THAN 15 FEET DEEP.
3. THE MANHOLE SHALL BE REPAIRED AND RETESTED IF THE TEST HOLD TIMES FAIL TO ACHIEVE THE ACCEPTANCE LIMITS SPECIFIED IN (B) ABOVE.
C. FOLLOWING COMPLETION OF THE LEAKAGE TEST, THE FRAME AND COVER SHALL BE PLACED ON THE TOP OF THE MANHOLE OR SOME OTHER MEANS USED TO PREVENT ACCIDENTAL ENTRY BY UNAUTHORIZED PERSONS, CHILDREN OR ANIMALS UNTIL THE CONTRACTOR IS READY TO MAKE FINAL ADJUSTMENTS TO GRADE.



SEWER PIPE CROSSING INSULATION DETAIL
NOT TO SCALE
(JUNE 2012)



- OIL & WATER SEPARATOR NOTES:**
- STEEL REINFORCEMENT CONFORMS TO LATEST ASTM SPECIFICATIONS; ASTM-A915 GRADE 60 REBAR.
 - CONCRETE: FC = 4,000 PSI @ 28 DAYS MINIMUM.
 - FLEXIBLE BELLWEEPS PROVIDED ON ALL PIPE CONNECTIONS.
 - BUTYL RUBBER JOINT SEALANT PROVIDED.
 - INTERNAL PVC SADDLES AVAILABLE UPON REQUEST.
 - INLET SHALL PENETRATE AT LEAST 9" BELOW THE LIQUID LEVEL, BUT NOT DEEPER THAN THE OUTLET BARFLE.
 - OUTLET SHALL EXTEND BELOW THE SURFACE OF THE LIQUID TO 6" FROM THE FLOOR. (ENV. WQ 1012.02)
 - DESIGN LOADING: AASHTO-H20-44, ASTM C-330-06.
 - DESIGN SPECIFIED AS: ASTM C-2227-08, ASTM C-913-08.
 - STEPS ARE NOT ALLOWED.
 - TWO INLINE VENTS MAY BE MERGED INTO SINGLE RISER.



2,000 GALLON OIL & WATER SEPARATOR
NOT TO SCALE

CONSTRUCTION DETAILS
AUTO BODY SHOP
MAP 128 LOTS 31, 32 & 84
MAP 132 LOTS 38 & 84
WEST GLENWOOD STREET
NASHUA, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

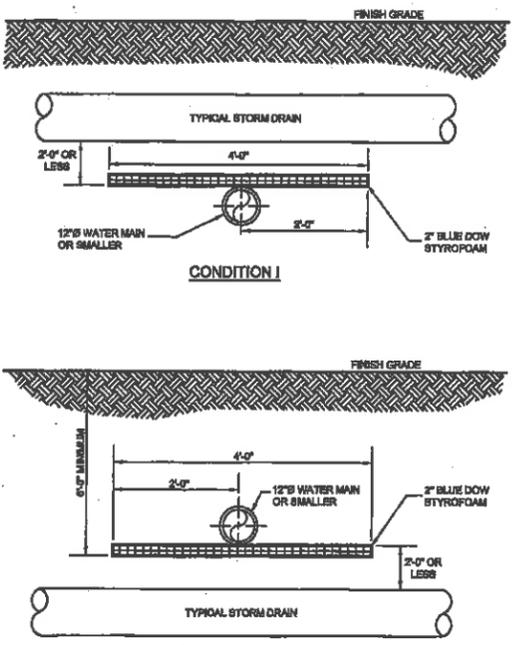
OWNER/APPLICANT:
ROSCOMMON INVESTMENTS, LLC
147 DANIEL WEBSTER HIGHWAY
NASHUA, NH 03080
(603) 888-5050

KM KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 20, Bedford, NH 03110 Phone (603) 887-8881

PAUL CHESTNUT
No. 15076
LICENSED PROFESSIONAL ENGINEER

REVISIONS			
No.	DATE	DESCRIPTION	BY

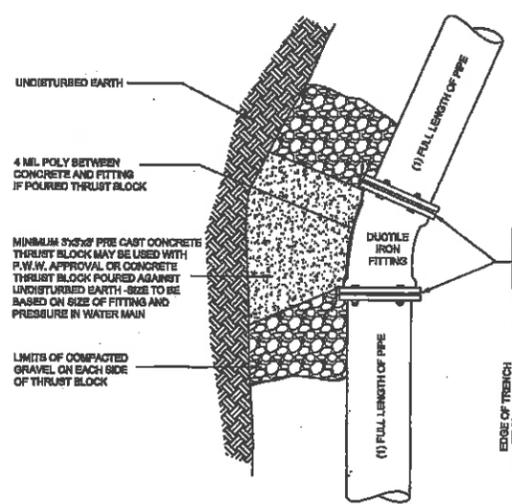
DATE: JUNE 22, 2020
PROJECT NO: 17-1011-1
SCALE: AS NOTED
SHEET 15 OF 17



NOTES:

1. PENNICHUCK WATER WORKS, INC. RESERVES THE RIGHT TO MODIFY INSULATION REQUIREMENTS AS NECESSARY BASED ON FIELD CONDITIONS, ETC.
2. THE LENGTH OR WIDTH OF INSULATION SHALL EXTEND 1 STORM DRAIN PIPE DIAMETER BEYOND THE EDGE OF STORM DRAIN PIPE IN EACH DIRECTION OR A MINIMUM OF 2' BEYOND THE CENTERLINE OF THE STORM DRAIN PIPE, WHICHEVER IS GREATER.
3. ALL BUTT JOINT BEAMS TO BE OVERLAPPED WITH A 1' PIECE OF INSULATION CENTERED OVER BEAM.

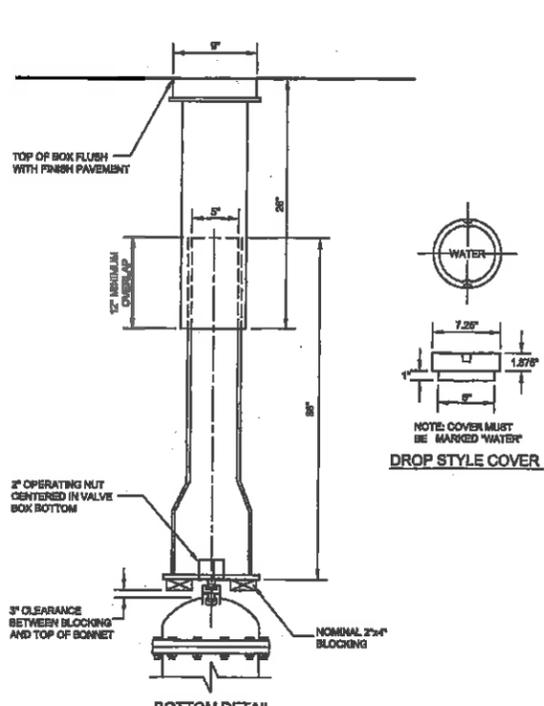
STORM DRAIN/WATER MAIN INTERSECTION RUNS - ELEVATION VIEW (A-18) NOT TO SCALE



NOTES:

1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO PENNICHUCK WATER WORKS, INC. TECHNICAL SPECIFICATIONS.
2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.
3. 3/4" S.S. RODS SHALL BE USED IN CONJUNCTION WITH REQUIRED S.S. NUTS. RODS ARE TO BE ATTACHED TO FITTINGS WITH EITHER STAR BOLTS OR D.U.G. LUGS. 10" FITTING OR SMALLER = (3) 3/4" S.S. RODS & ASSOCIATED HARDWARE. 12" FITTING OR LARGER = (4) 3/4" S.S. RODS & ASSOCIATED HARDWARE.
4. MIN 2 1/2 x 2" PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH PENNICHUCK WATER WORKS, INC. APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN.

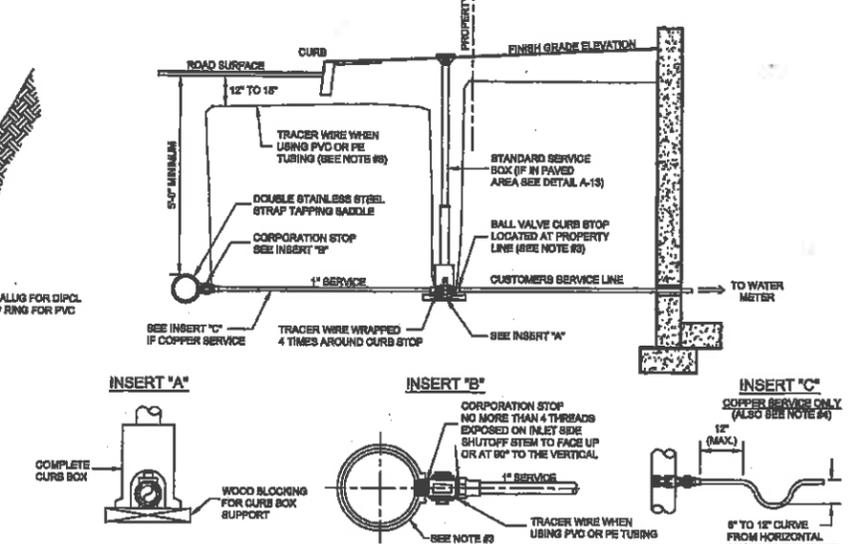
THRUST BLOCK BEHIND FITTINGS INSTALLATION (A-07) NOT TO SCALE (MARCH 2008)



NOTES:

1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO PENNICHUCK WATER WORKS, INC. TECHNICAL SPECIFICATIONS.
2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.

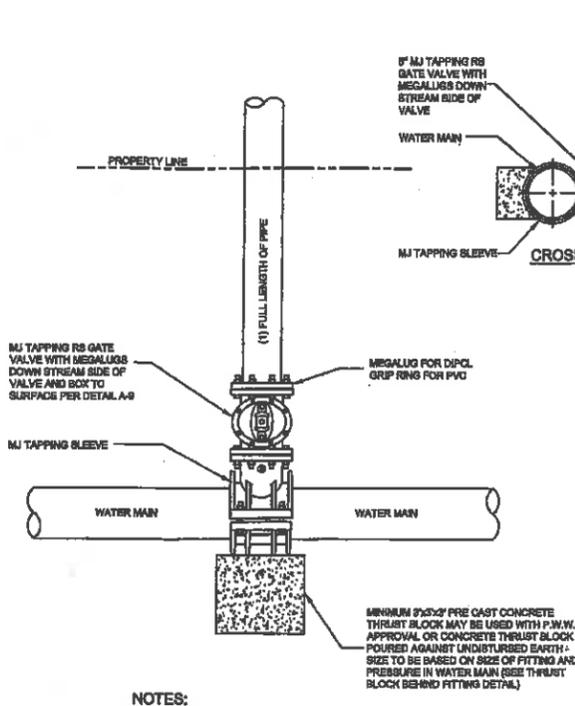
VALVE BOX DETAIL (A-08) NOT TO SCALE (MARCH 2008)



NOTES:

1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO PENNICHUCK WATER WORKS, INC. TECHNICAL SPECIFICATIONS.
2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.
3. IF WATER MAIN IS PVC OR TRANSMITE, A DOUBLE STAINLESS STEEL STRAP TAPPING SADDLE MUST BE USED TO CONNECT THE CORPORATION TO THE WATER MAIN.
4. IF WATER MAIN IS PVC OR TRANSMITE, AND THE NEW WATER SERVICE IS COPPER THEN SEE DETAIL A-19.
5. IF WATER MAIN IS A FIRE SERVICE, THEN SEE DETAIL A-24.
6. 18 GAUGE TRACER WIRE AS MANUFACTURED BY BMS, DIVISION OF ALBESTAR CORP., AVON, MA OR EQUIVALENT.

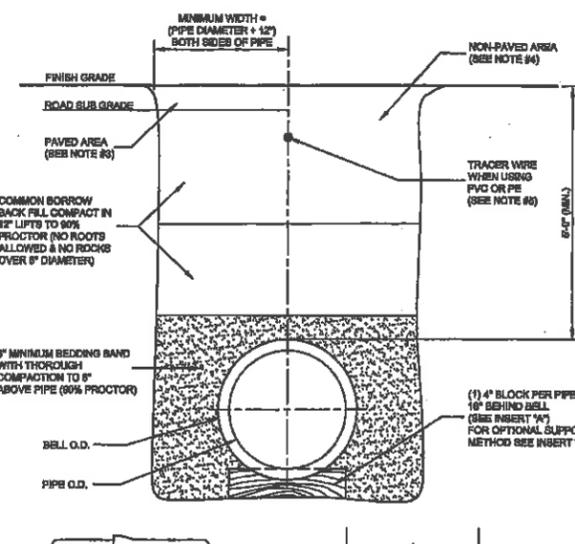
1" SERVICE AND VALVE BOX INSTALLATION DETAIL (A-20) NOT TO SCALE (MARCH 2008)



NOTES:

1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO PENNICHUCK WATER WORKS, INC. TECHNICAL SPECIFICATIONS.
2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.

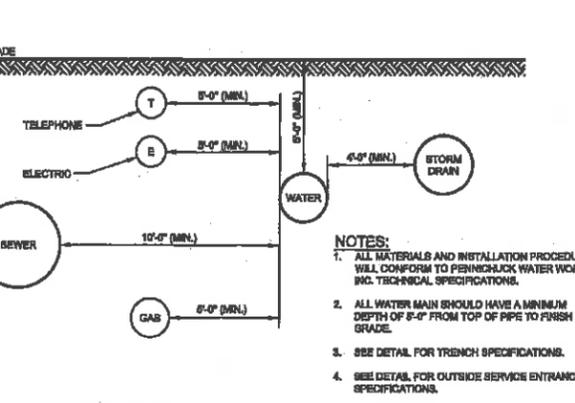
LARGE SERVICE AND/OR TAPPING SLEEVE DETAIL (A-21) NOT TO SCALE (MARCH 2008)



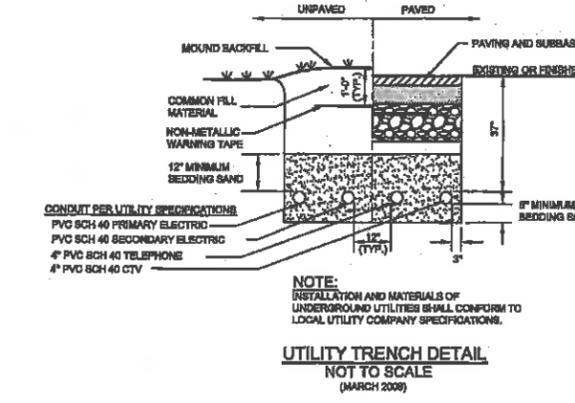
NOTES:

1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO PENNICHUCK WATER WORKS, INC. TECHNICAL SPECIFICATIONS.
2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.
3. REQUIREMENTS FOR SUBBASE AND BASE MATERIAL TYPE ARE TO BE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING LOCAL JURISDICTION IN PAVED AREAS.
4. REQUIREMENTS FOR GRAVEL, LOAM AND/OR SEED ARE TO BE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING LOCAL JURISDICTION IN NON-PAVED AREAS.
5. 10 GAUGE TRACER WIRE AS MANUFACTURED BY BMS, DIVISION OF ALBESTAR CORP., AVON, MA OR EQUIVALENT.

TRENCH DETAIL (A-02) NOT TO SCALE (MARCH 2008)



UTILITY SEPARATION (MAIN) DETAIL (A-01) NOT TO SCALE (MARCH 2008)



UTILITY TRENCH DETAIL (A-03) NOT TO SCALE (MARCH 2008)

CONSTRUCTION DETAILS
AUTO BODY SHOP
 MAP 128 LOTS 31, 32 & 84
 MAP 132 LOTS 38 & 84
 WEST GLENWOOD STREET
 NASHUA, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER/APPLICANT:
 ROSCOMMON INVESTMENTS, LLC
 147 DANIEL WEBSTER HIGHWAY
 NASHUA, NH 03060
 (603) 888-5050

KM **KRACH-NORDSTROM ASSOCIATES, INC.**
 Civil Engineering Land Surveying Landscape Architecture
 16 Commerce Park North, Suite 38, Bedford, NH 03110 Phone (603) 687-3881

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: JUNE 22, 2020 SCALE: AS SHOWN
 PROJECT NO: 17-1011-1 SHEET 16 OF 17

TURF ESTABLISHMENT SCHEDULE

PURPOSE:

TO ESTABLISH AND MAINTAIN PERMANENT AND TEMPORARY TURF AREAS, RESTORE GROWTH TO EXISTING TURF AREAS DISTURBED DURING CONSTRUCTION AND CONTROL SOIL EROSION.

PREPARATION AND EXECUTION:

1. RAISE THE SURFACE OF ALL AREAS TO BE LOAMED AND SEED TO REMOVE RUBBISH, STICKS, ROOTS AND STONES LARGER THAN 1 INCH.
2. PLACE LOAM OVER AREAS TO BE SEED AND SPRAY.
3. FINE GRADE SURFACE AND SUPPLEMENT WITH SUITABLE LOAM WHERE NEEDED TO CREATE A UNIFORM SURFACE ACCORDING TO THE FINISH GRADES INDICATED; TOP AND BOTTOM OF SLOPES SHALL BE ROUNDED. NO LOAM SHALL BE SPREAD IF THE SUBGRADE IS EXCESSIVELY WET OR FROZEN.
4. APPLY LIME EVENLY OVER LOAM SURFACE AND THOROUGHLY INCORPORATE LIME INTO THE LOAM BY HEAVY RAKING TO AT LEAST ONE-HALF THE DEPTH OF THE LOAM.
5. APPLY NO PHOSPHATE, SLOW RELEASE FERTILIZER AND MIX WITH THE UPPER 2 INCHES OF LOAM.
6. DETERMINE APPROPRIATE MIXTURE FOR AREA TO BE SEED BASED ON EXAMINATION OF PROJECT PLANS, UNIFORMLY SPREAD THE SEED BY BROADCASTING OR HYDROSEEDING. IF BROADCASTING, LIGHTLY RAKE INTO THE PREPARED SURFACE AND ROLL. IF HYDROSEEDING, USE 4 TIMES THE RECOMMENDED RATE OF INOCULANT. AFTER SEED IS SPREAD, WATER THOROUGHLY WITH A FINE SPRAY.
7. SEEDING FOR PERMANENT COVER SHALL OCCUR BETWEEN SEPTEMBER 15 AND OCTOBER 15 AND BETWEEN APRIL 15 AND JUNE 15. SEEDING SHALL NOT BE DONE DURING WINDY WEATHER, WHEN THE GROUND IS FROZEN OR EXCESSIVELY WET OR OTHERWISE UNFITTABLE.
8. WITHIN 24 HOURS AFTER SEEDING OPERATION, UNIFORMLY MULCH THE AREA WITH STRAW. ANCHOR MULCH ON ALL SLOPES EXCEEDING 3:1 USING MULCH NETTING INSTALLED IN ACCORDANCE WITH THE MANUFACTURER.
9. PROTECT AND PREVENT AGAINST WASHOUTS, ANY WASHOUTS WHICH OCCUR SHALL BE PROMPTLY REGRADED AND RESEED.
10. WHEN IT IS IMPRACTICAL TO ESTABLISH PERMANENT GROWTH ON DISTURBED EARTH BY OCTOBER 15, A TEMPORARY SEED MIXTURE SHALL BE USED. WHEN TEMPORARY SEEDING CANNOT ESTABLISH VISIBLE GROWTH, THE DISTURBED AREA SHALL BE COVERED WITH SIX INCHES OF MULCH FOR THE WINTER.

MAINTENANCE:

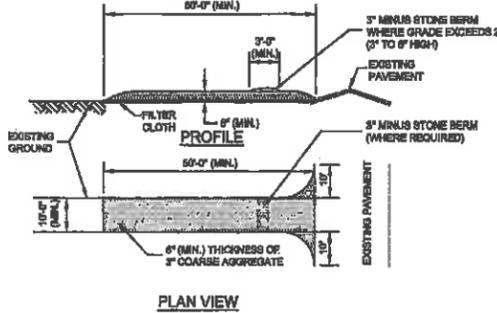
ALL SEEDING AREAS SHALL BE KEPT WATERED AND IN GOOD CONDITION. RESEED AS NECESSARY TO ESTABLISH HEALTHY UNIFORM GROWTH OVER THE ENTIRE SEEDING AREA. MAINTAIN SEEDING AREAS IN AN APPROVED CONDITION UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE REPAIRS FOR DAMAGE CAUSED BY EROSION.

APPLICATION RATES:

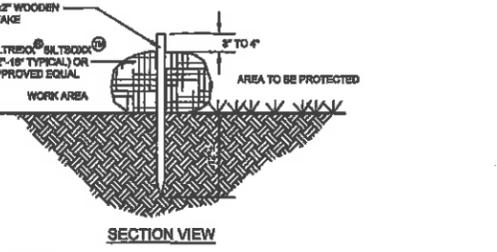
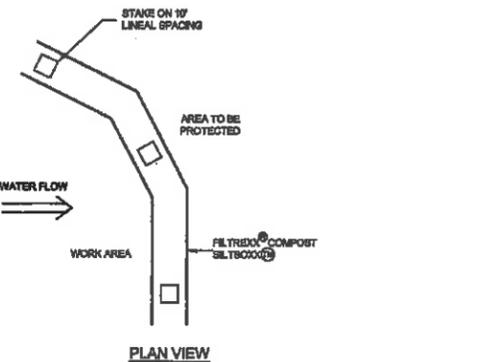
1. LOAM SHALL BE APPLIED AT A MINIMUM COMPACTED THICKNESS OF 4 INCHES.
2. LIME SHALL BE APPLIED AT A RATE OF 75 TO 100 POUNDS PER 1,000 S.F.
3. FERTILIZER SHALL BE APPLIED AT A RATE OF 30 POUNDS PER 1,000 S.F. IT IS RECOMMENDED THAT THE SOIL BE TESTED PRIOR TO APPLYING ANY FERTILIZERS TO DETERMINE WHAT LEVELS AND RATES ARE NECESSARY.
4. SEED MIXTURE FOR LAWN AREAS SHALL BE APPLIED AT A RATE OF AT LEAST 30 POUNDS PER ACRE OR 2 POUNDS PER 1,000 S.F.
5. TEMPORARY SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2 POUNDS PER 1,000 S.F.
6. SEED MIXTURE FOR SLOPE AREAS SHALL BE APPLIED AT A RATE OF 80 POUNDS PER ACRE OR 2 POUNDS PER 1,000 S.F.
7. SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS SHALL BE APPLIED AT A RATE OF 70 POUNDS PER ACRE OR 1.8 POUNDS PER 1,000 S.F.
8. MULCH SHALL BE APPLIED AT A RATE OF 80 POUNDS PER 1,000 S.F.

MATERIALS:

1. LOAM USED FOR TOPSOIL SHALL BE FRUITFUL, FERTILE, NATURAL, FREE-DRAINING LOAM; FREE OF ROOTS, GRASS, STICKS, WEEDS, CLAY, SOIL LUMPS, DEBRIS AND STONES LARGER THAN 1 INCH IN ANY DIMENSION. SOIL SHALL NOT BE EXCESSIVELY ACID OR ALKALINE AND CONTAIN NO TOXIC MATERIALS.
2. LIME SHALL BE GROUND LIMESTONE CONTAINING NO LESS THAN 85% CALCIUM AND MAGNESIUM CARBONATES.
3. FERTILIZER SHALL BE NO PHOSPHORUS, SLOW RELEASE.
4. SEED MIXTURE FOR LAWN AREAS SHALL BE 95% PURE LIVE SEED AND CONSIST OF THE FOLLOWING:
 - 25% CREEPING RED FESCUE
 - 25% KENTUCKY BLUEGRASS
 - 25% REDTOP
 - 25% MANHATTAN PERENNIAL RYEGRASS
5. TEMPORARY SEEDING MIXTURE SHALL BE AN APPROVED CONSERVATION MIX OR CONSIST OF THE FOLLOWING:
 - 15% BLACKBELL OR SHELTER GRASS
 - 30% NIAGARA OR KAW BIRD BULBSTEM
 - 30% CAMPER OR BLAZE LITTLESTEM
 - 15% NE-27 OR BLAZE SAND LOWGRASS
 - 10% VIRGIN BIRDFOOT TRIFOLIUM
 - 10% INOCULUM SPECIFIC TO BIRDFOOT TRIFOLIUM MUST BE USED WITH THIS MIXTURE. IF SEEDING BY HAND, A STICKING AGENT SHALL BE USED. IF SEEDING WITH A HYDROSEEDER, USE FOUR TIMES THE RECOMMENDED AMOUNT OF INOCULUM.
6. SEED MIXTURE FOR SLOPE AREAS SHALL BE 95% PURE LIVE SEED AND SHALL CONSIST OF THE FOLLOWING:
 - 30% CREEPING RED FESCUE
 - 40% PERENNIAL RYE GRASS
 - 15% REDTOP
 - 15% BIRDFOOT TRIFOLIUM
 - *IN ADDITION TO THE MIX SPECIFIED ABOVE, CROWN VETCH SHALL BE USED ON ALL SLOPES STEEPER THAN 3:1. CROWN VETCH SHALL BE APPLIED AT A RATE OF 10 POUNDS PER ACRE AND INOCULUM SPECIFIC TO CROWN VETCH MUST BE USED.
7. SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS, INCLUDING DETENTION BASINS AND VEGETATED TREATMENT SWALES SHALL CONSIST OF THE FOLLOWING:
 - 25% CREEPING RED FESCUE
 - 15% SWITCH GRASS
 - 15% FOX SEDGE
 - 10% CREEPING BENTGRASS
 - 10% FLATIRA
 - 20% WILDFLOWER VARIETY
8. STRAW USED FOR MULCH SHALL CONSIST OF MOWED AND PROPERLY CURED GRASS OR LEGUME MOWINGS, FREE FROM WEEDS, TWIGS, DEBRIS OR OTHER DELETERIOUS MATERIAL AND ROT OR MOLD.
9. NATIVE PLANTINGS SHOULD BE USED FOR ALL NEW GREENSCAPES.
10. ALL WILDFLOWER SEEDING MIXES SHOULD BE FREE OF INVASIVE SPECIES.

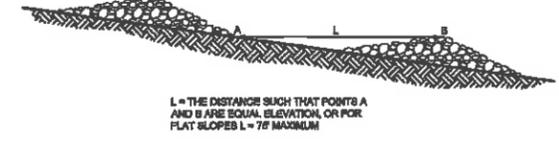


STABILIZED CONSTRUCTION EXIT DETAIL
NOT TO SCALE

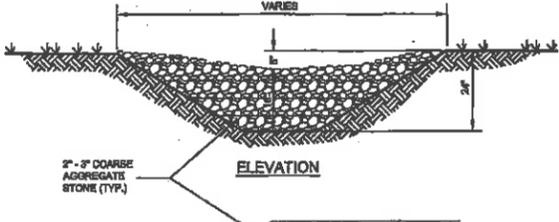


- NOTES:**
1. ALL MATERIAL TO MEET FILTREX® SPECIFICATIONS.
 2. SILTBOX® COMPOST/ROCKSEED FILL TO MEET APPLICATION REQUIREMENTS.
 3. SILTBOX® DEPICTED IS FOR MINIMUM SLOPES. GREAT SLOPES MAY REQUIRE LARGER ROCKS PER THE ENGINEER.
 4. COMPOST MATERIAL TO BE DISPENSED ON SITE, AS DETERMINED BY ENGINEER.

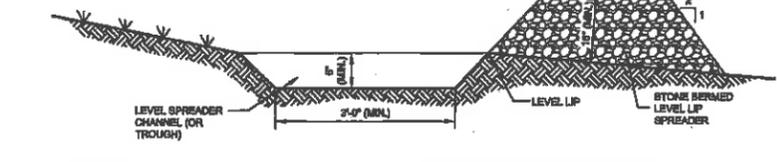
FILTREX® SILTBOX® DETAIL
NOT TO SCALE
(AUGUST 2011)



STONE CHECK DAM SPACING DETAIL
NOT TO SCALE
(MARCH 2006)



STONE CHECK DAM DETAIL
NOT TO SCALE
(MARCH 2006)



- NOTES:**
1. CONSTRUCT THE LEVEL SPREADER LIP ON A ZERO PERCENT GRADE TO INSURE UNIFORM SPREADING OF RUN-OFF.
 2. LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL, AND NOT ON FILL.
 3. THE FLOW FROM THE LEVEL SPREADER SHALL OUTLET INTO STABILIZED AREAS. WATER SHOULD NOT RECONCENTRATE IMMEDIATELY BELOW THE SPREADER.
 4. PERIODIC INSPECTION AND REQUIRED MAINTENANCE SHALL BE PERFORMED.
- MAINTENANCE REQUIREMENTS:**
1. INSPECT AT LEAST ONCE ANNUALLY FOR ACCUMULATION OF SEDIMENT AND DEBRIS AND FOR SIGNS OF EROSION WITHIN APPROACH CHANNEL, SPREADER CHANNEL, OR DOWN-SLOPE OF THE SPREADER.
 2. REMOVE DEBRIS WHENEVER OBSERVED DURING INSPECTION.
 3. REMOVE SEDIMENT WHEN ACCUMULATION EXCEEDS 25% OF SPREADER CHANNEL DEPTH.
 4. MOW AS REQUIRED BY LANDSCAPE DESIGN. AT A MINIMUM, MOW ANNUALLY TO CONTROL WOODY VEGETATION WITHIN THE SPREADER.
 5. SNOW SHOULD NOT BE STORED WITHIN OR DOWN-SLOPE OF THE LEVEL SPREADER OR ITS APPROACH CHANNEL.
 6. REPAIR ANY EROSION AND RE-GRADE OR REPLACE STONE BERM MATERIAL, AS WARRANTED BY INSPECTION.
 7. RECONSTRUCT THE SPREADER IF DOWN-SLOPE CHANNELIZATION INDICATES THAT THE SPREADER IS NOT LEVEL OR THAT DISCHARGE HAS BECOME CONCENTRATED, AND CORRECTIONS CANNOT BE MADE THROUGH MINOR RE-GRADES.

SIEVE DESIGNATION	PERCENT BY WEIGHT PASSING SQUARE MESH SIEVES
12 INCH	100%
6 INCH	84 - 100%
3 INCH	58 - 83%
1 INCH	42 - 58%
NO. 4	8 - 12%

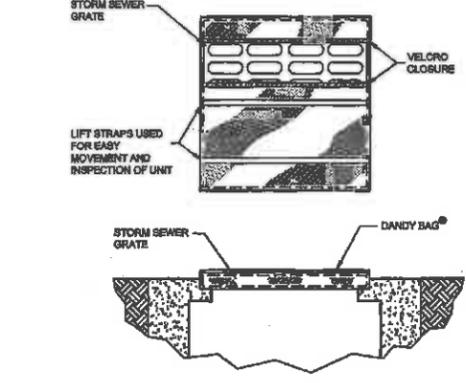
STONED BERMED LEVEL LIP SPREADER DETAIL
NOT TO SCALE
(APRIL 2010)

MAINTENANCE:

1. MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE CRUSHED STONE AND THE EFFECTIVENESS OF THE CRUSHED STONE PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOPDRESSED WITH NEW CRUSHED STONE OR COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.
2. IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ABSOLUTE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.

CONSTRUCTION SPECIFICATIONS:

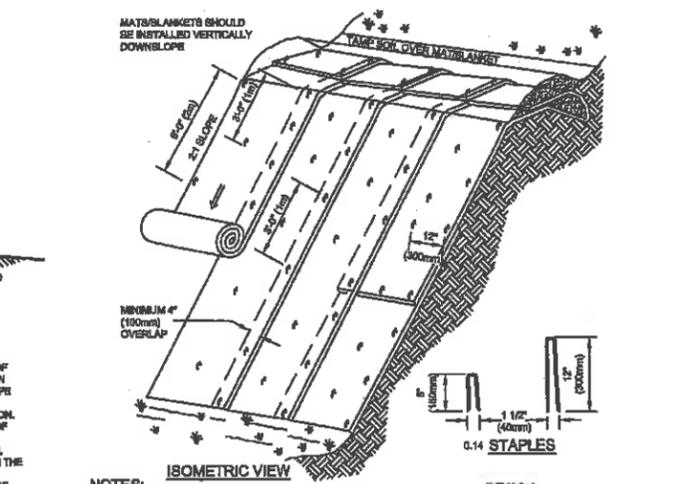
1. STONE FOR A STABILIZED CONSTRUCTION EXIT SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED EXIT SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED EXIT SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE EXIT SHALL NOT BE LESS THAN THE FULL WIDTH OF THE AREA WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION EXIT SHALL BE PIPED BENEATH THE EXIT. IF PIPING IS IMPRACTICAL, A BERM WITH 4:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED PROMPTLY.
8. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.



HI-FLOW DANDY BAG® (SAFETY ORANGE)

MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARY
GRAB TENSILE STRENGTH	ASTM D 4832	kN (lb)	1.82 (385) x 0.59 (200)
GRAB TENSILE ELONGATION	ASTM D 4832	%	24 x 10
PUNCTURE STRENGTH	ASTM D 4833	kN (lb)	0.40 (90)
MULLEN BURST STRENGTH	ASTM D 5728	gPa (psi)	2097 (250)
TRAPEZOID TEAR STRENGTH	ASTM D 4833	kN (lb)	0.21 (115) x 0.23 (76)
UV RESISTANCE	ASTM D 4333	%	90
APPARENT OPENING SIZE	ASTM D 4791	mm (US Sieve)	0.428 (40)
FLOW RATE	ASTM D 4481	l/min/m² (gpm/ft²)	607 (1.45)
PERMEABILITY	ASTM D 4481	Sec-1	2.1

DANDY BAG®
NOT TO SCALE
(APRIL 2010)



- NOTES:**
1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/BLANKETS SHALL HAVE GOOD SOIL CONTACT.
 2. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
 3. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
 4. EROSION BLANKETS TO BE A BOMBED OR AN APPROVED ALTERNATE WHICH MUST CONSIST OF ALL NATURAL FIBERS.

EROSION CONTROL BLANKETS - SLOPE INSTALLATION
NOT TO SCALE
(AUGUST 2011)

CONSTRUCTION SEQUENCE:

1. THE CONTRACTOR WILL ENSURE THAT NO MORE THAN 6 ACRES IS DISTURBED AT ANY ONE TIME.
2. FIRST CUT AND CLEAR TREES AND BRUSH ONLY WITHIN DESIGNATED LIMITS OF CLEARING AS NECESSARY TO FACILITATE PROPOSED CONSTRUCTION. ALL TREES, BRANCHES AND OTHER VEGETATIVE MATERIALS SHALL BE PROPERLY DISPOSED OF OFF SITE BY THE CONTRACTOR. THIS PROJECT IS MANAGED TO MEET THE REQUIREMENTS AND INTENT OF RSA 436:8S AND AGR 360:6 RELATIVE TO INVASIVE SPECIES.
3. PRIOR TO COMMENCEMENT OF ANY EARTHMOVING OPERATIONS, ALL APPLICABLE TEMPORARY EROSION CONTROL MEASURES, INCLUDING SPECIFIED PERIMETER STABILIZATION AND STABILIZED CONSTRUCTION EXIT SHALL BE IN PLACE AS SHOWN ON THE PROJECT PLANS.
4. COMPLETE GRUBBING OPERATIONS. ALL STUMPS AND SIMILAR ORGANIC DEBRIS SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR. NATIVE ORGANIC SOIL MATERIALS SUITABLE FOR USE AS STOCKPILED WITHIN AREAS OUT OF THE WAY OF OTHER CONSTRUCTION ACTIVITIES AND DRAINAGE FLOW STOCKPILES SHALL BE TEMPORARILY SEEDED WITH WINTER RYE AND BE SURROUNDED WITH STRAW BALES AND/OR FABRIC SILTATION FENCE IN ORDER TO PREVENT LOSS DUE TO EROSION.
5. BEGIN EARTHMOVING OPERATIONS, COMMENCING WITH WORK NEEDED TO BALANCE SITE AND FACILITATE BUILDING FOUNDATION AND RETAINING WALL CONSTRUCTION. PERMANENT DOWN-SLOPE WORK SHALL BE PROTECTED FROM UPGRADING STORMWATER FLOW BY THE CONSTRUCTION OF TEMPORARY EARTHEN DIBS OR EXCAVATED SWALES.
6. ONCE BUILDING FOUNDATION WORK IS UNDERWAY, CONTINUE EARTHMOVING OPERATIONS UNTIL DESIGN STORMWATER IS ACHIEVED.
7. DETENTION BASIN/SWALES SHALL BE INSTALLED BEFORE ROUGH GRADING THE SITE.
8. DITCH/SWALE/BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
9. TEMPORARY WATER DIVERSION (SWALES, BASINS, ETC.) MUST BE USED AS NECESSARY UNTIL SOILS ARE STABILIZED.
10. INSTALL DRAINAGE SWALE SYSTEMS AND OTHER UTILITIES WORKING FROM LOW TO HIGH. INCOMPLETE WORK SHALL BE PROTECTED FROM SILTATION BY THE USE OF SILTATION BARRIERS AROUND SWALES UNTIL THE SITE HAS BECOME FULLY STABILIZED.
11. DEEPLY TILL THE BASE OF THE INFILTRATION BASIN TO RESTORE INFILTRATION RATES FOLLOWED BY A PASS WITH A LEVELING DRAG.
12. PLACE GRAVEL AND CRUSHED GRAVEL OVER PROPOSED DRIVEWAY, WALLS AND PARKING AREAS AND COMPACT IN SPECIFIED LIFT THICKNESSES.
13. COMPLETE EXCAVATION/STABILIZATION GRADING ACTIVITIES. WHEN COMPLETE, IMMEDIATELY BEGIN TOPDRESSING PROPOSED TURF AREAS USING TOPDRESSED LIME/LOAM. IF NECESSARY, TO LEAVE A THICKNESS OF 4 INCHES OF FRIABLE LOAM.
14. FINE GRADE ALL FUTURE TURF AREAS AND HYDROSEED WITH THE SPECIFIED SEED MIXTURE IMMEDIATELY AFTER FINE GRADING IS COMPLETED. ALL AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
15. INSTALL THE FINISH COURSE OF PAVEMENT OVER ALL DESIGNATED AREAS.
16. CONTINUE TO MONITOR AND REPAIR EROSION UNTIL ENTIRE SITE APPEARS TO BE COMPLETELY STABILIZED AND VEGETATED WITH A HEALTHY STAND OF TURF OR GROUND COVER. MAINTAIN SPECIFIED SILTATION/EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.
17. INSTALL THE SPECIFIED FINISH COURSE OF PAVEMENT OVER THE UNDER COURSE.
18. COMPLETE INSTALLATION OF LAMPS, SIGNAGE, SKIDWALK AND OTHER SITE AMENITIES.

CERTIFICATE OF OCCUPANCY PHASING PLAN AGREEMENT:

1. THE FOLLOWING SITE IMPROVEMENTS ARE REQUIRED FOR INDIVIDUAL CERTIFICATES OF OCCUPANCY AS CONSTRUCTION PROGRESSES:
 - A. ROAD BASE COAT
 - B. STOP SIGNS AND TEMPORARY STRIPING OF STOP BARS
 - C. GRADING AND DRAINAGE
 - D. LOAM AND SEED THAT SUPPORTS THE SUBJECT UNIT OF THE CERTIFICATE OF OCCUPANCY
 - E. TEMPORARY STRIPING OF VISITOR PARKING AND UTILITIES

EROSION CONTROL NOTES:

1. EXPOSED EARTHWORK SHALL BE CONFINED TO AS LIMITED AN AREA AS IS PRACTICAL AT ANY GIVEN TIME THROUGHOUT THE CONSTRUCTION PERIOD. AT NO TIME SHALL MORE THAN FIVE (5) ACRES OF SITE AREA BE IN AN UNSTABLE CONDITION UNLESS AN EROSION CONTROL MEASURE IS EMPLOYED THROUGH THE DURATION OF CONSTRUCTION. NO GIVEN AREA OF THE SITE SHALL BE LEFT IN AN UNSTABILIZED CONDITION FOR A PERIOD OF THE EXCEEDING FORTY-FIVE (45) CALENDAR DAYS.
2. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH PROJECT PLANS. IN ADDITION, SIMILAR MEASURES SHALL BE INSTALLED WHERE AND WHEN THE FIELD CONDITION, OR FIELD OPERATION OF THE INDIVIDUAL SITE CONTRACTOR, MAY WARRANT. ALL TEMPORARY EROSION CONTROL MEASURES USED SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER 0.50\"/>
3. ALL DISTURBED AREAS DESIGNATED TO BE TURF SHALL RECEIVE A MINIMUM APPLICATION OF 4 INCHES OF LOAM (COMPACTED THICKNESS). PRIOR TO FINAL SEEDING AND MOWING, THE CONTRACTOR SHALL APPLY A MINIMUM OF 2 INCHES OF FINISH GRADE.
4. EROSION CONTROL AND STABILIZATION SHALL BE IN ACCORDANCE WITH HILLSBOROUGH COUNTY CONSERVATION DISTRICT-VEGETATIVE STANDARD AND SPECIFICATIONS FOR SEEDING GRASSES AND LEGUMES FOR LONG-TERM COVER ON EXCAVATED AREAS.
5. ALL SWALES AND DITCHLINES SHALL BE PERIODICALLY CLEANED OF DEPOSITED SEDIMENT SO AS TO MAINTAIN AN EFFECTIVE GRADE AND CROSS SECTION. ALL SWALES AND DITCHLINES SHALL BE FULLY STABILIZED PRIOR TO HAVING STORMWATER DIRECTION TOWARDS THEM.
6. IN THE EVENT THAT, DURING CONSTRUCTION OF ANY PORTION OF THIS PROJECT, A WINTER SHUTDOWN IS NECESSARY, THE CONTRACTOR SHALL STABILIZE ALL INCOMPLETE WORK AND PROVIDE FOR SUITABLE METHODS OF DIVERTING RUNOFF IN ORDER TO ELIMINATE BEST FLOW ACROSS FROZEN SURFACES.
7. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - A. BARE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED;
 - B. A MINIMUM OF 80% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - C. A MINIMUM OF 2\"/>
8. DUST SHALL BE CONTROLLED BY THE USE OF WATER AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD, IN ACCORDANCE WITH ENR-A 1000.
9. IN NO WAY ARE THOSE TEMPORARY EROSION CONTROL MEASURES INDICATED ON THESE PLANS TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGEMENT IN INSTALLING SUPPLEMENTARY EROSION CONTROL MEASURES WHERE AND WHEN SPECIFIC SITE CONDITIONS AND/OR CONSTRUCTION METHODOLOGIES MAY WARRANT.
10. THE TOWN RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION.
11. AREAS HAVING FINISH GRADE SLOPES OF 3:1 OR STEEPER SHALL BE STABILIZED WITH JUTE MATTING WRITTEN AND IF FIELD CONDITIONS WARRANT, OR IF SO ORDERED, JUTE MATTING INSTALLED TO CONFORM WITH THE RECOMMENDED BEST MANAGEMENT PRACTICE OUTLINED IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL. EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
12. DETENTION BASIN/SWALES SHALL BE INSTALLED BEFORE ROUGH GRADING THE SITE.
13. DITCH/SWALE/BASINS SHALL BE STABILIZED PRIOR TO DIRECTING BLANKET TO THEM.
14. TEMPORARY WATER DIVERSION (SWALES, BASINS, ETC.) MUST BE USED AS NECESSARY UNTIL SOILS ARE STABILIZED.
15. ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
16. ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

WINTER CONSTRUCTION NOTES:

1. ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 80% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 80% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER INCH OF ITEM SOALS OR, IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON, BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.
4. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - A. BARE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED;
 - B. A MINIMUM OF 80% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - C. A MINIMUM OF 2\"/>

CONSTRUCTION DETAILS
AUTO BODY SHOP
MAP 128 LOTS 31, 32 & 84
MAP 132 LOTS 38 & 84
WEST GLENWOOD STREET
NASHUA, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER/APPLICANT:
ROSCOMMON INVESTMENTS, LLC
147 DANIEL WEBSTER HIGHWAY
NASHUA, NH 03080
(603) 888-6050

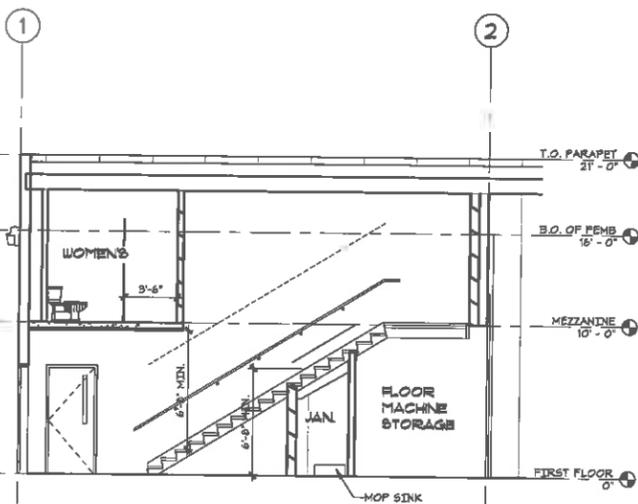
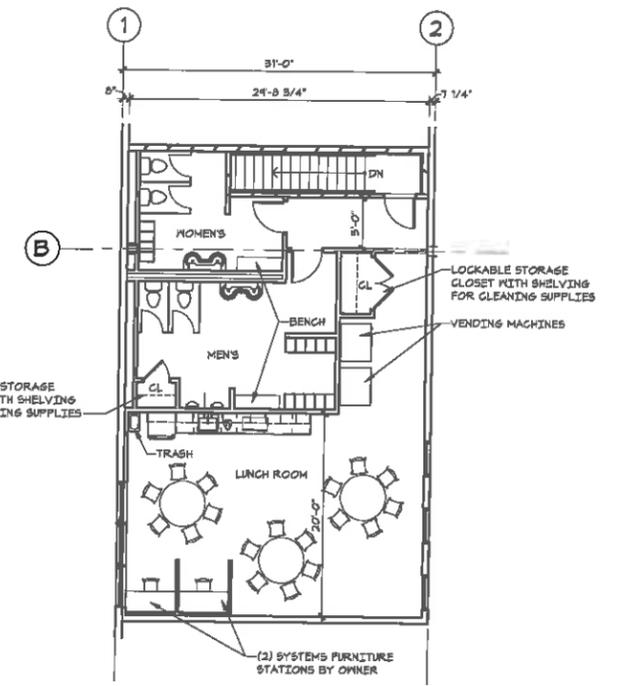
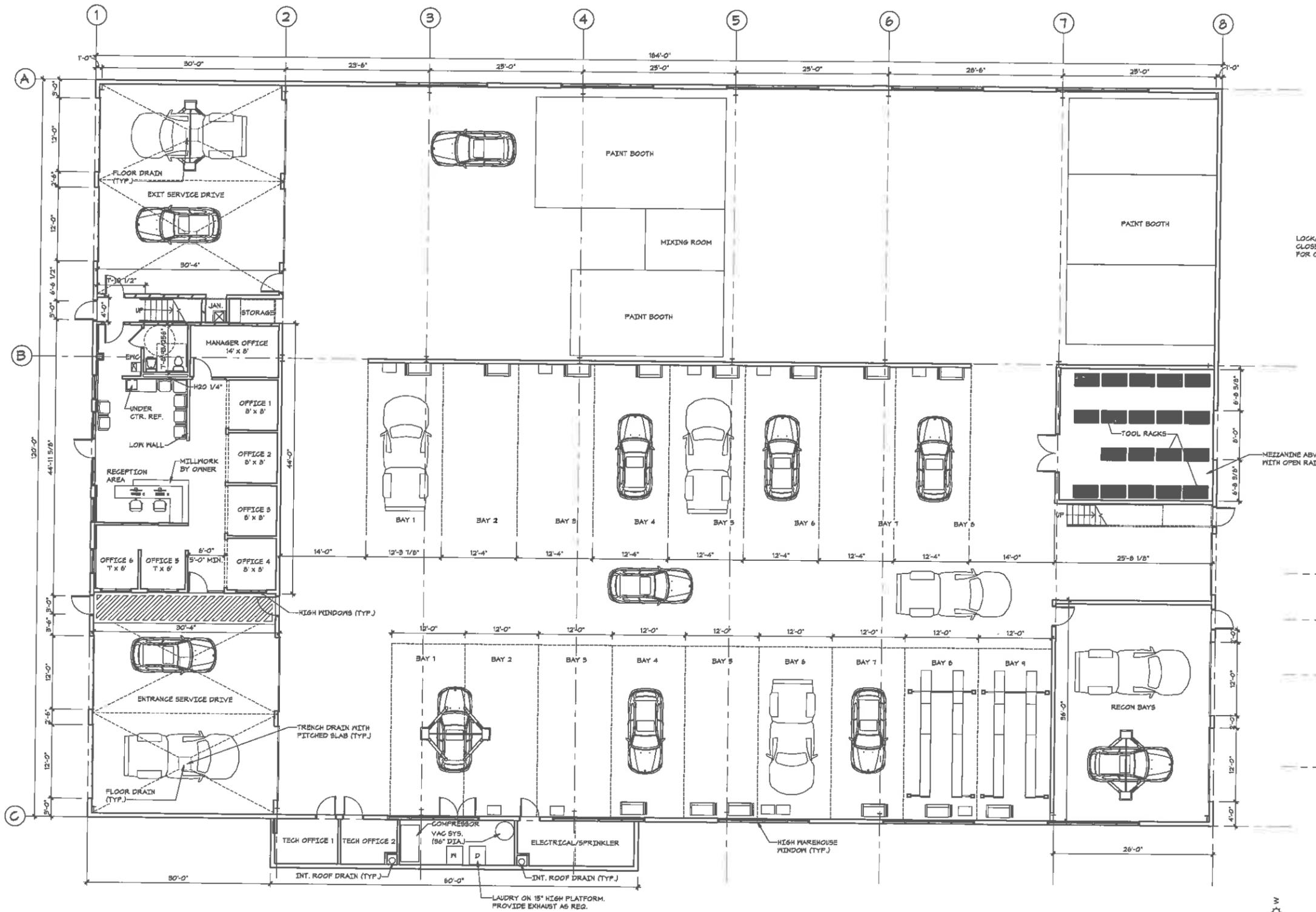
KM
KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 22, Bedford, NH 03110 Phone (603) 687-2881

REVISIONS

No.	DATE	DESCRIPTION	BY

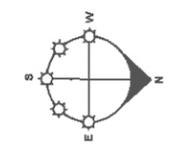
DATE: JUNE 22, 2020 **SCALE:** AS SHOWN
PROJECT NO: 17-1011-1 **SHEET:** 17 OF 17

PAUL CHISHOLM
No. 15078
LICENSED PROFESSIONAL ENGINEER



FIRST FLOOR / MEZZ. PLAN

ROUGH STAIR SECTION



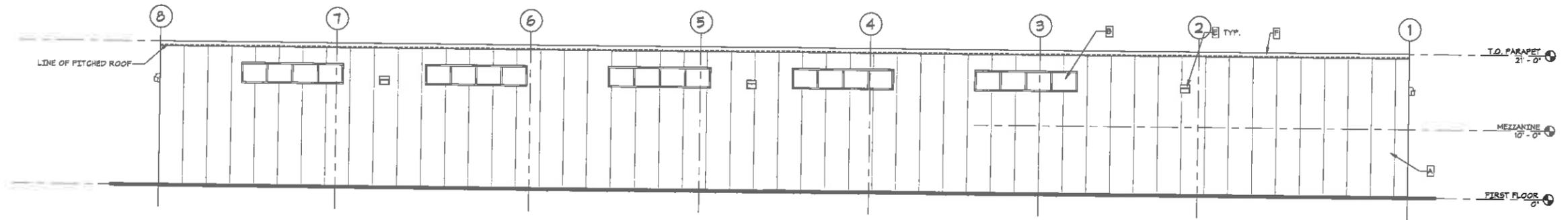
TULLEY BODY SHOP

WEST SLENWOOD STREET
NASHUA, NH, 03060
3/6/20

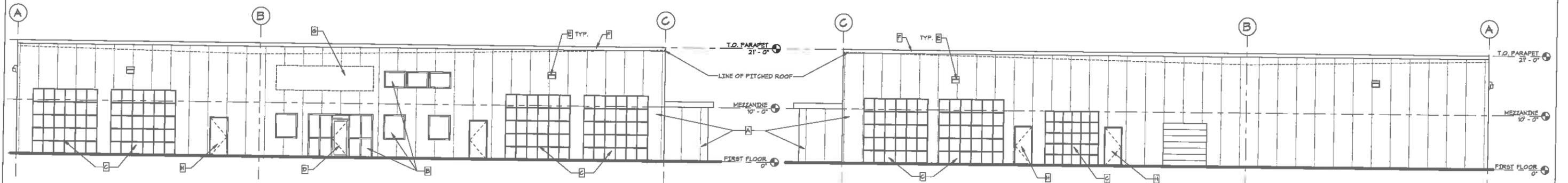
ARCHITECTURE
LAND PLANNING
INTERIOR DESIGN
3D VISUALIZATION

833 TURNPIKE ROAD P.O. BOX 104
NEW IPSWICH NEW HAMPSHIRE 03071





1 WEST ELEVATION
1/8" = 1'-0"

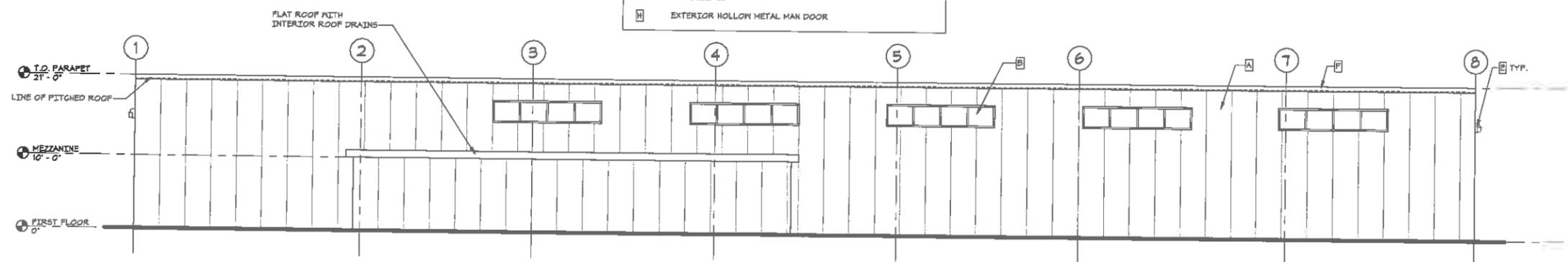


4 SOUTH ELEVATION
1/8" = 1'-0"

MATERIAL LEGEND

- A 5" INSULATED METAL PANEL, 42" WIDE, BY METL SPAN (OR APPROVED EQUAL) COLOR TO MATCH RAL 9010 (WHITE)
- B FIXED ALUM. & GLASS STOREFRONT WINDOWS W/ INSULATED GLAZING AND THERMALLY BROKEN FRAMES (CLEAR ANODIZED)
- C FULL LITE OVERHEAD DOORS
- D EXTERIOR ALUM. & GLASS DOOR
- E EXTERIOR WALL PACKING LIGHTING (SEE CIVIL)
- F PRE-FINISHED ALUM. ROOF EDGE - COLOR TBD
- G EXTERIOR SIGNAGE, PROVIDE BLOCKING & ELECTRICAL FEED AS REQUIRED
- H EXTERIOR HOLLOW METAL MAN DOOR

2 NORTH ELEVATION
1/8" = 1'-0"



3 EAST ELEVATION
1/8" = 1'-0"

EXTERIOR ELEVATIONS



TULLEY BODY SHOP

WEST GLENWOOD STREET
NASHUA, NH, 03060
5/6/20

ARCHITECTURE
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