

1. Planning Board Regular Webex Meeting Agenda - Amended (PDF)

Documents:

[20200806 NCPB AGENDA AMENDED.PDF](#)

2. Planning Board Staff Reports And Plans

Documents:

[20200709 6-8 HIGH PINE AVENUE SITE PLAN STAFF REPORT.PDF](#)
[20200806 6-8 HIGH PINE AVENUE SITE PLAN.PDF](#)
[20200806 3 AND 21 PINE STREET EXT SUBDIVISION PLAN STAFF REPORT.PDF](#)
[20200806 3 AND 21 PINE STREET EXT SUBDIVISION PLAN.PDF](#)
[20200806 3 AND 21 PINE STREET EXT SITE PLAN STAFF REPORT.PDF](#)
[20200806 3 AND 21 PINE STREET EXT SITE PLAN.PDF](#)
[20200806 159 TEMPLE STREET SITE PLAN STAFF REPORT.PDF](#)
[20200806 159 TEMPLE STREET SITE PLAN.PDF](#)
[20200806 110 EAST HOLLIS STREET SITE PLAN STAFF REPORT.PDF](#)
[20200806 110 EAST HOLLIS STREET SITE PLAN.PDF](#)
[20200806 367 AMHERST STREET SITE PLAN STAFF REPORT.PDF](#)
[20200806 367 AMHERST STREET SITE PLAN.PDF](#)
[20200806 111-113 LOCK STREET STAFF REPORT.PDF](#)
[20200806 111-113 LOCK STREET SITE PLAN.PDF](#)
[20200806 41 CENTRAL STREET SITE PLAN STAFF REPORT.PDF](#)
[20200806 41 CENTRAL STREET SITE PLAN.PDF](#)



City of Nashua
Planning Department
229 Main Street
Nashua, New Hampshire 03061-2019

Planning & Zoning 589-3090
Fax 589-3119
WEB www.nashuanh.gov

July 30, 2020

AMENDED AGENDA

To: NCPB Members

From: Planning Staff

Re: Regular Meeting and Public Hearing, August 6, 2020

Notice is hereby given that a Public hearing of the City of Nashua Planning Board will meet on Thursday, August 6, 2020 at 7:00 PM via a Webex Meeting. Real-time public comment can be addressed to the Board utilizing Webex virtual meeting software for remote access. This application will allow users to view the meeting and ask questions to the Board via the chat function. The public is also encouraged to submit their comments via email planningdepartment@nashuanh.gov to the Department email or by mail (please make sure to include your name/address and comments) by 5pm on August 6, 2020 and read into the record at the appropriate time. Letters should be addressed to City of Nashua, Planning Department, P.O. Box 2019, Nashua, NH 03061. Plans can be viewed on online starting July 31, 2020 at www.nashuanh.gov in the Calendar or Agendas and Minutes.

To access Webex: <https://nashuanh.webex.com/nashuanh/j.php?MTID=m0cee1d4b101cb7455758a1fb1da8e1a2>

Meeting number/access code: **129 809 9571** – Password: **ZCcf75xJyZ8**

To join by phone: **1-(408)-418-9388** - Meeting number/access code: **129 809 9571**

If for some reason you can't connect to Webex, please contact us at **(603) 589-3115**.

- A. Call to Order
- B. Roll Call
- C. Approval of Minutes – July 9, 2020
- D. Communications
- E. Report of Chairman, Committee, & Liaison
- F. Executive Session

OLD BUSINESS – CONDITIONAL / SPECIAL USE PERMITS

None

OLD BUSINESS - SUBDIVISION PLANS

None

OLD BUSINESS – SITE PLANS

1. Oakwood Square, LLC, c/o The Stabile Companies (Owner) - Proposed site plan amendment to NR669 to construct a 40 space parking lot. Property is located at 6-8 High Pine Avenue. Sheet E - Lot 145. Zoned "RC" Urban Residence. Ward 1. **(Tabled from the July 9, 2020 Meeting)**

NEW BUSINESS – CONDITIONAL / SPECIAL USE PERMITS

None

NEW BUSINESS –SUBDIVISION PLANS

2. Public Service Co of NH and City of Nashua (Owners) – Application and acceptance of proposed one year extension of a lot line relocation plan. Property is located at 3 & 21 Pine Street Ext. Sheet 77 - Lots 2A & 17. Zoned "GI/MU" General Industrial/Mixed Use. Ward 4.

NEW BUSINESS – SITE PLANS

3. Public Service Co of NH (Owner) – Application and acceptance of proposed one year extension of a site plan to show relocation of Eversource Energy Millyard Substation. Property is located at 3 & 21 Pine Street Ext. Sheet 77 - Lots 2A & 17. Zoned "GI/MU" General Industrial/Mixed Use. Ward 4.
4. ZJBV Properties LLC (Owner) – Application and acceptance of proposed one year extension of two 84-unit apartment buildings with associated site improvements. Property is located at 159 Temple Street. Sheet 39 - Lot 31. Zoned "GI/TOD" General Industrial/Transit Oriented Development. Ward 7.
5. E Hollis Street Acquisitions LLC (Owner) – Application and acceptance of proposed one year extension of proposed 80 unit multifamily development with associated site improvements. Property is located at 110 East Hollis Street. Sheet 39 - Lot 1. Zoned "GI/TOD" General Industrial /Transit Oriented Development. Ward 7.
6. Southland Corporation (Owner) 7-Eleven (Applicant) - Application and acceptance of proposed amendment to NR1057 to remove existing fueling dispensers, concrete pad, and gas canopy and install new dispensers, islands, canopy and pad. Property is located at 367 Amherst Street. Sheet G - Lot 652. Zoned "GB" General Business. Ward 2.
7. Raymond W. Ennis, Sr. Revocable Trust (Owner) Lefavor Folio, LLC (Applicant) - Application and acceptance of proposed site plan to show 18 multi-family units and associated site improvements. Property is located at 111-113 Lock Street. Sheet 41 - Lot 14. Zoned "GI" General Industrial. Ward 3.
8. Nashua Housing and Redevelopment Authority (Owner) Boston Capital Corporation and Nashua Housing and Redevelopment Authority (Applicant) - Application and acceptance of proposed amendment to NR1212 to show the redevelopment of the Bronstein Apartment Complex. Property is located at 41 Central Street. Sheet 80 - Lot 89. Zoned "RC" Urban Residence. Ward 4.

OTHER BUSINESS

1. Review of tentative agenda to determine proposals of regional impact.
2. Planning Board reappointment to the Capital Improvement Committee for a 2 year term to expire, August 1, 2022.
 - Laurence C. Szetela
 - Robert Canaway

DISCUSSION ITEM

1. Merritt Place Apartments – Main Dunstable Rd / Merrit Parkway

NONPUBLIC SESSION

The Planning Board will need to make a motion to enter into a Nonpublic Session under RSA 91-A:3, II (e) for consideration or negotiation of pending claims or litigation which has been threatened in writing or filed against the public body.

NEXT MEETING

September 10, 2020

ADJOURN

WORKSHOP

ACCOMMODATIONS FOR THE SENSORY IMPAIRED

**"SUITABLE ACCOMMODATIONS FOR THE SENSORY IMPAIRED
WILL BE PROVIDED UPON ADEQUATE ADVANCE NOTICE."**

CONDUCT AT PLANNING BOARD MEETING

When the meeting is called to order, the only talking allowed in the Auditorium will be remarks addressed to the Chairman. Except for the original presentation of the subject or application, each person speaking for or against shall be limited to five (5) minutes until all have been given an opportunity to be heard, at which time each person may be allowed additional time if deemed necessary by the Board or the Chairman. When you are recognized by the Chairman, proceed to the podium, using the microphone, state your name and address and then make your comments. Courtesy is shown when you reserve your comments for the proper time.

PLEASE BE COURTEOUS

By Order of the Chair

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda McGhee, Deputy Planning Manager
FOR: July 9, 2020
RE: **New Business #4 - Site Plan**

I. Project Statistics:

Owner: Oakwood Square, LLC
Proposal: Site plan amendment to NR669 to add a 32 space parking lot
Location: 6-8 High Pine Avenue
Total Site Area: 2.377 acres (103,557 square feet)
Existing Zoning: RC- Urban Residence
Surrounding Uses: Residential

II. Background Information:

The existing property consists of multiple condominium units constructed back in 1983. The site contains 10 buildings with 29 units and 55 parking spaces. Presently access to the site is via two curb cuts on High Pine Avenue.

III. Project Description:

The proposal is to construct a 32 space parking lot on the undeveloped area south of the condominium units. Access to the new parking lot will be provided via a curb cut onto Cypress Lane. Other site improvements include curbing, internal traffic signage and landscaping improvements. The project was not required to provide a traffic letter. No new buildings are proposed.

According to the applicant's engineer, to accommodate the additional runoff generated by the proposed parking lot a subsurface infiltration basin will be constructed.

Two waivers have been requested for the project. The first waiver is to exceed the maximum number of parking spaces; 87 spaces are proposed, 55 spaces are allowed. The second waiver is to show existing features on site and on the adjacent parcels.

City Staff have reviewed the plans; comments are attached.

Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, they should state specific reasons. If the Planning Board chooses to approve this plan, staff recommends the following stipulation(s) be made part of that approval:

1. The request for a waiver of § 190-279 (EE) which requires one to show existing conditions on site and adjacent parcels, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. The request for a waiver of NRO § 190-198 which requires a maximum number of parking spaces, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
3. Prior to the Chair signing the plan, minor drafting corrections will be made.
4. Prior to the issuance of a building permit, all comments in an e-mail from Joe Mendola, Street Construction Engineer, dated May 5, 2020 shall be addressed to the satisfaction of the Engineering Department.

3 Congress Street Nashua, NH 03063 (603) 883-2057
 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
 www.hayner-swanson.com

Hayner/Swanson, Inc.



MAP 'E', LOT 145
 SITE PLAN

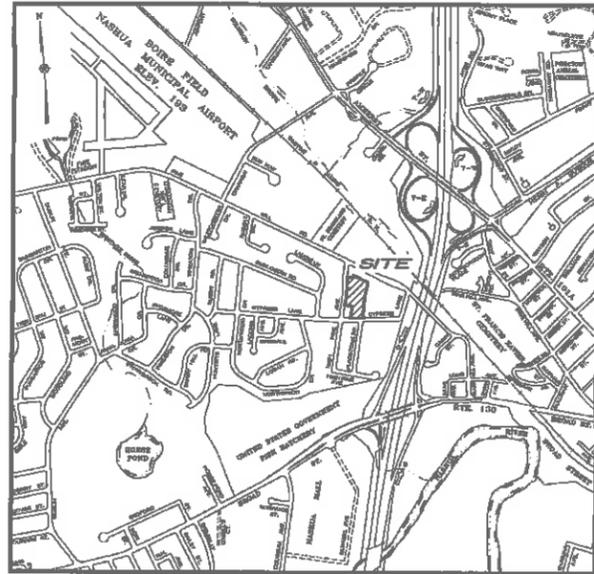
PROPOSED PARKING LOT ADDITION

6-8 HIGH PINE AVENUE
 NASHUA, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER

OAKWOOD SQUARE, LLC

c/o THE STABLE COMPANIES
 20 COTTON ROAD, SUITE 200
 NASHUA, NEW HAMPSHIRE 03063
 (603) 889-0318



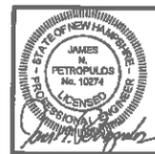
VICINITY PLAN
 SCALE 1" = 100'

23 MARCH 2020

No.	DATE	REVISION	BY
2	07/22/20	ADDRESS PLANNING BOARD COMMENTS	EM
1	06/18/20	ADDRESS CITY COMMENTS	EM

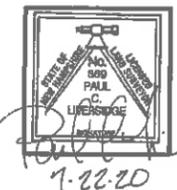
INDEX OF PLANS

SHEET No.	TITLE	SCALE
1 OF 6	MASTER SITE PLAN	1" = 40'
2 OF 6	EXISTING CONDITIONS PLAN	1" = 20'
3 OF 6	SITE PLAN	1" = 20'
4-5 OF 6	DETAIL SHEET - GENERAL SITE	
6 OF 6	LANDSCAPE PLAN	1" = 20'



HESI Hayner/Swanson, Inc.

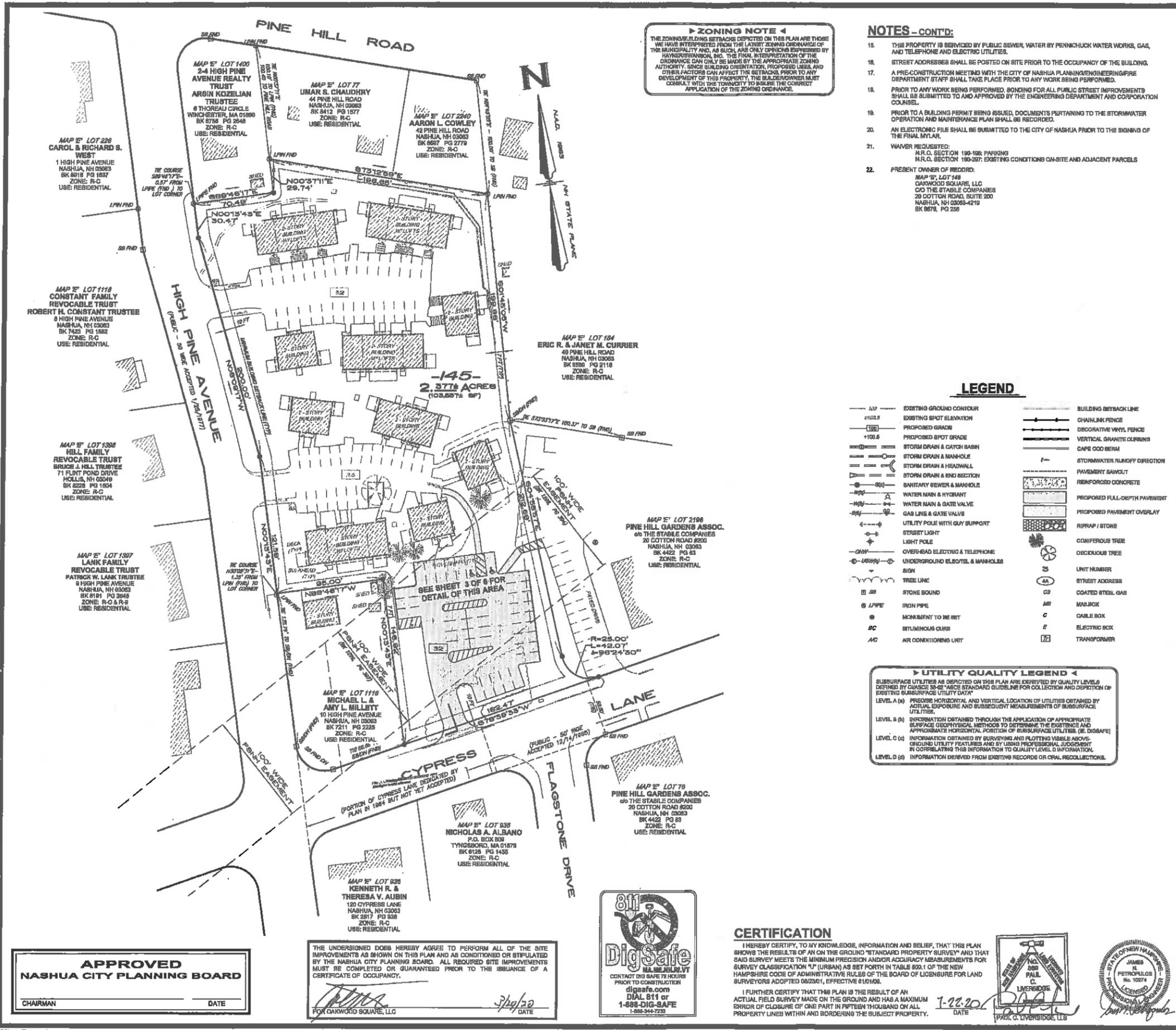
Civil Engineers/Land Surveyors
 3 Congress Street Nashua, NH 03062 (603) 883-2057
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7-22-20

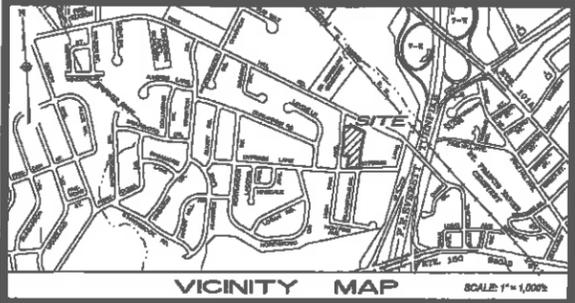


© Hayner/Swanson, Inc.



ZONING NOTE
 THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNES/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BLDG. OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

- NOTES - CONT'D:**
- THIS PROPERTY IS SERVICED BY PUBLIC SEWER, WATER BY PENNICK-WATER WORKS, GAS, AND TELEPHONE AND ELECTRIC UTILITIES.
 - STREET ADDRESSES SHALL BE POSTED ON SITE PRIOR TO THE OCCUPANCY OF THE BUILDING.
 - A PRE-CONSTRUCTION MEETING WITH THE CITY OF NASHUA PLANNING/ENGINEERING/FIRE DEPARTMENT STAFF SHALL TAKE PLACE PRIOR TO ANY WORK BEING PERFORMED.
 - PRIOR TO ANY WORK BEING PERFORMED, BONDING FOR ALL PUBLIC STREET IMPROVEMENTS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEERING DEPARTMENT AND CORPORATION COUNSEL.
 - PRIOR TO A BUILDING PERMIT BEING ISSUED, DOCUMENTS PERTAINING TO THE STORMWATER OPERATION AND MAINTENANCE PLAN SHALL BE RECORDED.
 - AN ELECTRONIC FILE SHALL BE SUBMITTED TO THE CITY OF NASHUA PRIOR TO THE SIGNING OF THE FINAL MYLAR.
 - WAVES REQUESTED:
 N.R.O. SECTION 190-198: PARKING
 N.R.O. SECTION 190-297: EXISTING CONDITIONS ON-SITE AND ADJACENT PARCELS
 - PRESENT OWNER OF RECORD:
 MAP 'E', LOT 148
 OAKWOOD SQUARE, LLC
 c/o THE STABLE COMPANIES
 20 COTTON ROAD, SUITE 200
 NASHUA, NH 03063-4219
 BK 8678, PG 238



- PLAN REFERENCES:**
- AS BUILT SITE PLAN (LOTS 145, 198 & 199), MAP 'E', OAKWOOD SQUARE CONDOMINIUM, HIGH PINE AVENUE, NASHUA, NEW HAMPSHIRE, PREPARED FOR JOHN F. STABLE & SONS, SCALE: 1"=80', DATED JUNE 1, 1993 BY ALLAN H. SWANSON, INC. RECORDED: HCRD PLAN No. 24054.
 - PINEHILL ACRES, PINE HILL ROAD, NASHUA, N.H., SCALE: 1"=60', DATED SEPTEMBER 1994 BY A.E. MAYNARD. RECORDED: HCRD PLAN No. 2864.
 - CONSOLIDATION PLAN-HIGH PINE AVENUE, NASHUA, N.H., FOR NORTHEAST REALTY, SCALE: 1"=80', DATED JUNE 1977 BY A.E. MAYNARD. RECORDED: HCRD PLAN No. 11087.

- NOTES:**
- LOT AREA: 2.377± ACRES (103,857± SF)
 - PRESENT ZONING: R-C - C URBAN RESIDENCE

DIMENSIONAL REQUIREMENTS:	EXISTING	PROPOSED
MIN. LOT AREA	5,000 SF	103,857 SF
MIN. LOT WIDTH	145 FT	145 FT
MIN. FRONTAGE	50 FT	534 FT
MIN. LOT DEPTH	75 FT	-
MIN. FRONT SETBACK	15 FT	32 FT
MIN. SIDE SETBACK	15 FT	20 FT
MIN. REAR SETBACK	20 FT	-
MAX. BUILDING HEIGHT	100 FT	-
MAX. STORIES	10	2.0
MAX. F.A.R.	1.0	-

 - LOT NUMBERS REFER TO THE CITY OF NASHUA ABSESSORS MAP 'E'
 - PURPOSE OF PLAN:
 TO AMEND NR988 TO SHOW THE PROPOSED PARKING LOT ADDITION UPON LOT 145.
 - PARKING:
 REQUIRED (MULTI-FAMILY-20 UNITS):
 MINIMUM: 1.8 SPACES/UNIT X 39 UNITS = 44 SPACES
 MAXIMUM: 1.9 SPACES/UNIT X 29 UNITS = 55 SPACES
 PROVIDED (65 EXISTING SPACES + 32 PROPOSED SPACES) = 97 SPACES
 - OPEN SPACE:
 REQUIRED: 35%
 PROVIDED: 48%
 - THIS PARCEL IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE RATE MAP (FIRM) HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY No. 60007, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 330110013D, REVISED DATE: SEPTEMBER 25, 2008.
 - MONUMENTS, WHERE REQUIRED, TO BE SET BY A LICENSED LAND SURVEYOR.
 - ALL LANDSCAPING SHALL BE AS SHOWN ON THE PLANS AND CONFORM TO THE APPLICABLE CITY OF NASHUA ZONING REGULATIONS.
 - ALL LIGHTING SHALL BE AS SHOWN ON THE PLANS, DIRECTED ONTO THE SITE AND CONFORM TO APPLICABLE CITY OF NASHUA ZONING REGULATIONS. ALL GRASS SHALL CONFORM TO THE APPLICABLE CITY OF NASHUA REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
 - SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE II OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION, GRADE AND NUMBER OF PARKING SPACES.
 - IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY OF NASHUA PLANNING BOARD.
 - IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY OF NASHUA PLANNING BOARD.
 - PUBLIC STREET RESTORATION WORK SHALL BE IN ACCORDANCE WITH N.R.O. SECTION 285-13, LATEST EDITION.

LEGEND

--- 100.0 ---	EXISTING GROUND CONTOUR	---	BUILDING SETBACK LINE
--- 102.5 ---	EXISTING SPOT ELEVATION	---	CHAINLINK FENCE
--- 105.0 ---	PROPOSED GRAD	---	DECORATIVE VINYL FENCE
---	PROPOSED SPOT GRADE	---	VERTICAL GRANITE CURBING
---	STORM DRAIN & CATCH BASIN	---	CAPE COD BERM
---	STORM DRAIN & MANHOLE	---	STORMWATER RUNOFF DIRECTION
---	STORM DRAIN & HEADWALL	---	PAVEMENT MANHOLE
---	STORM DRAIN & END SECTION	---	REINFORCED CONCRETE
---	BANITARY SEWER & MANHOLE	---	PROPOSED FULL-DEPTH PAVEMENT
---	WATER MAIN & HYDRANT	---	PROPOSED PAVEMENT OVERLAY
---	WATER MAIN & GATE VALVE	---	RIPRAP / STONE
---	GAS LINE & GATE VALVE	---	CYFERIFEROUS TREE
---	UTILITY POLE WITH GUY SUPPORT	---	DECIDUOUS TREE
---	STREET LIGHT	---	UNIT NUMBER
---	LIGHT POLE	---	STREET ADDRESS
---	OVERHEAD ELECTRIC & TELEPHONE	---	MAILBOX
---	UNDERGROUND ELECTRIC & MANHOLE	---	CABLE BOX
---	SIGN	---	ELECTRIC BOX
---	TREE LINE	---	TRANSFORMER
---	STONE BOUND	---	
---	IRON PIPE	---	
---	MONUMENT TO BE SET	---	
---	CONTINUOUS CURB	---	
---	AIR CONDITIONING UNIT	---	

UTILITY QUALITY LEGEND

SUBSURFACE UTILITIES AS DEPICTED ON THIS PLAN ARE IDENTIFIED BY QUALITY LEVELS DEFINED BY DGNSE 35-82" NCSB STANDARD GUIDELINE FOR COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA:

- LEVEL A (A) PRECISE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES OBTAINED BY ACTUAL EXPOSURE AND SUBSEQUENT MEASUREMENTS OF SUBSURFACE UTILITIES.
- LEVEL B (B) INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES. (E. DGNSE)
- LEVEL C (C) INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGEMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL B INFORMATION.
- LEVEL D (D) INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS.

No.	DATE	REVISION	BY
2	07/22/20	ADDRESS PLANNING BOARD COMMENTS	EMS
1	05/19/20	ADDRESS CITY COMMENTS	EMS

MASTER SITE PLAN (MAP 'E', LOT 145)
PROPOSED PARKING LOT ADDITION
 6-8 HIGH PINE AVENUE
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR/RECORD OWNER:
OAKWOOD SQUARE, LLC
 c/o THE STABLE COMPANIES 20 COTTON ROAD, SUITE 200 NASHUA, NH 03063-4219

SCALE: 1"=40 Feet
 1"=12.192 Meters

23 MARCH 2020

HSI Haynes/Swanson, Inc.
 Civil Engineers/Land Surveyors
 3 Congress Street
 Nashua, NH 03063
 (603) 883-2037
 www.hsi-haynes.com

131 Middlesex Turnpike
 Burlington, MA 01803
 (781) 209-1501

FIELD BOOK: DRAWING NAME: 181 SITE-P041 1981 1 OF 6
 DRAWING LOG: \\1000\181\181\181 SITE File Name: 041

APPROVED
NASHUA CITY PLANNING BOARD

CHAIRMAN _____ DATE _____

THE UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE SITE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

[Signature]
 FOR OAKWOOD SQUARE, LLC
 DATE: 3/19/20

811 Dig Safe
 MA, NH, RI, VT
 CONTRACT DIG SAFE 72 HOURS
 PRIOR TO CONSTRUCTION
 digsafe.com
 DIAL 811 or
 1-888-DIG-SAFE
 1-888-344-7233

CERTIFICATION

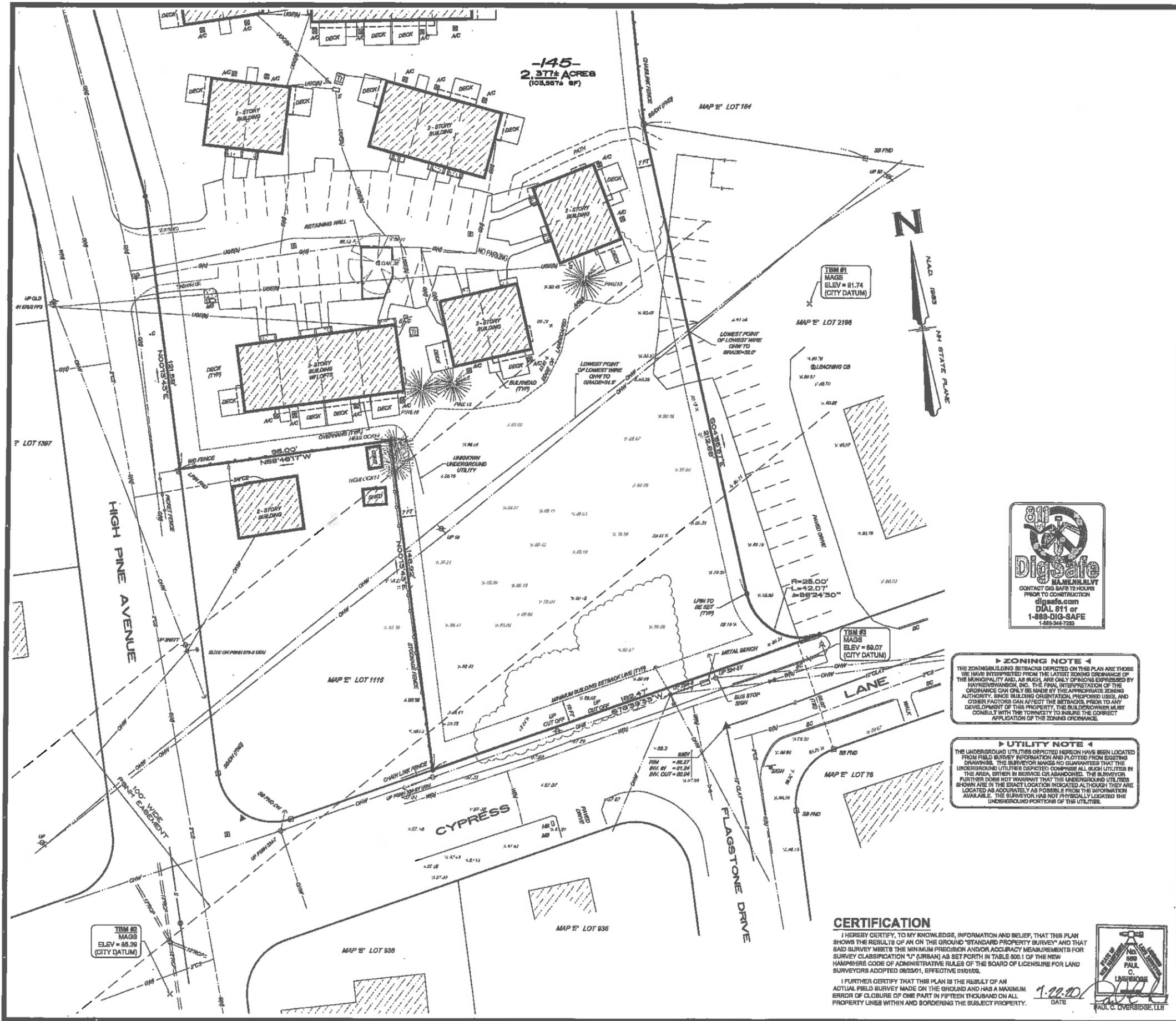
I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 600.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSEURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 6/1/02.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

DATE: 3-22-20
 PAUL C. LIVERSIDGE, LLS

STATE OF NEW HAMPSHIRE
 JAMES N. PETROKULOS
 No. 10274
 LICENSED LAND SURVEYOR

[Signature]
 PAUL C. LIVERSIDGE, LLS



SURVEY NOTES:

1. THE EXISTING PLANIMETRICS AND TOPOGRAPHY, AS SHOWN ON THESE PLANS, IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND IN NOVEMBER 2018.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
3. THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.
4. SURVEY CONTROL INFORMATION:
CONTROLLED BY TRIMBLE R10 GPS RECEIVER
RTK CORRECTIONS VIA KEYMET VRS
HORIZONTAL DATUM: NAD 83 (2011)
HORIZONTAL PROJECTION: NH STATE PLANE
VERTICAL DATUM: NASHUA CITY DATUM
UNITS: US SURVEY FEET
5. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO WETLANDS ON THE SITE.



ZONING NOTE 4
THE ZONING BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDING OWNER MUST CONSULT WITH THE TOWNSHIP TO ASSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

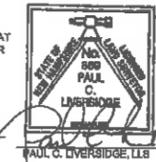
UTILITY NOTE 4
THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

CERTIFICATION

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY "MEETS" THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "UP (URBAN)" AS SET FORTH IN TABLE 800.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/02.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

DATE: 1-22-20
PAUL C. DIVERSIDGE, LL.B.



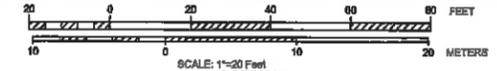
No.	DATE	REVISION	BY
2	07/23/20	ADDRESS PLANNING BOARD COMMENTS	EMB
1	08/18/20	ADDRESS CITY COMMENTS	EMB

EXISTING CONDITIONS PLAN (MAP 'E', LOT 148)

PROPOSED PARKING LOT ADDITION
6-8 HIGH PINE AVENUE
NASHUA, NEW HAMPSHIRE

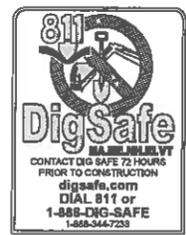
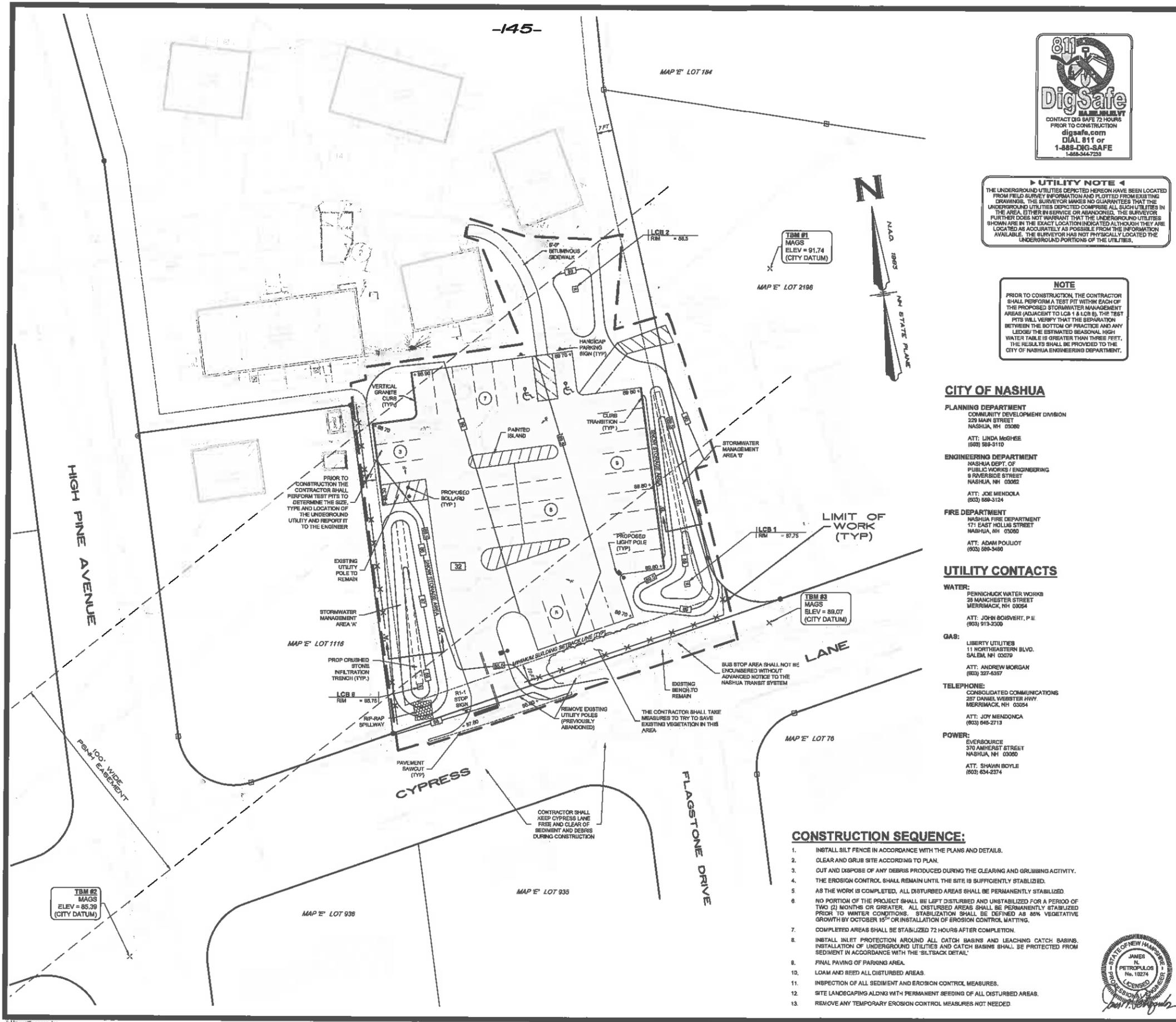
PREPARED FOR/RECORD OWNER:
OAKWOOD SQUARE, LLC

c/o THE STABLE COMPANIES 20 COTTON ROAD, SUITE 200 NASHUA, NH 03063-4219



23 MARCH 2020





UTILITY NOTE
 THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

NOTE
 PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PERFORM A TEST PIT WITHIN EACH OF THE PROPOSED STORMWATER MANAGEMENT AREAS (ADJACENT TO LCB 1 & LCB 2). THE TEST PITS WILL VERIFY THAT THE SEPARATION BETWEEN THE BOTTOM OF PRACTICE AND ANY LEDGE/ESTIMATED SEASONAL HIGH WATER TABLE IS GREATER THAN THREE FEET. THE RESULTS SHALL BE PROVIDED TO THE CITY OF NASHUA ENGINEERING DEPARTMENT.

CITY OF NASHUA

PLANNING DEPARTMENT
 COMMUNITY DEVELOPMENT DIVISION
 229 MAIN STREET
 NASHUA, NH 03060
 ATT: LINDA MCGHEE
 (603) 889-3110

ENGINEERING DEPARTMENT
 NASHUA DEPT. OF PUBLIC WORKS / ENGINEERING
 9 RIVERSIDE STREET
 NASHUA, NH 03062
 ATT: JOE MENDOLA
 (603) 889-3124

FIRE DEPARTMENT
 NASHUA FIRE DEPARTMENT
 171 EAST HOLLIS STREET
 NASHUA, NH 03060
 ATT: ADAM POULIOT
 (603) 889-3468

UTILITY CONTACTS

WATER:
 PENNICHUCK WATER WORKS
 28 MANCHESTER STREET
 MERRIMACK, NH 03054
 ATT: JOHN BOISVERT, P.E.
 (603) 913-2300

GAS:
 LIBERTY UTILITIES
 11 NORTHEASTERN BLVD.
 SALEM, NH 03079
 ATT: ANDREW MORGAN
 (603) 327-6337

TELEPHONE:
 CONSOLIDATED COMMUNICATIONS
 287 DANIEL WEBSTER HWY
 MERRIMACK, NH 03054
 ATT: JOY MENDONCA
 (603) 845-2713

POWER:
 EVERSOURCE
 370 AMHERST STREET
 NASHUA, NH 03060
 ATT: SHAWN BOYLE
 (603) 634-2374

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE IN ACCORDANCE WITH THE PLANS AND DETAILS.
2. CLEAR AND GRUB SITE ACCORDING TO PLAN.
3. CUT AND DISPOSE OF ANY DEBRIS PRODUCED DURING THE CLEARING AND GRUBBING ACTIVITY.
4. THE EROSION CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED.
5. AS THE WORK IS COMPLETED, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED.
6. NO PORTION OF THE PROJECT SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR A PERIOD OF TWO (2) MONTHS OR GREATER. ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED PRIOR TO WINTER CONDITIONS. STABILIZATION SHALL BE DEFINED AS 85% VEGETATIVE GROWTH BY OCTOBER 15TH OR INSTALLATION OF EROSION CONTROL MATTING.
7. COMPLETED AREAS SHALL BE STABILIZED 72 HOURS AFTER COMPLETION.
8. INSTALL INLET PROTECTION AROUND ALL CATCH BASINS AND LEACHING CATCH BASINS. INSTALLATION OF UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT IN ACCORDANCE WITH THE 'SILTSACK DETAIL'.
9. FINAL PAVING OF PARKING AREA.
10. LOAM AND REED ALL DISTURBED AREAS.
11. INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES.
12. SITE LANDSCAPING ALONG WITH PERMANENT SEEDING OF ALL DISTURBED AREAS.
13. REMOVE ANY TEMPORARY EROSION CONTROL MEASURES NOT NEEDED.



CONSTRUCTION NOTES:

1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF NASHUA, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, LATEST EDITION ARE HEREBY INCORPORATED BY REFERENCE.
2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING 'DIG SAFE' AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
4. BLASTING, IF NEEDED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF NASHUA FIRE DEPARTMENT REGULATIONS.
5. ALL STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
6. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDDED IMMEDIATELY UPON BEING CONSTRUCTED.
7. THERE IS NO NEW PROPOSED SITE LIGHTING AS PART OF THIS PROJECT.

UTILITY NOTES:

1. ALL WATER LINE, HYDRANT VALVES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS FOR THE INSTALLATION OF MATERIALS, MAIN PIPING, SERVICE CONNECTIONS IN THE PENNICHUCK WATER WORKS FRANCHISED AREAS OF NASHUA AND MERRIMACK, NEW HAMPSHIRE, LATEST EDITION.
2. ALL DRAINAGE PIPE SHALL BE ADS N-12 HDPE (WATERTIGHT-WT) PIPE AND JOINTS OR APPROVED EQUAL. MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE FOLLOWED.
3. FOUNDATION DRAINS ARE NOT ALLOWED TO OUTLET OVERLAND ONTO ANY STREET.
4. DRAIN SYSTEMS SHALL BE INSTALLED BY A NASHUA LICENSED DRAIN LAYER, PER NRD SECTION 18-42 THROUGH SECTION 18-50.
5. ALL POWER RELATED WORK SHALL CONFORM TO EVERSOURCE STANDARDS.
6. ALL TELECOMMUNICATIONS WORK SHALL CONFORM TO CONSOLIDATED COMMUNICATIONS STANDARDS.
7. ALL NATURAL GAS RELATED WORK SHALL COMPLY WITH LIBERTY UTILITIES STANDARDS.
8. THE PROPOSED BUILDINGS SHALL BE SERVICED BY A FIRE SUPPRESSION SYSTEM. FINAL SIZING AND LOCATION OF PROPOSED WATER SERVICES TO BE DESIGNED BY PROJECT'S MEP ENGINEER AND COORDINATED WITH PENNICHUCK WATER WORKS PRIOR TO CONSTRUCTION.

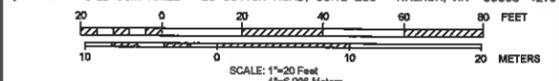
EROSION CONTROL NOTES:

1. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES THROUGHOUT THE DURATION OF THE PROJECT. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
2. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
3. THE CONTRACTOR SHALL INSTALL AND MAINTAIN A GRAVEL CONSTRUCTION EXIT THROUGHOUT CONSTRUCTION TO LIMIT TRACKING OF MATERIAL ONTO CYPRESS LANE. MONITOR CYPRESS LANE FOR TRACKING AND SWEEP AS NECESSARY.
4. LOAM AND MATERIAL STOCKPILE AREAS SHALL BE SURROUNDED BY SILT FENCE AND RESEEDED IF THEY ARE LEFT UNTOUCHED FOR MORE THAN FOURTEEN (14) DAYS.
5. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
6. ALL REEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
7. SILT FENCE SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-QUARTER THE HEIGHT OF THE SILT FENCE.

No.	DATE	REVISION	BY
1	07/22/20	ADDRESS PLANNING BOARD COMMENTS	EMB
2	09/18/20	ADDRESS CITY COMMENTS	EMB

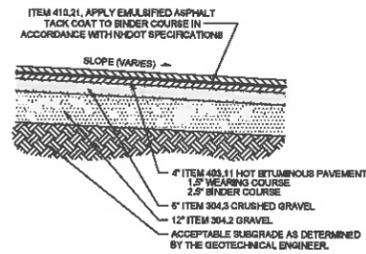
SITE PLAN (MAP 'E', LOT 145)

PROPOSED PARKING LOT ADDITION
 6-8 HIGH PINE AVENUE
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR/RECORD OWNER:
OAKWOOD SQUARE, LLC
 c/o THE STABLE COMPANIES 20 COTTON ROAD, SUITE 200 NASHUA, NH 03063-4219

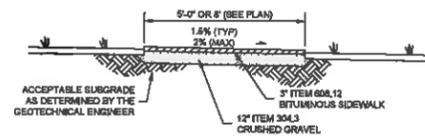


23 MARCH 2020

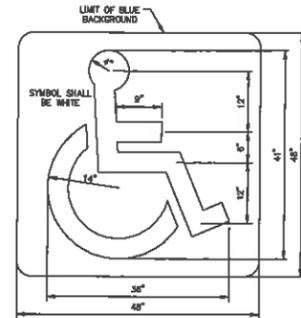
HSL Hayner/Swanson, Inc.
 Civil Engineers/Lead Surveyors
 3 Congress Street Nashua, NH 03062 (603) 883-2057
 131 Middlesex Turnpike Burlington, MA 01803 (781) 263-1501
 www.haynerswanson.com



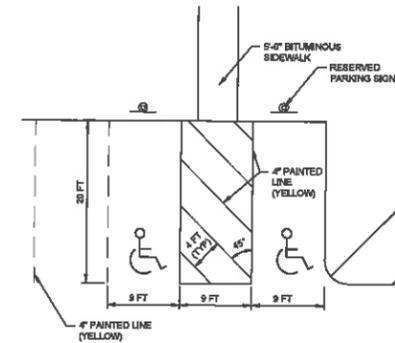
TYPICAL PAVEMENT SECTION
NOT TO SCALE



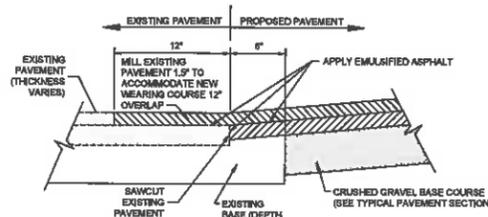
TYPICAL SECTION BITUMINOUS SIDEWALK
NOT TO SCALE



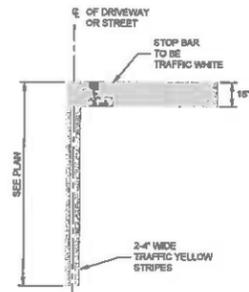
ACCESSIBLE PARKING SPACE PAVEMENT MARKING
NOT TO SCALE



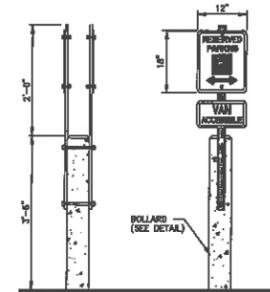
RESERVED PARKING AREA DETAIL
SCALE: 1" = 10'



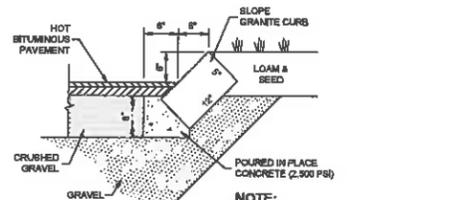
SAWCUT PAVEMENT DETAIL
NOT TO SCALE



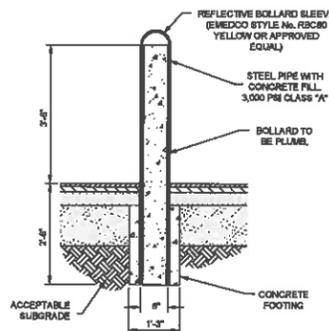
STOP BAR DETAIL
NOT TO SCALE



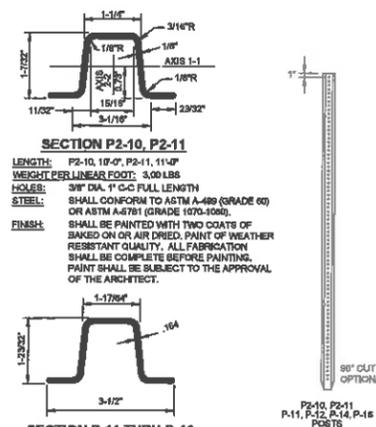
ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE



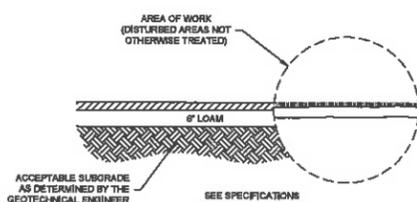
SLOPE GRANITE CURB DETAIL
NOT TO SCALE



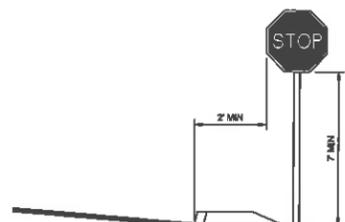
BOLLARD DETAIL
NOT TO SCALE



TRAFFIC SIGN SUPPORT DETAIL
NOT TO SCALE



LOAM AND SEED DETAIL
NOT TO SCALE



STOP SIGN LOCATION DETAIL
NOT TO SCALE



2	07/22/20	ADDRESS PLANNING BOARD COMMENTS	EMB
1	06/18/20	ADDRESS CITY COMMENTS	EMB
No.	DATE	REVISION	BY

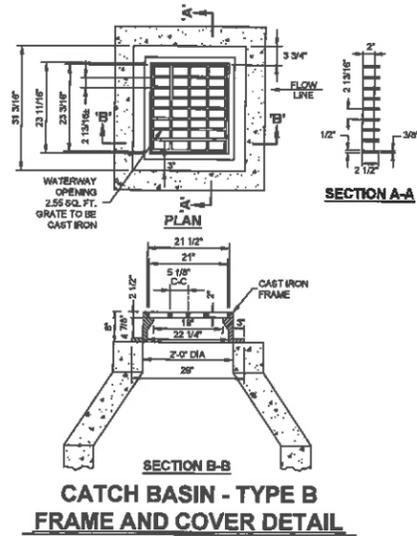
DETAIL SHEET - GENERAL SITE
(MAP 'E', LOT 145)
PROPOSED PARKING LOT ADDITION
6-8 HIGH PINE AVENUE
NASHUA, NEW HAMPSHIRE
PREPARED FOR/RECORD OWNER:
OAKWOOD SQUARE, LLC
c/o THE STABLE COMPANIES 20 COTTON ROAD, SUITE 200 NASHUA, NH 03063-4219

SCALE AS SHOWN

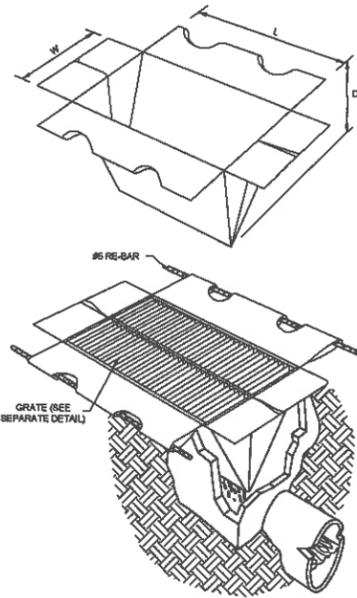
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HESI Haynes/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street Nashua, NH 03062 (603) 883-2037
131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
www.haynes-swanson.com

FIELD BOOK	DRAWING NAME: 190157E-DET1	19B1	4 OF 6
DRAWING LOC.: \\1000\1901\DWG\1901 SITE		PLO 190132	Sheet



**CATCH BASIN - TYPE B
FRAME AND COVER DETAIL**
(SHOOT STANDARD)
NOT TO SCALE



SILTSAK® DETAIL
NOT TO SCALE

SILTSAK® NOTES:

- 1.0 THE SILTSAK® SHALL BE MANUFACTURED FROM WOVEN POLYPROPYLENE AND SEWN BY A DOUBLE NEEDLE MACHINE, USING A HIGH STRENGTH NYLON THREAD.
- 2.0 THE SILTSAK® SEAMS SHALL HAVE A CERTIFIED AVERAGE WIDE WIDTH STRENGTH PER ASTM D-484 STANDARDS AS FOLLOWS:
SILTSAK® STYLE TEST METHOD TEST RESULT
REGULAR FLOW ASTM D-484 165.0 LBSIN
H-FLOW ASTM D-484 114.8 LBSIN
- 3.0 THE SILTSAK® WILL BE MANUFACTURED TO FIT THE OPENING OF THE CATCH BASIN OR DROP INLET. THE SILTSAK® WILL HAVE THE FOLLOWING FEATURES: TWO DUMP STRAPS ATTACHED TO THE BOTTOM TO FACILITATE THE EMPTYING OF THE SILTSAK®; THE SILTSAK® SHALL HAVE LIFTING LOOPS AS AN INTEGRAL PART OF THE SYSTEM TO BE USED TO LIFT THE SILTSAK® FROM THE BASIN; THE SILTSAK® SHALL HAVE A RESTRAINT CORD APPROXIMATELY HALFWAY UP THE BACK, TO KEEP THE SIDES AWAY FROM THE CATCH BASIN WALLS. THIS YELLOW CORD IS ALSO A VISIBLE MEANS OF INDICATING WHEN THE SACK SHOULD BE EMPTIED, CLEANED, AND PLACED BACK INTO THE BASIN.
- 4.0 THE GEOTEXTILE FABRIC SHALL BE WOVEN POLYPROPYLENE FABRIC WITH THE FOLLOWING PROPERTIES:
SILTSAK® REGULAR FLOW
PROPERTY TEST METHOD TEST RESULT
GRAB TENSILE ASTM D-4832 300 LBS
GRAB ELONGATION ASTM D-4831 20%
PUNCTURE ASTM D-4833 120 LBS
MULLEN BURST ASTM D-3786 400 PSI
TRAPEZOID TEAR ASTM D-4833 120 LBS
UV RESISTANCE ASTM D-4205 80%
APPARENT OPENING ASTM D-4751 40 US SIEVE
FLOW RATE ASTM D-4811 40 GAL/MIN/FT2
PERMITTIVITY ASTM D-4811 0.56 SEC

OR SILTSAK® H-FLOW
PROPERTY TEST METHOD TEST RESULT
GRAB TENSILE ASTM D-4832 286 LBS
GRAB ELONGATION ASTM D-4831 20%
PUNCTURE ASTM D-4833 135 LBS
MULLEN BURST ASTM D-3786 420 PSI
TRAPEZOID TEAR ASTM D-4833 45 LBS
UV RESISTANCE ASTM D-4205 80%
APPARENT OPENING ASTM D-4751 20 US SIEVE
FLOW RATE ASTM D-4811 200 GAL/MIN/FT2
PERMITTIVITY ASTM D-4811 1.5 SEC

SITE MAINTENANCE/INSPECTION PROGRAM

THE FOLLOWING PROVIDES AN ITEMIZATION OF SPECIFIC SITE MAINTENANCE PRACTICES THAT WILL BE EMPLOYED ON THE SITE TO MINIMIZE POLLUTANT GENERATION AND TRANSPORT FROM THE SITE. THE SITE MAINTENANCE PROGRAM INCLUDES ROUTINE INSPECTIONS, PREVENTATIVE MAINTENANCE AND "GOOD HOUSEKEEPING" PRACTICES.

ROUTINE INSPECTIONS

1. THE CONTRACTOR SHALL INSPECT ALL CONTROL MEASURES AT LEAST ONCE A WEEK AND WITHIN TWELVE (12) HOURS OF THE END OF A STORM WITH RAINFALL AMOUNT GREATER THAN 0.5 INCHES. THE INSPECTORS WILL VERIFY THAT THE STRUCTURAL BMPs DESCRIBED IN THE PLANS ARE IN GOOD CONDITION AND ARE MINIMIZING EROSION. A MAINTENANCE INSPECTION REPORT WILL BE MADE WITH EACH INSPECTION. COMPLETED INSPECTION FORMS SHALL BE KEPT ON-SITE FOR THE DURATION OF THE PROJECT. FOLLOWING CONSTRUCTION, THE COMPLETED FORMS SHALL BE RETAINED AT THE CONTRACTOR'S OFFICE FOR A MINIMUM OF ONE YEAR.

PREVENTATIVE MAINTENANCE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TEMPORARY AND PERMANENT CONTROLS THROUGHOUT THE DURATION OF THIS CONTRACT. MAINTENANCE PRACTICES SHALL INCLUDE, BUT ARE NOT LIMITED TO:

1. CLEANING OF CATCH BASINS TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY QUARTERLY INSPECTIONS.
2. CLEANING OF SEDIMENT AND DEBRIS FROM STORMWATER MANAGEMENT AREA FOREBAY TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY MONTHLY INSPECTIONS.
3. IMPLEMENTATION OF OTHER MAINTENANCE OR REPAIR ACTIVITIES AS DEEMED NECESSARY BASED UPON WEEKLY INSPECTIONS.
4. REMOVAL OF BUILT UP SEDIMENT ALONG SILT FENCES AND/OR HAY BALE BARRIERS.
5. REMOVAL OF BUILT UP SEDIMENT IN BOTH TEMPORARY AND PERMANENT CONTROLS SUCH AS GRASS SWALES, SEDIMENT FOREBAYS AND RECHARGES/DETENTION BASINS.
6. RECONSTRUCTING THE TEMPORARY GRAVEL CONSTRUCTION EXIT IF NOT WORKING PROPERLY.
7. TREATMENT OF NON-STORM WATER DISCHARGES SUCH AS WATER FROM WATER LINE LEAKS OR GROUNDWATER FROM DEWATERING EXCAVATIONS. SUCH FLOWS SHOULD BE DIRECTED TO A TEMPORARY SEDIMENTATION BASIN OR STORMWATER MANAGEMENT AREA.
8. SHEEP PAVING LGTS AND DRIVES REGULARLY TO MINIMIZE SEDIMENT ACCUMULATION. FREQUENCY WILL VARY SEASONALLY ACCORDING TO SEDIMENT ACCUMULATION ON PAVE SURFACES (E.G., MORE FREQUENT SWEEPING DURING THE WINTER AND SPRING).

GOOD HOUSEKEEPING PRACTICES

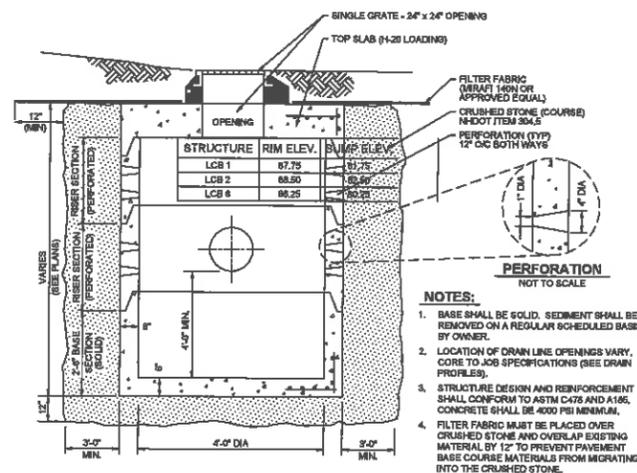
1. THE CONTRACTOR SHALL EMPLOY MEASURES AND PRACTICES TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS TO STORM AND WATER RUNOFF. THE CONTRACTOR SHALL PAY SPECIAL ATTENTION TO THE HANDLING, USE AND DISPOSAL OF MATERIALS SUCH AS PETROLEUM PRODUCTS, FERTILIZERS AND PAINTS TO ENSURE THAT THE RISK ASSOCIATED WITH THE USE OF THESE PRODUCTS IS MINIMIZED. THE FOLLOWING "GOOD HOUSEKEEPING" PRACTICES SHALL BE FOLLOWED DURING CONSTRUCTION OF THE PROJECT:
 - A. AN EFFORT SHALL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
 - B. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
 - C. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THEIR MANUFACTURERS' LABELS.
 - D. WHENEVER POSSIBLE, ALL OF A PRODUCT SHALL BE USED BEFORE DISPOSING OF THE CONTAINER.
 - E. MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.
 - F. THE CONTRACTOR SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.

EROSION CONTROL NOTES - CONTD

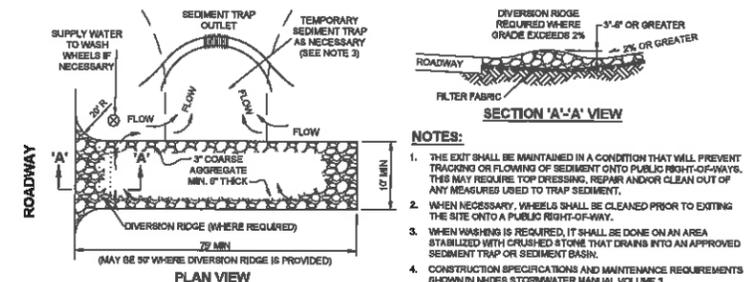
1. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS THEREOF IN NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES STORMWATER MANUALS, VOLUME 1-3, LATEST EDITION.
2. THE WORK AREA SHALL BE GRADED, SHAPED, AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION AND DAMAGE TO PROPERTY OUTSIDE THE LIMITS OF THE WORK AREA. SILT FENCES, STRAW BALES AND/OR DETENTION BASINS WILL BE NECESSARY TO ACCOMPLISH THIS END.
3. STRIPPED TOPSOIL SHALL BE STOCKPILED, WITHOUT COMPACTION, AND STABILIZED AGAINST EROSION IN ACCORDANCE WITH "TEMPORARY STABILIZATION OF DISTURBED AREAS", AS OUTLINED IN NOTE No. 4.
4. TEMPORARY STABILIZATION OF DISTURBED AREAS:
SEED BED PREPARATION: 10-18-10 FERTILIZATION TO BE SPREAD AT THE RATE OF 7 LBS PER 1,000 SF AND AGRICULTURAL LIMESTONE AT A RATE OF 90 LBS PER 1,000 SF AND INCORPORATED INTO THE SOIL. THE SOIL, FERTILIZER AND LIMESTONE SHALL BE TILLED TO PREPARE FOR SEEDING.
 - A. SEED MIXTURE: USE ANY OF THE FOLLOWING:

SPECIES	RATE PER 1,000 SF	DEPTH	SEEDING DATES
WINTER RYE	2.5 LBS	1"	04/18 TO 05/15
2.5 LBS	1"	04/18 TO 10/15	
ANNUAL RYE GRASS	1.0 LBS	0.25"	08/15 TO 09/15
 - B. MULCHING: MULCH SHOULD BE USED ON HIGHLY ERODIBLE AREAS, AND WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT AS FOLLOWS:

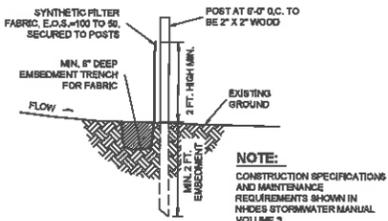
TYPE	RATE PER 1,000 SF	USE & COMMENTS
STRAW	75 TO 90 LBS	MAY BE USED WITH PLANTINGS, MUST BE ANCHORED TO BE USED ALONE
WOOD CHIPS OR BANK MULCH	480 TO 820 LBS	USED WITH TREE AND SHRUB PLANTINGS
FIBRIOUS MATTING	AS RECOMMENDED BY MANUFACTURER	MUST BE BIODEGRADABLE. USE IN SLOPE AREAS AND AREAS DIFFICULT TO VEGETATE.
CRUSHED STONE	SPREAD TO GREATER THAN 1" THICKNESS	USE IN SPECIFIC AREAS AS SHOWN ON PLAN OR AS NEEDED.



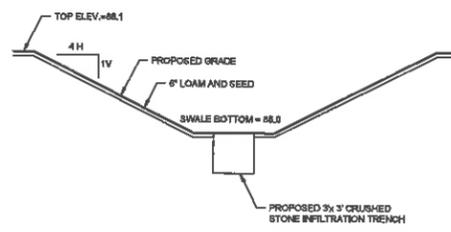
LEACHING CATCH BASIN
NOT TO SCALE



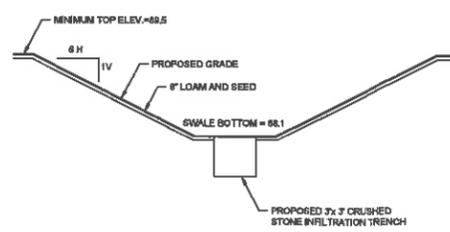
TEMPORARY GRAVEL CONSTRUCTION EXIT
NOT TO SCALE



SILT FENCE DETAIL
NOT TO SCALE



CROSS SECTION 'A' - 'A'
NOT TO SCALE



CROSS SECTION 'B' - 'B'
NOT TO SCALE

SPILL PREVENTION AND CLEANUP PRACTICES

- A. MANUFACTURERS' RECOMMENDED METHOD FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIAL WILL BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- C. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- D. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT RUNOFF FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- E. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
- F. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

No.	DATE	REVISION	BY
2	07/23/20	ADDRESS PLANNING BOARD COMMENTS	EMB
1	02/19/20	ADDRESS CITY COMMENTS	EMB

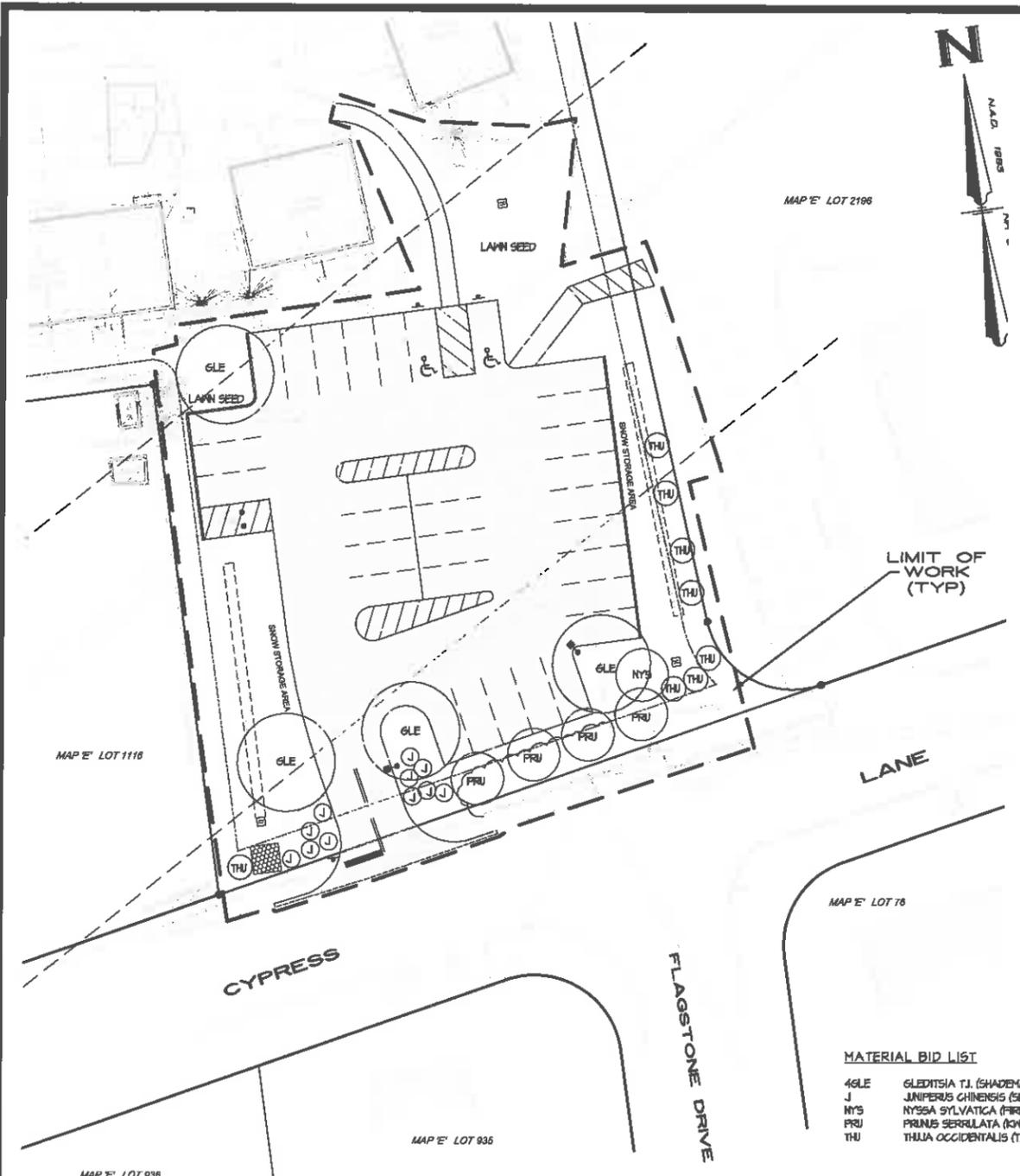
DETAIL SHEET - GENERAL SITE
(MAP 'E', LOT 145)
PROPOSED PARKING LOT ADDITION
6-8 HIGH PINE AVENUE
NASHUA, NEW HAMPSHIRE
PREPARED FOR/RECORD OWNER:
OAKWOOD SQUARE, LLC
c/o THE STABLE COMPANIES 20 COTTON ROAD, SUITE 200 NASHUA, NH 03083-4219

SCALE AS SHOWN

23 MARCH 2020

HESI Hayner/Swanson, Inc.
Civil Engineers/Lead Surveyors
3 Congress Street Nashua, NH 03062 (603) 883-2027
131 Middlesex Turnpike Burlington, MA 01803 (603) 303-1501
www.haynerswanson.com



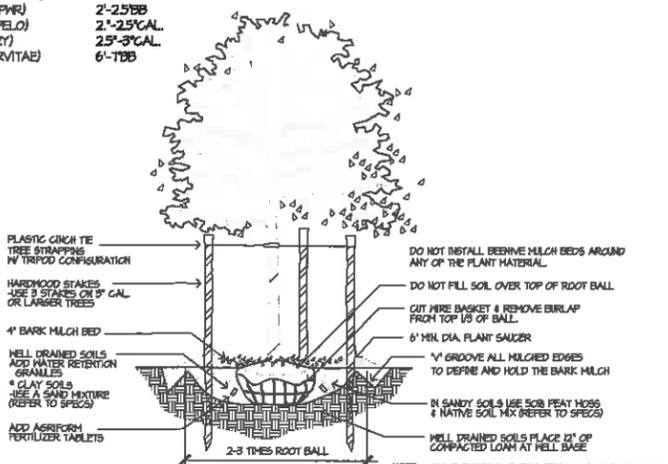
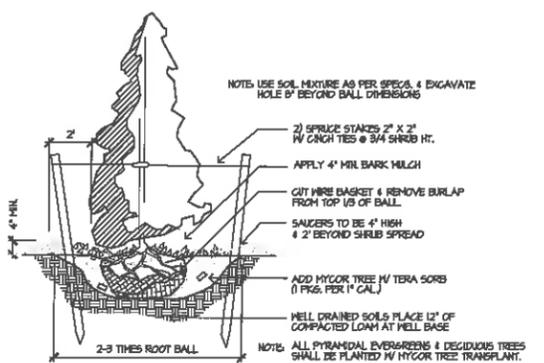
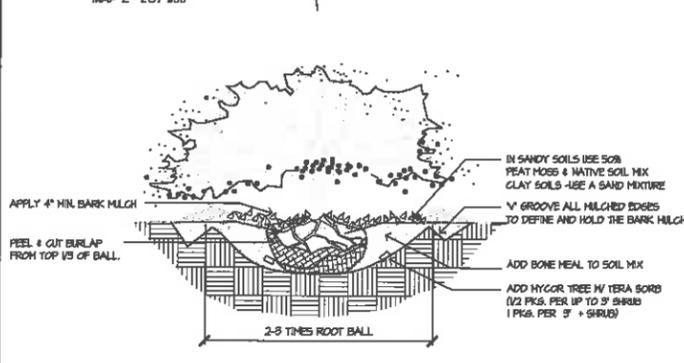


General Specifications

- The contractor shall at his expense furnish all the materials, supplies, machinery, equipment, tool, superintendent, labor, insurance, & other accessories and services necessary to complete the said project within the unit costs stated within the bid price.
- The work to be done under this contract is as shown and described on the drawings. Each bidder shall make a careful examination of the plans and specifications (the plan shall dictate quantities) and acquaint himself with all conditions before making his proposal. He will be held responsible for errors in his proposal resulting from his failure to make such an examination. All bidders shall visit the site and inform themselves of all conditions.
- The bids shall be based on materials and equipment complying with the drawings and the specifications. The contractor shall be responsible under this contract price, for furnishing and installing materials conforming to the bid items. Under no circumstances may a species 'hybrid' be substituted or size changed without written consent of the landscape architect.
- The contractor shall be responsible for the protection of such existing utilities as water mains, sewer systems, gas mains, electrical conduits, telephone lines and any other utilities and if any damage or destruction may occur to these utilities, he shall be responsible for their repair and/or replacement at his expense.
- The contractor shall make payment for all damages to buildings, structures, trees, shrubs and/or any other property outside the construction area or located within those limits but not designated for removal or reconstructed providing such damage shall result from accident caused by negligence for which the contractor shall be legally liable.
- If additional labor and/or materials is requested or required, the contractor shall submit a price to the owner. If the owner approves the price he shall prepare a change order for approval and signature. The contractor shall not proceed without a written authorization from the owner for the additional work. If the contractor proceeds with the additional work without this authorization he shall forfeit any claim for additional compensation.
- The landscape architect shall reserve the right to inspect the project work at any time deemed necessary to insure that the specifications and plans and any other contract documents are being followed.
- The L.A. shall have the right to reject any plant on-site based upon condition, size, or incorrect species or hybrid. LA must be contacted prior to install, to inspect materials delivered to the site, and to insure that soil amendments, bark mulch, roof ballast, etc. are to the written specifications.
- All seeded areas shall receive a minimum 6" topsoil blanket (by site contractor) w/site preparation, raking and general clean up prior to application. Operations shall include a preemergence type herbicide, 12-25-12 granular fertilizer @ 10 lbs./1000 sq. ft., and pelletized limestone @ 25 lbs./1000 sq. ft. power raked into the top 2" of soil prior to hydro-seeding. Rates & application rates may change based upon the required soil analysis.
- Contractor is responsible for establishing a thick, weed free lawn. Seed shall be spread @ 4lbs./1000. Lawn germination shall be 95% free of noxious weeds for acceptance. Define differences in seed mixes (if applicable) with irrigation flagging until 2nd mowing. Site review by LA is required.
- Review of the installed irrigation system by the designer is required prior to release of final payment.
- Hydroseeding operations shall be a one part process with a paper fiber mulch; a tackifier shall be applied on all slopes greater than 3:1. Excelsior Drainage mat shall be applied to all 2:1 slopes and drainage swales per plan.
- Contractor shall maintain, from acceptance date, the lawn areas through the first mowing. Contractor is not responsible for the first mowing.
- All plant materials shall be installed in accordance with A.L.C.C. Trees and shrubs shall have appropriate soil mixtures, fertilizer and soil retention granules.
- If the soil conditions are extremely sandy, all trees shall have a 5" layer of compacted topsoil (verify with Landscape Architect) placed in the base of the plant pit as a moisture retention layer. The plant pit sidewalls shall be over excavated by an additional 12" beyond the normal outside radius of the hole. A topsoil planting mixture shall be used to backfill as per spec # 22.
- Landscape architect shall have the right to reject and have ground removed any plant material not of proper size or of weak quality, i.e. thin, no lower branching, etc. Contractor must submit shipping lists (billing invoices) for verification, prior to installation.
- All plant material shall be guaranteed for a period of one (1) year from date of installation. Any material which dies or does not show a healthy appearance within this time shall be replaced at the contractors expense; with same warranty requirements as the original. Warranty does not cover loss due mechanical damage, i.e. snow storage. Contractor should protect susceptible species from insect infestation. Use a liquid systemic application on birch, etc.
- Plant beds and saucers vary in dia. (refer to dwg). Trees and shrubs shall receive a 4" (settled) covering of pine/cedar bark mulch; saucer diameters per drawing & details. Deciduous trees shall have a 6" dia. saucer (typ.), evergreen trees shall have a saucer 2" min. beyond it's outer branches. All edges shall have a "V" groove.
- All B&B material which are encased in wire baskets shall have the wires cut loose and the top third removed prior to backfill operation.
- If road base is encountered in any plant bed areas, i.e. parking islands, it shall be removed and suitable amended soil installed per drawings and specifications.
- Soil planting mixture shall be a 8%-10% organic topsoil, amended with 10% wood ash, 10% manure, & 30% peatmoss or incorporate a dehydrated compost material. If planting in sand, gravel or other well drained soils, a 50% peatmoss to excavated soil. Other soil amendments shall include; Agriform tablets, Hydro-Gel or equal, and Roots growth enhancer to all trees and shrubs listed, per manufacturers specifications. All plant material pits will receive a min. 20% in volume mix of a compost soil amendment. Submittal required. 'Roots' STEP 1 can be substituted for the individual supplements. Install per manufacturer's specs.
- Landscape contractor shall not be responsible for topsoil spreading but shall coordinate with the site contractor adherence to the mound grades, plant bed soil depths and soil type per dwgs & spec. Landscape contractor shall power rake-out for seed.
- Landscape contractor shall provide a soil analysis of the topsoil planting mixture. Analysis to show soil classification (min. sandy loam) and nutrients.
- Contractor shall protect all B&B materials left above grade prior to installation from drying out. All plants shall be stored, covered in mulch, and irrigated until planted. Any plant left on the ground and whose outer ball surface dries out, shall be rejected by the landscape architect. Plants stored in shade and off pavement.
- Plan dictates, contractor shall alert Landscape Architect if any discrepancies exist between the plan, the material list, and as-built site conditions.
- Installer shall notify landscape architect prior to planting, to review plant locations and bedline configurations. If contractor installs without the placement approval of the L.A., said architect shall have the right to relocate any installed plants at the contractor's expense.
- Installer shall notify landscape architect prior to plant installation to review all materials. Any plants of poor condition, improper size, or species will be rejected.
- Upon one year review, contractor shall straighten any trees that have shifted. Any weak or bare spots in lawn shall be reseeded.
- All bedlines shall have a deep "V" groove to define lawn to mulch edge. No "Beehive" mounding of mulch is allowed, also keep mulch away from base of perennials.
- Do not plant materials too close to the edge of bedlines. Refer to drawings for center of plant to bedline. At a minimum no outer branching of a shrub or perennial shall be closer than two feet from the bedlines. If the as-built does not comply contractor shall adjust the plant location or bedline at his expense.
- Seed mixes include: Sandy Soil Lawn Mix by: deercreekseed.com; New England Wetland Plants, Amherst, Ma. refer to planting plan for designations.
- Any items not completed to the specifications will be required at contractors expense prior to final approval. Contractor is to bid the work according to the specifications and not to what they may do under their standard practices. Special attention will be paid to soils, amendments, guy stakes, bedline & saucer configurations, seed mixtures, etc.
- Certain designated foundation edging is road ballast (washed rounds, non-crushed, natural) Size of stone is a range of 3/4"-1.5" dia. placed to a depth of 3", upon placement apply a coating of granular Proen (premergent).
- Any questions concerning this drawing shall be directed to Joseph Hochrain c/o Blackwater Design, 85 Frost Lane, Webster, NH 03303, 803-648-2541.

MATERIAL BID LIST

4GLE	GLEDITSIA T. (SHADEMASTER HONEYLOCUST)	2 1/2" - 3" CAL.
J	JUNIPERUS CHINENSIS (SEAGREEN JUNIPER)	2" - 2 1/2" DIA.
NYS	NYSSA SYLVATICA (PIRESTAR/RED TUPELO)	2 1/2" - 2 5/8" CAL.
PRU	PRUNUS SEROTINATA (KAWAZAN CHERRY)	2 1/2" - 3" CAL.
THU	THUJA OCCIDENTALIS (TECHY ARBORVITAE)	6" - 12" DIA.



2	07/22/20	ADDRESS PLANNING BOARD COMMENTS	EMB
1	06/18/20	ADDRESS CITY COMMENTS	EMB
No.	DATE	REVISION	BY

LANDSCAPE PLAN
(MAP 'E', LOT 145)
PROPOSED PARKING LOT ADDITION
6-8 HIGH PINE AVENUE
NASHUA, NEW HAMPSHIRE
PREPARED FOR/RECORD OWNER:
OAKWOOD SQUARE, LLC
c/o THE STABLE COMPANIES 20 COTTON ROAD, SUITE 200 NASHUA, NH 03083-4219

SCALE: 1"=20 Feet
1"=6.096 Meters

23 MARCH 2020

PREPARED BY:
BLACKWATER DESIGN
PHONE (603) 648-6500 FAX (603) 648-6506
Land Planning - Landscape Architecture
85 Frost Lane - Webster, NH 03303

FIELD BOOK:	DRAWING NAME: 1981SITE-LS21	1981	6 OF 6
DRAWING LOC.: \\1000\1981\DWG\1981 SITE		FILE NUMBER	Sheet

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda McGhee, Deputy Planning Manager
FOR: August 6, 2020
RE: **New Business #2 - Subdivision**

I. Project Statistics:

Owner : Public Service Co of NH and City of Nashua
Proposal: One Year Extension - Lot line relocation plan
Location: 3 & 21 Pine Street Ext
Total Site Area: 84,883 sf
Existing Zoning: GI-General Industrial/MU-Mixed Use
Surrounding Uses: Commercial

II. Background Information:

On July 11, 2019 the Planning Board approved lot line relocation plan to transfer 33,814 sf from Lot 17 to Lot 2A. The staff report and approval letter are attached.

III. Project Description:

The purpose of this application is to extend the Planning Board approval for one year. There are no changes proposed to the approved plan. City Staff has no concerns or objections related to this application.

Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet the requirements outlined in the Subdivision NRO § 190-138(G). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulation be made part of that approval:

- 1 . All prior conditions of approval are incorporated herein and made a part of this plan, unless otherwise determined by the Planning Board.

GENERAL INFORMATION

OWNER / APPLICANT

PUBLIC SERVICE CO OF NH
D/B/A EVERSOURCE ENERGY
PO BOX 270
HARTFORD, CT 06141-0270

PREPARED FOR

PUBLIC SERVICE CO OF NH
D/B/A EVERSOURCE ENERGY
PO BOX 270
HARTFORD, CT 06141-0270

RESOURCE LIST

PLANNING DEPARTMENT

229 MAIN STREET
P.O. BOX 2019
NASHUA, NH 03061-2019
(603) 589-3114
MATT TAYLOR, DEPUTY MANAGER

CITY ENGINEERING OFFICE

9 RIVERSIDE STREET
NASHUA, NH 03061-2019
(603) 589-3123
JEANNE WALKER, DEPUTY MANAGER

PENNICHUOK WATER WORKS

25 MANCHESTER STREET
P.O. BOX 1947
MERRIMACK, NH 03054-1947
(603) 882-5191
RICHARD PHILBROK

ENVIRONMENTAL HEALTH

18 MULBERRY STREET
P.O. BOX 2019
NASHUA, NH
(603) 589-4630
HEIDI PEEK

FIRE MARSHAL

177 LAKE STREET
NASHUA, NH 03060
(603) 589-3460

TRAFFIC ENGINEER

13 STADIUM DRIVE
NASHUA, NH 03062
(603) 589-4700
WAYNE HUSBAND

STREET DEPARTMENT

9 STADIUM DRIVE
NASHUA, NH 03062
(603) 589-4750
ERIC RYDER

GAS

LIBERTY UTILITIES
15 BUTTRICK ROAD
LONDONDERRY, NH 03053
800-833-4200

ELECTRIC

EVSOURCE
PO BOX 330
MANCHESTER, NH 03105-0330
800-862-7764

TELEPHONE

FAIRPOINT COMMUNICATIONS
770 ELM STREET
MANCHESTER, NH 03103
(866) 984-3001

CABLE

COMCAST COMMUNICATIONS
322 NASHUA ROAD
1-800-2550-2278

ABUTTERS

MAP 77-17, 77-30
CITY OF NASHUA
229 MAIN STREET
NASHUA, NH 03060-0000

MAP 77-1

NASHUA MILLYARD ASSOCIATES INC.
P.O. BOX 766
NASHUA, NH 03061

MAP 77-2A

PUBLIC SERVICE CO OF NH
P.O. BOX 270
HARTFORD, CT 06141-0270

MAP 77-13

AS TRUSTEE OF PLATO A SPIROS
C/O INDIANHEAD REALTY TRUST
10 TECHNOLOGY WAY
NASHUA, NH 03060

LOT LINE ADJUSTMENT PLAN FOR CITY OF NASHUA AND EVERSOURCE ENERGY

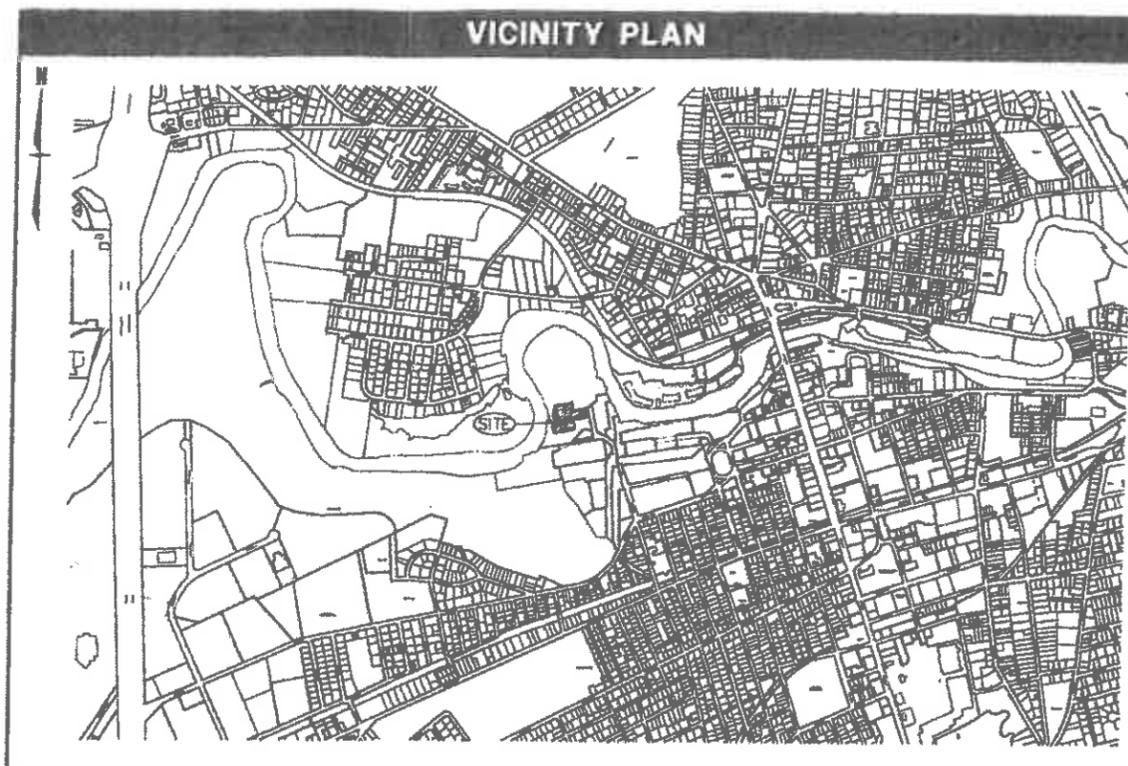
3 & 21 PINE STREET, NASHUA, NEW HAMPSHIRE

INDEX OF SHEETS

SHEET	SHEET TITLE
1	COVER SHEET
2	OVERALL EXISTING CONDITIONS PLAN
3	EXISTING CONDITIONS PLAN
4	LOT LINE ADJUSTMENT PLAN

LEGEND

STONE BOUND TO BE SET	● SB TBS
IRON PIN TO BE SET	● IP TBS
CONCRETE BOUND FOUND	□ CBF
STONE BOUND FOUND	□ SBF
IRON PIPE FOUND	○ IPF
IRON PIN FOUND	○ IPF or IP
NAIL OR RAILROAD SPIKE FOUND	△ RPK or RPS
GUARD RAIL	
BITUMINOUS CONCRETE CURB	
SLOPED GRANITE CURB	
VERTICAL GRANITE CURB	
INTEGRAL CONCRETE CURB	
CONCRETE CURB	
EDGE OF PAVEMENT	
EDGE OF GRAVEL	
RETAINING WALL	
WIRE FENCE	
CHAIN LINK FENCE	
WOOD FENCE	
SIGN	
HYDRANT	
UTILITY POLE	
EDGE OF WETLAND	
DENOTES MAP AND LOT NUMBER 20-763	
BROOK, STREAM OR RIVER	
STONEWALL (BOUNDARY)	
STONEWALL (INTERIOR)	
ZONING BOUNDARY	
EDGE OF WATER	
LIMITS OF CLEARING / TREELINE	
TREES	



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists



OWNER'S STATEMENT
IT IS HEREBY AGREED THAT, AS THE OWNER/DEVELOPER OF THE PROPERTY, I WILL CONSTRUCT THE PROJECT AS APPROVED AND AS SHOWN ON THE ENCLOSED SET OF PLANS. FURTHER, I AGREE TO MAINTAIN THE SITE IMPROVEMENTS FOR THE DURATION OF THE USE.
OWNER'S SIGNATURE _____ DATE _____

TAX MAP 77 LOT 2A & 17
COVER SHEET
CITY OF NASHUA AND EVERSOURCE ENERGY
3 & 21 PINE STREET,
NASHUA, NEW HAMPSHIRE
OWNED BY
CITY OF NASHUA (MAP 77, LOT 17)
PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE
d/b/a EVERSOURCE ENERGY
PREPARED FOR
PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE
d/b/a EVERSOURCE ENERGY
SCALE: AS NOTED 603-684-3258 MAY 15, 2019

TFM Civil Engineers 48 Constitution Drive
Structural Engineers Bedford, NH 03110
Traffic Engineers Phone (603) 472-4488
Land Surveyors Fee (603) 472-9747
Landscape Architects www.tfmoron.com
Scientists

REV	DATE	DESCRIPTION	BY	CHK
1	5/10/19	REVISE LOT LINE ADJUSTMENT PLAN FOR CHECKLIST	JMO	JMO

17939.00 DR JMO FB
CK JMO CADFILE 17939-00 SURVEY SHEET 1 OF 4

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This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

APPROVED BY THE NASHUA PLANNING BOARD
ON _____ AND
CHAIRMAN: _____
SECRETARY: _____

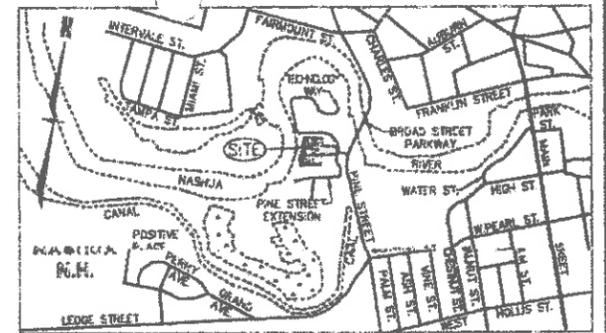
FAIRSBACE 3421 Pine St. Nashua

REFERENCE PLANS

SEE SHEET 3 FOR REFERENCE PLANS

WETLAND CERTIFICATION

JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN WERE DELINEATED ON APR. 08, 2016 BY CHRISTOPHER K. DANFORTH CWS #077. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTH-EAST REGION, VERSION 2, JANUARY 2012. DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING FIELD INDICATORS OF HYDRIC SOILS OF THE UNITED STATES A GUID FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, NRCS, VERS. 24 & 1, 2017. DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE USDA NATIONAL WETLAND PLANT LIST, NWHPL, 2016 VERS. 24.



VICINITY PLAN

SCALE 1"=1,000'

NOTES

- OWNER OF RECORD OF MAP 77 LOT 17 IS THE CITY OF NASHUA 229 MAIN ST NASHUA, NH 03060. PARCEL ADDRESS: 21 PINE ST. EXT. NASHUA, NH. DEED REFERENCE TO PARCEL IS BK: 6313 PL: 1994 ANJ BK: 0363 PG: 2282 IN THE HERE AREA = 69,339 S²/4/- or 1.3622 ACRES +/-.
- OWNER OF RECORD OF MAP 77 LOT 2A IS PUBLIC SERVICE CO OF NH, D/B/A EVERSOURCE ENERGY PO BOX 270, HARRISBURG, CT 06141-0270. PARCEL ADDRESS: 77 PINE ST. NASHUA, NH. DEED REFERENCE TO PARCEL IS BK: 1242 PG: 38 IN THE HERE AREA = 29,537 S²/4/- or 0.5963 ACRES +/-.
- 77-13 INDICATES TAX MAP AND LOT NUMBER.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULTS OF AN EXISTING CONDITIONS SURVEY OF LOTS 77-17 AND 77-2A.
- CURRENT ZONING IS O/A/S.
 - MIN LOT SIZE: 5,000 SQUARE FEET
 - MIN LOT WIDTH: 50 FEET
 - MIN FRONTAGE: 50 FEET
 - MIN LOT DEPTH: 75 FEET
 - MIN HEIGHT: 80 FEET OR 5 STOREYS
 - MIN BUILDING SETBACKS: 10 FEET FRONT, 30 FEET REAR, 10 FEET SIDE
 - OPEN SPACE PERCENTAGE: 10 PERCENT
 - MIN FLOOR AREA RATIO: 2.0
- EXAMINATION OF THE 1,000 INSURANCE RATE MAP FOR HILLSBOROUGH COUNTY, NEW HAMPSHIRE, (ALL JURISDICTIONS) MAP NUMBER 3301005130 EFFECTIVE DATE: SEPTEMBER 25, 2005, INDICATES THAT THE SUBJECT PARCELS ARE NOT LOCATED WITHIN A FLOOD HAZARD AREA ZONE AE.
- BENCHMARK USED: NASH COBNS BASE STATION. VERTICAL DATUM: NAVD 83 (COBNS). BENCHMARKS SET: AS NOTED.
- HORIZONTAL COORDINATES: PROJECTION: NH STATE PLANE. HORIZONTAL DATUM: NAV 83.
- EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. OTHER EASEMENTS, RIGHTS OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCELS WOULD DETERMINE.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. IT IS THE OWNER'S RESPONSIBILITY TO VERIFY THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT 800-SAFE AT 811.
- FLOOD ZONES ARE SHOWN ACCORDING TO THE FLOOD INSURANCE MAP 33011005130, BASE FLOOD WATER SURFACE ELEVATION OF 126.7 WAS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY DOCUMENT CASE# 14-01-0076P TABLE 6 DATED SEPTEMBER 18, 2014.

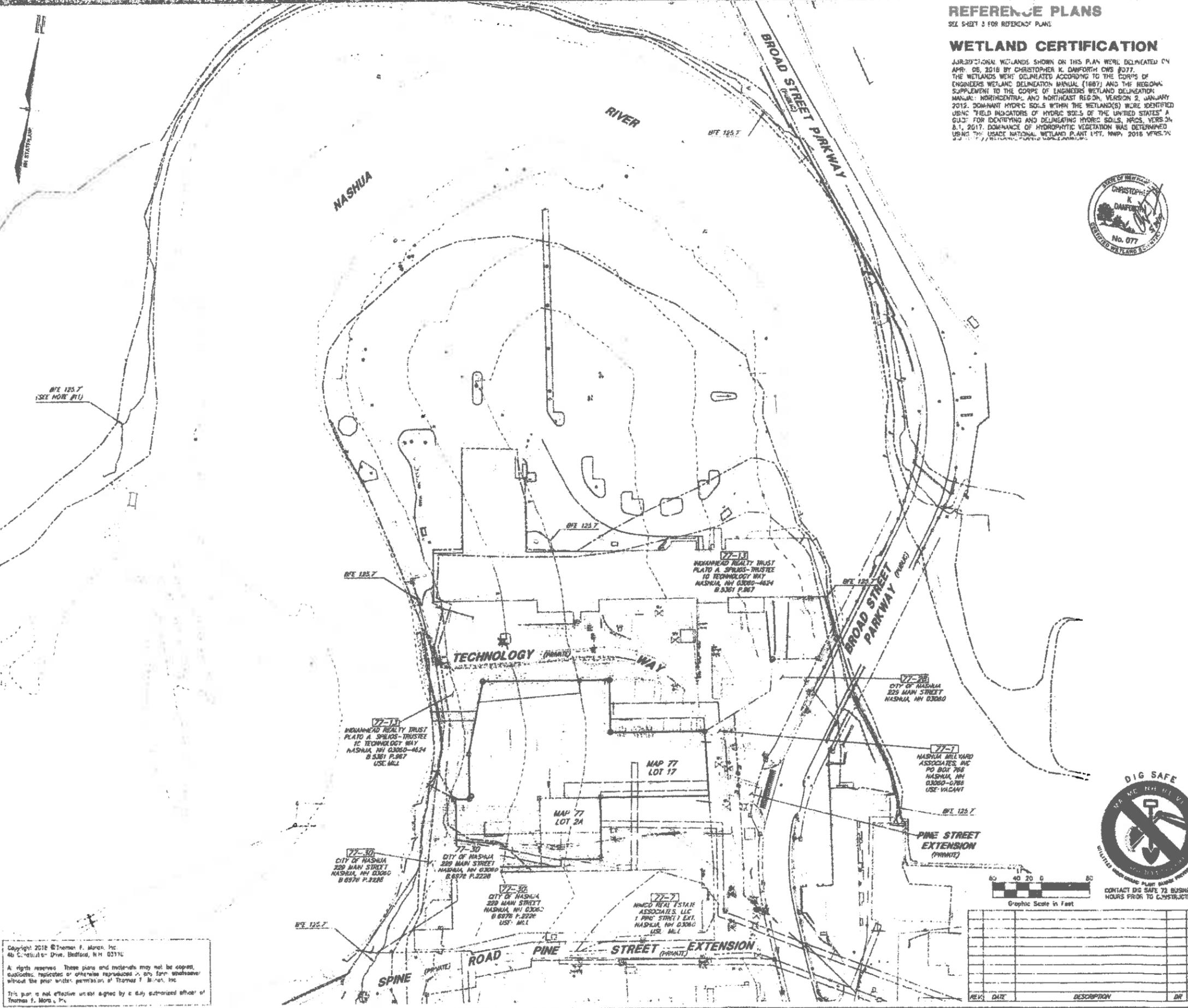
CERTIFICATION

I HEREBY CERTIFY TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "1" (UNB) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSES FOR LAND SURVEYORS ADOPTED 8/23/01, EFFECTIVE 8/24/01.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BOUNDING THE SUBJECT PROPERTY.



REV.	DATE	DESCRIPTION	BY	CHK



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40 Constitution Drive, Bedford, NH 03110

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This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

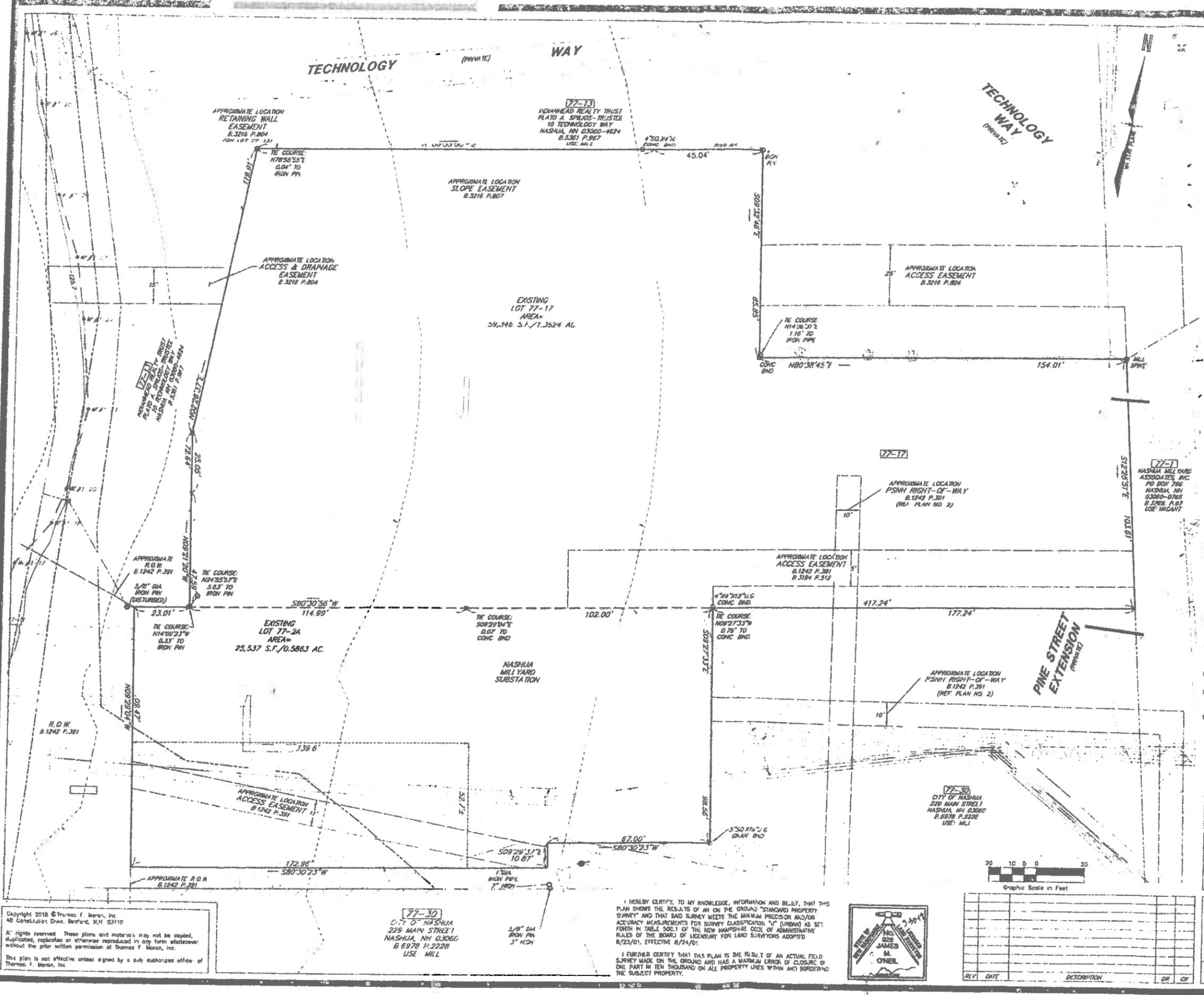
TAX MAP 77 LOT 2A & 17
OVERALL EXISTING CONDITIONS PLAN
 CITY OF NASHUA AND EVERSOURCE ENERGY
 3 & 21 PINE STREET,
 NASHUA, NEW HAMPSHIRE
 OWNED BY
CITY OF NASHUA (MAP 77, LOT 17)
PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE
 d/b/a EVERSOURCE ENERGY (MAP 77, LOT 2A)
 PREPARED FOR
PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE
 d/b/a EVERSOURCE ENERGY

SCALE: 1"=80' 603-694-3256 MAY 15, 2019

TFM Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists

45 Constitution Drive
 Bedford, NH 03110
 Phone: (603) 472-4488
 Fax: (603) 472-9747
 www.tfmcon.com

17939.00 **TNB** **Ps** 2127
JMO **DAWLEY** 17939-00 SURVEY SHEET 2 OF 4



- ### REFERENCE PLANS
- EXHIBIT "A" LANC & RIGHT OF WAY FROM NASHUA NH FOUNDATION MAY 2, 1949 P.S.CO. OF NH ENGR DEPT PLAN B-688-4 HCRD PLAN NO.185 AND EXHIBIT "B" LOT "E" LANC & RIGHT OF WAY FROM NASHUA NH FOUNDATION MAY 2, 1949 P.S.CO. OF NH ENGR DEPT PLAN B-688-4 HCRD PLAN NO. 3075.
 - DORSET "B" APPROXIMATE LOCATION OF RIGHTS OF WAY ACROSS LAND OF NASHUA, N.H. FOUNDATION FOR DISTRIBUTION LINES OF PUBLIC SERVICE CO. OF NEW HAMPSHIRE 1949 AUG. 28, 1949 F.S.CO. OF NH ENGR DEPT PLAN B-688-5. NOT RECORDED.
 - DORSET "C" RIGHT OF WAY ACROSS LAND OF NASHUA N.H. FOUNDATION LINE 3, 1949 AND LAST REVISED 7-12-82 F.S.CO. OF NH ENGR DEPT PLAN B-688-3 NOT RECORDED SEE PLAN NO. 3076.
 - PLANS OF LAND ACQUIRED BY THE STATE OF NEW HAMPSHIRE REDDIFIED IN 6 6878 P.2241, 6 6817, P.284, 6 6811, P.2513 AND 6 6811, P.2514.
 - LOTS 1,2,7,28,714 AND 17- MAP 77 SUBDIVISION & CONSOLIDATION PLAN M.LYARD PROPERTIES NASHUA, NEW HAMPSHIRE NOW OR FORMERLY BELONGING TO NASHUA NEW HAMPSHIRE FOUNDATION JAN. 20, 1984 BY HAMILTON ENGINEERING ASSOCIATES, INC. HCRD PLAN NO. 18021
 - LOT LINE RELOCATION AND EASEMENT PLAN TAX MAP 77 LOTS 13 & 17 PINE STREET EXT. NASHUA, NEW HAMPSHIRE PREPARED FOR PINE STREET LIMITED PARTNERSHIP JULY 25, 1984 BY C.JOOD & CORNER INC. HCRD PLAN NO. 18943
 - LOTS 1,2,14,7,5 AND 18- MAP 77 LOT LINE RELOCATION PLAN M.LYARD PROPERTIES NASHUA, NEW HAMPSHIRE NOW OR FORMERLY BELONGING TO NASHUA NEW HAMPSHIRE FOUNDATION OCT. 24, 1984 BY HAMILTON ENGINEERING ASSOCIATES, INC. HCRD PLAN NO. 17269.
 - BOUNDARY PLAN OF LAND TAX MAP 77 LOTS 13 & 17 PINE STREET EXT. NASHUA, NEW HAMPSHIRE PREPARED FOR PINE STREET LIMITED PARTNERSHIP JULY 25, 1984 AND REVISED DECEMBER 30, 1982 BY C.JOOD & CORNER INC. HCRD PLAN NO. 28205.
 - LOTS 1,5,23 AND 20- MAP 77 LOT LINE RELOCATION PLAN M.LYARD PROPERTIES NASHUA, NEW HAMPSHIRE NOW OR FORMERLY BELONGING TO NASHUA NEW HAMPSHIRE FOUNDATION DEC. 12, 1985 BY HAMILTON ENGINEERING ASSOCIATES, INC. HCRD PLAN NO. 18866.
 - LAND AND BUILDING FOR JOHN COOY NASHUA NH NOV 9, 1949 BY N. ALLEN ENGINEER HCRD PLAN NO. 1897.
 - BLANCHERY LOT NASHUA N.H.-FOUNDATION NASHUA NH SEPT. 24, 1851 HCRD PLAN NO.1517 AND NO. 3074.
 - PLAN SHOWING LAND OF N.H. BASHAM CO. INC. & NASHUA INDUSTRIAL-MACHINE CO. NASHUA NH FEB. 17, 1980 HCRD PLAN NO. 1803.
 - PROPOSED ROAD-NASHUA NH FOUNDATION SPRING ELECT. CO. PARKING LOT NASHUA, N.H. NOVEMBER 1963 BY A.E. MAYNARD CE HCRD PLAN NO. 2589.
 - SUBDIVISION PLAN M.LYARD PROPERTIES NASHUA, NEW HAMPSHIRE NOW OR FORMERLY BELONGING TO NASHUA NEW HAMPSHIRE FOUNDATION SEPT. 20, 1979 AND LAST REVISED 6-18-80 BY HAMILTON ENGINEERING ASSOCIATES, INC. HCRD PLAN NO. 13337.
 - RIGHT OF WAY PLAN BROAD STREET PARKWAY PROJECT NASHUA NEW HAMPSHIRE PREPARED FOR/RECORD OWNER: CITY OF NASHUA AUGUST 1, 2018 BY HAYNER/SWANSON, INC. NOT RECORDED.
 - SKETCH OF SURVEY TO TECHNOLOGY WAY NASHUA NEW HAMPSHIRE PREPARED FOR/RECORD OWNER: INDIAN HEAD REALTY TRUST 6 OCTOBER 2017 BY HAYNER/SWANSON, INC. NOT RECORDED.
 - CITY OF NASHUA PLAN FOR PARCELS 77-17, 21 PINE STREET EXTENSION, PREPARED FOR: CITY OF NASHUA, 229 MAIN STREET, NASHUA, NEW HAMPSHIRE APRIL 26, 2018 CITY ENGINEERS OFFICE HCRD PLAN NO. 38841.

- ### NOTES
- OWNER OF RECORD OF MAP 77 LOT 17 IS THE CITY OF NASHUA 229 MAIN ST. NASHUA, NH: 03080 PARCEL ADDRESS: 21 PINE ST. EXT., NASHUA, NH DEED REFERENCE TO PARCEL IS BK. 6313 PG. 1825 AND BK. 6303, PG. 2282 IN THE HCRD AREA = 59,536 S.F. +/- or 1.3622 ACRES +/-.
 - OWNER OF RECORD OF MAP 77 LOT 2A IS PUBLIC SERVICE CO OF NH D/B/A EVERSOURCE ENERGY PO BOX 270, HAYWARD, CA 06141-0270. PARCEL ADDRESS: 77 PINE ST. NASHUA, NH DEED REFERENCE TO PARCEL IS BK. 1242 PG. 381 IN THE HCRD. AREA = 25,537 S.F. +/- or 0.5863 ACRES +/-.
 - 77-17 INDICATES TAX MAP AND LOT NUMBER.
 - THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULTS OF AN EXISTING CONDITIONS SURVEY OF LOTS 77-17 AND 77-2A.
 - CURRENT ZONING IS O/M.I.
 - MIN. LOT SIZE: 8,000 SQUARE FEET
MIN. LOT WIDTH: 80 FEET
MIN. FRONTAGE: 50 FEET
MIN. LOT DEPTH: 75 FEET
MAX. HEIGHT: 50 FEET OR 6 STORIES
MIN. BUILDING SETBACKS: 10 FEET FRONT, 30 FEET REAR, 10 FEET SIDE
OPEN SPACE PERCENTAGE: 10 PERCENT
MAX FLOOR AREA RATIO: 2.0
 - EXAMINATION OF THE FLOOD INSURANCE RATE MAP FOR HILLSBOROUGH COUNTY, NEW HAMPSHIRE (ALL JURISDICTIONS) MAP NUMBER 3301100518D EFFECTIVE DATE, SEPTEMBER 25, 2009, INDICATES THAT THE SUBJECT PARCELS ARE NOT LOCATED WITHIN A FLOOD HAZARD AREA ZONE AE.
 - BENCHMARK USED: NHCO CORS BASE STATION
VERTICAL DATUM: NAVD 83 (CORS)
BENCHMARKS SET AS NOTED
 - HORIZONTAL COORDINATES: PROJECTION: NH STATE PLANE
HORIZONTAL DATUM: NAVD 83
 - EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE HILLSBOROUGH COUNTY REGISTERY OF DEEDS. OTHER EASEMENTS, RIGHTS OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCELS WOULD DETERMINE.
 - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. THORAN INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG-DATE AT 811.

**TAX MAP 77 LOT 2A & 17
EXISTING CONDITIONS PLAN
CITY OF NASHUA AND EVERSOURCE ENERGY**

**3 & 21 PINE STREET,
NASHUA, NEW HAMPSHIRE**

OWNED BY
CITY OF NASHUA (MAP 77, LOT 17)
**PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE
d/b/a EVERSOURCE ENERGY (MAP 77, LOT 2A)**

PREPARED FOR
**PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE
d/b/a EVERSOURCE ENERGY**

SCALE: 1"=20' **603-634-8286** **MAY 15, 2019**

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48 Constitution Drive, Bedford, NH 03110

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This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

77-30
CITY OF NASHUA
229 MAIN STREET
NASHUA, NH 03080
6 6978 P.2228
USE: MILL

1/2" DIA IRON PIN
3" HORN

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 506.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 8/23/01, EFFECTIVE 8/24/01.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.



Graphic Scale in Feet

REV	DATE	DESCRIPTION	DR	CK

TFM Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists

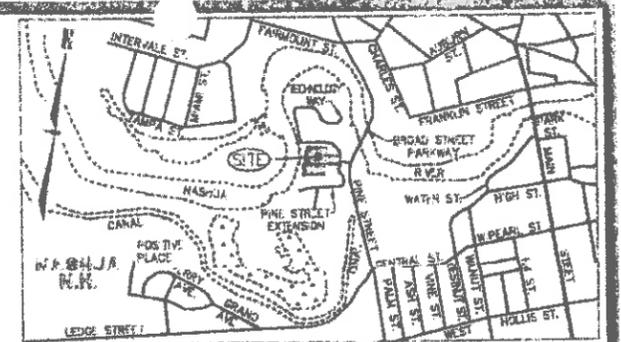
48 Constitution Drive
Bedford, NH 03110
Phone (603) 472-4466
Fax (603) 472-9747
www.tmoran.com

17939.00 DR: TNB, FB: 2127
OR: JMO, DATE: 7/9/19, 00 SURVEY SHEET 3 OF 4

REFERENCE PLANS
SEE SHEET 3 FOR REFERENCE PLANS

EASEMENT LEGEND

- PROPOSED UTILITY EASEMENT AREA
- PROPOSED ACCESS EASEMENT AREA
- PROPOSED STREET LICENSE AREA
- PROPOSED GRADING AND DRAINAGE 1/2 MEN



NOTES:

1. OWNER OF RECORD OF MAP 77 LOT 17 IS THE CITY OF NASHUA 229 MAIN ST NASHUA, NH 03060 PARCEL ADDRESS 21 PINE ST. EX. NASHUA, NH. DEED REFERENCE TO PARCEL IS BK. 0063 PC. 2249. BK. 6313 PC. 1825 IN THE HOR. AREA = 59,346 SF +/- OR 1.3624 ACRES +/-.
2. OWNER OF RECORD OF MAP 77 LOT 2A IS PUBLIC SERVICE CO. OF N. H. D/B/A EVERSOURCE ENERGY PO BOX 270, HARTFORD, CT, 06141-0270. PARCEL ADDRESS 3 PINE ST. EX. NASHUA, NH. DEED REFERENCE TO PARCEL IS BK. 1242 PC. 361 IN THE HOR. AREA = 25,537 SF +/- OR 0.5863 ACRES +/-.
3. EXISTING MAP 77, LOT 17 AREA: 59,346 SF +/- OR 1.3624 ACRES. PARCEL "A" AREA: 33,814 SF +/- OR 0.7783 ACRES. PROPOSED MAP 77, LOT 17 AREA: 25,537 SF +/- OR 0.5863 ACRES.
4. EXISTING MAP 77, LOT 2A AREA: 25,537 SF +/- OR 0.5863 ACRES. PARCEL "A" AREA: 33,814 SF +/- OR 0.7783 ACRES. PROPOSED MAP 77, LOT 2A AREA: 59,351 SF +/- OR 1.3625 ACRES.
5. [77-17] INDICATES TAX MAP AND LOT NUMBER.
6. THE PURPOSE OF THIS PLAN IS TO ADJUST THE LOT LINES BETWEEN LOTS 17-17 AND 77-2A AS SHOWN HEREON.
7. CURRENT ZONING IS O/MU.
8. MIN LOT SIZE: 5,000 SQUARE FEET. MIN LOT WIDTH: 50 FEET. MIN FRONTAGE: 50 FEET. MIN LOT DEPTH: 75 FEET. MIN HEIGHT: 60 FEET, OR 8 STOREYS. MIN BUILDING SETBACKS: 10' FRONT, 30' REAR, 10' SIDE. OPEN SPACE PERCENTAGE: 10 PERCENT. MAX FLOOR AREA RATIO: 2.0.
9. EXAMINATION OF THE FLOOD INSURANCE RATE MAP FOR HILLSBOROUGH COUNTY, NEW HAMPSHIRE, (ALL JURISDICTIONS) MAP NUMBER 3301100130 EFFECTIVE DATE: SEPTEMBER 25, 2009, INDICATES THAT THE SUBJECT PARCELS ARE NOT LOCATED WITHIN A FLOOD HAZARD AREA, ZONE AE.
10. HORIZONTAL COORDINATES, PROJECTION: NAD 83 STATE PLANE. HORIZONTAL DATUM: NAD 83.
11. EASEMENTS, RIGHTS AND RESTRICTIONS: EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR CONTROLLED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE HILLSBOROUGH COUNTY REGISTER OF DEEDS. OTHER EASEMENTS, RIGHTS OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCELS WOULD DETERMINE.
12. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. IF NASHUA INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 811.

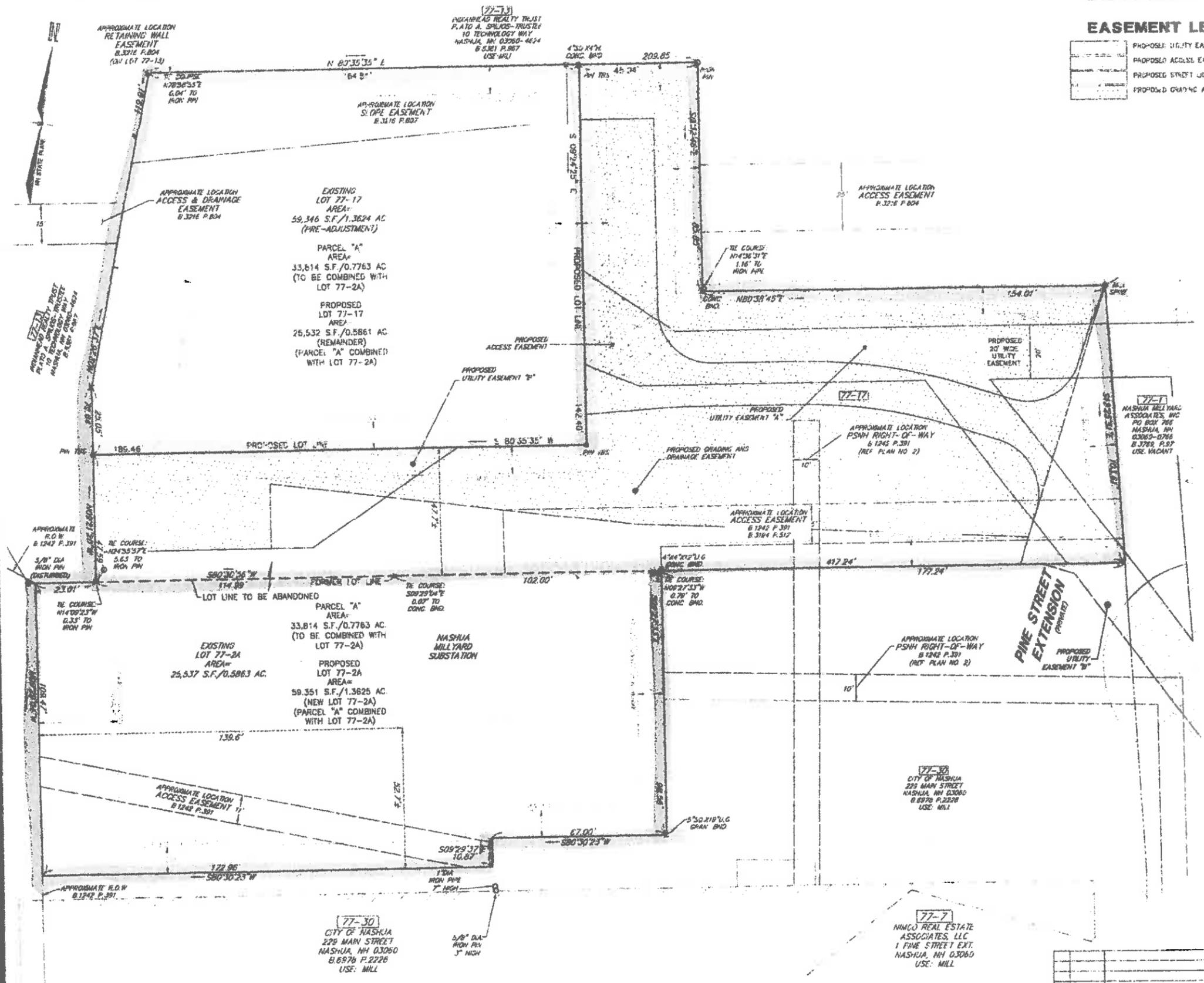
CERTIFICATION:

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ACCURATE AND STANDARD PROPERTY SURVEY AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY REQUIREMENTS FOR SURVEY CLASSIFICATION "1" (HIGH) AS SET FORTH IN TABLE 600.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 8/22/01, EFFECTIVE 8/24/01.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

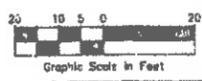


**TAX MAP 77 LOTS 17 & 2A
LOT LINE ADJUSTMENT PLAN**
CITY OF NASHUA AND EVERSOURCE ENERGY
3 & 21 PINE STREET, NASHUA, NEW HAMPSHIRE
OWNED BY
CITY OF NASHUA (MAP 77, LOT 17)
PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE
dba EVERSOURCE ENERGY (MAP 77, LOT 2A)
PREPARED FOR
PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE
dba EVERSOURCE ENERGY
603-684-3266
SCALE: 1"=20' MAY 15, 2010



APPROVED BY THE NASHUA PLANNING BOARD
ON _____ AND _____
CHAIRMAN SECRETARY

OWNERS SIGNATURE _____ DATE _____
OWNER OR REPRESENTATIVE



REV	DATE	DESCRIPTION	BY	CHK
1	5/20/10	REVERSE LOT LINE ADJUSTMENT PLAN PER CHECKLIST	JMO	JMO

TFM Civil Engineers, Structure Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists
48 CONSTITUTION DRIVE, BEDFORD, NH 03110
PHONE: (603) 472-4488
FAX: (603) 472-8747
WWW.TFMORAN.COM

17939.00 DR STB FB
CR JMO CAD/LE 17939-00 Survey SHEET 4 OF 4

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda McGhee, Deputy Planning Manager
FOR: August 6, 2020
RE: **New Business #3 – Site Plan**

I. Project Statistics:

Owner : Public Service Co of New Hampshire and City of Nashua
Proposal: One Year Extension - Relocation of Substation
Location: 3 & 21 Pine Street Ext
Total Site Area: 84,883 sf
Existing Zoning: GI-General Industrial/MU-Mixed Use
Surrounding Uses: Commercial

II. Background Information:

On July 11, 2019 the Planning Board approved a site plan to relocate the existing power substation. The staff report and approval letter are attached.

III. Project Description:

The purpose of this application is to extend the Planning Board approval for one year. There are no changes proposed to the approved plan. City Staff has no concerns or objections related to this application.

Staff Recommendations and Findings:

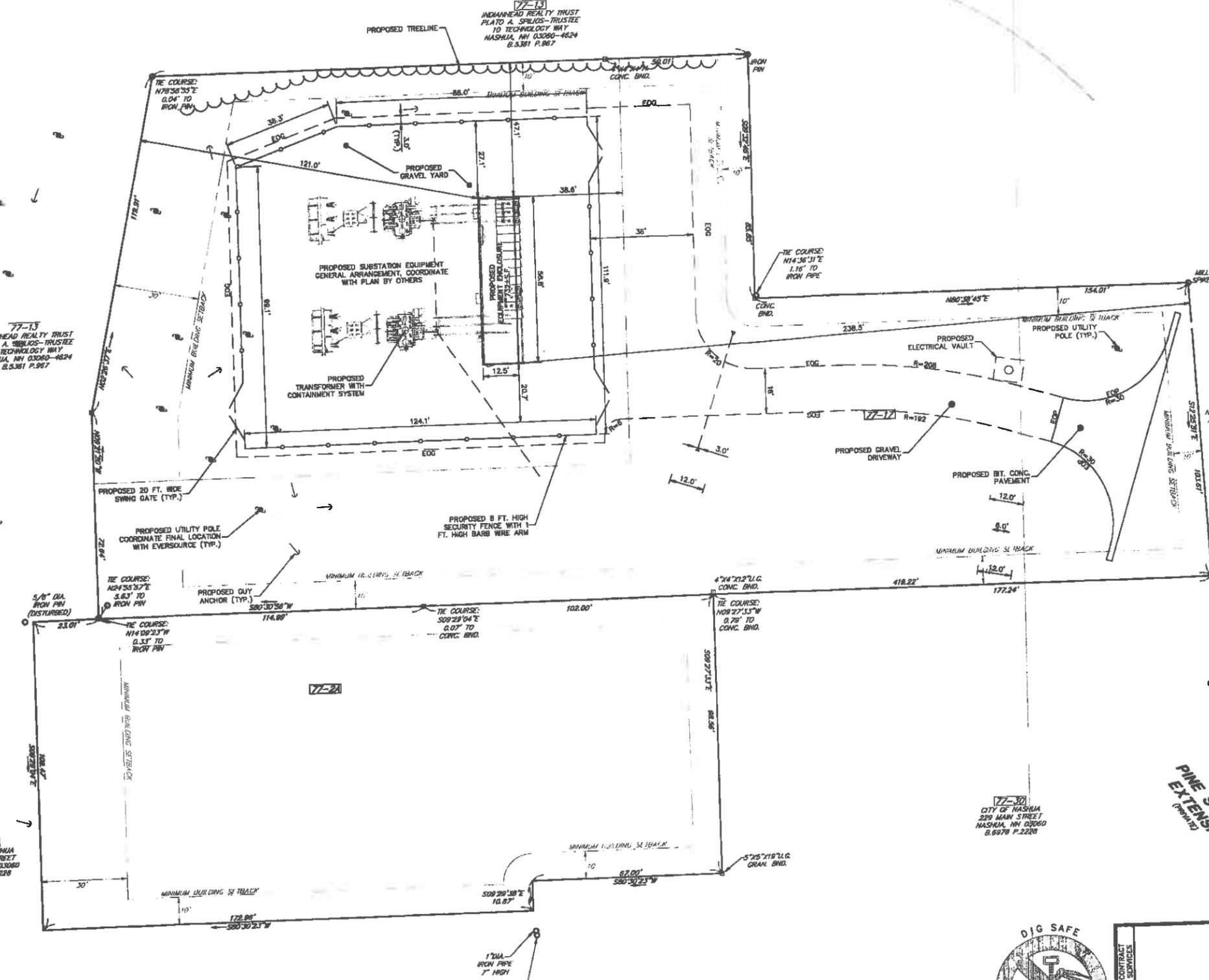
The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146(D) and §190-23F. The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

1. All prior conditions of approval are incorporated herein and made a part of this plan, unless otherwise determined by the Planning Board.

EVERSOURCE VER. 04/2015

5/20/2019 10:50 AM - revision - P:\T\T\Projects\17839-01 Millward\Exp\Station\Station\17839-01 Site.dwg - 03a

TECHNOLOGY WAY



NOTES

- OWNER OF RECORD OF MAP 77 LOT 17 IS THE CITY OF NASHUA 229 MAIN ST. NASHUA, NH 03060 PARCEL ADDRESS: 21 PINE ST. EXT. NASHUA, NH DEED REFERENCE TO PARCEL IS BK. 6313 PG. 1620 IN THE HCRL. NO DEED FOUND FOR PARCEL "A". AREA = 58,339 SF ± of 1.3622 ACRES. (INCLUDES PARCEL "A")
- OWNER OF RECORD OF MAP 77 LOT 2A IS PUBLIC SERVICE CO OF NH 6/A EVERSOURCE ENERGY PO BOX 270, WARRSFORD, CT 06141-0270. PARCEL ADDRESS: 77 PINE ST. NASHUA, NH DEED REFERENCE TO PARCEL IS BK. 1242 PG. 381 IN THE HCRL. AREA = 25,537 SF ± of 0.5812 ACRES.
- THE PURPOSE OF THIS PLAN IS TO DECOMMISSION AND RECONSTRUCT THE MILLYARD SUBSTATION INCLUDING AN APPROXIMATELY 15,065 SF ± SUBSTATION YARD.
- CURRENT ZONING IS (O/MU) ZONING DISTRICT.

REQUIRED	PROVIDED
MIN. LOT SIZE	5,000 SF
MIN. LOT WIDTH	50'
MIN. LOT DEPTH	70'
MIN. BUILDING SETBACKS:	
FRONT	10'
SIDE	10'
REAR	15'
OPEN SPACE PERCENTAGE	10% (3 STORES)
MAX. BUILDING HEIGHT	60' (3 STORES)
MAX. FLOOR AREA RATIO	2.0
- PARKING CALCULATIONS REQUIRED:

UTILITY LINES:	N/A
PROPOSED:	
AS THE SUBSTATION USE REQUIRES NO DEDICATED PARKING NONE HAS BEEN SPECIFICALLY DEDICATED. PARKING FOR EVERSOURCE TECHNICIANS IS AVAILABLE INSIDE THE SUBSTATION AND WITHIN THE GRAVEL PARKING AREA.	
- THE PROPERTY WILL BE SERVICED BY THE FOLLOWING:

DRAINAGE	PRIVATE
SEWER	N/A
WATER	N/A
GAS	N/A
ELECTRIC	EVERSOURCE ENERGY
TELEPHONE	FIBERPOINT COMMUNICATIONS / COMCAST
- IN THE EVENT THAT THE SNOW STORAGE AREAS PROVIDED ON THE SITE ARE COMPLETELY UTILIZED, EXCESS SNOW SHALL BE TRANSPORTED OFF SITE FOR DISPOSAL IN ACCORDANCE WITH N.H.D.E.S. REGULATIONS. IF SNOW IS STORED WITHIN PARKING AREA KEEP CURB BERING CLEAR.
- THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS AND STANDARDS.
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TFMORAN, INC. DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL SURROUNDING CONDITIONS. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF HIS INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
- THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
- LIGHTING, SIGNAGE, LANDSCAPING, AND SCREENING SHALL MEET THE REQUIREMENTS OF THE CITY OF NASHUA ZONING ORDINANCE AND SITE PLAN REGULATIONS.
- SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS. NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
- ALL WORK IS TO CONFORM TO THE CITY OF NASHUA, DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS.
- IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
- IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
- THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. TFMORAN, INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
- TFMORAN, INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.

77-13
INDIANHEAD REALTY TRUST
PLATO A. SPILIOS-TRUSTEE
10 TECHNOLOGY WAY
NASHUA, NH 03060-4624
B.3.861 P.067

THE COURSE:
N14°36'31"E
1.16' TO
IRON PIPE

77-1
NASHUA MILL YARD
ASSOCIATES, INC.
PO BOX 768
NASHUA, NH
03060-0765
B.3.784 P.07

77-30
CITY OF NASHUA
229 MAIN STREET
NASHUA, NH 03060
B.6979 P.2228

77-30
CITY OF NASHUA
229 MAIN STREET
NASHUA, NH 03060
B.6979 P.2228

PINE STREET
EXTENSION
CRIMED

APPROVED - NASHUA CITY PLANNING BOARD
CHAIRMAN: _____
SECRETARY: _____
DATE: _____



TFM
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
48 Constitution Drive
Bedford, NH 03110
Phone (603) 472-4488
Fax (603) 472-9747
www.tfmoran.com
TFM Proj:

SITE LAYOUT PLAN

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NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda McGhee, Deputy Planning Manager
FOR: August 6, 2020
RE: **New Business #4 - Site Plan**

I. Project Statistics:

Owner/Applicant: ZJBV Properties, LLC
Proposal: One Year Extension to construct two 84 unit apartment building with associated site improvements
Location: 159 Temple Street
Total Site Area: 4.04 acres (175,999 sf)
Existing Zoning: GI-General Industrial/TOD-Transit-Oriented Development
Surrounding Uses: Residential and commercial

II. Background Information:

On August 8, 2019 the Planning Board approved a site plan for the construction of two connected multi-family buildings with associated parking. The staff report and approval letter are attached.

III. Project Description:

The purpose of this application is to extend the Planning Board approval for one year. There are no changes proposed to the approved plan. City Staff has no concerns or objections related to this application.

IV. Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146(D) and §190-23F. The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

1. All prior conditions of approval are incorporated herein and made a part of this plan, unless otherwise determined by the Planning Board.

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda McGhee, Deputy Planning Manager
FOR: August 6, 2020
RE: **New Business #5 - Site Plan**

I. Project Statistics:

Owner/Applicant: E. Hollis Street Acquisitions, LLC
Proposal: One Year Extension to construct a multi-family residential project from an existing factory building
Location: 110 East Hollis Street
Total Site Area: 39,893 square feet
Existing Zoning: GI-General Industrial/TOD-Transit-Oriented Development
Surrounding Uses: Residential and commercial

II. Background Information:

On August 8, 2019, the Planning Board approved a site plan for the construction of two connected multi-family buildings with associated parking. The staff report and approval letter are attached.

III. Project Description:

The purpose of this application is to extend the Planning Board approval for one year. There are no changes proposed to the approved plan. City Staff has no concerns or objections related to this application.

IV. Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146(D) and §190-23F. The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

1. All prior conditions of approval are incorporated herein and made a part of this plan, unless otherwise determined by the Planning Board.

ZONING SUMMARY TABLE
GENERAL INDUSTRIAL (G-1) DISTRICT
(TRANSIT-ORIENTATED DISTRICT OVERLAY) (1)

ITEM	REQUIRED	PROPOSED
MAXIMUM DENSITY	-	-
MINIMUM LOT AREA	5,000 S.F.	39,893 S.F.
MINIMUM LOT WIDTH	50 FEET	>50 FEET
MINIMUM FRONTAGE	50 FEET	394.45 FEET
MINIMUM LOT DEPTH	75 FEET	>75 FEET
MINIMUM FRONT SETBACK (1)	0 FEET	6 FT (EXIST)
MAXIMUM FRONT SETBACK (1)	15 FEET	N/A
MINIMUM SIDE SETBACK	10 FEET	1.6 FT (EXIST)
MINIMUM REAR SETBACK	15 FEET	6.8 FT (EXIST)
MAXIMUM HEIGHT	60 FEET	EXISTING
MAXIMUM STORIES	5	EXISTING
OPEN SPACE (PERCENT)	10%	20.1%
MAXIMUM FLOOR AREA RATIO (FAR)	2.0	2.2 (EXIST)

- (1) THE REQUIREMENT OF THE OVERLAY DISTRICT SUPERSEDES THE REQUIREMENTS OF THE UNDERLYING ZONING.
(2) THE ZONING TABLE PERTAINS THE PRIMARY PARCEL ONLY (39-1) WHERE THE BUILDING IS LOCATED.

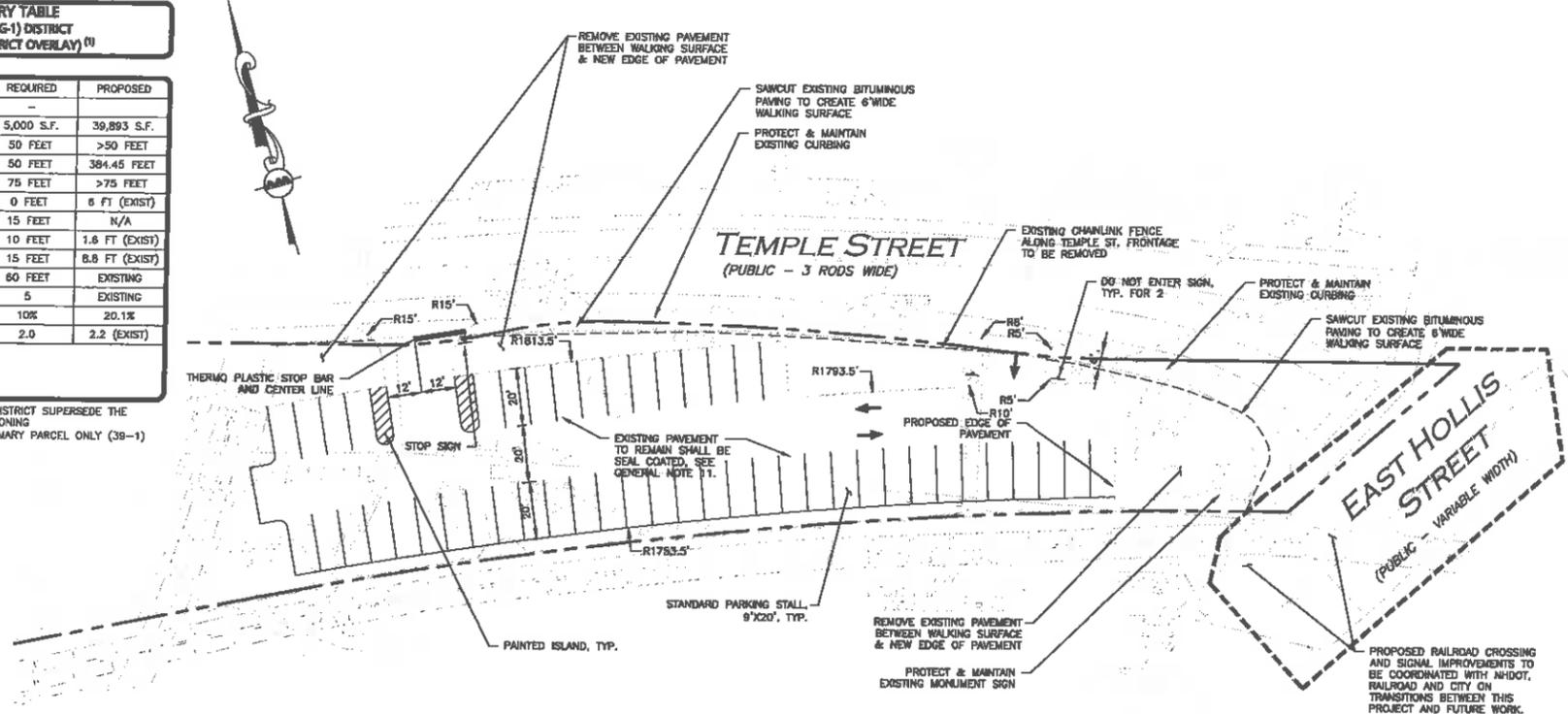
ZONING SUMMARY TABLE NOTES:
* WAVEYER WILL BE REQUIRED
** VARIANCE WILL BE REQUIRED

OFF-STREET PARKING SUMMARY TABLE

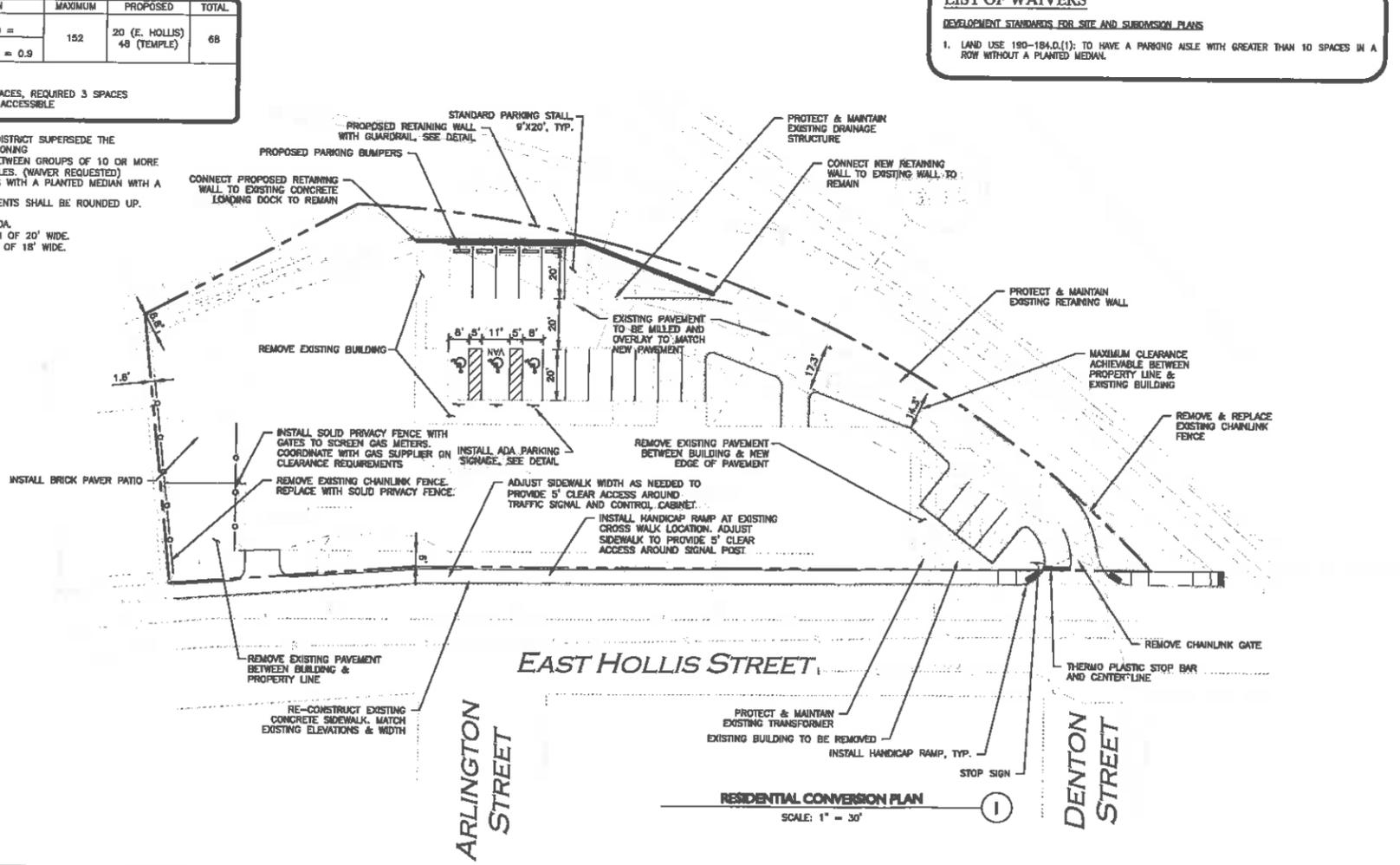
USE	CALCULATION	MAXIMUM	PROPOSED	TOTAL
MULTIFAMILY DWELLINGS (3 OR MORE UNITS)	MAXIMUM: 1.9 SPACES/UNIT x 80 = PROVIDED RATIO: 68 SPACES/80 UNITS = 0.9	152	20 (E. HOLLIS) 48 (TEMPLE)	68

ADA SPACES REQUIRED:
REQUIRED: (51 TO 75) TOTAL PARKING SPACES, REQUIRED 3 SPACES PROVIDED: 3 ADA SPACES, 1 BEING VAN ACCESSIBLE

- PARKING NOTES:**
1. THE REQUIREMENT OF THE OVERLAY DISTRICT SUPERSEDES THE REQUIREMENTS OF THE UNDERLYING ZONING.
2. 300 SF (MIN) LANDSCAPED ISLAND BETWEEN GROUPS OF 10 OR MORE PARKING SPACES AND AT END OF AISLES. (WAVEYER REQUESTED)
3. NO MORE THAN FOUR PARKING AISLES WITH A PLANTED MEDIAN WITH A MINIMUM WIDTH OF 10 FEET.
4. ANY FRACTION OF PARKING REQUIREMENTS SHALL BE ROUNDED UP.
5. STANDARD PARKING SPACE 9'x20'.
6. HANDICAPPED SPACES CONFORM TO ADA.
7. TWO WAY AISLES SHALL BE A MINIMUM OF 20' WIDE.
8. ONE-WAY AISLES SHALL BE A MINIMUM OF 18' WIDE.



REMOTE PARKING AREA - TEMPLE STREET ACCESS
SCALE: 1" = 30'



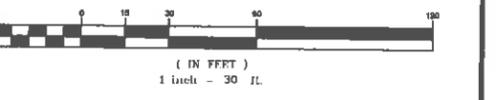
- LIST OF WAIVERS**
DEVELOPMENT STANDARDS FOR SITE AND SUBMISSION PLANS
- LAND USE 190-184.D.(1): TO HAVE A PARKING AISLE WITH GREATER THAN 10 SPACES IN A ROW WITHOUT A PLANTED MEDIAN.

GENERAL NOTES

- THE OWNER OF RECORD OF MAP 38, LOT 35 IS ZUBI PROPERTIES, LLC, C/O JOSEPH'S EQUIPMENT COMPANY, 300 GAY STREET, MANCHESTER, NH 03103, H.C.R.D. BOOK 9134, PAGE 920 & BOOK 7462, PG. 808.
- THE OWNER OF RECORD OF MAP 39, LOT 1 IS E HOLLIS STREET ACQUISITIONS LLC, C/O JOSEPH'S EQUIPMENT COMPANY, 300 GAY STREET, MANCHESTER, NH H.C.R.D. BOOK 9138 PAGE 1170.
- SNOW AND ICE REMOVAL SHALL BE PERFORMED BY A GREEN SNOWPRO CERTIFIED CONTRACTOR FOLLOWING BEST MANAGEMENT PRACTICES FOR THE APPLICATION OF DE-ICING MATERIALS. IN THE EVENT THAT THE SNOW STORAGE AREAS PROVIDED ON SITE ARE COMPLETELY UTILIZED, EXCESS SNOW SHALL BE TRANSPORTED OFF SITE FOR DISPOSAL IN ACCORDANCE WITH THE NHDES REGULATIONS.
- SEE SHEET 2 FOR EXISTING CONDITIONS OF MAP 39, LOT 35 (TEMPLE ST). SEE SHEET 1 FOR EXISTING CONDITIONS OF MAP 39, LOT 1.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS OF THE SITE. THESE PLANS PREPARED BY ALLEN & MAJOR ASSOCIATES, INC. DO NOT EXTEND TO, NOR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THE EMPLOYEES, AGENTS OF REPRESENTATIVES, IN PERFORMANCE OF THE WORK. THE SEAL OF THE ARCHITECT OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE TO OBTAIN THE APPROPRIATE SAFETY SYSTEMS THAT MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- CURB RADI SHALL BE 10' AT CORNERS AND 3' AT PARKING STALLS UNLESS NOTED OTHERWISE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.
- EXISTING PAVEMENT PREPARATION FOR SEALCOATING
 - A. PREPARATION
 - EVALUATE THE CURRENT CONDITION OF ASPHALT SURFACE AND FOUNDATION
 - CLEAN THE ASPHALT SURFACE WITH ROTARY BROOMS, HAND STEEL BROOMS AND/OR COMMERCIAL SWEEPERS TO REMOVE LOOSE DEBRIS
 - PRIME OIL AND GASOLINE SPOTS AS NEEDED
 - B. PERFORM PAVEMENT REPAIRS
 - FILL CRACKS WITH ASPHALT EMULSION AND REPAIR POTHOLES AS NEEDED
 - REPLACE SEVERELY DAMAGED PAVEMENT AREAS
 - C. APPLICATION
 - PREPARE THE PROPER MIXTURE OF SEALANT FOR YOUR PAVEMENT NEEDS
 - APPLY ONE TO TWO COATS OF ASPHALT SEALER FOR LONG-LASTING RESULTS

STANDARD PLAN NOTES PER NASHUA PLANNING BOARD SITE PLAN CHECKLIST:

- EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM), MAP NUMBER 330100514E, PANEL 514 OF 701, DATED APRIL 18, 2011, INDICATES THAT A PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN AN AREA WITH REDUCED FLOOD RISK DUE TO LEVEE. SEE FIGURE 4-FEMA FIRM MAP, SECTION 3 OF THE STORMWATER MANAGEMENT REPORT.
- THE SUBJECT PROPERTY IS LOCATED WITHIN THE LOCAL GENERAL INDUSTRIAL (G) AND THE TRANSIT-ORIENTATED DISTRICT (TOO) OVERLAY.
- SEE LAND USAGE TABLE HEREON FOR DIMENSIONAL REQUIREMENTS.
- THE SUBJECT PROPERTY IS IDENTIFIED AS PARCELS 39-1. OFF-SITE PARKING IS PROVIDED ON A PORTION OF PARCEL 39-35.
- THE PROPERTY IS SERVED BY MUNICIPAL SEWER AND PENNACHECK WATER WORKS.
- THE PURPOSE OF THIS SITE PLAN IS TO RE-DEVELOP THE EXISTING WAREHOUSE BUILDING INTO A RESIDENTIAL DEVELOPMENT WITH ASSOCIATED AMENITIES.
- SEE PARKING TABLE SHOWN HEREON FOR A BREAKDOWN OF THE REQUIRED/ PROPOSED PARKING.
- SEE SHEET L-101 & L-500 FOR THE PROPOSED LANDSCAPE IMPROVEMENTS PREPARED IN ACCORDANCE WITH THE CITY OF NASHUA ZONING REGULATIONS.
- ALL SIGNAGE SHALL CONFORM TO APPLICABLE CITY OF NASHUA ZONING REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
- THE PROPOSED SITE IMPROVEMENTS SHOWN HEREON CONFORM TO TITLE 111 OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSIONS AND GRADE AND NUMBER OF SPACES. SEE SHEETS C-103, FOR GRADING PLAN.
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN IN ANY WAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
- FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
- PRIOR TO ANY WORK BEING CONDUCTED, A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PLANNING STAFF AND OTHER CITY DEPARTMENTS AS NECESSARY TO REVIEW WORK PROPOSED.
- LAND USE CODE: COMMERCIAL #15, MULTIFAMILY DWELLING, 3 OR MORE UNITS IS ALLOWED WITHIN THE (TOO) ZONING OVERLAY DISTRICT.
- HOURS OF OPERATION: NOT APPLICABLE FOR THIS RESIDENTIAL DEVELOPMENT
- ALL UTILITIES INCLUDING ELECTRIC, TELEPHONE, CABLE, TELEVISION, AND OTHER COMMUNICATION LINES SHALL BE PROVIDED BY UNDERGROUND WIRING. SEE SHEET C-104 FOR UTILITY LOCATIONS.
- STREET RESTORATION SHALL BE IN ACCORDANCE WITH NRO-285-13.



APPROVED - NASHUA CITY PLANNING BOARD

CHAIRMAN _____ DATE _____
SECRETARY _____ DATE _____
DATE OF APPROVAL _____

MARKET SQUARE ARCHITECTS
104 Congress St., STE 203
Portsmouth, NH 03801
PH: 603.501.0202



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
06-28-19		MISC. REVS PER TOWN CMTS. ON 06-28-19

APPLICANT/OWNER:
E. HOLLIS STREET ACQUISITIONS, LLC
c/o JOSEPH'S EQUIPMENT
300 GAY STREET
MANCHESTER, NH 03103

PROJECT:
RESIDENTIAL DEVELOPMENT
110 EAST HOLLIS STREET
NASHUA, NH

PROJECT NO. 2596-02 DATE: MAY 30, 2019
SCALE: 1" = 30' DWG#: G2596-02_Layout & Materials
DESIGNED BY: AM CHECKED BY: MM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil & structural engineering • landscape surveying
environmental consulting • landscape architecture
www.allenmajor.com
400 EASTVIEW ROAD
MANCHESTER, NH 03108
TEL: (603) 627-5500
FAX: (603) 627-5501

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH
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DRAWING TITLE: LAYOUT & MATERIALS PLAN SHEET NO. C-102

R:\PROJECTS\2596-02\CIVIL DRAWINGS\CURRENT\C-2596-02_LAYOUT & MATERIALS.DWG

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1-888-344-7233

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda McGhee, Deputy Planning Manager
FOR: August 6, 2020
RE: **New Business #6- Site Plan**

I. Project Statistics:

Owners: Southland Corporation/7-Eleven
Applicant: Core States Group
Proposal: Site plan to install new fueling dispensers and canopy
Location: 367 Amherst Street
Total Site Area: 36,115 sf
Existing Zoning: GB-General Business
Surrounding Uses: Commercial

II. Background Information:

According to assessing records the existing convenience store and gas station was built in the 1980s and is home to 7-Eleven. They received Zoning Board approval for a special exception for the gas pumps and Planning Board approval in 1983. On April 7, 2016 the applicant received approval from the planning board to install new fueling dispensers and canopy; however that approval has lapsed. The approval letter and staff report are attached. On June 9, 2020 the applicant received a sign variance; the approval letter is attached.

III. Project Description:

This project is to remove and replace new petroleum dispenser canopy. Other minor changes include repainting parking and restriping, remove curb, sidewalk and pavement for electrical conduit trenching. It will be patched and repaired to match existing. No changes to landscaping or lighting are being proposed. One waiver is being requested to show existing conditions.

City staff reviewed the plans; comments are attached.

Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulation be made part of that approval:

1. The request for a waiver of § 190-279(E), which requires an existing plan, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.

2. Prior to the chair signing the plan all comments in an e-mail from Joe Mendola, Street Construction Engineer, dated July 29, 2020 shall be addressed to the satisfaction of the Engineering Department.
3. Prior to the chair signing the plan, minor drafting corrections will be made.
4. Prior to the issuance of a certificate of occupancy, all site improvements will be completed.
5. Prior to any work on site, a pre-construction meeting shall be held and a financial guarantee shall be approved.

FUELING ARCHITECTURAL SITE PLAN NOTES

- ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) PANEL 33011C0492D, EFFECTIVE DATE SEPTEMBER 25, 2009. THE SITE IS LOCATED IN MINIMAL FLOOD HAZARD ZONE 'X'.
- THIS SITE IS SERVICED BY MUNICIPAL SEWER AND PENNICHUCK WATER WORKS.
- PURPOSE OF THIS PLAN IS TO REQUEST A VARIANCE FOR A CANOPY REPLACEMENT AT THIS SITE.
- ALL SITE LIGHTING SHALL BE AS SHOWN ON PHOTOMETRIC PLANS, DIRECTED ONTO SITE AND CONFORM TO THE APPLICABLE CITY OF NASHUA ZONING REGULATIONS. NOTE: ONLY THE CANOPY LIGHTING IS BEING REPLACED.
- SIGNAGE TO BE PROVIDED BY OTHERS UNDER A SEPARATE PERMIT.
- SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM TO TITLE 111 OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSIONS AND GRADE AND NUMBER OF SPACES.
- A ZONING SPECIAL EXCEPTION WAS ISSUED TO ALLOW AUTOMOTIVE SERVICE STATION IN THE GB ZONE ON AUGUST 25, 1983.
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN IN ANY WAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
- FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
- PRIOR TO ANY WORK BEING CONDUCTED A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PLANNING STAFF AND OTHER CITY DEPARTMENTS AS NECESSARY TO REVIEW WORK PROPOSED.
- USES PERMITTED BY THIS PLAN: CONVENIENCE STORE W/ GAS
- HOURS OF OPERATION INCLUDING WHEN SHIPMENTS ARE MADE AND DELIVERIES RECEIVED, OTHER SERVICES INVOLVING TRUCK TRAFFIC, AND REFUSE PICK-UP REMAIN UNCHANGED.
- MECHANICAL APPURTENANCES SHALL NOT EXCEED 50 DECIBELS BETWEEN 7AM - 8PM AND 45 DECIBELS AT NIGHT 8PM - 7AM ALONG RESIDENTIAL ZONING DISTRICTS.

FUELING ARCHITECTURAL SITE PLAN KEY NOTES

- EXISTING 7-ELEVEN CONVENIENCE STORE TO REMAIN.
- PROPOSED NEW FUELING CANOPY AND NEW CANOPY PAD W/ POSITIVE LIMITING BARRIER PER NHDES REQUIREMENTS.
- PROPOSED NEW FUELING DISPENSERS.
- PROPOSED NEW 20,000 GALLON REGULAR UNLEADED AND 20,000 GALLON SPLIT TANK FOR (12,000 GALLON DIESEL & 8,000 GALLON PREMIUM FUEL) FUELING UNDERGROUND STORAGE TANKS AND TANK PAD TO BE REMOVED.
- PROPOSED NEW FUELING TANK VENT RISERS.
- PROPOSED NEW ASPHALT PAVEMENT FOR DISTURBED AREAS.
- PROPOSED CONDUIT TRENCHING TO BUILDING.
- EXISTING MAIN ID SIGN WITH LED PRICE SIGN UPGRADES BY OTHERS.

FUELING ARCHITECTURAL SITE PLAN GENERAL NOTES

EXISTING SITE INFORMATION BASED ON SURVEY PERFORMED BY:

THOMAS P. HUOT, L.L.S. #821
S&H LAND SERVICES, L.L.C.
COORDINATED BY:
EMG CORPORATION
510 E MEMORIAL ROAD, SUITE A-1
OKLAHOMA CITY, OK 73114
808.411.2010
WWW.EMG-CORP.COM

FIELD WORK WAS COMPLETED ON MAY 8, 2018
DATE OF PLAT OR MAP: MAY 8, 2019

PROJECT DIRECTORY

OWNER: 7-ELEVEN, INC.
3200 HACKBERRY STREET
IRVING, TX 75063
CONSTRUCTION MANAGER: ROB BLAKE
610.213.9565
EMAIL: ROBERT.BLAKE@7-11.COM

ENGINEERS: CORE STATES GROUP
1700 INDUSTRIAL DRIVE, SUITE B
ROGERS, AR 72756
479.986.4400
MECHANICAL: DAVID LEIFFER
DLEIFFER@CORE-STATES.COM
ELECTRICAL: JOHN FERGUSON
JFERGUSON@CORE-STATES.COM
CIVIL: THOMAS PICKERING
TPICKERING@CORE-STATES.COM

SITE DUE DILIGENCE SUMMARY TABLE

CURRENT ZONING	
ZONING DISTRICT NAME	ZONING ABBREVIATION
GENERAL BUSINESS	GB
OVERLAY DISTRICT	N/A
LOT NUMBER	TAX MAP G LOT 652
USE	PERMISSIBLE
PRIMARY USE	CONDITIONAL
GAS STATION	CONDITIONAL
CODIFIED ZONING DOCUMENT	CITY OF NASHUA CODE OF ORDINANCES

LOT AND PROPOSED BUILDING DATA

DIMENSION	EXISTING	PROPOSED
LOT AREA [SQ. FT.]	36,115 SQ. FT. ±	NO CHANGE
LOT AREA [AC.]	0.828 AC. ±	NO CHANGE
LOT WIDTH	144.94 FT. ±	NO CHANGE
CANOPY AREA	592 SQ. FT. ±	1,339 SQ. FT.
BUILDING AREA	2,692 SQ. FT. ±	NO CHANGE
CANOPY HEIGHT	18.5 FT. ±	17.5 FT.
BUILDING HEIGHT	18.8 FT. ±	NO CHANGE
CANOPY LOT COVERAGE	1.64%	3.71%
BUILDING LOT COVERAGE	7.46%	NO CHANGE

BUILDING SETBACKS

DIRECTION	TYPE	ABUTTING ZONING / ACROSS R.O.W.	DISTANCE
NORTHEAST	REAR	TAX MAP G LOT 653 GENERAL BUSINESS - GB	10 FT.
NORTHWEST	REAR	TAX MAP G LOT 26 GENERAL BUSINESS - GB	10 FT.
SOUTHWEST	FRONT	AMHERST STREET GENERAL BUSINESS - GB	10 FT.
SOUTHEAST	FRONT	TRAFALGAR SQUARE GENERAL BUSINESS - GB	10 FT.
SOUTH	FRONT	TRAFALGAR SQUARE GENERAL BUSINESS - GB	10 FT.

CANOPY SETBACKS - EXISTING/PROPOSED

DIRECTION	TYPE	EXISTING SETBACK	PROPOSED SETBACK
NORTHEAST	REAR	165.19 FT ±	144.29 FT
NORTHWEST	REAR	83.14 FT ±	59.56 FT
SOUTHWEST	FRONT	24.28 FT ±	32.37 FT
SOUTHEAST	FRONT	90.86 FT ±	78.48 FT
SOUTH	FRONT	26.99 FT ±	36.43 FT

ENGINEER'S STATEMENT: THE FUELING ARCHITECTURAL SITE PLAN COMPLIES WITH MINIMUM REQUIREMENTS FROM NASHUA CITY PLANNING BOARD SITE PLAN CHECKLIST.

THE UNDER-SIGNED DOES HEREBY AGREE TO PERFORM ALL THE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

APPLICANT: JIM MCFARLAND PHONE: 614.674.1856

APPROVED - NASHUA CITY PLANNING BOARD

CHAIRMAN _____
SECRETARY _____
DATE: _____

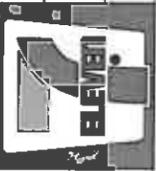
Rev. #	Date	Description

ZONING EXHIBITS

7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING TEXAS 75063

7-ELEVEN #24433 FACILITY ID# 0113879
367 AMHERST STREET
NASHUA, NH 03063

PROPOSED FUELING IMPROVEMENTS

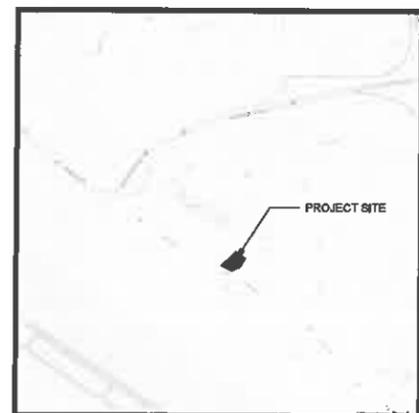
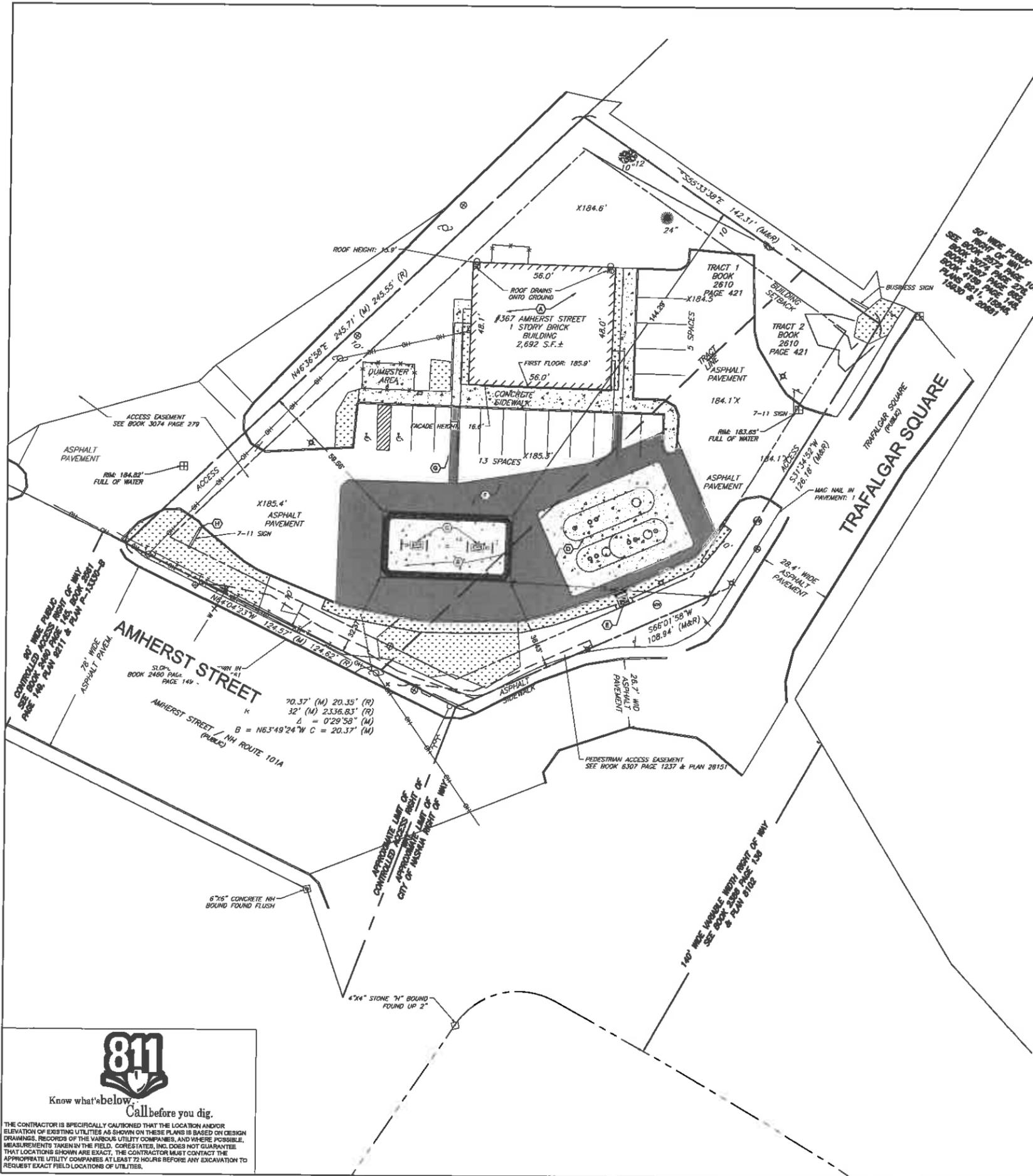


Job#: SEI-26850
Scale: AS NOTED
Date: 04/21/19
Drawn By: CVK
Checked By: AF

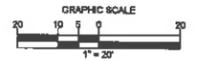
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SHEET: ZE2.0



VICINITY MAP
SCALE: 1" = 100'

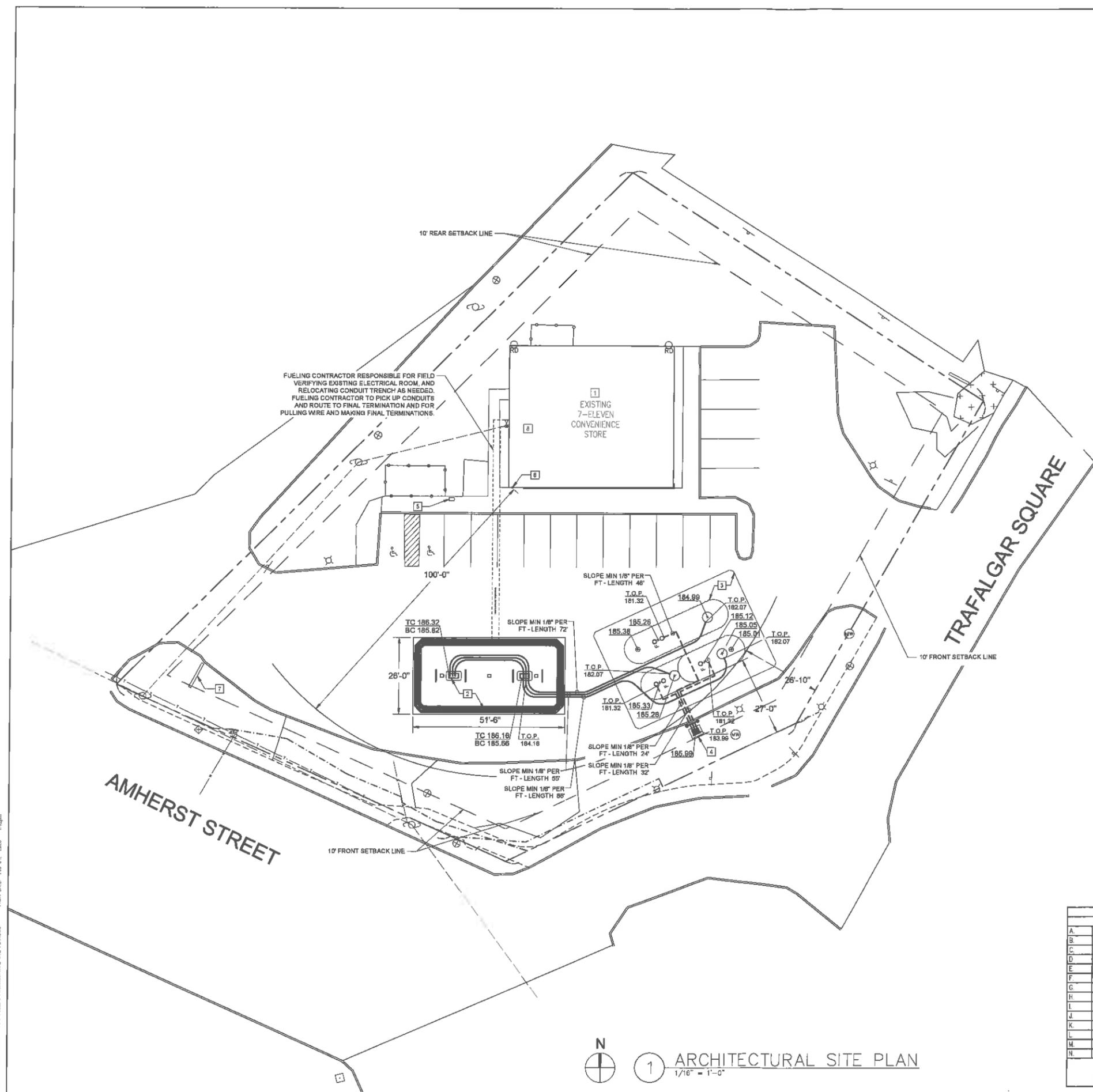


PRINT DATE: Apr 28, 2019 - 11:43am
 DRAWING NAME: SEI-26850-252-A-PROPOSED IMPROVEMENTS ZONING EXHIBITS



THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

PRINTED BY: CARR
 DRAWING NAME: 24433 - 011 FUELING ARCHITECTURAL SITE PLAN
 PRINT DATE: Feb 04, 2020 - 14:29pm



- ### SCOPE OF WORK
- INSTALL NEW XERXES 20,000 GALLON 10' DIA DOUBLE WALL FIBERGLASS UNDERGROUND STORAGE TANK (UST) FOR REGULAR FUEL.
 - INSTALL NEW XERXES 20,000 GALLON 10' DIA DOUBLE WALL FIBERGLASS UNDERGROUND SPLIT STORAGE TANKS (USTS) FOR 12,000 GALLON DIESEL AND 8,000 GALLON PREMIUM FUELS.
 - INSTALL (3) NEW FE PETRO 1.5 HP FIXED SPEED SUBMERSIBLE PUMP WITH INTAKE FILTER FOR RUL, PUL AND DSL FUELS.
 - INSTALL (2) NEW GILBARCO 700E 3+1 DISPENSERS.
 - INSTALL NEW FLEXIBLE PIPING SYSTEM FROM NEW UST'S TO NEW DISPENSERS.
 - INSTALL (3) NEW VAPORVENT RISERS WITH BRAVO VENT BOX AND BRAVO VAPOR VENT RACK FOR SUPPORT.
 - INSTALL NEW 3" FIBERGLASS PIPING FROM VAPORVENT AT UST'S TO NEW REMOTE VENT.
 - INSTALL NEW CONCRETE AT DISTURBED AREAS AT TANK SLAB FOR NEW PIPING PER SEI STANDARDS.
 - INSTALL NEW CONCRETE AT DISTURBED AREAS AT CANOPY SLAB FOR NEW PIPING PER SEI STANDARDS.
 - INSTALL NEW "U" BOLLARDS AT DISPENSERS AND REMOTE VENT TO SEI SPECIFICATIONS (TYP 5).
 - INSTALL (2) NEW INTERCOMS AT ADA COMPLIANT HEIGHT AT CANOPY COLUMNS.
 - INSTALL (1) NEW FIRE EXTINGUISHERS AT ADA COMPLIANT HEIGHT AT CANOPY COLUMNS.
 - INSTALL (2) NEW WASH BUCKET AT ADA COMPLIANT HEIGHT AT CANOPY COLUMNS.
 - INSTALL (1) NEW TRASH CAN AT CANOPY COLUMNS.
 - EXISTING MAIN ID SIGN TO REMAIN WITH NEW LED RUL/DSL PRICE SIGN.
 - KEEP EXISTING VEEDER ROOT TLS300. UPDATE SOFTWARE AND HARDWARE AS REQUIRED.
 - ROUTE NEW CONDUIT TO NEW ELECTRICAL THROUGH EXTERIOR OF BUILDING, VERIFY LOCATION WITH SEI CONSTRUCTION MANAGER.
 - DEMOLITION-REMOVE EXISTING TANKS, TANK SLAB, CANOPY, EXISTING UST SYSTEM AND PIPING COMPLETELY. REMOVE ADDITIONAL PAVEMENT/SIDEWALKS AS REQUIRED TO FACILITATE OTHER REMOVALS AND INSTALLATIONS.
 - INSTALL (1) NEW E-STOP AT ADA COMPLIANT HEIGHT ON BUILDING EXTERIOR.
 - NEW 51'-6" x 28'-0" SEI BRANDED CANOPY FOR (2) NEW DISPENSERS.
 - INSTALL (2) NEW 6S DISPENSER ISLANDS
 - INSTALL NEW EDH PER SEI SPECIFICATIONS
 - INSTALL NEW POSITIVE LIMITING BARRIER AROUND DISPENSERS.

- ### KEY NOTES
- EXISTING 7-ELEVEN CONVENIENCE STORE
 - NEW FUELING CANOPY WITH (2) NEW 3+1 DISPENSERS
 - NEW UNDERGROUND FUEL STORAGE TANKS AND SLAB
 - NEW FUEL STORAGE TANK VENTS
 - EXISTING AIR MACHINE TO REMAIN
 - (1) NEW EXTERIOR EMERGENCY SHUT OFF SWITCH
 - EXISTING MAIN ID SIGN TO REMAIN WITH NEW LED RUL/DSL PRICE SIGN.
 - EXISTING VEEDER ROOT SITE MONITOR CONSOLE TO BE UPGRADED. FIELD VERIFY LOCATION.

- ### GENERAL NOTES
- #### FUEL CONTRACTOR
- FUEL GC TO WORK WITH SEI PM ON SCHEDULING. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE SEI PROJECT MANAGER.
 - FUEL GC RESPONSIBLE FOR ALL CONCRETE OVER TANKS AND PRODUCT PIPING (I.E. TANK SLAB AND DRIVE MATS). CONCRETE CHAIRS ARE BY SEI.
 - FUEL GC RESPONSIBLE FOR CANOPY FOOTINGS.
 - FUEL GC TO INSTALL CANOPY DRAINS (WHERE APPLICABLE) TO POINT OF CONNECTION WITHIN (10) FT OF DRIVE MATS.
 - FUEL GC TO INSTALL ALL FUEL RELATED ELECTRONICS (I.E. DATA BOXES, EDH UNIT, TURBINE RELAYS, ISOLATION RELAYS, ETC).
 - FUEL GC RESPONSIBLE FOR ALL ELECTRICAL CONDUITS, SEAL-OFFS, ELECTRICAL J-BOXES PER STATE, LOCAL, MANUFACTURERS AND SEI CODES AND SPECIFICATIONS.
 - FUEL GC TO PULL WIRE FOR CANOPY LIGHTING, INTERCOM, DISPENSERS, TURBINES AND MONITORING SYSTEM DEVICES.
 - FUEL GC TO MAKE ALL FINAL CONNECTIONS TO FUELING EQUIPMENT AND ELECTRONICS.
 - FUEL GC TO PULL TRADE PERMITS FOR FUELING WORK (AS REQUIRED).
 - FUEL GC TO "CALL FOR" AND "BE PRESENT FOR" ALL LOCAL REGULATOR INSPECTIONS AND RESPONSIBLE FOR SCHEDULING ON-SITE INSPECTIONS WITH APPROPRIATE SEI REPRESENTATIVE RELATED TO FUELING.
 - FUEL GC TO COORDINATE WITH TANKNOLOGY AND THE SEI CONSTRUCTION MANAGER FOR TESTING OF FUELING SYSTEM.
 - FUEL GC TO HAVE PERSONNEL ON SITE FOR TESTING.
 - FUEL GC RESPONSIBLE FOR CLOSE OUT PACKAGE PER 7-11 MATRIX.
 - FUEL UST SYSTEM AND COMPONENTS SHALL BE INSTALLED BY AN ICC CERTIFIED UST INSTALLER WHO IS CERTIFIED BY THE EQUIPMENT MANUFACTURER OF EACH COMPONENT INSTALLED. REF ENV-OR-402.08 & ENV-OR-407.05

NOTE:
 TANKS TO BE BURIED AT A MINIMUM OF 4.17' AT THE LOWEST FINISH GRADE ELEVATION AND A MAXIMUM OF 5.67' AT THE HIGHEST FINISH GRADE ELEVATION ON THE TANK PAD. VENT PIPING MUST HAVE A MINIMUM SLOPE OF 1/8" PER FOOT FROM VENT SUMP TO THE TANKS. GC TO COORDINATE ANY BURIAL DEPTH DEVIATIONS WITH SEI PROJECT MANAGER.

NOTE:
 THIS DRAWING IS TO BE USED AS A SCHEMATIC DRAWING. IT IS THE RESPONSIBILITY OF THE GC AND FUELING SUB-CONTRACTORS INSTALLING PRODUCT PIPING AND FUEL SYSTEM TO VERIFY EXISTING FIELD CONDITIONS. IF FIELD CONDITIONS VARY FROM DRAWING AS SHOWN OR INHIBIT INSTALLATION AS SHOWN CEASE WORK AND CONTACT SEI PROJECT MANAGER OR REPRESENTATIVE.

REFERENCE SHEET GO-A FOR ADDITIONAL GRADING NOTES AND ELEVATIONS

GC AND SUB-CONTRACTORS TO FOLLOW REMOVAL, AND INSTALLATION REQUIREMENTS OF FUELING SYSTEM COMPONENTS PER MANUFACTURER INSTRUCTIONS, LOCAL, FEDERAL, AND FIRE MARSHALL'S MANDATES, LAWS, AND REGULATIONS.

TANK BURIAL CHART - STORE (24433)			
COMPONENT	DIESEL	REGULAR	VENT
A. FINISH GRADE ELEV. AT BEGINNING OF RUN (FT):	185.66	185.66	185.99
B. PIPE BURY (FT):	1.50	1.50	2.00
C. ELEVATION OF PIPE AT BEGINNING OF RUN (A-B) (FT):	184.16	184.16	183.99
D. PIPE LENGTH (LONGEST RUN) (FT):	68.00	72.00	46.00
E. PIPING RUN FALL (FT) (D-I/B' PER FT):	0.90	0.75	0.48
F. TOTAL CROSSOVERS/SWING JOINTS:	0.00	0.00	0.00
G. CROSSOVER/SWING JOINT DEPTH (FT):	0.00	0.00	0.00
H. ELEVATION AT END OF PIPE (FT) (C-E-G+F):	183.26	183.41	183.51
I. ADD FOR EXTRACTOR TEE AT SUMP:	1.25	1.25	0.50
J. TOP TANK ELEVATION (FT) (H-I):	182.01	182.16	183.01
K. HIGHEST FINISH GRADE ELEVATION AT TANK SLAB (FT):	185.36	185.36	185.36
L. MAX BURIAL DEPTH (K-J) (FT): MAX = 5.67'	3.37	3.22	2.37
M. LOWEST FINISH GRADE ELEVATION AT TANKS (FT):	184.99	184.99	184.99
N. MIN BURIAL DEPTH (M-J) (FT): MIN = 4.17'	2.98	2.83	1.98

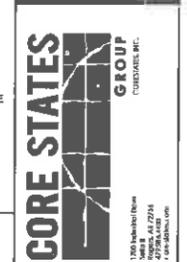
TANK BURIAL DEPTH IS GOVERNED BY THE MINIMUM BURIAL DEPTH OF 4.17 FT THE TOP OF TANKS SHALL BE SET AT - 180.82 FT

1 ARCHITECTURAL SITE PLAN
 1/16" = 1'-0"

Rev.#	Date	Description

Proto 11-05-18

7-ELEVEN, INC.
 3200 HACKBERRY ROAD, IRVING TEXAS 75063
 FACILITY ID# 0113879
 7-ELEVEN #24433
 587 AMHERST STREET
 NASHUA, NH 03065
 FUELING ARCHITECTURAL SITE PLAN

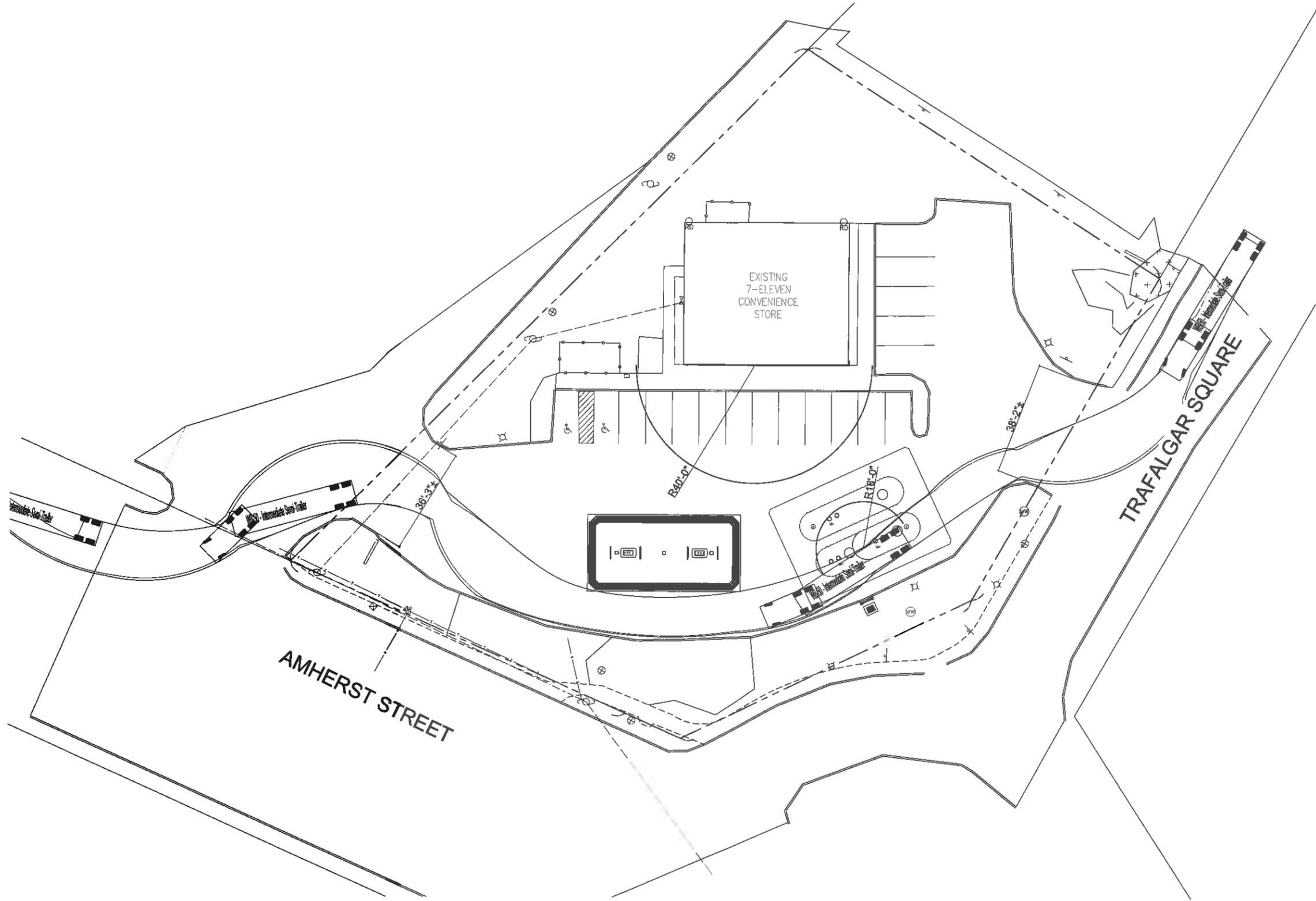


Job#: SEI-26850
 Scale: AS NOTED
 Date: 06/10/19
 Drawn By: RWB
 Checked By: CVK

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SHEET:
GO.1
 SHEET 2 OF 28



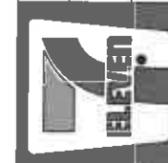
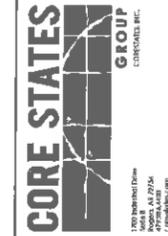
① FUELING TRUCK ROUTE
 1/16" = 1'-0"



SHEET:
G0.2
 SHEET 3 OF 28

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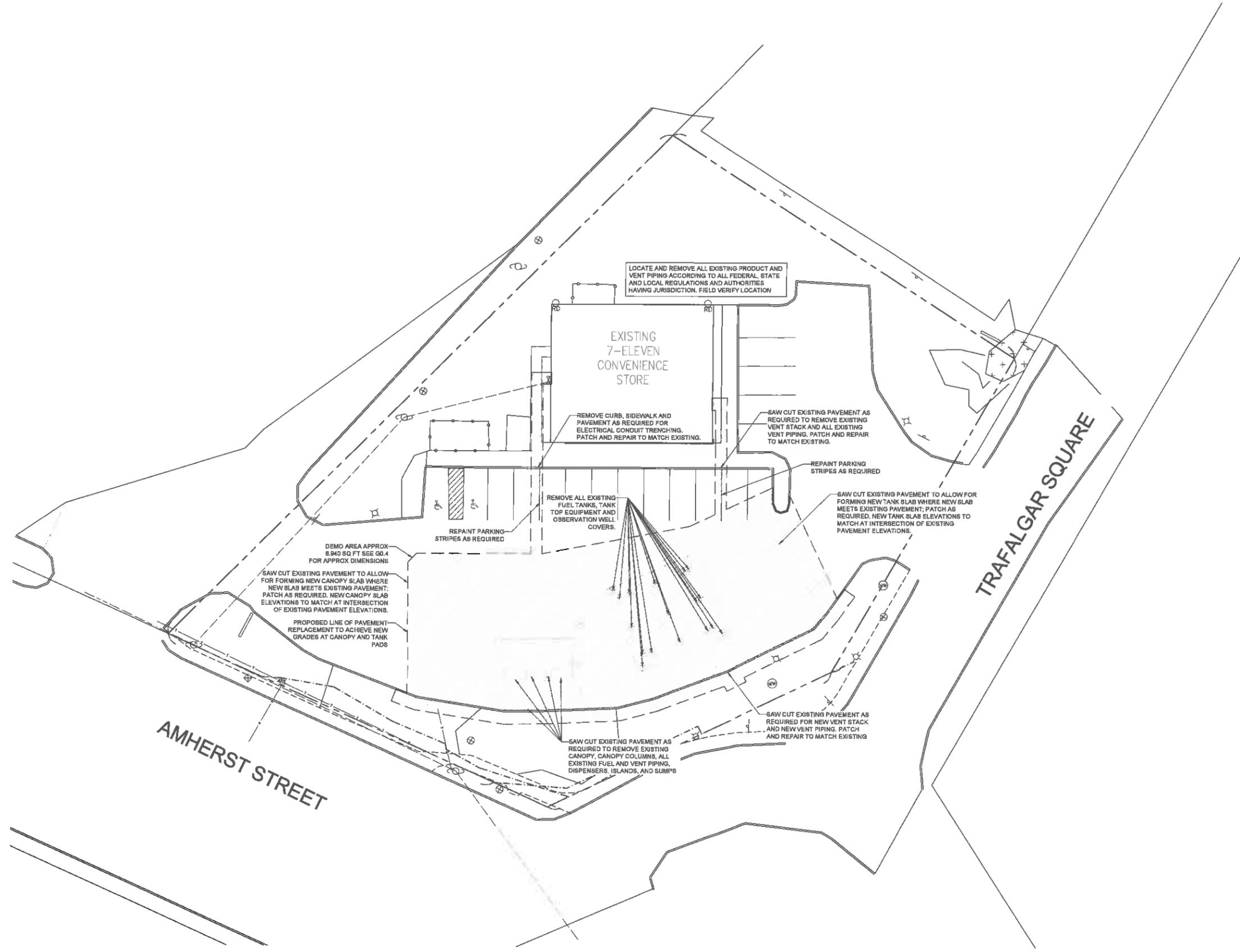
7-ELEVEN, INC.
 3200 HACKBERRY ROAD, IRVING TEXAS 75063
 7-ELEVEN #24433 FACILITY ID# 0113879
 387 AMHERST STREET
 NASHUA, NH 03063
 FUELING TRUCK ROUTE

Proto 11-05-18

Rev. #	Date	Description

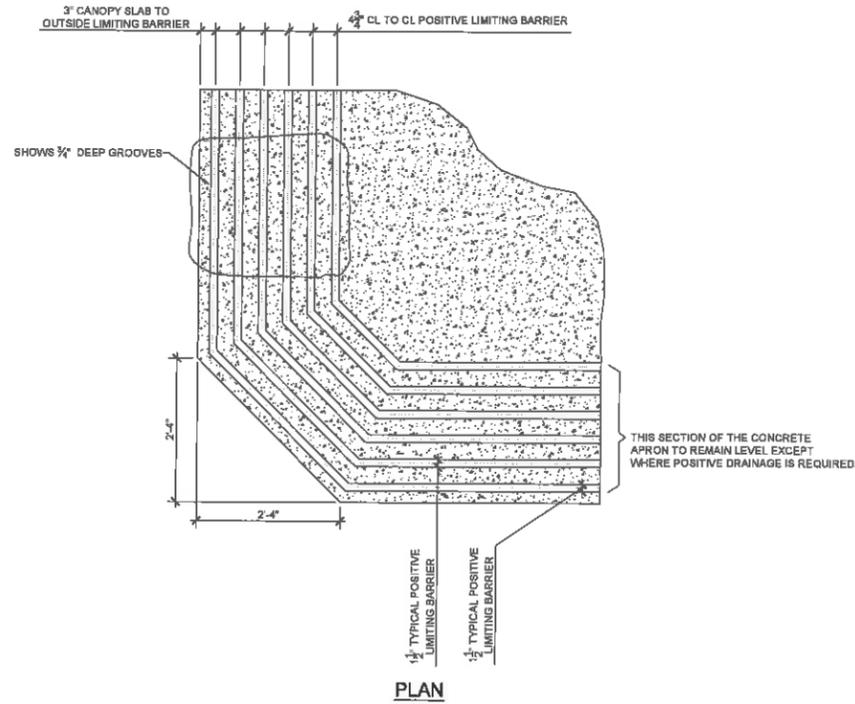
GENERAL NOTES

- CONTRACTOR TO CUT AND REMOVE CONCRETE AS NECESSARY TO REMOVE ALL EXISTING PIPING. LOCATION OF REMOVAL AT DISPENSER ISLANDS IS APPROXIMATE AND IS BASED ON AVAILABLE INFORMATION.

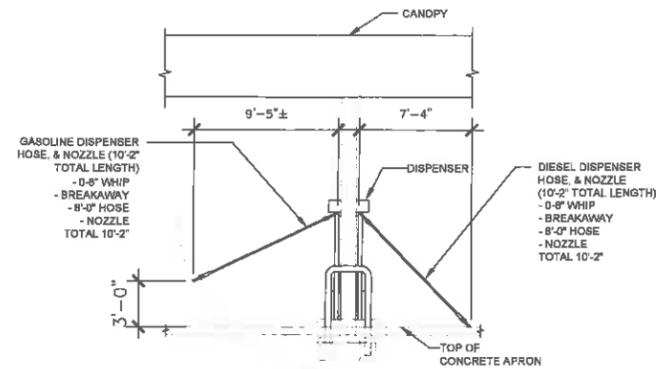


1 DEMO PLAN
1/16" = 1'-0"

Description	
Rev. #	Date
Proto 11-05-18	
7-ELEVEN, INC. 3200 HACKBERRY ROAD, IRVING TEXAS 75063	
7-ELEVEN #24433 FACILITY ID# 387 AMHERST STREET NASHUA, NH 03063	
FUELING DEMO PLAN	
Job#: SEI-26850	Scale: AS NOTED
Date: 06/10/19	Drawn By: RWB
Checked By: CVK	
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SHEET: G0.3	
SHEET 4 OF 28	



2 POSITIVE LIMITING BARRIER DETAIL
 3/4" = 1'-0"



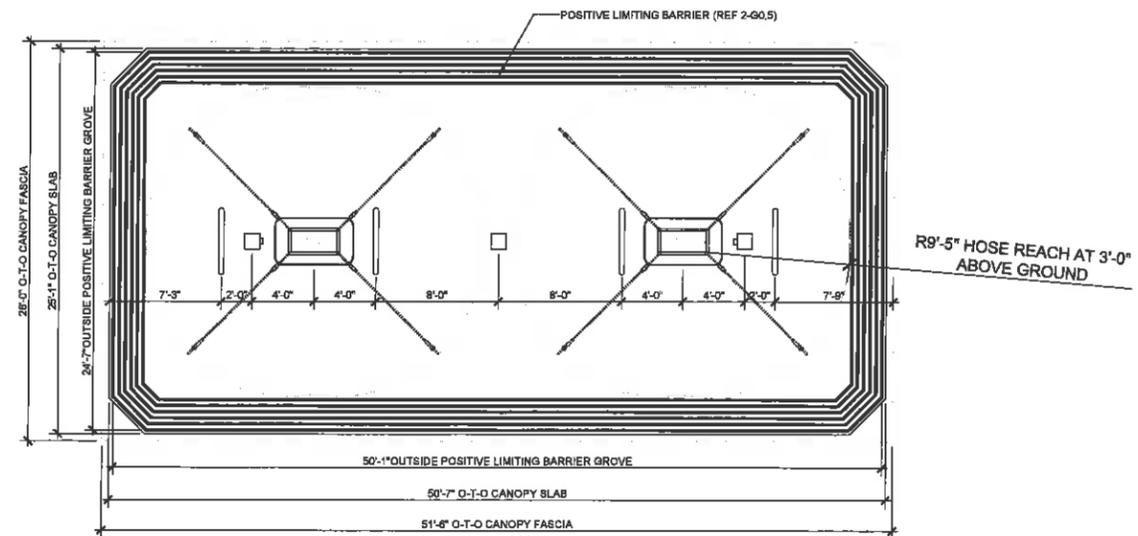
3 DISPENSER HOSE DETAIL
 3/16" = 1'-0"

POSITIVE LIMITING BARRIER CALCULATIONS

TOTAL VOLUME REQUIRED:
 (5 GALLONS/ 2 DISPENSING HOSE) * (4) = 20 GALLONS

TOTAL VOLUME SUPPLIED BY POSITIVE LIMITING BARRIER:
 TOTAL LENGTH OF INSIDE GROVE: 131 FT
 AREA OF TRIANGULAR GROVE CROSS SECTION: (1/2)*(1.5/12 FT)*(0.75/12 FT) = 0.003906 SQ. FT
 VOLUME INSIDE A GROVE
 (0.003906 SQ. FT)*(131 FT) = (0.51171 CUBIC FT)*(7.4805 GALLON/1 CUBIC FT)
 VOLUME INSIDE A GROVE = 3.827812 GALLONS

TOTAL GROVES REQUIRED = TOTAL VOLUME REQUIRED/VOLUME INSIDE A GROVE
 20 GALLONS / 3.827812 GALLONS = 5.22478 GROVES
 TOTAL GROVES REQUIRED = 6



1 CANOPY SLAB PLAN
 3/16" = 1'-0"

Job#:	SEI-26850
Scale:	AS NOTED
Date:	08/10/19
Drawn By:	RWB
Checked By:	CVK

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 7-ELEVEN #24433 FACILITY ID# 0113879
 367 AMHERST STREET NASHUA, NH 03063
 POSITIVE LIMITING BARRIER DETAILS

DATE: 02-24-20

SHEET: G0.5
 SHEET 6 OF 28

Underground Storage Tank Recovery Calculations for Fiberglass Tanks

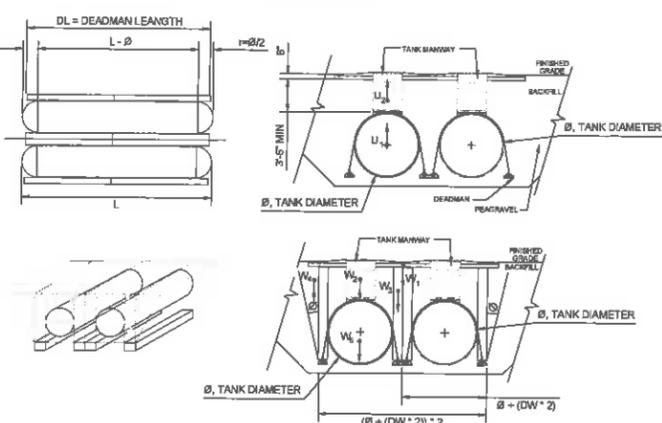
Project #	50-76850
Project Name	Roxbury, NH #24433
Tank Manufacturer / Model	News 100 100
Number of Tanks	2
Tank Dry Weight	9000 lbs
Tank Volume	20000 gallons
Tank Diameter (ø)	30 feet
Tank Bury Depth	4.37 feet
Tank Length (L)	37.75 feet
Number of Sumps	2
Sump Diameter	42 inches
Tank Slab Length	52.37 feet
Tank Slab Width	36.37 feet
Tank Slab Thickness	8 inches
Deadman Length (DL)	36 feet
Deadman Width (DW)	12 inches
Deadman Height	8.75 inches

Assumptions		
100% saturation to finished grade	- water =	62.4 lb/CF
submerged concrete =	- concrete =	87.8 lb/CF
surcharge aggregate =	- aggregate =	87.8 lb/CF

Tank & Sump Weights	
Tank	U1 = $\frac{9000 \text{ lbs}}{7.99 \text{ gal/CF}} \times 62.4 \text{ lb/CF} = 333,244 \text{ lbs}$
Sumps	U2 = $120.3 \text{ CF} \times 62.4 \text{ lb/CF} = 7,507 \text{ lbs}$
Total Uplift	U = U1 + U2 = 340,751 lb UP

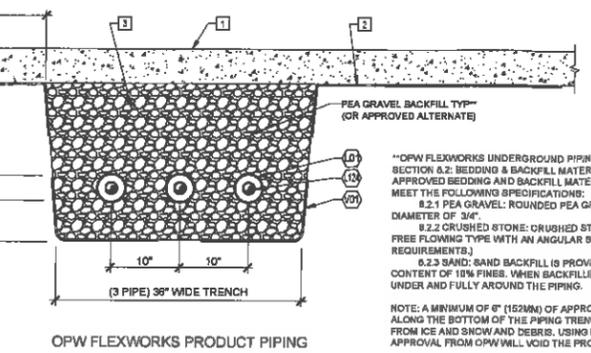
Dead Weights for Soil Down	
Concrete Slab	W1 = $1258.0 \text{ CF} \times 87.8 \text{ lb/CF} = 110,200 \text{ lbs}$
Backfill Above Tank	W2 = $3,384 \text{ CF} \times 57.6 \text{ lb/CF} = 194,927 \text{ lbs}$
Gravel Column Above Deadman (2 deadman per tank)	W3 = $2916.72 \text{ CF} \times 57.6 \text{ lb/CF} = 168,009 \text{ lbs}$
Soil Wedge Above Deadman (2 total)	W4 = $215,181.2 \text{ CF} \times 57.6 \text{ lb/CF} = 12,384,154 \text{ lbs}$
Concrete Deadman (2 deadman per tank)	W5 = $157.3 \text{ CF} \times 87.6 \text{ lb/CF} = 13,797 \text{ lbs}$
Dry Weight of Tank	W6 = 9,000 lbs
Total Weight	W = W1 + W2 + W3 + W4 + W5 + W6 = 529,081 lb DOWN

Net Force	
Fact. =	$\frac{W}{U} = \frac{529,081 \text{ lbs}}{340,751 \text{ lbs}} = 1.54 \text{ FACT}$

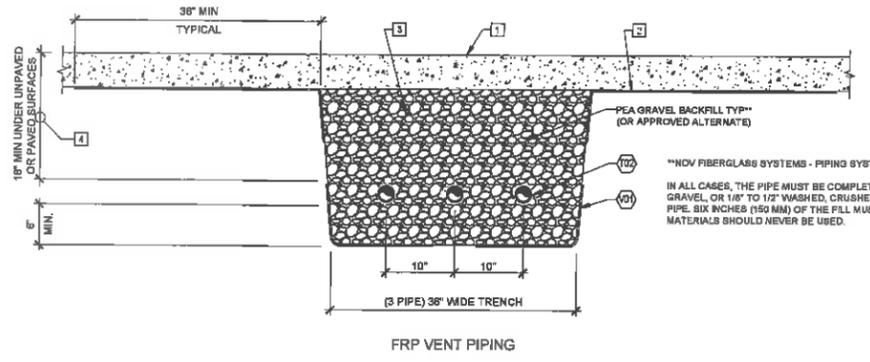


THE FIGURE AND THE TABLE BELOW SHOWS MINIMUM BACKFILL REQUIREMENTS FOR DIFFERENT SIZED PIPES UNDER DIFFERENT SURFACES FOR FRP PIPING

Pipe Size	Surface Condition	Min. Burial Depth		Min. Backfill	
		A	B	A	B
2 50	Unpaved	18	432	12	305
	Paved, min. 4" (100 mm) asphalt	12	305	8	203
	Paved, min. 4" (100 mm) concrete	9	229	5	127
3 75	Paved, min. 6" (150 mm) concrete	9	229	3	76
	Unpaved	20	508	14	356
	Paved, min. 4" (100 mm) asphalt	13	330	9	229
4 100	Paved, min. 4" (100 mm) concrete	11	279	7	178
	Paved, min. 6" (150 mm) concrete	10	254	4	102
	Unpaved	20	508	14	356
6 150	Paved, min. 4" (100 mm) asphalt	14	356	10	254
	Paved, min. 4" (100 mm) concrete	11	279	7	178
	Paved, min. 6" (150 mm) concrete	10	254	4	102
6 150	Unpaved	36	914	14	356
	Paved, min. 4" (100 mm) asphalt	24	610	10	254
	Paved, min. 6" (150 mm) concrete	20	508	7	178
6 150	Paved, min. 6" (150 mm) concrete	16	406	4	102

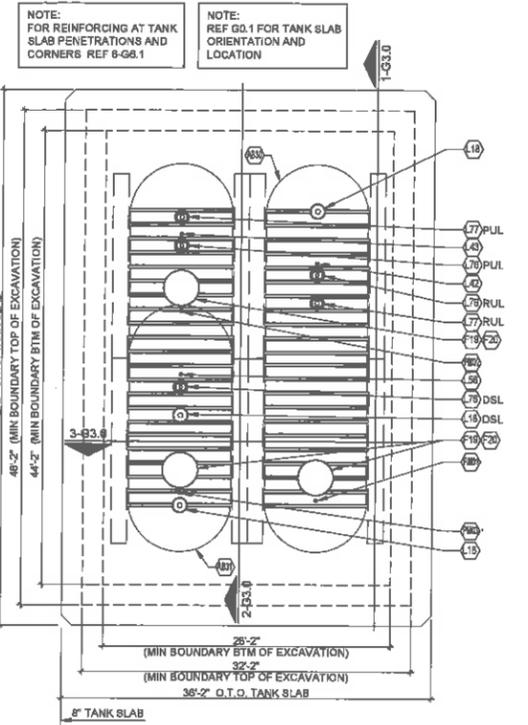


OPW FLEXWORKS UNDERGROUND PIPING MANUAL SECTION 8.2: BEDDING & BACKFILL MATERIALS:
 APPROVED BEDDING AND BACKFILL MATERIALS FOR OPW-FC'S FLEXIBLE PIPING, BUMPS AND ACCESS PIPING SHALL MEET THE FOLLOWING SPECIFICATIONS:
 8.2.1 PEA GRAVEL: ROUNDED PEA GRAVEL IS PERMITTED WITH A MINIMUM DIAMETER OF 1/8" AND A MAXIMUM DIAMETER OF 3/4".
 8.2.2 CRUSHED STONE: CRUSHED STONE IS PERMITTED PROVIDING IT SHALL BE WASHED CLEAN AND BE OF THE FREE FLOWING TYPE WITH AN ANGULAR STONE SIZE BETWEEN 1/8" AND 1/2". (MEETS ASTM C-33 PARAGRAPH 9.1 REQUIREMENTS.)
 8.2.3 SAND: SAND BACKFILL IS PROVIDED IT SHALL BE WASHED CLEAN AND IS FREE FLOWING WITH A MAXIMUM CONTENT OF 18% FINES. WHEN BACKFILLING, MAKE SURE SAND IS EVENLY DISTRIBUTED AND FULLY COMPACTED UNDER AND FULLY AROUND THE PIPING.
 NOTE: A MINIMUM OF 6" (152MM) OF APPROVED BEDDING MATERIAL SHALL BE SPREAD AND COMPACTED EVENLY ALONG THE BOTTOM OF THE PIPING TRENCH. ALL BEDDING AND BACKFILL MATERIAL SHOULD BE CLEAN AND FREE FROM ICE AND SNOW AND DEBRIS. USING MATERIAL OTHER THAN THOSE DESCRIBED ABOVE WITHOUT WRITTEN APPROVAL FROM OPW WILL VOID THE PRODUCT WARRANTY.



NOV FIBERGLASS SYSTEMS - PIPING SYSTEMS - GENERAL INSTALLATION INSTRUCTIONS:
 IN ALL CASES, THE PIPE MUST BE COMPLETELY SURROUNDED WITH SELECT BACKFILL (SAND, 1/8" TO 3/4" PEA GRAVEL, OR 1/8" TO 1/2" WASHED, CRUSHED STONE). THERE SHOULD NOT BE ANY VOIDS UNDER OR AROUND THE PIPE. SIX INCHES (150 MM) OF THE FILL MUST BE PLACED UNDER THE PIPE AS BEDDING MATERIAL. NATIVE BACKFILL MATERIALS SHOULD NEVER BE USED.

3 PIPING TRENCH SECTION
1"=1'-0"



NOTE: FOR REINFORCING AT TANK SLAB PENETRATIONS AND CORNERS REF 6-G8.1
 NOTE: REF G0.1 FOR TANK SLAB ORIENTATION AND LOCATION

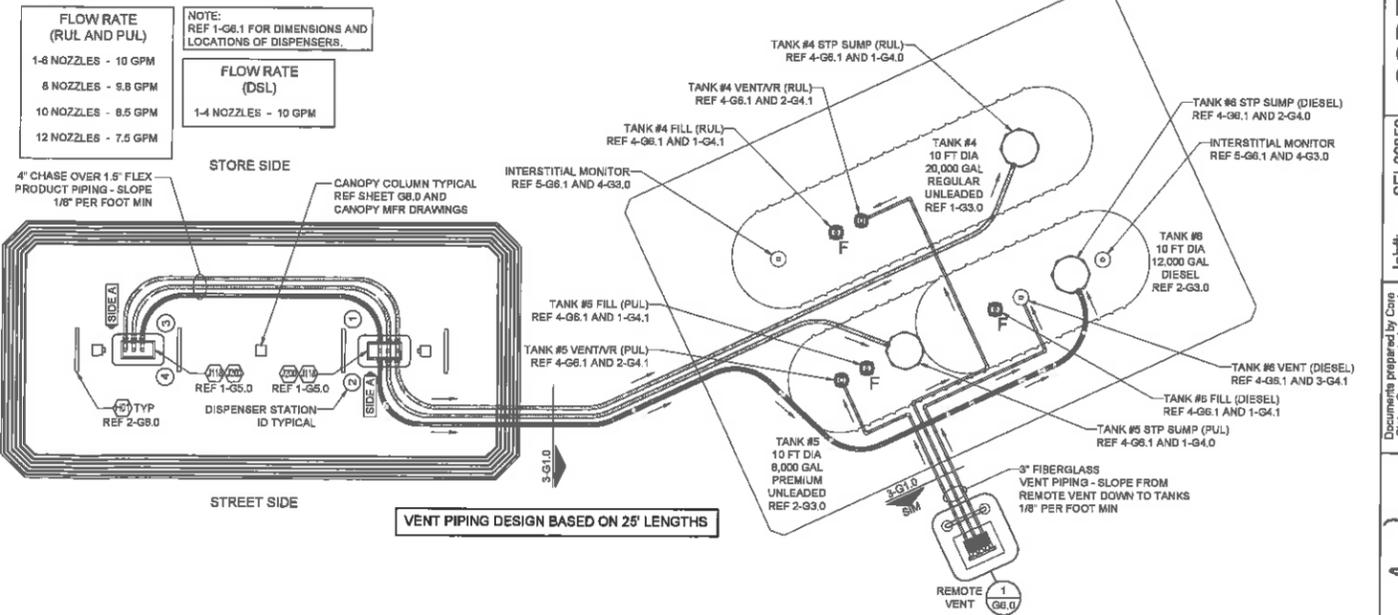
2 TANK SLAB PLAN
1/8"=1'-0"

GENERAL NOTES

- ALL CONSTRUCTION SHALL MEET COUNTY STANDARDS. CONTRACTOR TO SECURE ENTIRE CONSTRUCTION AREA WITH CHAIN LINK FENCING DURING CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DIFFERENCES BETWEEN THE ACTUAL FIELD CONDITIONS AND THE PLANS BEFORE PROCEEDING WITH CONSTRUCTION.
- FUEL CONTRACTOR SHALL BE RESPONSIBLE FOR THE INTEGRITY OF THE PIPING SYSTEM DURING CANOPY ERECTION AND CONCRETE FLATWORK INSTALLATION.
- AFTER COMPLETING INSTALLATION OF DISPENSERS, THE FUEL CONTRACTOR IS TO INSTALL BRIGHT ORANGE CONSTRUCTION FENCE AROUND ENTIRE DISPENSER.
- FUEL CONTRACTOR IS TO BE AWARE THAT ON THE DAY THE GASOLINE SYSTEM IS PUT INTO SERVICE, THE FUEL CONTRACTOR AND A GILBARCO AUTHORIZED SERVICE CONTRACTOR MUST BE ON SITE ONE (1) HOUR PRIOR TO STARTUP AND MUST REMAIN ON SITE THREE (3) ADDITIONAL HOURS FOR A TOTAL OF FOUR (4) HOURS. ANY COSTS INCURRED OVER FOUR (4) HOURS DUE TO FUELING SYSTEM ISSUES, SHOULD BE BILLED AS A CHANGE ORDER.

KEY NOTES

- 8" CONCRETE SLAB AT FUELING CANOPY.
- GEOTECH FABRIC MATERIAL TO EXTEND 36" PAST EACH SIDE OF PIPING TRENCH. ALL GEOTECH FABRIC MATERIAL SHALL BE PINNED PRIOR TO BACKFILLING. METHOD OF PINNING FABRIC AT TOP OF EXCAVATION TO BE APPROVED BY THE 7-ELEVEN CONSTRUCTION MANAGER.
- PIPING TRENCHES SHALL BE DUG IN SUCH A MANNER THAT THE TRENCH WIDTH IS EQUAL TO AT LEAST TWICE WIDTH OF ALL PIPING CONTAINED WITHIN. MAINTAIN A MINIMUM OF 4" (100mm) CLEAR DISTANCE BETWEEN PIPING POSITIONED IN THE TRENCH AND 8" WHERE PIPING CROSSES OVER EACH OTHER. THE BOTTOM OF THE TRENCH SHALL BE AS UNIFORM AS POSSIBLE TO ELIMINATE HIGH SPOTS AND ENSURING AN EVEN LAYER OF BEDDING MATERIAL UNDER THE PIPE. REMOVE ALL SHARP ROCKS AND DEBRIS FROM THE TRENCH BOTTOM BEFORE BEDDING MATERIAL IS INSTALLED.
- SITE CONDITIONS MAY CAUSE VARIATIONS WHICH MUST BE APPROVED BY 7-ELEVEN AND MANUFACTURER. PIPING BURIAL DEPTHS LESS THAN WHAT IS SHOWN IN DETAIL 3 (16"-20") REQUIRES RNDES, DESIGN ENGINEER, 7-ELEVEN, AND MANUFACTURER APPROVAL



FLOW RATE (RUL AND PUL)	
1-8 NOZZLES - 10 GPM	
8 NOZZLES - 9.8 GPM	
10 NOZZLES - 8.5 GPM	
12 NOZZLES - 7.5 GPM	

NOTE: REF 1-G6.1 FOR DIMENSIONS AND LOCATIONS OF DISPENSERS.	
FLOW RATE (DSL)	
1-4 NOZZLES - 10 GPM	

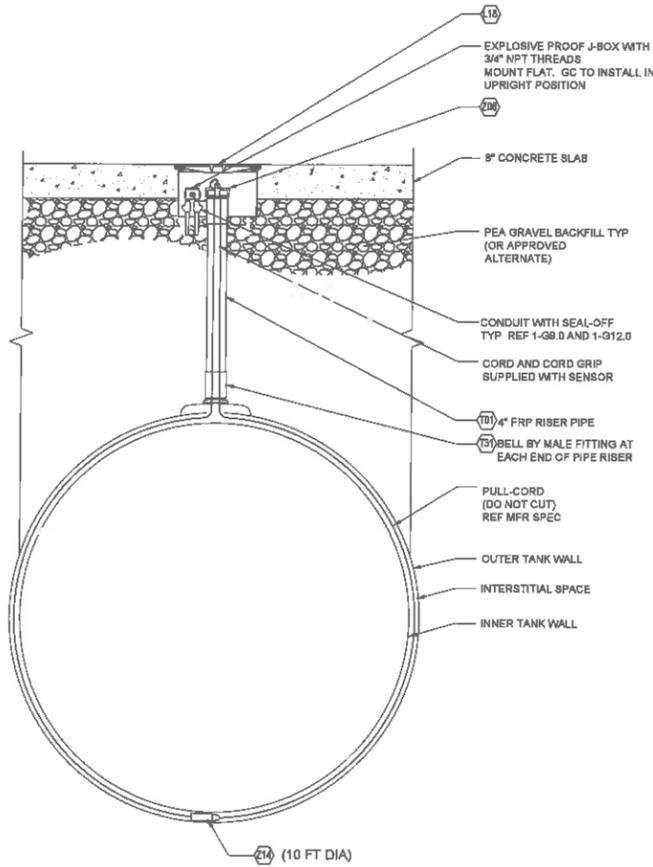
1 FUEL PIPING PLAN
1/8"=1'-0"

7-ELEVEN, INC.
 3200 HACKBERRY ROAD, IRVING TEXAS 75063
 7-ELEVEN #24433 FACILITY ID# 011879
 387 AMHERST STREET NASHUA, NH 03063
 FUELING PIPING AND TANK PLAN

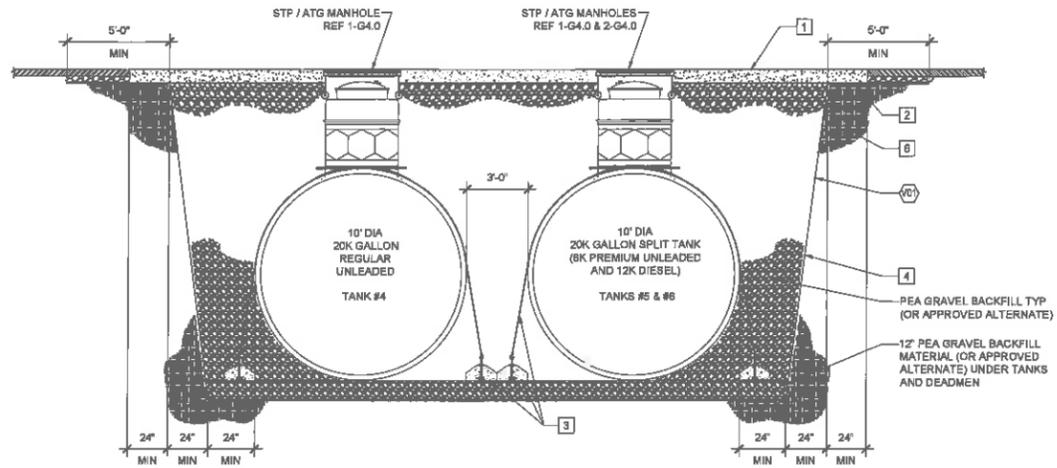
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 Checked By: CVK

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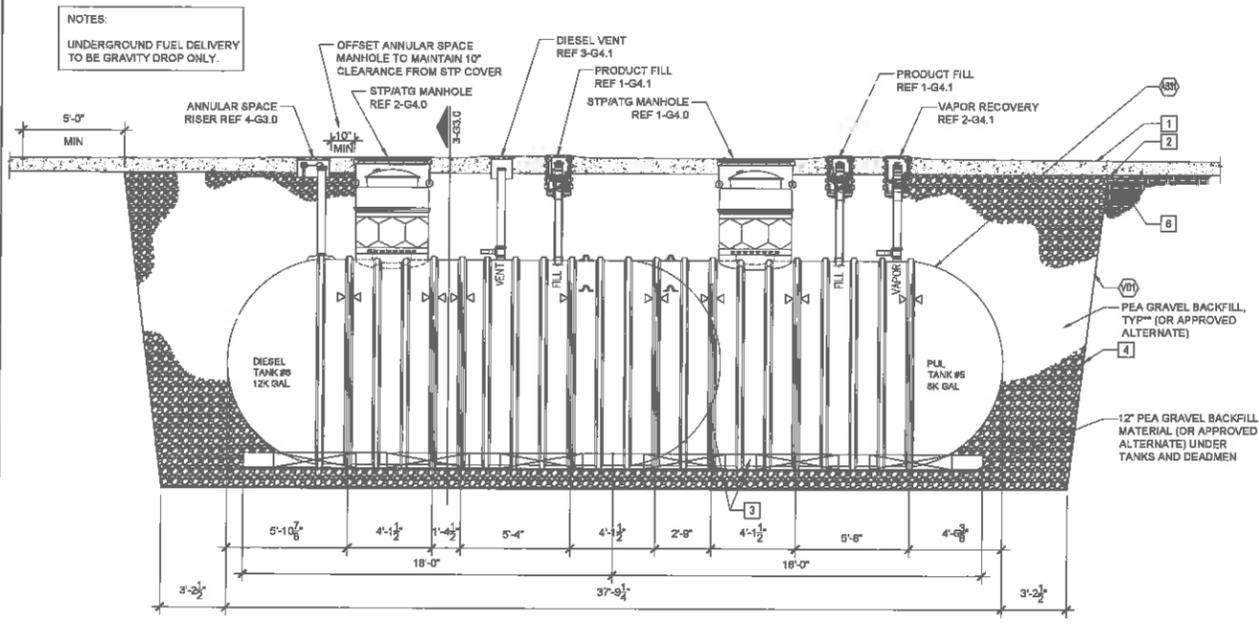
SHEET: G1.0
 SHEET 8 OF 28



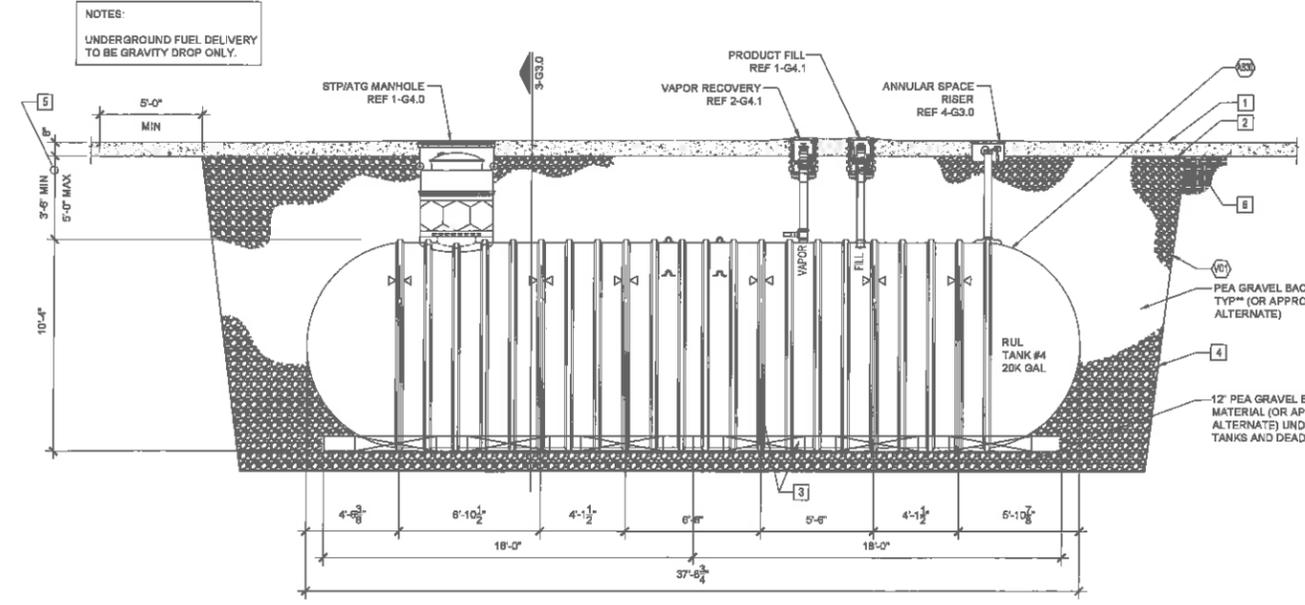
4 ANNULAR SPACE RISER AND SENSOR SECTION
1/4"=1'-0"



3 10' DIA UNDERGROUND STORAGE TANK SECTION
1/4"=1'-0"



2 10' DIA 20,000 GALLON SPLIT TANK SECTION
1/4"=1'-0"



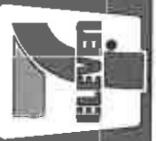
1 10' DIA 20,000 GALLON TANK SECTION
1/4"=1'-0"

KEY NOTES

- CONCRETE SLAB, ALL MANHOLES WITHIN THE TANK SLAB AREA TO BE RAISED 1" ABOVE THE NORMAL GRADE OF CONCRETE. SLOPE CONCRETE TO MANHOLES 1/4" PER FT. CROWN CONCRETE AS TO NOT INHIBIT WATER DRAINAGE OFF THE TANK SLAB (NO POOLING).
- GEOTECH FABRIC MATERIAL TO EXTEND 60" MINIMUM PAST THE TANK HOLE EXCAVATION. ALL GEOTECH FABRIC MATERIAL TO BE PINNED PRIOR TO BACKFILLING. METHOD OF PINNING FABRIC AT TOP OF EXCAVATION TO BE APPROVED BY THE 7-ELEVEN CONSTRUCTION MGR.
- MOH STRAP ANCHOR SYSTEM SUPPLIED BY TANK MANUFACTURER. PLACE DEADMEN PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- FOR SLOPE, FOLLOW CURRENT OSHA REGULATIONS. IF SHEET PILES ARE UTILIZED, PROVIDE 42" MINIMUM CLEARANCE BETWEEN NEW TANKS AND SHORING.
- BURIAL DEPTH GREATER THAN 5'-8" REQUIRES 7-ELEVEN AND MANUFACTURER'S APPROVAL.
- UNDISTURBED SOIL OR COMPACTED BACK FILL NOT LESS THAN 95% OF MODIFIED PROCTOR DENSITY (AASHTO-T-180).

Rev. #	Date	Description

7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING, TEXAS 75063
7-ELEVEN #24433 FACILITY ID#
367 AMHERST STREET 0113879
NASHUA, NH 03063



Job#: SEL-26850
Scale: AS NOTED
Date: 06/10/19
Drawn By: RWB
Checked By: CVK

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SHEET:
G3.0
SHEET 9 OF 27

PRINTED BY: CARR
DRAWING NAME: 2443 - CSO TANK SECTION
DATE: Feb 04, 2009 - 14:30m

**XERXES INSTALLATION MANUAL AND OPERATING GUIDELINES FOR FIBERGLASS UNDERGROUND STORAGE TANKS:
APPENDIX C: PRIMARY BACKFILL REQUIREMENTS:
9. WHEN USING SELECT ROUNDED STONES, THE MATERIAL IS TO BE A MIX OF ROUNDED PARTICLES, SIZES BETWEEN 0.094 INCH [2.36 mm] AND 0.75 INCH [19 mm].
• THE ROUNDED STONES MUST CONFORM TO THE SPECIFICATIONS OF ASTM C 33, SIZES 6, 67 OR 7.
• NO MORE THAN 5 PERCENT (BY WEIGHT) OF THE BACKFILL MAY PASS THROUGH A #8 SIEVE.
• GENERALLY, ROUNDED STONES THAT MEET THE GRADATION REQUIREMENTS ARE LARGER THAN ALLOWABLE CRUSHED STONES.
10. WHEN USING CRUSHED STONES, THE MATERIAL IS TO BE A MIX OF ANGULAR PARTICLES, SIZES BETWEEN 0.094 INCH [2.36 mm] AND 0.50 INCH [12.55 mm].
• THE CRUSHED STONES MUST CONFORM TO THE SPECIFICATIONS OF ASTM C 33, SIZES 7 OR 8.
• NO MORE THAN 5 PERCENT (BY WEIGHT) OF THE BACKFILL MAY PASS THROUGH A #8 SIEVE.

**XERXES INSTALLATION MANUAL AND OPERATING GUIDELINES FOR FIBERGLASS UNDERGROUND STORAGE TANKS:
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• NO MORE THAN 5 PERCENT (BY WEIGHT) OF THE BACKFILL MAY PASS THROUGH A #8 SIEVE.

GENERAL NOTES

- SIGNAGE IS PROVIDED BY 7-ELEVEN DR GC. SIGNAGE TO BE INSTALLED BY CONTRACTOR PER 7-ELEVEN GUIDELINES.

Rev. #	Date	Description

Proj: 11-05-18

7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING TEXAS 75063
7-ELEVEN #24433 FACILITY ID# 0113879
387 AMHERST STREET NASHUA, NH 03063

SIGNAGE DETAILS



Job#: SEI-26850
Scale: AS NOTED
Date: 06/10/19
Drawn By: RWB
Checked By: CVK

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SHEET: G8.1
FUELING - USA

WARNING NO SMOKING STOP MOTOR

- It is unsafe and dangerous to dispense gasoline into unapproved containers.
- No filling of portable containers in or on a motor vehicle.
- Place container on ground before filling.
- Discharge static electricity before fueling by touching a metal surface away from the nozzle.
- Do not re-enter your vehicle while gasoline is pumping.
- If a fire starts, do not remove nozzle - back away immediately.
- Do not allow individuals under licensed age to use the pump.



ULTRA-LOW SULFUR HIGHWAY DIESEL FUEL
(15 ppm Sulfur Maximum)

Required for use in all highway diesel vehicles and engines.
Recommended for use in all diesel vehicles and engines.

4 LOW SULFUR HIGHWAY DIESEL FUEL
N.T.S.

1	2
3	4
5	6

3 DISPENSER NUMBERS
N.T.S.

GAS PUMPS ARE VIDEO MONITORED



24 HOURS A DAY

IN CASE OF FIRE, SPILL OR RELEASE:

1. USE EMERGENCY PUMP SHUTOFF
2. REPORT THE ACCIDENT!

FIRE DEPARTMENT TELEPHONE # 911
FACILITY ADDRESS:

7 IN CASE OF FIRE, SPILL OR RELEASE
N.T.S.

CONTAINS 10% ETHANOL

5 CONTAINS 10% ETHANOL
N.T.S.

DANGER

EMERGENCY SHUT OFF OUTSIDE
EXTREMELY FLAMMABLE
Use as Motor Fuel Only

- NO SMOKING!
- Stop Engine.
- Turn off all electronic equipment including cellular telephones.
- Do not leave nozzle unattended during refueling.
- Do not re-enter your vehicle while gasoline is pumping.
- Discharge your static electricity before fueling by touching a metal surface away from the nozzle.
- If a fire starts, do not remove nozzle - back away immediately.

Static Sparks Can Cause A Fire, especially when filling portable containers.

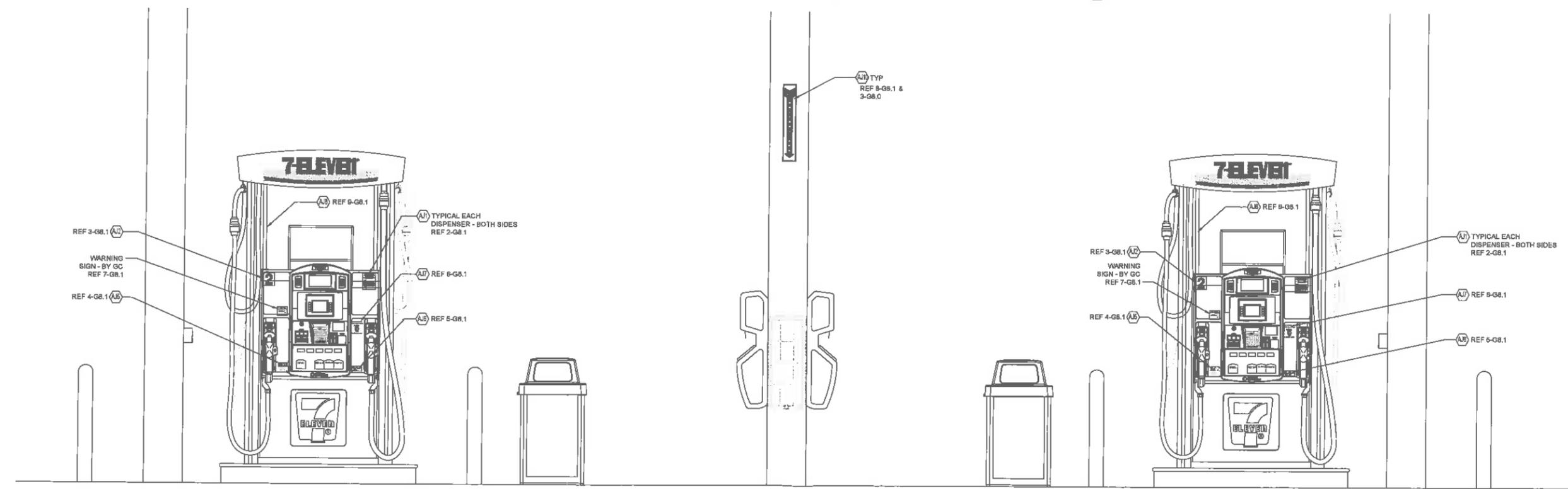
- Containers must be metal or other material approved for storing gasoline.
- PLACE CONTAINER ON GROUND! DO NOT FILL ANY PORTABLE CONTAINER IN OR ON A VEHICLE.
- Keep nozzle spout in contact with the container during the entire filling operation.

2 EMERGENCY SHUT OFF
N.T.S.

9 WARNING NO SMOKING
N.T.S.

8 FIRE EXTINGUISHER
N.T.S.

6 GAS PUMPS ARE VIDEO MONITORED
N.T.S.



1 DISPENSER SIGNAGE ELEVATION
3/4" = 1'-0"

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda McGhee, Deputy Planning Manager
FOR: August 6, 2020
RE: **New Business #7 - Site Plan**

I. Project Statistics:

Owner: Lefavor Folio, LLC
Proposal: Site plan to construct an 18-unit multi-family residential development
Location: 111-113 Lock Street
Total Site Area: 0.97 acres (42,065 sf)
Existing Zoning: GI-General Industrial
Surrounding Uses: Residential, Church and Nashua River

II. Background Information:

A partial 3-story building and pavement/gravel areas currently exist on the parcel. Access to the site is currently provided via two curb cuts onto Lock Street. On May 28, 2019 the Zoning Board of Adjustment approved a use variance to construct two multi-family buildings with 18 units along with associated site improvements. On September 10, 2019 the applicant also appeared before the Conservation commission and received a favorable recommendation. The approval letter and minutes are attached.

III. Project Description:

The proposal is to remove the existing building and construct a 3-story 8-unit building on the western side of the property and a 3-story 10-unit building on the eastern side of the site. Access will be provided via a new 24' driveway curb cut along Lock Street. Parking for the units will be provided by interior garage spaces and within the proposed driveways. Other improvements include underground utilities to service the buildings, stormwater management, sidewalks, curbing, landscaping and site lighting. An enclosed dumpster at the rear of the site will be utilized for trash.

A Traffic Impact Worksheet has been submitted and it demonstrates that a formal Traffic Impact Report (TIR) is not required since the daily and peak hour trip estimates are below the TIR threshold values.

According to the applicant's engineer, three new stormwater management areas are proposed as part of this project and will accommodate the runoff generated by the proposed building rooftop and driveway entrance drive areas. The redevelopment will result in a net decrease of approximately 5,000 sf of impervious area compared with the existing site. The site development associated with the overall construction of this project disturbs approximately 41,840 sf of contiguous area and a NHDES Alteration of Terrain Permit is not required. A portion of the proposed redevelopment lies within the previously disturbed 75 foot wetland buffer associated with the Nashua River. There is no wetland impacts proposed as part of this plan.

One waiver has been requested for this project Under NRO § 190-198, 34.2 parking spaces are permitted (1.9 parking spaces per unit x 18 units); 36 spaces are proposed.

City staff reviewed the plans; comments are attached.

IV. Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

1. The request for a waiver of NRO § 190-198, which establishes maximum parking standards, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. Prior to the Chair signing the plan, all comments in an e-mail from Joseph Mendola, Street Construction Engineer, dated November 7, 2019 shall be addressed to the satisfaction of the Engineering Department.
3. Prior to the Chair signing the plan, minor drafting corrections will be made.
4. Prior to the issuance of a building permit, the applicant shall provide documents establishing a homeowners association which will be responsible for maintaining all property in common ownership. The homeowner's association documents shall be submitted to the Planning Department and Corporation Counsel for review.
5. Prior to issuance of the final certificate of occupancy for the development, an as-built plan locating all driveways, units, other buildings, utilities and site landscaping shall be completed by a professional engineer and submitted to the Planning Department. The as-built plan shall include a statement that all construction was generally completed in accordance with the approved site plan and applicable local regulations. Sidewalk construction shall be to base course, with final course pavement remaining bonded until completion.
6. This is an identified inactive asbestos disposal site, all work must be in compliance with Env-Sw 2100 and Env-A 1800.
7. Prior to the issuance of the last Certificate of Occupancy, all site improvements will be completed.



ZONING NOTE
 THE ZONING BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNES/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

MAP 46 LOT 11
 DONNA D. KOUFOPOULOS
 4 ATHONTON AVENUE
 NASHUA, NH 03064-2840
 BK 5720 PG 1411
 ZONE: R-C
 USE: RESIDENTIAL

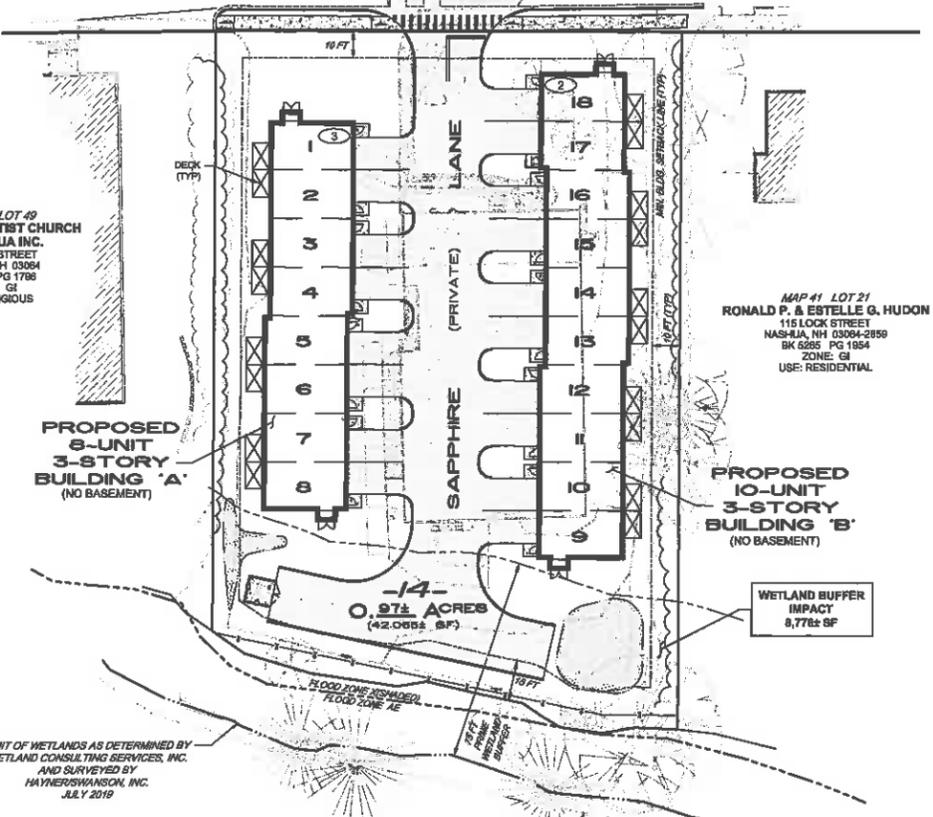
MAP 46 LOT 16
 REM CAPITAL, LLC
 20 MAJESTIC AVENUE
 NASHUA, NH 03063
 BK 9436 PG 2084
 ZONE: R-C
 USE: RESIDENTIAL

MAP 46 LOT 46
 VILLOU LLC
 106 LOCK STREET
 NASHUA, NH 03064
 BK 8001 PG 2236
 ZONE: R-C
 USE: RESIDENTIAL

MAP 41 LOT 21
 RONALD P. & ESTELLE G. HUDON
 115 LOCK STREET
 NASHUA, NH 03064-2859
 BK 6265 PG 1954
 ZONE: G1
 USE: RESIDENTIAL

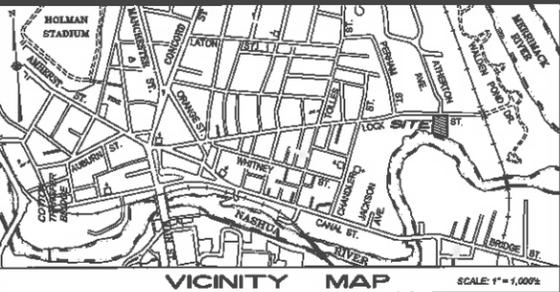
MAP 41 LOT 49
 HERITAGE BAPTIST CHURCH OF NASHUA, INC.
 105 LOCK STREET
 NASHUA, NH 03064
 BK 7405 PG 1786
 ZONE: G1
 USE: RELIGIOUS

MAP 41 LOT 1
 PUBLIC SERVICE CO. OF NH
 P.O. BOX 270
 HARTFORD, CT 06141-0270
 BK 1024 PG 338
 ZONE: G1
 USE: UTILITY



NOTES - CONT'D:

- ALL SIGNAGE SHALL CONFORM TO THE APPLICABLE CITY OF NASHUA REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
- SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION, GRADE AND NUMBER OF PARKING SPACES.
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY OF NASHUA PLANNING BOARD.
- PUBLIC STREET RESTORATION WORK SHALL BE IN ACCORDANCE WITH N.H.R.O. SECTION 285-13, LATEST EDITION.
- FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS, EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL-DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
- BASEMENTS MAY ENCOUNTER GROUNDWATER CONDITIONS THAT REQUIRE SUBSURFACE GROUNDWATER MITIGATION MEASURES. IT IS RECOMMENDED THAT SUBSURFACE CONDITIONS BE EVALUATED BY A GEOTECHNICAL ENGINEER, AND MITIGATION MEASURES BE IMPLEMENTED BY THE BUILDER ON A UNIT BY UNIT BASIS.
- THIS PROPERTY IS TO BE SERVICED BY PUBLIC SEWER AND WATER BY PENNACUCK WATER WORKS. UTILITIES, INCLUDING ELECTRIC, TELEPHONE, CABLE TELEVISION AND OTHER COMMUNICATION LINES, BOTH MAIN AND SERVICE CONNECTIONS, SERVICING NEW DEVELOPMENTS SHALL BE PROVIDED BY UNDERGROUND WIRING WITHIN EASEMENTS OR DEDICATED PUBLIC RIGHT-OF-WAY, INSTALLED IN ACCORDANCE WITH THE BOARD OF PUBLIC WORKS SPECIFICATIONS.
- STREET ADDRESSES SHALL BE POSTED ON SITE PRIOR TO THE OCCUPANCY OF THE BUILDING.
- A PRE-CONSTRUCTION MEETING WITH THE CITY OF NASHUA PLANNING, ENGINEERING, AND FIRE DEPARTMENT STAFF SHALL TAKE PLACE PRIOR TO ANY WORK BEING PERFORMED.
- PRIOR TO A BUILDING PERMIT BEING ISSUED, BONDING FOR ALL PUBLIC STREET IMPROVEMENTS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEERING DEPARTMENT AND CORPORATION COUNSEL.
- PRIOR TO A BUILDING PERMIT BEING ISSUED, DOCUMENTS PERTAINING TO THE STORMWATER OPERATION AND MAINTENANCE PLAN SHALL BE RECORDED.
- AN ELECTRONIC FILE SHALL BE SUBMITTED TO THE CITY OF NASHUA PRIOR TO THE SIGNING OF THE FINAL MYLAR.
- TRASH PICK-UP SHALL BE CURBSIDE BY A PRIVATE CONTRACTOR.
- WAIVER REQUESTED:
N.H.R.O. SECTION 190-199 - MAXIMUM PARKING SPACES
- THIS PROPERTY IS LOCATED WITHIN THE CITY OF NASHUA URBANIZED SHORELAND EXEMPTION ZONE. THEREFORE, A WIDENED SHORELAND PROTECTION PERMIT IS NOT REQUIRED.
- THIS PROPERTY IS AN IDENTIFIED INACTIVE ASBESTOS DISPOSAL SITE (ADS). ALL WORK SHALL BE IN COMPLIANCE WITH ENV-SW 2106 AND ENV-A 1800, AS APPLICABLE.
- SEE SHEET 6 OF 13 FOR PROPOSED STREET/UNIT ADDRESS DESIGNATIONS.
- PRESENT OWNER OF RECORD:
MAP 41 LOT 14
RAYMOND W. ENNIS, SR. REVOCABLE TRUST OF 2000
10 HORNE ROAD, PO BOX 62
WINDHAM, NH 03087-0062
BK 6966, PG 2859



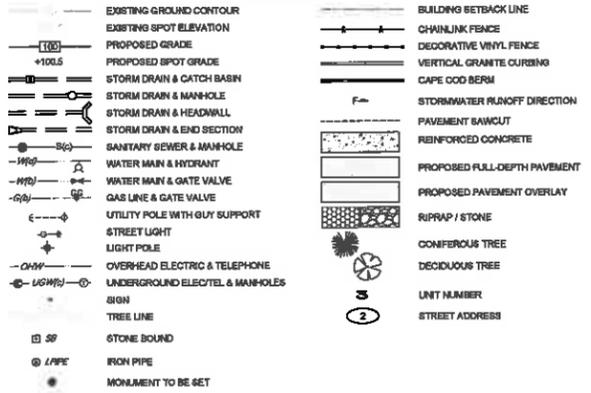
PLAN REFERENCE:

- SUBDIVISION PLAN (LOT 46, MAP 41), 105 LOCK STREET, NASHUA, NEW HAMPSHIRE. PREPARED FOR RECORD OWNER: BAE SYSTEMS INFORMATION & ELECTRIC SYSTEMS INTEGRATION INC., SCALE: 1" = 40', DATED 19 JANUARY 2021 WITH REVISIONS THRU 02/10/21 AND PREPARED BY THIS OFFICE.
RECORDED: HCRD PLAN No. 33476.
- CONSOLIDATION PLAN, (LOTS 14 & 26, MAP 41), 111 LOCK ST., NASHUA, NEW HAMPSHIRE, PREPARED FOR RAYMOND W. ENNIS, SCALE: 1" = 20', DATED: 9 MAY 1984, AND PREPARED BY ALLAN H. SWANSON, INC.
RECORDED: HCRD PLAN No. 17884.
- NASHUA MANUFACTURING COMPANY, JACKSON MILLS, PLAN OF LAND ON THE SOUTH SIDE OF LOCK STREET, NASHUA, N.H. SCALE: 1" = 40'.
RECORDED: HCRD PLAN No. 530.
- PLAN IN SUBDIVISION OF THE DWELLINGS & LAND OF THE NASHUA MANUFACTURING COMPANY'S JACKSON MILLS AT NASHUA, N.H. SCALE: 1" = 60', DATED: SEPT. 1936, AND PREPARED BY Wm L. THOMPSON, C.E.
RECORDED: HCRD PLAN No. 149A, SHEET 4.

NOTES:

- LOT AREA: 0.97± ACRES (42,055± SF)
- PRESENT ZONING: G1 - GENERAL INDUSTRIAL
 DIMENSIONAL REQUIREMENTS: G1
 MIN. LOT AREA: 5,000 SF
 MIN. LOT WIDTH: 50 FT
 MIN. FRONTAGE: 50 FT
 MIN. LOT DEPTH: 70 FT
 MIN. FRONT SETBACK: 10 FT
 MIN. SIDE SETBACK: 10 FT
 MIN. REAR SETBACK: 15 FT
 EXISTING: 42,055± SF
 PROPOSED: 42,055± SF
 172± FT
 172± FT
 241± FT
 11 FT
 34 FT
 62± FT
 30± FT
 3
 0.96
 ON MAY 28, 2019, THE NASHUA ZONING BOARD OF ADJUSTMENT GRANTED A VARIANCE TO CONSTRUCT AN 18-UNIT MULTI-FAMILY BUILDING UPON THE SUBJECT LOT.
- LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAP 41 & 46.
- PURPOSE OF PLAN:
TO SHOW A PROPOSED 18-UNIT MULTI-FAMILY RESIDENTIAL DEVELOPMENT ALONG WITH ASSOCIATED SITE IMPROVEMENTS.
- PARKING: (SEE WAIVER REQUEST):
REQUIRED (MULTI-FAMILY):
MINIMUM: 1.5 SPACES/UNIT x 18 UNITS = 27 SPACES
MAXIMUM: 1.9 SPACES/UNIT x 18 UNITS = 34 SPACES
PROVIDED (1 DRIVEWAY SPACE & 1 GARAGE SPACE PER UNIT) = 36 SPACES
- OPEN SPACE:
REQUIRED: 10 %
PROVIDED: 41 %
- THIS PARCEL IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE RATE MAP (FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY No. 330097, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 3301C0514E, REVISED DATE: APRIL 18, 2011. (BASE FLOOD ELEV. = 23.8± (NASHUA CITY SEWER DATUM))
- MONUMENTS, WHERE REQUIRED, TO BE SET BY A LICENSED LAND SURVEYOR.
- ALL LANDSCAPING SHALL BE AS SHOWN ON THE PLANS AND CONFORM TO THE APPLICABLE CITY OF NASHUA ZONING REGULATIONS.
- ALL LIGHTING SHALL BE AS SHOWN ON THE PLANS, DIRECTED ONTO THE SITE AND CONFORM TO APPLICABLE CITY OF NASHUA ZONING REGULATIONS.

LEGEND



No.	DATE	ADDRESS STAFF COMMENTS	REVISION	BY
1	09/18/20			TEZ

MASTER SITE PLAN (MAP 41, LOT 14)
PROPOSED RESIDENTIAL DEVELOPMENT
 11-13 LOCK STREET
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR:
LEFAVOR FOLIO, LLC
 15 ECHO AVENUE NASHUA, NH 03062 (603) 897-5295
 RECORD OWNER:
Raymond W. Ennis, Sr. Revocable Trust of 2000
 P.O. BOX 62 10 HORNE ROAD WINDHAM, NH 03087-0062

SCALE: 1"=30 Feet
1"=9.144 Meters

4 SEPTEMBER 2019

HSI Haynes/Swanson, Inc.
 Civil Engineers/Land Surveyors
 3 Congress Street
 Nashua, NH 03062
 (603) 883-2037
 www.haynes-swanson.com

FIELD BOOK: 1237
 DRAWING NAME: 2207SITE-FG31
 2207
 1 OF 13
 DRAWING LOG: J:\2000\2207\DWG\2207 SITE
 PLS: Nashua
 Sheet

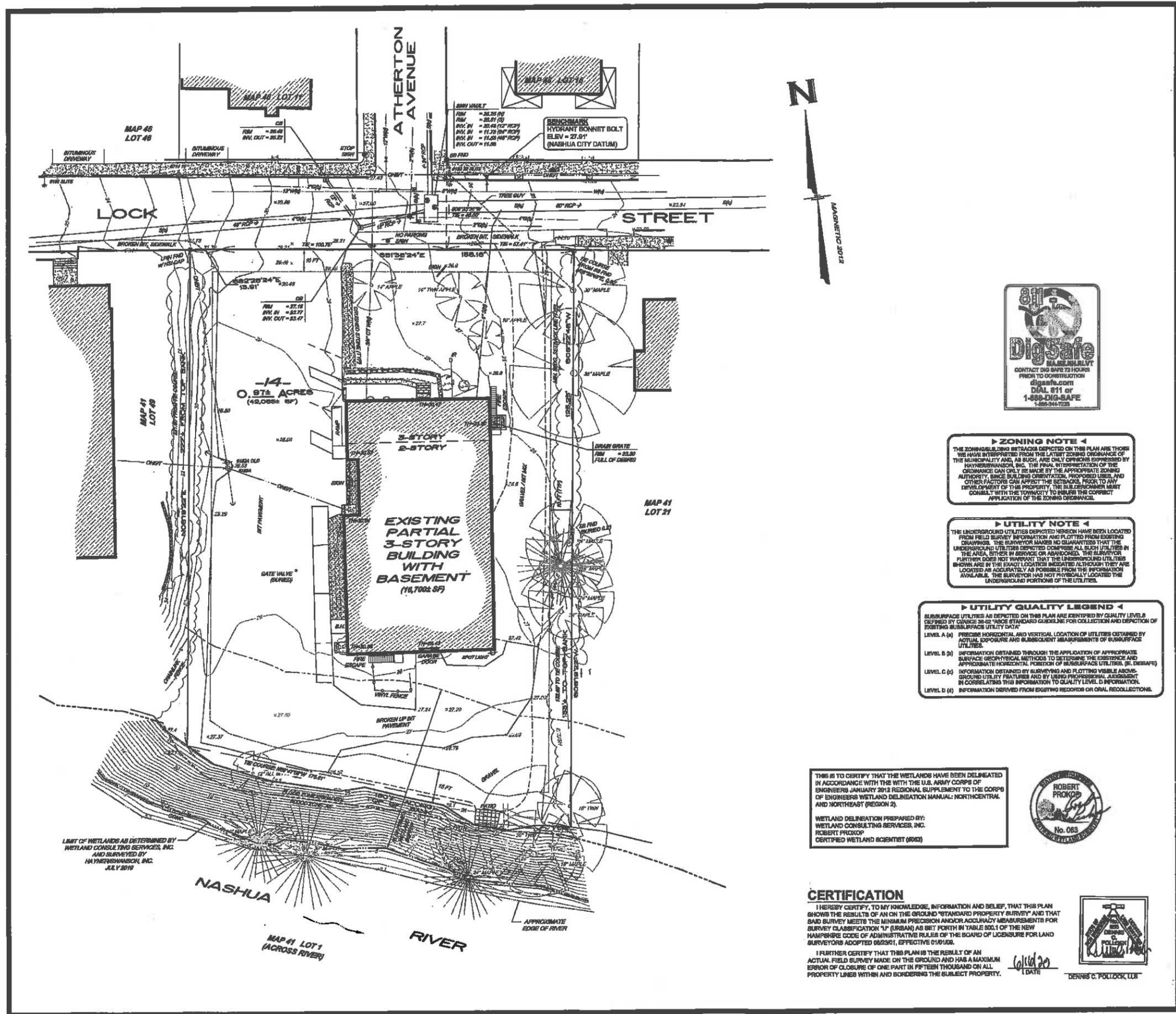
APPROVED
NASHUA CITY PLANNING BOARD

CHAIRMAN _____ DATE _____

THE UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE SITE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

James Lefavor
 DATE: 9/4/19
 FOR LEFAVOR FOLIO, LLC





ZONING NOTE 4
 THE ZONING BUILDING DISTRICTS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNES/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE INTERPRETATION OF THE ORDINANCE, THE SURVEYOR HAS NO LIABILITY FOR ANY DEVELOPMENT OF THIS PROPERTY. THE BUILDING OWNER MUST CONSULT WITH THE MUNICIPALITY TO ENSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

UTILITY NOTE 4
 THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR HAS NO GUARANTEE THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER BY SERVICE OR OTHERWISE, THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

UTILITY QUALITY LEGEND 4
 SUBSURFACE UTILITIES AS DEPICTED ON THIS PLAN ARE IDENTIFIED BY QUALITY LEVELS DEFINED BY CHANCE 38-02 "ASCE STANDARD GUIDELINE FOR COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA"

LEVEL A (4) PRECISE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES OBTAINED BY ACTUAL EXPOSURE AND BLIND-COURT MEASUREMENTS OF SUBSURFACE UTILITIES.

LEVEL B (3) INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES, (E.G. DISABE).

LEVEL C (2) INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGEMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D INFORMATION.

LEVEL D (1) INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS.

THIS IS TO CERTIFY THAT THE WETLANDS HAVE BEEN DELINEATED IN ACCORDANCE WITH THE WITH THE U.S. ARMY CORPS OF ENGINEERS JANUARY 2012 REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST (REGION 2).

WETLAND DELINEATION PREPARED BY:
 WETLAND CONSULTING SERVICES, INC.
 ROBERT PROKOP
 CERTIFIED WETLAND SCIENTIST (6003)



CERTIFICATION

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "UP (URBAN)" AS SET FORTH IN TABLE 800.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/28/01, EFFECTIVE 01/01/02.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

DATE: 6/16/20
 DENNIS C. POLLOCK, L.L.S.



SURVEY NOTES:

- THE EXISTING PLANNIMETRICS AND TOPOGRAPHY, AS SHOWN ON THESE PLANS, IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND IN JULY 2019.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
- THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.
- SURVEY CONTROL INFORMATION:
 HORIZONTAL DATUM: ASSUMED
 HORIZONTAL PROJECTION: MAGNETIC 2012
 VERTICAL DATUM: NASHUA CITY DATUM
 UNITS: US SURVEY FEET

EXISTING CONDITIONS PLAN (MAP 41, LOT 14)

PROPOSED RESIDENTIAL DEVELOPMENT

111-113 LOCK STREET
NASHUA, NEW HAMPSHIRE

PREPARED FOR:
LEFAVOR FOLIO, LLC
 18 ECHO AVENUE NASHUA, NH 03082 (603) 897-6288

RECORD OWNER:
Raymond W. Ennis, Sr. Revocable Trust of 2000
 P.O. BOX 82 10 HORNE ROAD WINDHAM, NH 03087-0082

SCALE: 1"=20 Feet
 1"=6.093 Meters

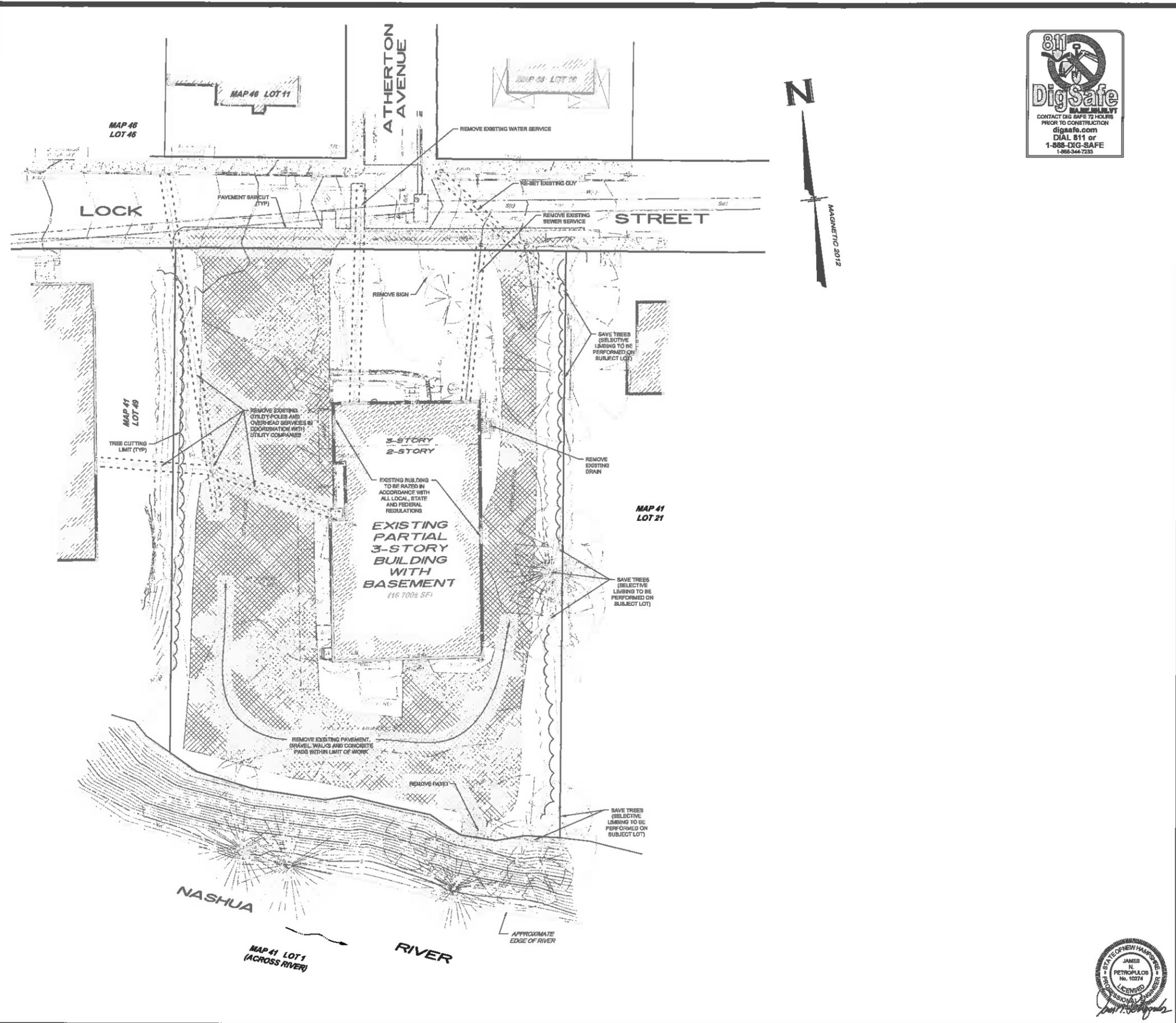
4 SEPTEMBER 2019

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121 Middle Street
 Burlington, MA 01803
 (781) 253-2303

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FIELD BOOK: 1837	DRAWING NAME: 2207WTE-0221	2207	2 OF 13
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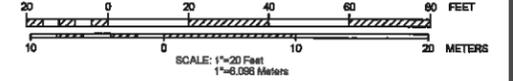


SITE DEMOLITION NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FENCES, FOUNDATIONS, PARKING DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE ENGINEER'S RECOMMENDATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON SITE LOCATIONS OF EXISTING UTILITIES.
5. EXISTING UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.
6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBERGLASS PIPE (HEAT), FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
7. THE CONTRACTOR SHALL TAKE PROTECTIVE MEASURES DURING THE SITE DEMOLITION PHASE OF THE PROJECT TO ENSURE DEBRIS AND SEDIMENT WILL NOT ENTER THE CITY'S COMBINED SEWER SYSTEM.

No.	DATE	REVISION	BY
1	08/16/20	ADDRESS STAFF COMMENTS	TEZ

SITE DEMOLITION PLAN
 (MAP 41, LOT 14)
PROPOSED RESIDENTIAL DEVELOPMENT
 III-113 LOCK STREET
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR:
LEFAVOR FOLIO, LLC
 18 ECHO AVENUE NASHUA, NH 03082 (603) 897-5286
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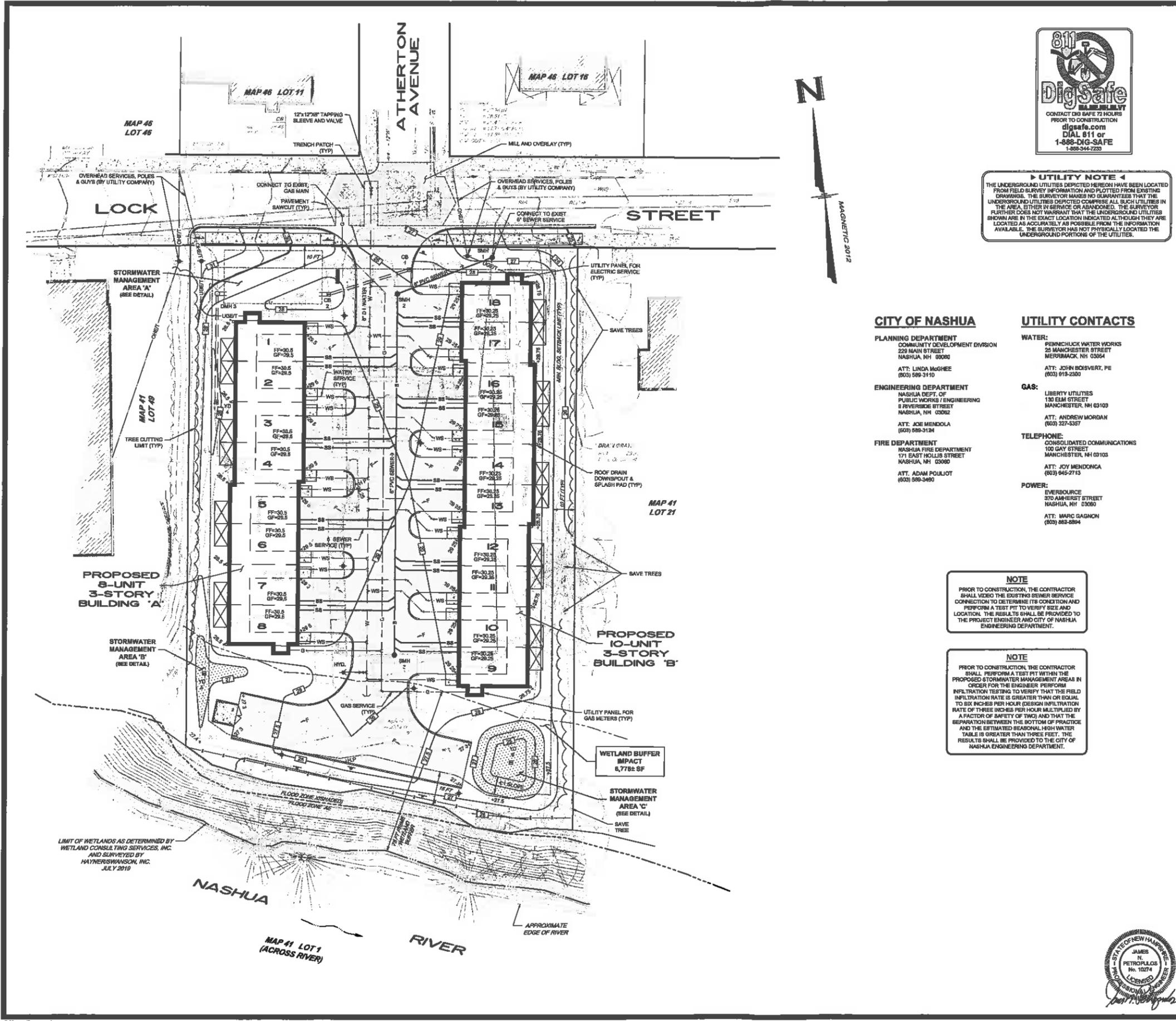


4 SEPTEMBER 2019

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UTILITY NOTE 4
 THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

CITY OF NASHUA

- PLANNING DEPARTMENT**
 COMMUNITY DEVELOPMENT DIVISION
 229 MAIN STREET
 NASHUA, NH 03080
 ATT: LINDA McGHEE
 (603) 598-3110
- ENGINEERING DEPARTMENT**
 NASHUA DEPT. OF PUBLIC WORKS / ENGINEERING
 8 RIVERSIDE STREET
 NASHUA, NH 03082
 ATT: JOE MENDOLA
 (603) 598-3124
- FIRE DEPARTMENT**
 NASHUA FIRE DEPARTMENT
 171 EAST HOLLIS STREET
 NASHUA, NH 03080
 ATT: ADAM POULIOT
 (603) 598-3490

UTILITY CONTACTS

- WATER:**
 PENNICHUCK WATER WORKS
 25 MANCHESTER STREET
 MERRIMACK, NH 03054
 ATT: JOHN BOISVERT, PE
 (603) 918-2300
- GAS:**
 LIBERTY UTILITIES
 130 ELM STREET
 MANCHESTER, NH 03103
 ATT: ANDREW MORGAN
 (603) 327-5357
- TELEPHONE:**
 CONSOLIDATED COMMUNICATIONS
 100 GAY STREET
 MANCHESTER, NH 03103
 ATT: JOY MENDONCA
 (603) 645-2715
- POWER:**
 EVERSOURCE
 370 AMHERST STREET
 NASHUA, NH 03060
 ATT: MARC GAGNON
 (603) 882-8894

NOTE
 PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VIDEO THE EXISTING SEWER SERVICE CONNECTION TO DETERMINE ITS CONDITION AND PERFORM A TEST FIT TO VERIFY SIZE AND LOCATION. THE RESULTS SHALL BE PROVIDED TO THE PROJECT ENGINEER AND CITY OF NASHUA ENGINEERING DEPARTMENT.

NOTE
 PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PERFORM A TEST FIT WITHIN THE PROPOSED STORMWATER MANAGEMENT AREAS IN ORDER FOR THE ENGINEER PERFORM INFILTRATION TESTING TO VERIFY THAT THE FIELD INFILTRATION RATE IS GREATER THAN OR EQUAL TO SIX INCHES PER HOUR (DESIGN INFILTRATION RATE OF THREE INCHES PER HOUR MULTIPLIED BY A FACTOR OF SAFETY OF TWO), AND THAT THE SEPARATION BETWEEN THE BOTTOM OF PRACTICE AND THE ESTIMATED SEASONAL HIGH WATER TABLE IS GREATER THAN THREE FEET. THE RESULTS SHALL BE PROVIDED TO THE CITY OF NASHUA ENGINEERING DEPARTMENT.

CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF NASHUA, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, LATEST EDITION ARE HEREBY INCORPORATED BY REFERENCE.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
- BLASTING, IF NEEDED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF NASHUA FIRE DEPARTMENT REGULATIONS.
- ALL STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED.
- THE CONTRACTOR SHALL REMOVE THE EXISTING PATIO AREA ALONG THE RIVER BANK. THE AREA SHALL THEN BE GRADED, LOAMED AND SEEDED AS TO ACHIEVE A STABILIZED AND VEGETATED FINAL CONDITION.

UTILITY NOTES:

- ALL WATER LINE, HYDRANT VALVES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS FOR THE INSTALLATION OF MATERIALS, MAIN PIPING, SERVICE CONNECTIONS IN THE PENNICHUCK WATER WORKS FRANCHISED AREAS OF NASHUA AND MERRIMACK, NEW HAMPSHIRE, LATEST EDITION.
- ALL DRAINAGE PIPE SHALL BE ADS N-12 HDPE (WATER TIGHT-HY) PIPE AND JOINTS OR APPROVED EQUAL. MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE FOLLOWED.
- FOUNDATION DRAINS ARE NOT ALLOWED TO OUTLET OVERLAND ONTO ANY STREET.
- DRAIN SYSTEMS SHALL BE INSTALLED BY A NASHUA LICENSED DRAIN LAYER, PER NRO SECTION 19-62 THROUGH SECTION 19-63.
- ALL POWER RELATED WORK SHALL CONFORM TO EVERSOURCE STANDARDS.
- ALL TELECOMMUNICATIONS WORK SHALL CONFORM TO CONSOLIDATED COMMUNICATIONS STANDARDS.
- ALL NATURAL GAS RELATED WORK SHALL COMPLY WITH LIBERTY UTILITIES STANDARDS.
- THE PROPOSED BUILDINGS SHALL BE SERVICED BY A FIRE SUPPRESSION SYSTEM. FINAL SIZING AND LOCATION OF PROPOSED WATER SERVICES TO BE DESIGNED BY PROJECT'S MEP ENGINEER AND COORDINATED WITH PENNICHUCK WATER WORKS PRIOR TO CONSTRUCTION.

No.	DATE	ADDRESS STAFF COMMENTS	REVISION	BY
1	09/10/20			TEZ

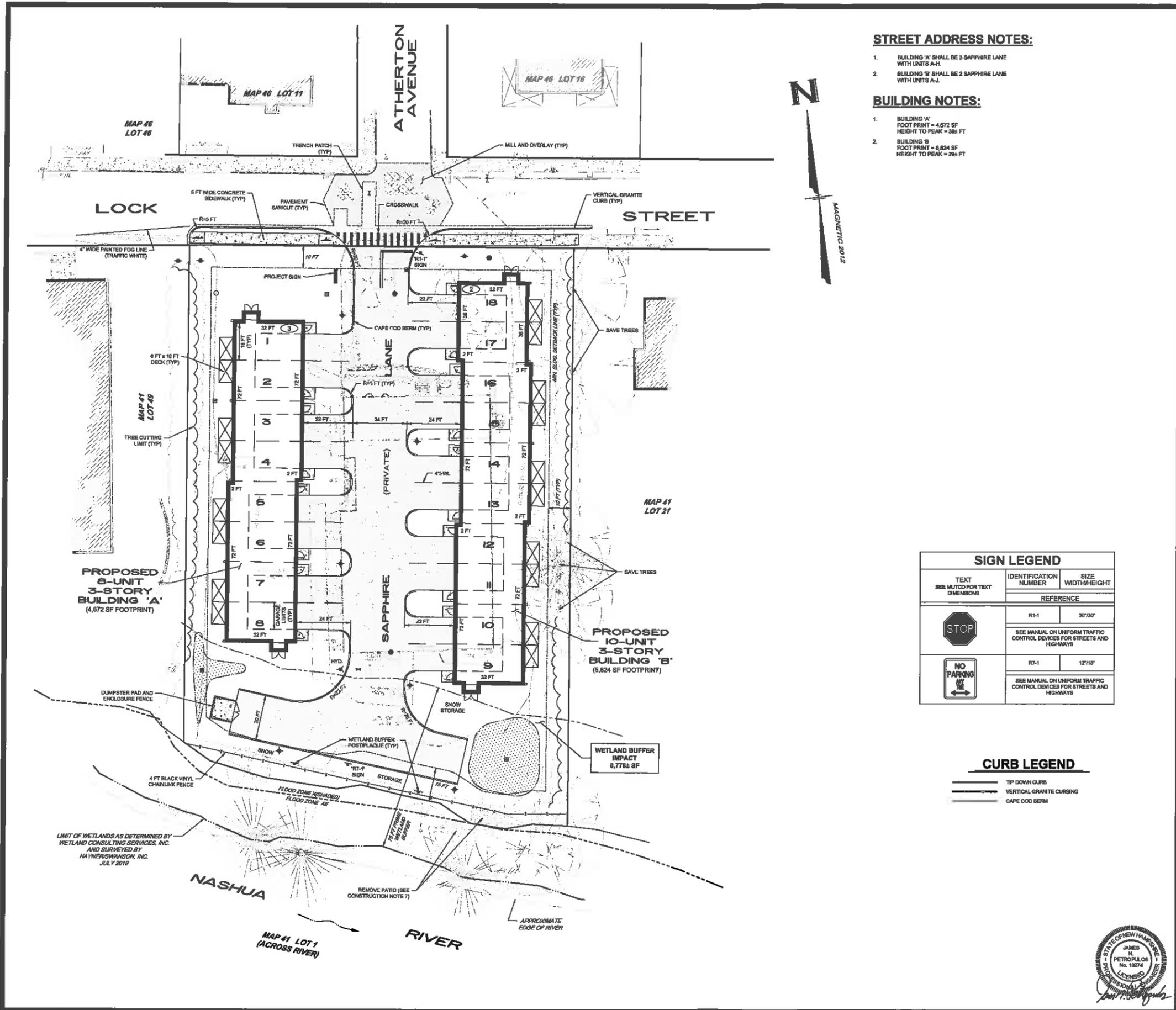
SITE GRADING AND UTILITY PLAN
 (MAP 41, LOT 14)
PROPOSED RESIDENTIAL DEVELOPMENT
 11-13 LOCK STREET
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR:
LEFAVOR FOLIO, LLC
 18 ECHO AVENUE NASHUA, NH 03082 (603) 897-5295
 RECORD OWNER:
Raymond W. Ennis, Sr. Revocable Trust of 2000
 P.O. BOX 82 10 HORNE ROAD WINDHAM, NH 03087-0082

SCALE: 1"=20 Feet
 1"=6.096 Meters

4 SEPTEMBER 2019



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STREET ADDRESS NOTES:

- BUILDING 'A' SHALL BE 3 SAPPHIRE LANE WITH UNITS A-H.
- BUILDING 'B' SHALL BE 2 SAPPHIRE LANE WITH UNITS A-J.

BUILDING NOTES:

- BUILDING 'A' FOOT PRINT = 4,672 SF HEIGHT TO PEAK = 36.6 FT
- BUILDING 'B' FOOT PRINT = 5,824 SF HEIGHT TO PEAK = 36.6 FT

SIGN LEGEND		
TEXT SEE MUTCD FOR TEXT DIMENSIONS	IDENTIFICATION NUMBER	SIZE WIDTH/HEIGHT
REFERENCE		
	R1-1	30"/30"
SEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS		
	R7-1	12"/18"
SEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS		

CURB LEGEND

- TYP DOWN CURB
- VERTICAL GRANITE CURSING
- CAPE COD BERM

SITE LAYOUT NOTES:

- PRIOR TO COMMENCEMENT OF MAJOR CONSTRUCTION ACTIVITIES, THE ENGINEER SHALL PROVIDE THE CONTRACTOR WITH LAYOUT PLANS AND COORDINATE VALUES FOR STRATEGIC ELEMENTS OF THE SITE.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT BUILDING DIMENSIONS AND DETAILS.
- ALL DIMENSIONS ARE FROM FACE OF CURB OR OUTSIDE FACE OF BUILDING UNLESS NOTED OTHERWISE.
- ALL SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
- DECKS, PATIOS, PORCHES, AND BULKHEADS SHALL COMPLY WITH N.H.D. SECTION 190-16 (E)(2) RELATED TO DEVELOPMENT IN SETBACKS.

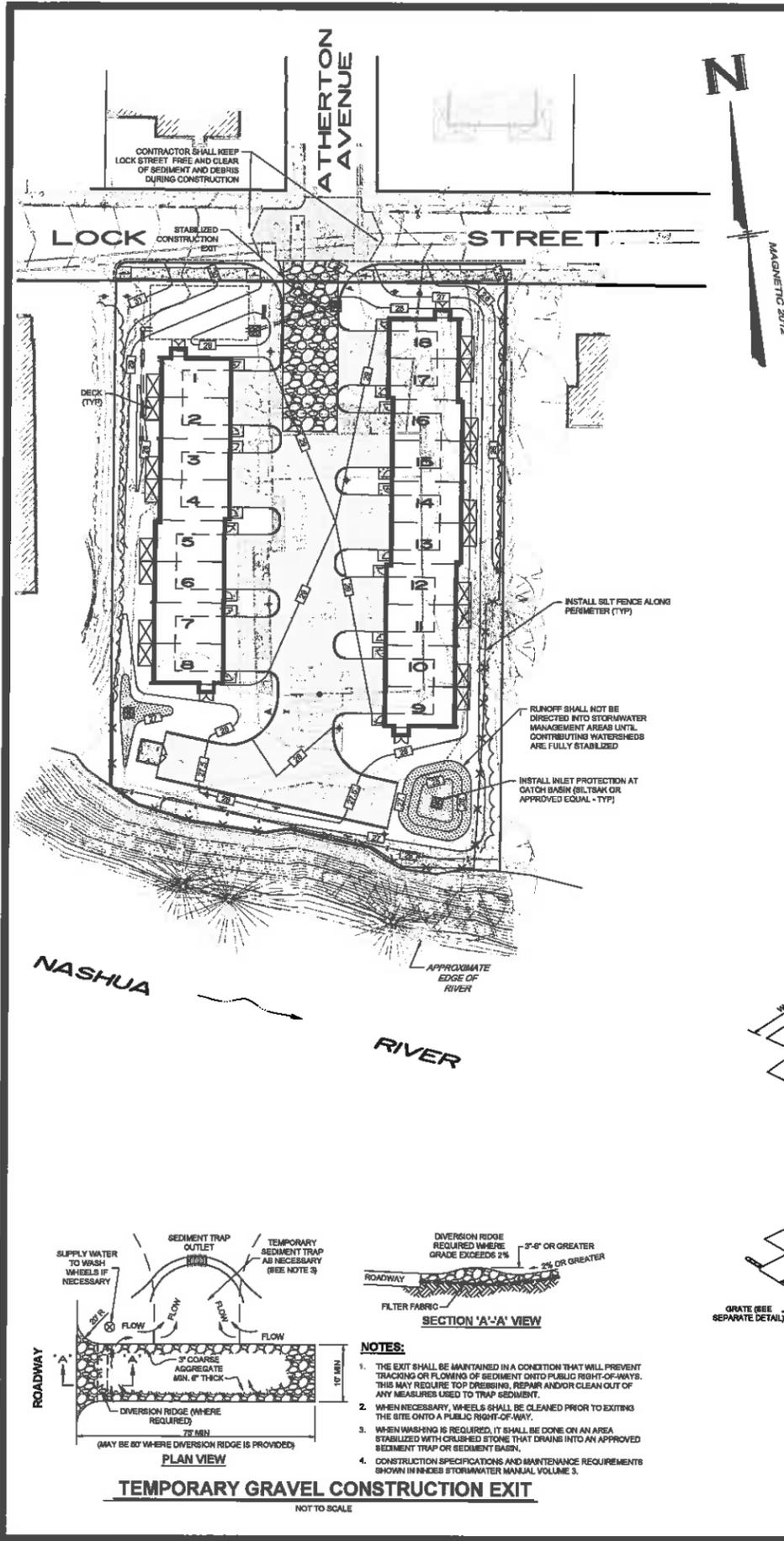
SITE LAYOUT PLAN
(MAP 41, LOT 14)
PROPOSED RESIDENTIAL DEVELOPMENT
111-113 LOCK STREET
NASHUA, NEW HAMPSHIRE
PREPARED FOR:
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4 SEPTEMBER 2019



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SITE MAINTENANCE/INSPECTION PROGRAM

THE FOLLOWING PROVIDES AN ITEMIZATION OF SPECIFIC SITE MAINTENANCE PRACTICES THAT WILL BE EMPLOYED ON THE SITE TO MINIMIZE POLLUTANT GENERATION AND TRANSPORT FROM THE SITE. THIS SITE MAINTENANCE PROGRAM INCLUDES ROUTINE INSPECTIONS, PREVENTATIVE MAINTENANCE AND "GOOD HOUSEKEEPING" PRACTICES.

ROUTINE INSPECTIONS

- THE CONTRACTOR SHALL INSPECT ALL CONTROL MEASURES AT LEAST ONCE A WEEK AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A STORM WITH RAINFALL AMOUNT GREATER THAN 0.5 INCHES. THE INSPECTIONS WILL VERIFY THAT THE STRUCTURAL BMP'S DESCRIBED IN THE PLANS ARE IN GOOD CONDITION AND ARE MINIMIZING EROSION. A MAINTENANCE INSPECTION REPORT WILL BE MADE WITH EACH INSPECTION. COMPLETED INSPECTION FORMS SHALL BE KEPT ON-SITE FOR THE DURATION OF THE PROJECT. FOLLOWING CONSTRUCTION, THE COMPLETED FORMS SHALL BE RETAINED AT THE CONTRACTOR'S OFFICE FOR A MINIMUM OF ONE YEAR.

PREVENTATIVE MAINTENANCE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TEMPORARY AND PERMANENT CONTROLS THROUGHOUT THE DURATION OF THIS CONTRACT. MAINTENANCE PRACTICES SHALL INCLUDE, BUT ARE NOT LIMITED TO:

- CLEANING OF CATCH BASINS TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY QUARTERLY INSPECTIONS.
- CLEANING OF SEDIMENT AND DEBRIS FROM STORMWATER MANAGEMENT AREAS TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY MONTHLY INSPECTIONS.
- IMPLEMENTATION OF OTHER MAINTENANCE OR REPAIR ACTIVITIES AS DEEMED NECESSARY BASED UPON WEEKLY INSPECTIONS.
- REMOVAL OF BUILT UP SEDIMENT ALONG SILT FENCES AND/OR STRAW BALE BARRIERS.
- REMOVAL OF BUILT UP SEDIMENT IN BOTH TEMPORARY AND PERMANENT CONTROLS SUCH AS GRASS SWALES, SEDIMENT FOREBAYS AND RECHARGE/DETENTION BASINS.
- RECONSTRUCTING THE TEMPORARY GRAVEL CONSTRUCTION EXIT IF NOT WORKING PROPERLY.
- TREATMENT OF NON-STORM WATER DISCHARGES SUCH AS WATER FROM WATER LINE FLUSHINGS OR GROUNDWATER FROM DEWATERING EXCAVATIONS. SUCH FLOWS SHOULD BE DIRECTED TO A TEMPORARY SEDIMENTATION BASIN OR STORMWATER MANAGEMENT AREA.
- SWEEP PARKING LOTS AND DRIVES REGULARLY TO MINIMIZE SEDIMENT ACCUMULATION. FREQUENCY WILL VARY SEASONALLY ACCORDING TO SEDIMENT ACCUMULATION ON PAVED SURFACES (E.G. MORE FREQUENT SWEEPING DURING THE WINTER AND SPRING).

GOOD HOUSEKEEPING PRACTICES

- THE CONTRACTOR SHALL EMPLOY MEASURES AND PRACTICES TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS TO STORM AND WATER RUNOFF. THE CONTRACTOR SHALL PAY SPECIAL ATTENTION TO THE HANDLING, USE AND DISPOSAL OF MATERIALS SUCH AS PETROLEUM PRODUCTS, FERTILIZERS AND PAINTS TO ENSURE THAT THE RISK ASSOCIATED WITH THE USE OF THESE PRODUCTS IS MINIMIZED. THE FOLLOWING "GOOD HOUSEKEEPING" PRACTICES SHALL BE FOLLOWED DURING CONSTRUCTION OF THE PROJECT:
 - AN EFFORT SHALL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
 - ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
 - PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THEIR MANUFACTURER'S LABELS.
 - WHENEVER POSSIBLE, ALL OF A PRODUCT SHALL BE USED BEFORE DISPOSING OF THE CONTAINER.
 - MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.
 - THE CONTRACTOR SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.

GENERAL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS THEREOF IN NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES STORMWATER MANUALS, VOLUME 1-3, LATEST EDITION.
- THE WORK AREA SHALL BE GRADED, SHAPED, AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE THE LIMITS OF THE WORK AREA. SILT FENCES, STRAW BALES AND/OR DETENTION BASINS WILL BE NECESSARY TO ACCOMPLISH THIS END.
- STRIPPED TOPSOIL SHALL BE STOCKPILED, WITHOUT COMPACTION, AND STABILIZED AGAINST EROSION IN ACCORDANCE WITH TEMPORARY STABILIZATION OF DISTURBED AREAS, AS OUTLINED IN NOTE #4.
- TEMPORARY STABILIZATION OF DISTURBED AREAS:
 - SEED BED PREPARATION: 10-40-20 FERTILIZATION TO BE SPREAD AT THE RATE OF 7 LBS PER 1,000 SF AND AGRICULTURAL LIMESTONE AT A RATE OF 90 LBS PER 1,000 SF AND INCORPORATED INTO THE SOIL. THE SOIL, FERTILIZER AND LIMESTONE SHALL BE BELLED TO PREPARE FOR SEEDING.

A. SEED MIXTURE. USE ANY OF THE FOLLOWING:

SPECIES	RATE PER 1,000 SF	DEPTH	SEEDING DATES
WINTER RYE	2.5 LBS	1"	09/15 TO 09/15
CRYS	2.5 LBS	1"	04/15 TO 10/15
ANNUAL RYE GRASS	1.0 LBS	0.25"	06/15 TO 08/15

B. MULCHING. MULCH SHOULD BE USED ON HIGHLY ERODIBLE AREAS, AND WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT AS FOLLOWS:

TYPE	RATE PER 1,000 SF	USE & COMMENTS
STRAW	70 TO 90 LBS	MAY BE USED WITH PLANTINGS, MUST BE ANCHORED TO BE USED ALONE
WOOD CHIPS OR BARK MULCH	400 TO 500 LBS	USED WITH TREE AND SHRUB PLANTINGS
FIBROUS MATTING	AS RECOMMENDED BY MANUFACTURER	MUST BE BIODEGRADABLE. USE IN SLOPE AREAS AND AREAS DIFFICULT TO VEGETATE.
CRUSHED STONE	SPREAD TO GREATER THAN 1/4" THICKNESS	USE IN SPECIFIC AREAS AS SHOWN ON PLAN OR AS NEEDED.

C. PERMANENT STABILIZATION OF DISTURBED AREAS:

- ALL ROADWAYS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- ALL CUT AND FILL SLOPES SHALL BE SEED/LOADED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

D. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION.

E. AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWINGS HAS OCCURRED:

- BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
- A MINIMUM OF 5% VEGETATED GROWTH HAS BEEN ESTABLISHED.
- A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.
- OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

F. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.

G. SITE LOCATION:
42° 48' 00.0" N LATITUDE, 71° 27' 15.5" W LONGITUDE

H. TOTAL AREA OF DISTURBED SOILS: 41,636 sq. ft.

SPILL PREVENTION AND CLEANUP PRACTICES

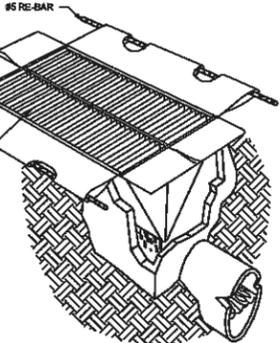
- MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIAL WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, SHOES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
- THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

SILTBAK® NOTES:

- THE SILTBAK® SHALL BE MANUFACTURED FROM WOVEN POLYPROPYLENE AND SEWN BY A DOUBLE NEEDLE MACHINE, USING A HIGH STRENGTH NYLON THREAD.
- THE SILTBAK® SEAMS SHALL HAVE A CERTIFIED AVERAGE WIDE WIDTH STRENGTH PER ASTM D-4884 STANDARDS AS FOLLOWS:

SILTBAK® STYLE	TEST METHOD	TEST RESULT
REGULAR FLOW	ASTM D-4884	105.0 LBS/IN
HI-FLOW	ASTM D-4884	114.0 LBS/IN
- THE SILTBAK® WILL BE MANUFACTURED TO FIT THE OPENING OF THE CATCH BASIN OR DROP INLET. THE SILTBAK® WILL HAVE THE FOLLOWING FEATURES: TWO DUMP STRAPS ATTACHED AT THE BOTTOM TO FACILITATE THE EMPTYING OF THE SILTBAK®; THE SILTBAK® SHALL HAVE LIFTING LOOPS AS AN INTEGRAL PART OF THE SYSTEM TO BE USED TO LIFT THE SILTBAK® FROM THE BASIN; THE SILTBAK® SHALL HAVE A RESTRAINT CORD APPROXIMATELY HALFWAY UP THE SACK TO KEEP THE SIDES AWAY FROM THE CATCH BASIN WALLS; THIS YELLOW CORD IS ALSO A VISIBLE MEANS OF INDICATING WHEN THE SACK SHOULD BE EMPLOYED, CLEANED, AND PLACED BACK INTO THE BASIN.
- THE GEOTEXTILE FABRIC SHALL BE WOVEN POLYPROPYLENE FABRIC WITH THE FOLLOWING PROPERTIES:

PROPERTY	TEST METHOD	TEST RESULT
GRAB TENSILE	ASTM D-4632	300 LBS
GRAB ELONGATION	ASTM D-4633	20%
PUNCTURE	ASTM D-3788	120 LBS
MULLEN BURST	ASTM D-3788	800 PSI
TRAPEZOID TEAR	ASTM D-4633	120 LBS
UV RESISTANCE	ASTM D-4355	80%
APPARENT OPENING	ASTM D-4751	40 LBS SIEVE
FLOW RATE	ASTM D-4461	40 GAL/MIN/FT2
PERMITTIVITY	ASTM D-4461	0.35 SEC



PROPERTY	TEST METHOD	TEST RESULT
GRAB TENSILE	ASTM D-4632	300 LBS
GRAB ELONGATION	ASTM D-4633	20%
PUNCTURE	ASTM D-3788	120 LBS
MULLEN BURST	ASTM D-3788	800 PSI
TRAPEZOID TEAR	ASTM D-4633	120 LBS
UV RESISTANCE	ASTM D-4355	80%
APPARENT OPENING	ASTM D-4751	40 LBS SIEVE
FLOW RATE	ASTM D-4461	40 GAL/MIN/FT2
PERMITTIVITY	ASTM D-4461	0.35 SEC

PROPERTY	TEST METHOD	TEST RESULT
GRAB TENSILE	ASTM D-4632	265 LBS
GRAB ELONGATION	ASTM D-4632	20%
PUNCTURE	ASTM D-4633	135 LBS
MULLEN BURST	ASTM D-3788	420 PSI
TRAPEZOID TEAR	ASTM D-4633	45 LBS
UV RESISTANCE	ASTM D-4355	80%
APPARENT OPENING	ASTM D-4751	20 LBS SIEVE
FLOW RATE	ASTM D-4461	200 GAL/MIN/FT2
PERMITTIVITY	ASTM D-4461	1.5 SEC

SILTBAK® DETAIL

NOT TO SCALE



GENERAL NOTES:

- THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES THROUGHOUT THE DURATION OF THE PROJECT. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- LOAM AND MATERIAL STOCKPILE AREAS AS SHOWN ARE APPROXIMATE AND SUBJECT TO CHANGE. STOCKPILE AREAS SHALL BE SURROUNDED BY SILT FENCE AND RESEEDED IF THEY ARE LEFT UNTOUCHED FOR MORE THAN FOURTEEN (14) DAYS.
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
- ALL SEEDING AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
- SILT FENCE SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-QUARTER THE HEIGHT OF THE SILT FENCE.
- THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING AS CONDITIONS DEMAND.

CONSTRUCTION SEQUENCE:

- INSTALL SILT FENCE IN ACCORDANCE WITH THE PLANS AND DETAILS.
- CLEAR AND GRUB SITE ACCORDING TO PLAN.
- CUT AND DISPOSE OF ANY DEBRIS PRODUCED DURING THE CLEARING AND GRUBBING ACTIVITY.
- DEMOLITION OF EXISTING BUILDING WALLS AND SITE.
- SITE GRADING OF BUILDING PADS, DRIVEWAYS AND PARKING AREAS. ALL CUT AND FILL SLOPES, OUTSIDE OF THE BUILDING AND PAVED AREAS, SHALL BE SEEDING AND MULCHED AFTER BEING CONSTRUCTED.
- INSTALL INLET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. INSTALLATION OF UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT IN ACCORDANCE WITH THE "SILTBACK DETAIL". THE CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED.
- AS THE BUILDING IS COMPLETED, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED.
- NO PORTION OF THE PROJECT SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR A PERIOD OF TWO (2) MONTHS OR GREATER. ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED PRIOR TO WINTER CONDITIONS. STABILIZATION SHALL BE DEFINED AS 85% VEGETATIVE GROWTH BY OCTOBER 15TH OR INSTALLATION OF EROSION CONTROL MATTING.
- COMPLETED AREAS SHALL BE STABILIZED 12 HOURS AFTER COMPLETION.
- FINAL PAVING OF DRIVEWAYS AND PARKING AREAS.
- LOAM AND BEED ALL DISTURBED AREAS.
- INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES.
- SITE LANDSCAPING ALONG WITH PERMANENT SEEDING OF ALL DISTURBED AREAS.
- REMOVE ANY TEMPORARY EROSION CONTROL MEASURES NOT NEEDED.

EROSION CONTROL PLAN
(MAP 41, LOT 14)

PROPOSED RESIDENTIAL DEVELOPMENT

111-113 LOCK STREET
NASHUA, NEW HAMPSHIRE

PREPARED FOR:
LEFAVOR FOLIO, LLC

18 ECHO AVENUE NASHUA, NH 03062 (603) 897-5295

RECORD OWNER:
Raymond W. Ennis, Sr. Revocable Trust of 2000

P.O. BOX 62 10 HORNE ROAD WINDHAM, NH 03087-0062

SCALE: 1"=30 Feet
1"=9.144 Meters

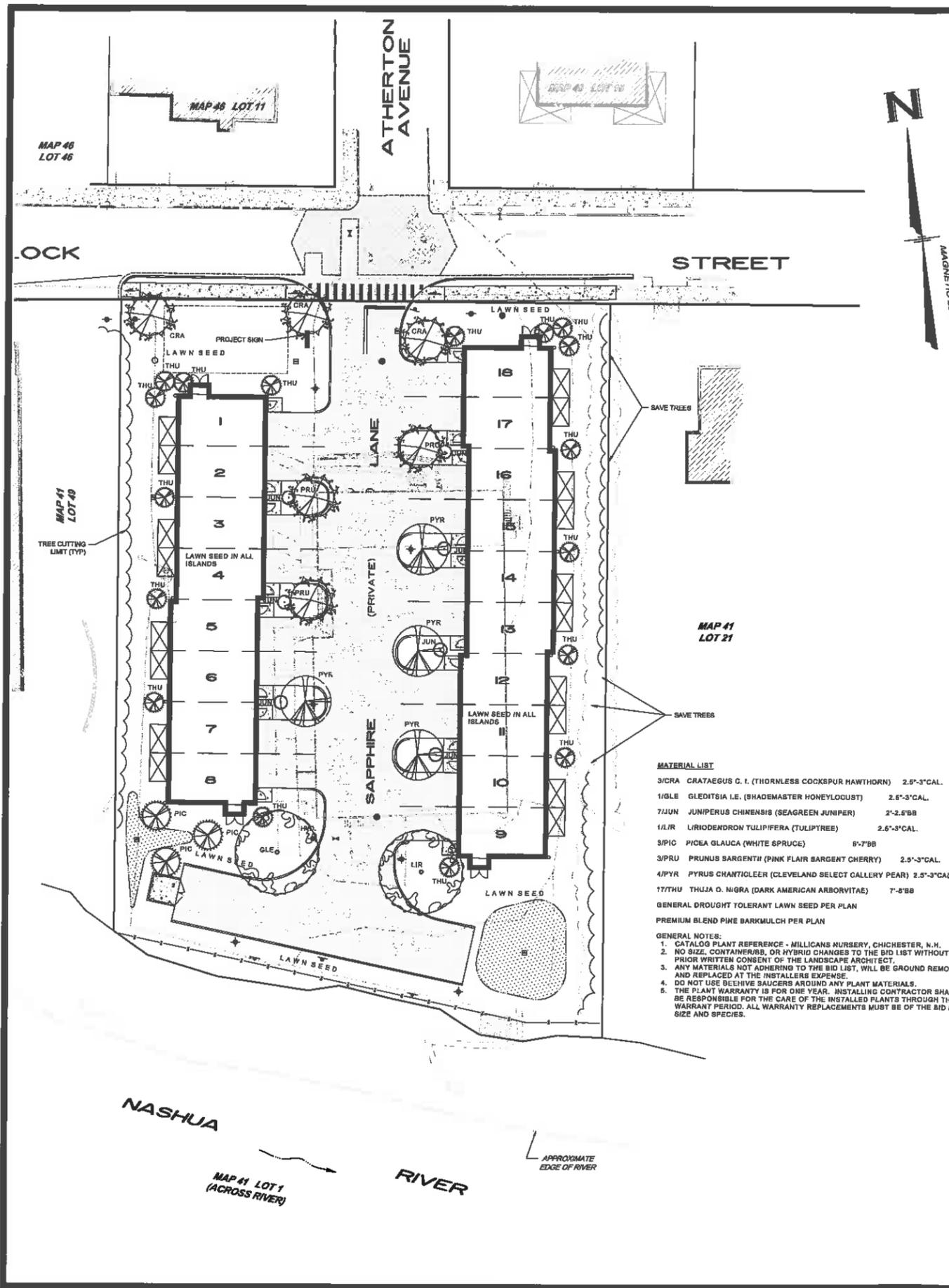
4 SEPTEMBER 2019

HISI Hayner/Swanson, Inc.
Civil Engineers/Lead Surveyors

3 Congress Street
Nashua, NH 03063
(603) 897-2027
www.hisyswanson.com

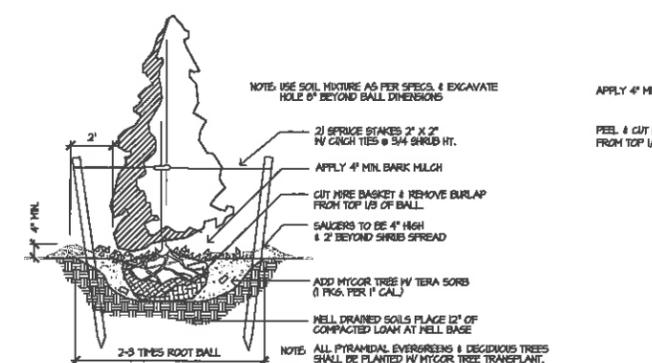
131 Middlesex Turnpike
Nashua, NH 03063
(603) 203-1300

FIELD BOOK: 1237 DRAWING NAME: 2207SITE-C2K3 2207 6 OF 13
DRAWING LOG: 4/2000/2207.DWG/2207 SITE

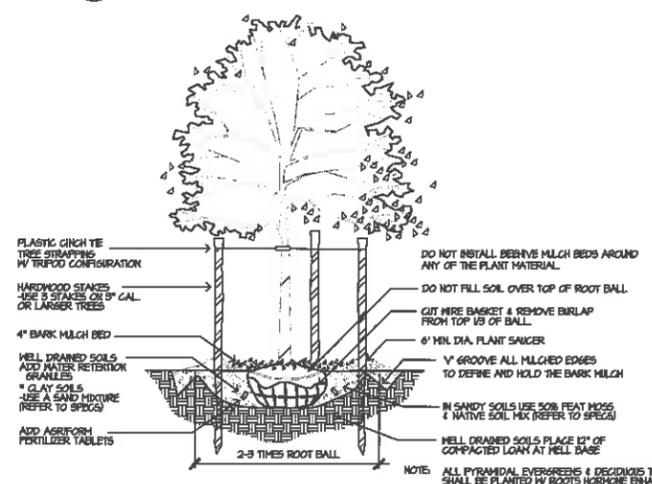


General Specifications

- The contractor shall at his expense furnish all the materials, supplies, machinery, equipment, tool, superintendent, labor, insurance, & other accessories and services necessary to complete the said project within the unit costs stated within the bid price.
- The work to be done under this contract is as shown and described on the drawings. Each bidder shall make a careful examination of the plans and specifications (the plan shall dictate quantities) and acquaint himself with all conditions before making his proposal. He will be held responsible for errors in his proposal resulting from his failure to make such an examination. All bidders shall visit the site and inform themselves of all conditions.
- The bids shall be based on materials and equipment complying with the drawings and the specifications. The contractor shall be responsible under this contract price, for furnishing and installing materials conforming to the bid items. Under no circumstances may a species "hybrid" be substituted or size changed without written consent of the landscape architect.
- The contractor shall be responsible for the protection of such existing utilities as water mains, sewer systems, gas mains, electrical conduits, telephone lines and any other utilities and if any damage or destruction may occur to these utilities, he shall be responsible for their repair and/or replacement at his expense.
- The contractor shall make payment for all damages to buildings, structures, trees, shrubs and/or any other property outside the construction area or located within those limits but not designated for removal or reconstruction providing such damage shall result from accident caused by negligence for which the contractor shall be legally liable.
- If additional labor and/or materials is requested or required, the contractor shall submit a price to the owner. If the owner approves the price he shall prepare a change order for approval and signature. The contractor shall not proceed without a written authorization from the owner for the additional work. If the contractor proceeds with the additional work without this authorization he shall forfeit any claim for additional compensation.
- The landscape architect shall reserve the right to inspect the project work at any time deemed necessary to insure that the specifications and plans and any other contract documents are being followed.
- The L.A. shall have the right to reject any plant on-site based upon condition, size, or incorrect species or hybrid. LA must be contacted prior to install, to inspect materials delivered to the site, and to insure that soil amendments, bark mulch, root ball, etc. are to the written specifications.
- All seeded areas shall receive a minimum 8" topsoil blanket (by site contractor) with preparation, mixing and general clean up prior to application. Operations shall include a pre-emergence type herbicide, 12-35-12 granular fertilizer @ 10 lbs./1000 sq. ft. and pelletized limestone @ 25 lbs./1000 sq. ft. power raked into the top 2" of soil prior to hydro-seeding. Rates & application times may change based upon the required soil analysis.
- Contractor is responsible for establishing a thick, weed free lawn. Seed shall be spread @ 4lbs./1000. Lawn germination shall be 90% free of noxious weeds for acceptance. Define differences in seed mixes (if applicable) with irrigation flag and seed marking. Site review by L.A. is required.
- Review of the installed irrigation system by the designer is required prior to release of final payment.
- Hydroseeding operations shall be a one part process with a paper fiber mulch; a fertilizer shall be applied on all slopes greater than 3:1; Escalator Drainage mat shall be applied to all 2:1 slopes and drainage swales per plan.
- Contractor shall maintain, from acceptance date, the lawn areas through the first mowing. Contractor is not responsible for the first mowing.
- All plant materials shall be installed in accordance with A.L.C.G. Trees and shrubs shall have appropriate soil mixtures, fertilizer and soil retention granules.
- If the soil conditions are extremely sandy, all trees shall have a 6" layer of compacted topsoil (verify with Landscape Architect) placed in the base of the plant pit as a moisture retention layer. The plant pit sidewalls shall be over excavated by an additional 12" beyond the normal outside radius of the hole. A topsoil planting mixture shall be used to backfill as per spec # 22.
- Landscape architect shall have the right to reject and have ground removed any plant material not of proper size or of weak quality, i.e. thin, no lower branching, etc. Contractor must submit shipping bills (bill of lading) for verification, prior to installation.
- All plant material shall be guaranteed for a period of one (1) year from date of installation. Any material which dies or does not show a healthy appearance within this time shall be replaced at the contractor's expense; with same warranty requirements as the original. Warranty does not cover loss due to mechanical damage, i.e. snow storage. Contractor should protect susceptible species from insect infestation. Use a liquid systemic application on birch, etc.

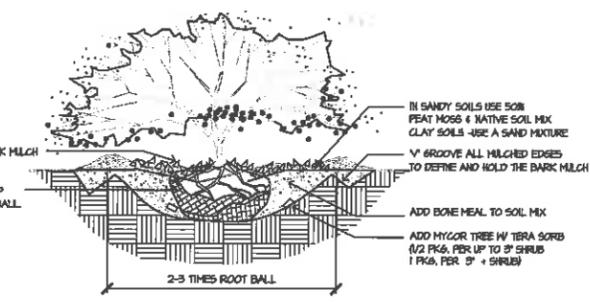


PYRAMIDAL EVERGREEN TREE PLANTING
NOT TO SCALE



TREE PLANTING 2" & CAL.
NOT TO SCALE

- Plant beds and saucers vary in dia. (refer to dwg). Trees and shrubs shall receive a 4" (settled) covering of plastic/black bark mulch; saucer diameters per drawing & details. Deciduous trees shall have a 6" dia. saucer (hyb), evergreen trees shall have a saucer 2" min. beyond it's outer branches. All edges shall have a "V" groove.
- All B&B material which are encased in wire baskets shall have the wires cut loose and the top third removed prior to backfill operation.
- If road base is encountered in any plant bed areas, i.e. parking islands, it shall be removed and suitable amended soil installed per drawings and specifications.
- Soil planting mixture shall be a 6%-10% organic topsoil, amended with 10% wood ash, 10% peat moss, & 30% peat moss or incorporate a dehydrated compost material. If planting in sand, gravel or other well drained soils, a 60% peatmoss to excavated soil. Other soil amendments shall include: Agifoam tablets, Hydro-Gel or equal, and Roots growth enhancer to all trees and shrubs listed, per manufacturers specifications. All plant material pits will receive a min. 20% peat moss in volume mix of a compost soil amendment. Submitted required. "Roots" STEP 1 can be substituted for the individual supplements. Install per manufacturer's specs.
- Landscape contractor shall not be responsible for topsoil spreading but shall coordinate with the site contractor adherence to the mound grades, plant bed soil depths and soil type per dws & spec. Landscape contractor shall power rake-out for seed.
- Landscape contractor shall provide a soil analysis of the topsoil planting mixture. Analysis to show soil classification (min. sandy loam) and nutrients.
- Contractor shall protect all B&B materials left above grade prior to installation from drying out. All plants shall be stored, covered in mulch, and irrigated until planted. Any plant left on the ground and whose outer ball surface dries out, shall be rejected by the landscape architect. Plants stored in shade and off pavement.
- Plan dictates, contractor shall alert Landscape Architect if any discrepancies exist between the plan, the material list, and as-built site conditions.
- Installer shall notify landscape architect prior to planting, to review plant locations and bedding configurations. If contractor installs without the placement approval of the L.A., said architect shall have the right to relocate any installed plants at the contractor's expense.
- Installer shall notify landscape architect prior to plant installation to review all materials. Any plants of poor condition, improper size, or species will be rejected.
- Upon one year review, contractor shall straighten any trees that have shifted. Any weak or bare spots in lawn shall be reseeded.
- All bedding shall have a deep "V" groove to define lawn to match edge. No "Beehive" mounding of match is allowed, also keep mulch away from base of perennials.
- Do not plant materials too close to the edge of bedding. Refer to drawings for center of plant to bedding. At a minimum no outer branching of a shrub or perennial shall be closer than two feet from the bedding. If the as-built is not as shown, the contractor shall relocate the plant location or bedding at his expense.
- Seed mixes include: Sandy Soil Lawn Mix by deere/reesed.com; New England Wetland Plants, Amherst, MA. refer to planting plan for designations.
- Any items not completed to the specifications will be shifted; at contractor's expense prior to final approval. Contractor is to bid the work according to the specifications and not to what they may do under their standard practices. Special attention will be paid to soils, amendments, guy stakes, bedding & saucer configuration, seed mixtures, etc.
- Certain designated foundation edging is root ball (washed round, non-crushed, natural) Size of stone in a range of 3/4"-1.5" dia. placed to a depth of 3", upon placement apply a coating of granular Preen (pre-emergent).
- Any questions concerning this drawing shall be directed to Joseph Hochrain c/o Blackwater Design, 85 Frost Lane, Webster, NH 03303, 603-848-2541.



B&B SHRUB PLANTING
NOT TO SCALE

1	08/16/20	ADDRESS STAFF COMMENTS	TEZ
NO.	DATE	REVISION	BY

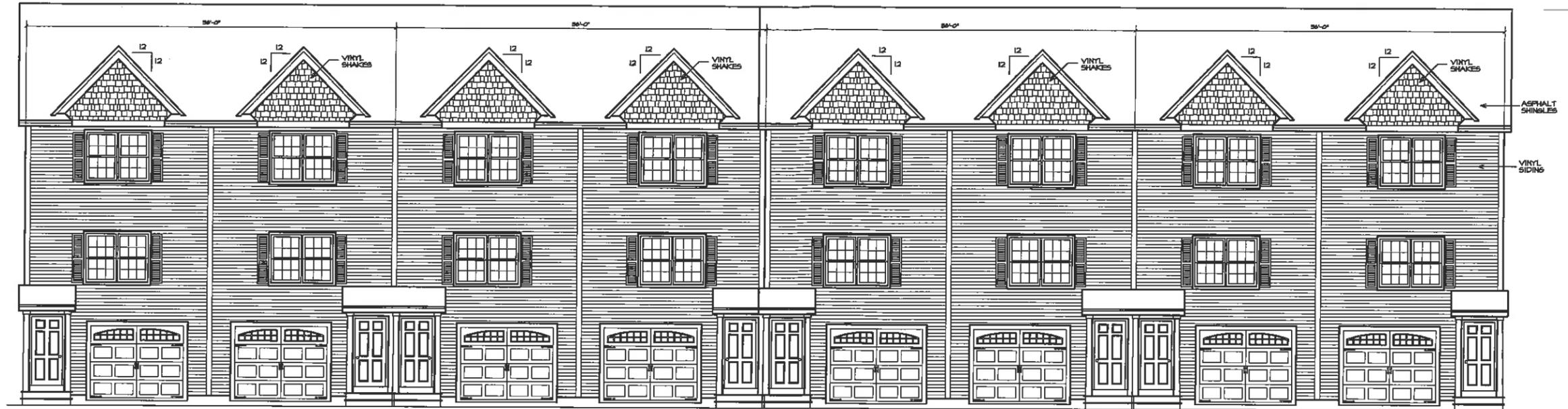
LANDSCAPE PLAN
(MAP 41, LOT 14)
PROPOSED RESIDENTIAL DEVELOPMENT
11-13 LOCK STREET
NASHUA, NEW HAMPSHIRE
PREPARED FOR:
LEFAVOR FOLIO, LLC
18 ECHO AVENUE NASHUA, NH 03062 (603) 897-5296
RECORD OWNER:
Raymond W. Ennis, Sr. Revocable Trust of 2000
P.O. BOX 62 10 HORNE ROAD WINDHAM, NH 03087-0062

SCALE: 1"=20 Feet
1"=6.096 Meters

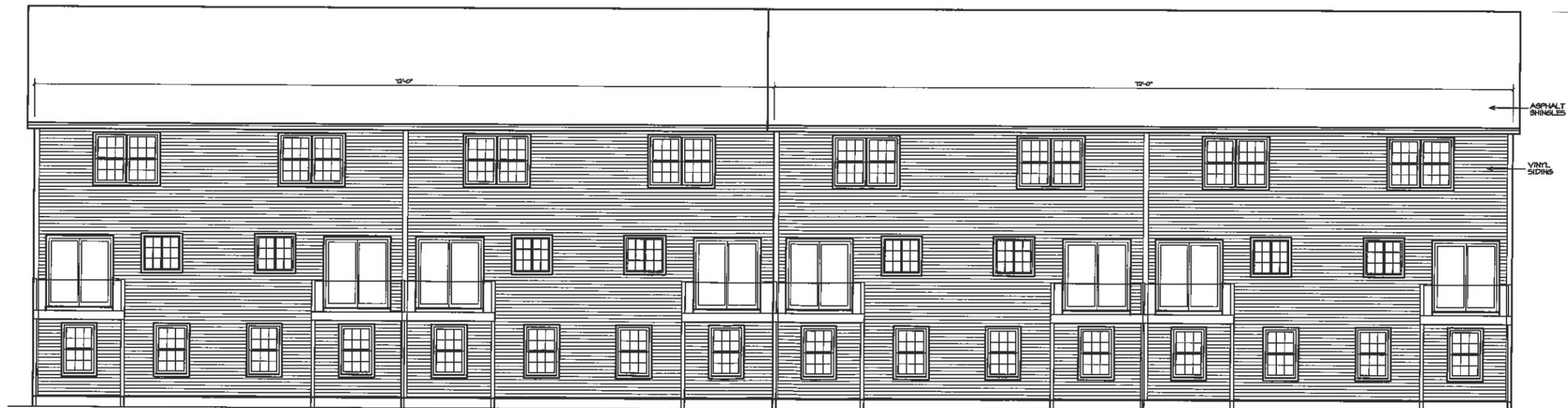
4 SEPTEMBER 2019

PREPARED BY:
BLACKWATER DESIGN
PHONE (603) 448-6500 FAX (603) 448-6506
Lead Planning - Landscape Architecture
85 Frost Lane - Webster, NH 03303

FIELD BOOK: 1237	DRAWING NAME: 2207SITE-LS21	2207	12 OF 13
DRAWING LOC.: L:\2000\2207\DWG\2207 SITE	PIC Number	Sheet	



FRONT ELEVATION @ UNIT



REAR ELEVATION

Alternative Designs Inc.
 www.altdesigns.com
 Residential/Commercial Design
 94 Old Granite Street
 Manchester, NH 03101
 phone: (603) 645-4988
 fax: (603) 645-6010

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L'FAVOR FOLIO, LLC
 11-13 LOCK STREET @ UNIT
 NAGUWA, NEW HAMPSHIRE

Contractor to check & verify all dimensions & structural members before construction starts. All construction shall be in strict compliance with the State of New Hampshire or Massachusetts Building Codes, whichever applicable.

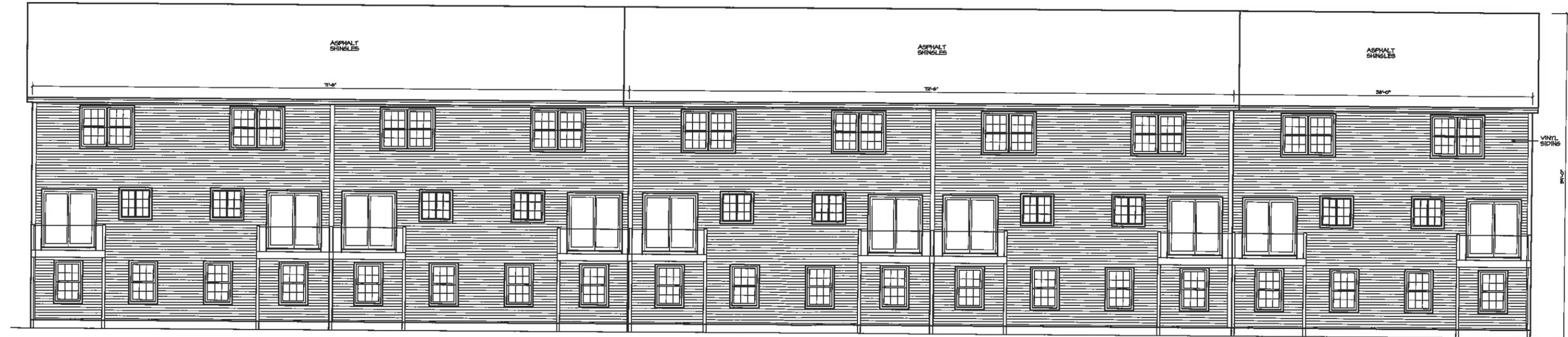
REVISIONS

M-404
 DEC 2014
 SHEET 1 OF 1

A1



○ FRONT ELEVATION 10-UNIT



○ REAR ELEVATION


Alternative Designs Inc.
 www.altdesigns.com
 14 Old Cambridge Street
 North Andover, MA 01855
 Phone: (978) 645-4388
 Fax: (978) 645-6200
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LEFAVOR FOLIO, LLC
 111-115 LOCK STREET (10 UNIT)
 NASHUA, NEW HAMPSHIRE

Contractor to check & verify all dimensions & structural members before construction. All construction shall be in strict compliance with the State of New Hampshire or Massachusetts Building Codes, whichever applicable.

NO.	DATE	DESCRIPTION

11-16-14
 DEC 2014
 SHEET 1 OF 1

A1

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda McGhee, Deputy Planning Manager
FOR: August 6, 2020
RE: **New Business #8 - Site Plan**

I. Project Statistics:

Owner: Nashua Housing Authority
Applicant: Boston Capital Corporation and Nashua Housing Authority
Proposal: Redevelopment of the Bronstein Apartment Complex
Location: 41 Central Street
Total Site Area: 4.182 acres
Existing Zoning: RC-Urban Residence
Surrounding Uses: Residential and commercial

II. Background Information:

The site contains the Bronstein Apartment which is a housing project constructed in the 1970s. Currently there are 6 two-story and eight unit apartment buildings (48 units total). There is a recreation building with a day care, two outdoor recreation areas and a basketball court. On July 14, 2020 the applicants appeared before the Zoning Board of Adjustment to allow this project to move forward; the approval letter and minutes are attached.

III. Project Description:

It is proposed to redevelop the existing Bronstein Apartments into a four 4-story and a one 2-story multi-family residential apartment building with 216 units and associated site improvements. The existing building will be demolished and the new units will contain a mix of one through five bedroom units. Most of the units will be one-bedroom or two-bedroom units. The four new buildings will contain the following:

Building A	79 units	90,840 sf
Building B	83 units	93,404 sf
Building C	36 units	39,837 sf
Building D*	18 units	28,532 sf
Total	216 units	252,613 sf

Building D also includes:

Day care facility (25 students/staff)	2,800 sf
Clubhouse (100 person/day)	3,120 sf

Site improvements include 231 parking spaces, improvements to Myrtle Street, sidewalks, curbing, landscaping, site lighting, utility service extensions and stormwater management.

The proposed site development disturbs approximately 208,400 sf of contiguous area and therefore a NHDES Alteration of Terrain Permit is required. A stormwater management study was submitted and is attached to this report.

A traffic memo was submitted for this project and indicated that a formal Traffic Impact Report (TIR) is not required as the daily and peak hour trip estimates are below the TIR threshold values; the traffic memo is attached.

Two waivers are requested for this project. Under NRO § 190-198, the number of minimum parking spaces is 1.5 spaces/multi-family residential unit. The applicant is requesting a waiver to allow 230 parking spaces on a lot where 324 spaces are required. The second waiver requires interior parking aisles with more than 10 spaces in a row to contain planted medians and islands.

City staff reviewed the plans; comments are attached.

IV. Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

1. The request for a waiver of NRO § 190-198, which establishes minimum parking standards, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. The request for a waiver of § 190-184 D (1) which requires parking aisles not contain more than 10 spaces in a row without a planted median and/or island, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
3. Prior to the Chair signing the plan, minor drafting corrections will be made to the plan.
4. Prior to the chair signing the plan, all comments in an e-mail from Joe Mendola, Street Construction Engineer, dated _____ will be addressed to the satisfaction of the Engineering Department.
5. Prior to any site disturbance, the Alteration of Terrain Permit for the project shall be approved by NHDES.
6. Prior to the issuance of a building permit, all comments in an e-mail from Mark Rapaglia dated July 29, 2020 shall be addressed to the satisfaction of the Fire Marshal's Office.
7. Prior to issuance of the final certificate of occupancy for the development, an as-built plan locating all driveways, sidewalks, units, other buildings, utilities and site

landscaping shall be completed by a professional engineer and submitted to the Planning Department. The as-built plan shall include a statement that all construction was generally completed in accordance with the approved site plan and applicable local regulations. Sidewalk construction shall be to base course, with final course pavement remaining bonded until completion.

8. Prior to the issuance of the final certificate of occupancy, all off-site and on-site improvements will be completed.

3 Congress Street Nashua, NH 03062 (603) 883-2057
 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
 www.hayner-swanson.com

Hayner/Swanson, Inc.



MAP 80, LOT 89
 SITE PLAN

BRONSTEIN REDEVELOPMENT

41 CENTRAL STREET
 NASHUA, NEW HAMPSHIRE

PREPARED FOR

BOSTON CAPITAL CORPORATION

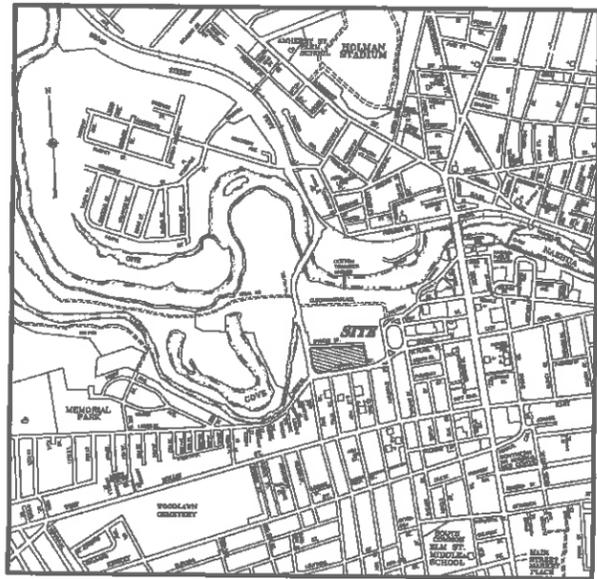
ONE BOSTON PLACE, SUITE 2100
 BOSTON, MASSACHUSETTS 02108
 (617) 842-0600
 www.bostoncapital.com

RECORD OWNER

Nashua Housing and Redevelopment Authority

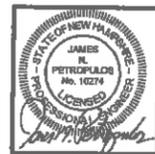
40 EAST PEARL STREET
 NASHUA, NEW HAMPSHIRE 03060
 (603) 883-5661

16 JUNE 2020



VICINITY PLAN
 SCALE: 1" = 100'

INDEX OF PLANS		
SHEET No.	TITLE	
1 OF 23	MASTER SITE PLAN	1" = 40'
2-3 OF 23	EXISTING CONDITIONS PLAN	1" = 20'
4-5 OF 23	SITE DEMOLITION PLAN	1" = 20'
6-7 OF 23	SITE GRADING AND UTILITY PLAN	1" = 20'
8-9 OF 23	SITE LAYOUT PLAN	1" = 20'
10 OF 23	EROSION CONTROL PLAN - PHASE I	1" = 40'
11 OF 23	EROSION CONTROL PLAN - PHASE II	1" = 40'
12-14 OF 23	UTILITY PROFILES	1" = 20' H 1" = 4' V
15-16 OF 23	DETAIL SHEET - GENERAL SITE	
17 OF 23	DETAIL SHEET - WATER	
18 OF 23	DETAIL SHEET - SEWER	
19 OF 23	DETAIL SHEET - EROSION CONTROL	
20-21 OF 23	LANDSCAPE PLAN	1" = 20'
22 OF 23	DETAIL SHEET - LANDSCAPE	
23 OF 23	PHOTOMETRIC SITE LIGHTING PLAN	1" = 20'
BUILDING ELEVATIONS		

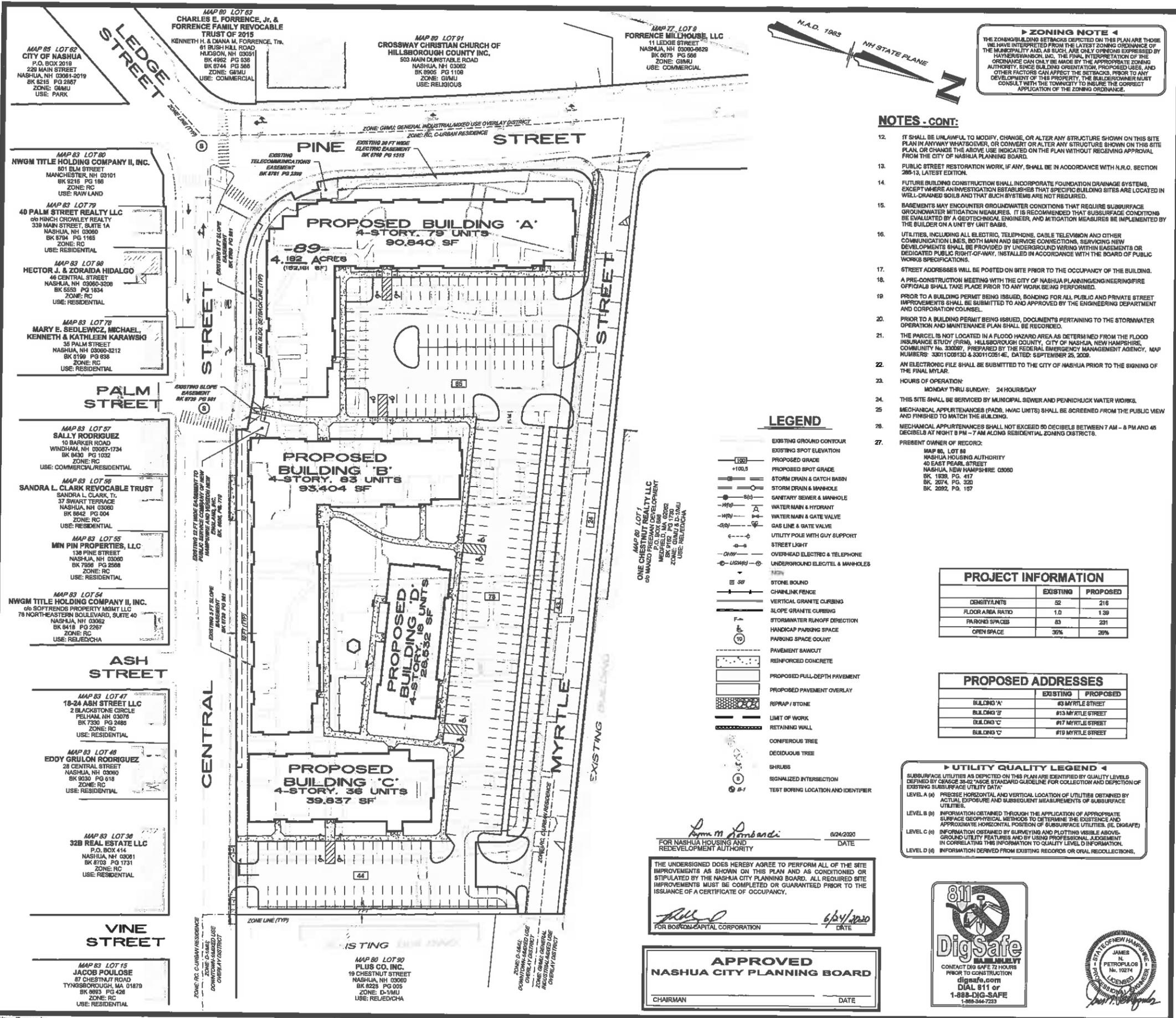


HESI Hayner/Swanson, Inc.

Civil Engineers/Land Surveyors
 3 Congress Street Nashua, NH 03062 (603) 883-2057
 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
 www.hayner-swanson.com



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MAP 85 LOT 82
CITY OF NASHUA
228 MAIN STREET
NASHUA, NH 03081-2019
BK 8215 PG 2507
ZONE: GMMU
USE: PARK

MAP 80 LOT 53
CHARLES E. FORRENCE, JR. &
FORRENCE FAMILY REVOCABLE
TRUST OF 2015
91 BUSH HILL ROAD
HUDSON, NH 03051
BK 4982 PG 036
BK 0744 PG 569
ZONE: GMMU
USE: COMMERCIAL

MAP 80 LOT 91
CROSSWAY CHRISTIAN CHURCH OF
HILLSBOROUGH COUNTY INC.
503 MAIN DUNSTABLE ROAD
NASHUA, NH 03080
BK 8905 PG 1108
ZONE: GMMU
USE: RELIGIOUS

MAP 77 LOT 9
FORRENCE MILLHOUSE LLC
11 LEDGE STREET
NASHUA, NH 03080-0829
BK 0075 PG 598
ZONE: GMMU
USE: COMMERCIAL

MAP 83 LOT 80
NWGM TITLE HOLDING COMPANY II, INC.
801 ELM STREET
MANCHESTER, NH 03101
BK 0216 PG 186
ZONE: RC
USE: RAW LAND

MAP 83 LOT 79
40 PALM STREET REALTY LLC
60 HINCH CROWLEY REALTY
339 MAIN STREET, SUITE 1A
NASHUA, NH 03080
BK 8794 PG 1165
ZONE: RC
USE: RESIDENTIAL

MAP 83 LOT 89
HECTOR J. & ZORADA HIDALGO
46 CENTRAL STREET
NASHUA, NH 03080-3208
BK 5553 PG 1834
ZONE: RC
USE: RESIDENTIAL

MAP 83 LOT 78
MARY E. SEDLEWICZ, MICHAEL,
KENNETH & KATHLEEN KARAWSKI
35 PALM STREET
NASHUA, NH 03080-3212
BK 0199 PG 858
ZONE: RC
USE: RESIDENTIAL

MAP 83 LOT 57
SALLY RODRIGUEZ
10 BARKER ROAD
WINDHAM, NH 03087-1734
BK 8430 PG 1192
ZONE: RC
USE: COMMERCIAL/RESIDENTIAL

MAP 83 LOT 56
SANDRA L. CLARK REVOCABLE TRUST
SANDRA L. CLARK, TR.
37 SWAN TERRACE
NASHUA, NH 03080
BK 8642 PG 004
ZONE: RC
USE: RESIDENTIAL

MAP 83 LOT 55
MIN PIN PROPERTIES, LLC
138 PINE STREET
NASHUA, NH 03080
BK 7899 PG 2588
ZONE: RC
USE: RESIDENTIAL

MAP 83 LOT 54
NWGM TITLE HOLDING COMPANY II, INC.
65 SOUTHWEST PROPERTY MGMT LLC
78 NORTH-EASTERN BOULEVARD, SUITE 40
NASHUA, NH 03082
BK 8418 PG 2267
ZONE: RC
USE: REJEDICHA

MAP 83 LOT 47
18-24 ASH STREET LLC
2 BLACKSTONE CIRCLE
PELHAM, NH 03076
BK 7330 PG 2485
ZONE: RC
USE: RESIDENTIAL

MAP 83 LOT 49
EDDY GRULON RODRIGUEZ
28 CENTRAL STREET
NASHUA, NH 03080
BK 9030 PG 018
ZONE: RC
USE: RESIDENTIAL

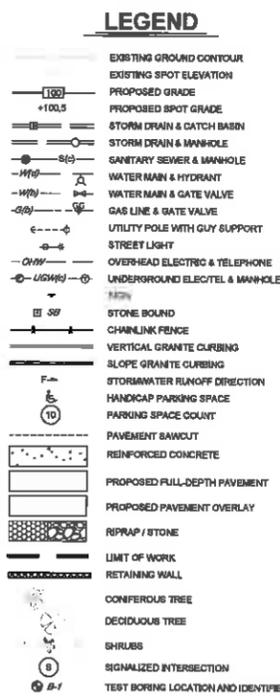
MAP 83 LOT 36
32B REAL ESTATE LLC
P.O. BOX 414
NASHUA, NH 03081
BK 8703 PG 0731
ZONE: RC
USE: RESIDENTIAL

MAP 80 LOT 15
JACOB POULOSE
87 CHESTNUT ROAD
TYNGSBOROUGH, MA 01879
BK 9953 PG 428
ZONE: RC
USE: RESIDENTIAL

MAP 80 LOT 90
PLUS CO. INC.
19 CHESTNUT STREET
NASHUA, NH 03080
BK 8228 PG 005
ZONE: D-1MU
USE: REJEDICHA

ZONING NOTE 4
THE ZONING BOARD LETTING DEPICTED ON THIS PLAN ARE THOSE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY THE ZONING BOARD. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, FRONT TO HIS DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

- NOTES - CONT:**
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY OF NASHUA PLANNING BOARD.
 - PUBLIC STREET RESTORATION WORK, IF ANY, SHALL BE IN ACCORDANCE WITH N.H.R.O. SECTION 285:12, LATEST EDITION.
 - FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS, EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL-DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
 - BASEMENTS MAY ENCOUNTER GROUNDWATER CONDITIONS THAT REQUIRE SUBSURFACE GROUNDWATER MITIGATION MEASURES. IT IS RECOMMENDED THAT SUBSURFACE CONDITIONS BE EVALUATED BY A GEOTECHNICAL ENGINEER, AND MITIGATION MEASURES BE IMPLEMENTED BY THE BUILDER ON A UNIT BY UNIT BASIS.
 - UTILITIES, INCLUDING ALL ELECTRIC, TELEPHONE, CABLE TELEVISION AND OTHER COMMUNICATION LINES, BOTH MAIN AND SERVICE CONNECTIONS, SERVING NEW DEVELOPMENTS SHALL BE PROVIDED BY UNDERGROUND WIRING WITHIN EASEMENTS OR DEDICATED PUBLIC RIGHT-OF-WAY, INSTALLED IN ACCORDANCE WITH THE BOARD OF PUBLIC WORKS SPECIFICATIONS.
 - STREET ADDRESSES WILL BE POSTED ON SITE PRIOR TO THE OCCUPANCY OF THE BUILDING.
 - A PRE-CONSTRUCTION MEETING WITH THE CITY OF NASHUA PLANNING/ENGINEERING/FIRE OFFICIALS SHALL TAKE PLACE PRIOR TO ANY WORK BEING PERFORMED.
 - BEFORE A BUILDING PERMIT BEING ISSUED, BONDING FOR ALL PUBLIC AND PRIVATE STREET IMPROVEMENTS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEERING DEPARTMENT AND CORPORATION COUNSEL.
 - BEFORE A BUILDING PERMIT BEING ISSUED, DOCUMENTS PERTAINING TO THE STORMWATER OPERATION AND MAINTENANCE PLAN SHALL BE RECORDED.
 - THE PARCEL IS NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY NO. 33007, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBERS: 330110013D & 330110014E, DATED: SEPTEMBER 25, 2009.
 - AN ELECTRONIC FILE SHALL BE SUBMITTED TO THE CITY OF NASHUA PRIOR TO THE SIGNING OF THE FINAL MYLAR.
 - HOURS OF OPERATION:
MONDAY THRU SUNDAY: 24 HOURS/DAY
 - THIS SITE SHALL BE SERVICED BY MUNICIPAL SEWER AND PENINSULA WATER WORKS.
 - MECHANICAL APPURTENANCES (PAC, HVAC UNITS) SHALL BE SCREENED FROM THE PUBLIC VIEW AND FINISHED TO MATCH THE BUILDING.
 - MECHANICAL APPURTENANCES SHALL NOT EXCEED 80 DECIBELS BETWEEN 7 AM - 8 PM AND 45 DECIBELS AT NIGHT 8 PM - 7 AM ALONG RESIDENTIAL ZONING DISTRICTS.
 - PRESENT OWNER OF RECORD:
MAP 88, LOT 88
NASHUA HOUSING AUTHORITY
40 EAST PEARL STREET
NASHUA, NEW HAMPSHIRE 03080
BK 1838, PG. 417
BK 2974, PG. 320
BK 2092, PG. 187



PROJECT INFORMATION

	EXISTING	PROPOSED
DENSITY/LANTS	52	216
FLOOR AREA RATIO	1.0	139
PARKING SPACES	83	231
OPEN SPACE	35%	25%

PROPOSED ADDRESSES

	EXISTING	PROPOSED
BUILDING 'A'	#3 MYRTLE STREET	
BUILDING 'B'	#13 MYRTLE STREET	
BUILDING 'C'	#17 MYRTLE STREET	
BUILDING 'D'	#19 MYRTLE STREET	

UTILITY QUALITY LEGEND 4
SUBSURFACE UTILITIES AS SHOWN ON THIS PLAN ARE IDENTIFIED BY QUALITY LEVELS DEFINED BY CHAS 35-02 "ASCE STANDARD GUIDELINE FOR COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA"

LEVEL A (S) PRECISE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES OBTAINED BY ACTUAL EXPOSURE AND SUBSEQUENT MEASUREMENTS OF SUBSURFACE UTILITIES.

LEVEL B (S) INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES, (E, D, G, S, R, F).

LEVEL C (S) INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGEMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL INFORMATION.

LEVEL D (S) INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS.

Ryan M. Lombardi 02/24/2020 DATE
FOR NASHUA HOUSING AND REDEVELOPMENT AUTHORITY

[Signature] 6/24/2020 DATE
FOR BOSTON CAPITAL CORPORATION

APPROVED
NASHUA CITY PLANNING BOARD

CHAIRMAN _____ DATE _____



VICINITY MAP SCALE: 1"=1,000'

PLAN REFERENCES:

- ACQUISITION PLAN (LOT 89, MAP 80), BROAD STREET PARKWAY PROJECT, 41 CENTRAL STREET, NASHUA, NEW HAMPSHIRE, PREPARED FOR CITY OF NASHUA RECORD OWNER: NASHUA HOUSING AUTHORITY, SCALE: 1"=20', DATED 11 SEPTEMBER 2013 WITH REVISIONS THRU 03/08/15 AND PREPARED BY THIS OFFICE. RECORDED MAP NO. 35578.
- EASEMENT PLAN (MAP 80, LOT 89), BROAD STREET PARKWAY PROJECT, 41 CENTRAL STREET, NASHUA, NEW HAMPSHIRE, PREPARED FOR CITY OF NASHUA RECORD OWNER: NASHUA HOUSING AUTHORITY, SCALE: 1"=20', DATED 31 MARCH 2015 AND PREPARED BY THIS OFFICE. NOT YET RECORDED.

NOTES:

- TOTAL SITE AREA: 4.192 ACRES
- PRESENT ZONING: RC; C URBAN RESIDENCE

MINIMUM LOT REQUIREMENTS	REQUIRED	PROPOSED
LOT AREA	5,000 FT ²	182,161 SF
LOT FRONTAGE	90 FT	1,082.98 FT
LOT WIDTH	30 FT	1,506 FT
LOT DEPTH	15 FT	285 FT
MINIMUM MAXIMUM YARD SETBACKS		
- FRONT YARD	10 FT	3.7 FT
- SIDE YARD	7 FT/20 FT	73.4 FT
- REAR YARD	20 FT/20 FT	NA
- MAX. BUILDING HEIGHT	100 FT	48 FT/2
- MAX. STORIES	4	4

ON TUESDAY, JULY 14, 2020 THE NASHUA ZONING BOARD OF ADJUDICATION APPROVED THE FOLLOWING VARIANCES FROM THE NASHUA LAND USE CODE (NLUC) FOR THIS PROJECT:

- NLUC SECTION 190-18-B - DENSITY
- NLUC SECTION 190-18-D - FLOOR AREA RATIO
- NLUC SECTION 190-18-E - FRONT YARD SETBACK
- NLUC SECTION 190-18-F - PARKING IN FRONT YARD SETBACK
- NLUC SECTION 190-18-G - MAXIMUM SIDE YARD SETBACK
- NLUC SECTION 190-18-M - OPEN SPACE

- LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAPS 77, 80, 83 & 85.
- PURPOSE OF PLAN:
TO SHOW THE REDEVELOPMENT OF THE BRONSTEIN APARTMENT COMPLEX. THIS PROJECT INCLUDES THE DEMOLITION OF THE EXISTING BUILDINGS AND THE CONSTRUCTION OF FOUR (4), 4-STORY, MULTI-FAMILY RESIDENTIAL BUILDINGS THAT TOTAL 216 UNITS ALONG WITH ACCOMPANYING SITE IMPROVEMENTS. PROPOSED BUILDING 'D' WILL CONTAIN A COMMUNITY ROOM FOR RESIDENTS (3,120 SF) AND A DAY CARE CENTER (2,800 SF) UP TO 25 STUDENT/STAFF. THIS PLAN AMENDS NP-1212.
- PARKING:
MINIMUM REQUIRED: 1.5 SPACES/UNIT x 216 UNITS = 324 SPACES
PROVIDED: (INCLUDING 10 RESERVED SPACES) = 230 SPACES
* DOES NOT INCLUDE 24 SPACES IN MYRTLE STREET.
- OPEN SPACE:
REQUIRED: 35%
PROVIDED: 25%
- MONUMENTS, WHERE REQUIRED, TO BE SET BY A LICENSED LAND SURVEYOR.
- ALL LANDSCAPING SHALL BE AS SHOWN ON THE PLANS AND CONFORM TO THE APPLICABLE CITY OF NASHUA ZONING REGULATIONS UNDER ARTICLE V, DISTRICT 7.
- ALL LIGHTING SHALL BE AS SHOWN ON THE PLANS, DIRECTED TOWARD THE SITE AND CONFORM TO APPLICABLE CITY OF NASHUA ZONING REGULATIONS.
- ALL SIGNAGE SHALL CONFORM TO THE APPLICABLE CITY OF NASHUA REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
- SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION, GRADE AND NUMBER OF PARKING SPACES.

MASTER SITE PLAN (MAP 80, LOT 89)
BRONSTEIN REDEVELOPMENT
41 CENTRAL STREET
NASHUA, NEW HAMPSHIRE
PREPARED FOR:
BOSTON CAPITAL CORPORATION
ONE BOSTON PLACE, SUITE 2100 BOSTON, MA 02108 (617) 842-0800

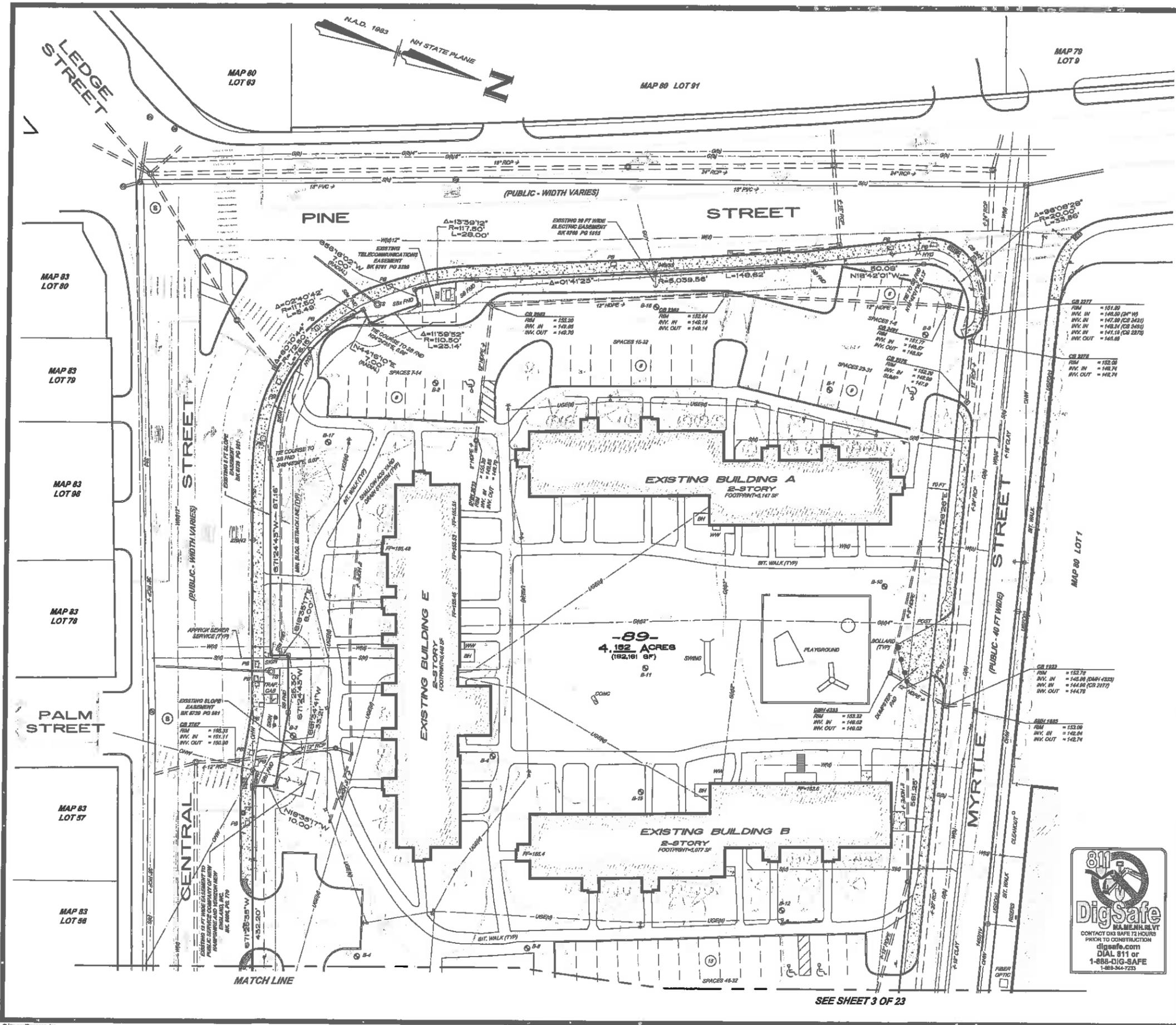
RECORD OWNER:
Nashua Housing and Redevelopment Authority
40 EAST PEARL STREET NASHUA, NEW HAMPSHIRE 03080 (603) 683-6561

SCALE: 1"=40 Feet
1"=12.192 Meters

16 JUNE 2020

HSL Hayner/Swanson, Inc.
Civil Engineer/Lead Surveyor
3 Congress Street
Nashua, NH 03080
(603) 683-2097
www.haynerswanson.com

FIELD BOOK: 1245 DRAWING NAME: 5700STE-P041 5700 1 OF 23
DRAWING LOG: 6/20/20 5700/5700/5700 SITE



SURVEY NOTES:

1. THE TOPOGRAPHY SHOWN IS BASED ON A FIELD SURVEY BY THIS OFFICE IN MARCH 2020.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
3. THE CONTRACTOR SHALL ONLY USE BENCH-MARKS AS PROVIDED BY THE ENGINEER.
4. SURVEY CONTROL INFORMATION:
 HORIZONTAL DATUM: NAD83
 HORIZONTAL PROJECTION: NH STATE PLANE
 VERTICAL DATUM: NGVD29
 UNITS: US SURVEY FEET
5. BORING LOCATIONS AS SHOWN ARE APPROXIMATE. BORING WERE PERFORMED IN JUNE 2020 UNDER THE SUPERVISION OF MILLER ENGINEERING & TESTING, INC., MANCHESTER, NH.

UTILITY NOTE 1

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

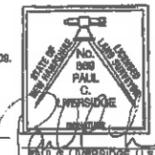
ZONING NOTE 1

THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNES/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDING OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

CERTIFICATION

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND STANDARD PROPERTY SURVEY AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/08.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.



NO.	DATE	REVISION	BY

EXISTING CONDITIONS PLAN
(MAP 80, LOT 89)
BRONSTEIN REDEVELOPMENT
 41 CENTRAL STREET
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR:
BOSTON CAPITAL CORPORATION
 ONE BOSTON PLACE, SUITE 2100 BOSTON, MA 02108 (617) 542-0600
 RECORD OWNER:
Nashua Housing and Redevelopment Authority
 40 EAST PEARL STREET NASHUA, NEW HAMPSHIRE 03080 (603) 883-5561

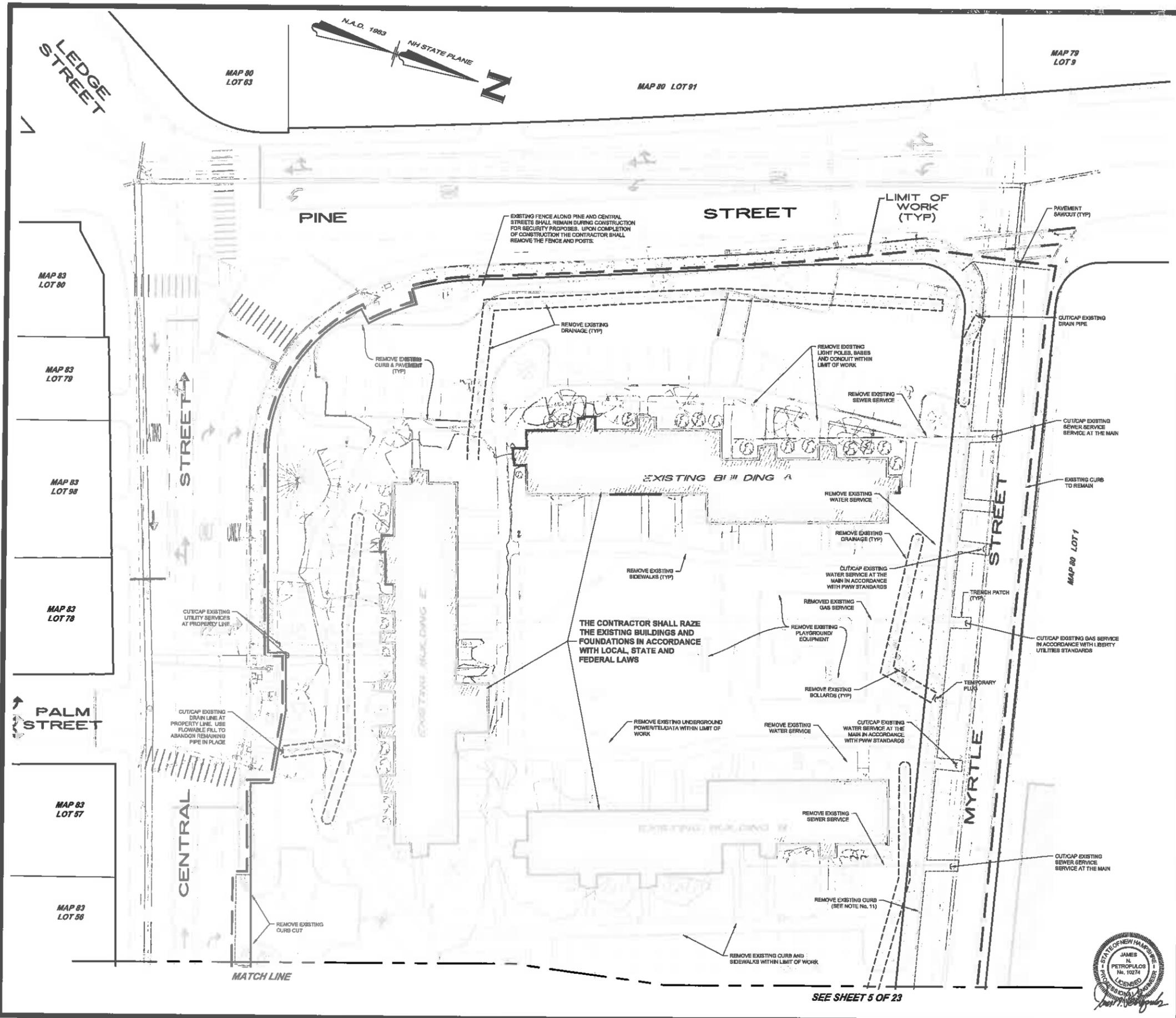
SCALE: 1"=20 Feet
1"=6.096 Meters

16 JUNE 2020

HISI Haynes/Swanson, Inc.
 Civil Engineers/Land Surveyors
 3 Congress Street Nashua, NH 03063 (603) 883-1057
 131 Middlesex Turnpike Burlington, MA 01803 (781) 263-1501
 www.haynes-swanson.com

811 DigSafe
 MA, NH, RI, VT
 CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION
 digsafe.com
 DIAL 811 or 1-888-DIG-SAFE
 1-888-344-7233

SEE SHEET 3 OF 23



SITE DEMOLITION/CONSTRUCTION NOTES:

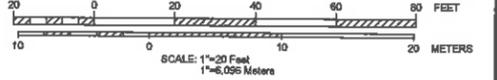
1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES OF ALL STRUCTURES, PADS, WALLS, FOUNDATIONS, PARKING, DRIVEWAYS, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE GEOTECHNICAL SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR SITE DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY PRIOR TO THE START OF ANY DEMOLITION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON SITE LOCATIONS OF EXISTING UTILITIES.
5. ALL EXISTING SEWER, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION REGARDING ANY ANTICIPATED FEATURES. THE CONTRACTOR SHALL GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.
6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. THE CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ROAD RIGHT OF WAY DURING CONSTRUCTION.
7. PRIOR TO SITE DEMOLITION OCCURRING, ALL APPROPRIATE EROSION CONTROL DEVICES ARE TO BE INSTALLED.
8. DURING THE REMOVAL OF THE EXISTING DRAINAGE AND SEWER SERVICE PIPE THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT DIRT OR DEBRIS FROM ENTERING THE SYSTEM.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE CITY OF NASHUA PRIOR TO THE START OF DEMOLITION OR CONSTRUCTION. A DEMOLITION PERMIT SHALL BE OBTAINED FROM THE CITY OF NASHUA PRIOR TO THE COMMENCEMENT OF WORK.
10. FOR WORK WITHIN A PUBLIC STREET THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY ENGINEERING DEPARTMENT.
11. THE CONTRACTOR SHALL REMOVE AND STOCKPILE THE GRANITE CURB ALONG THE SOUTH SIDE OF MYRTLE STREET. THE CONTRACTOR SHALL NOTIFY THE DIVISION OF PUBLIC WORKS TO REQUEST AN INSPECTION OF THE STOCKPILE TO DETERMINE IF THEY WANT TO REMOVE ANY PIECES FOR FUTURE USE. REMAINING GRANITE CURB SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE OR RE-USED SUBJECT TO APPROVAL BY THE OWNER AND ENGINEER.
12. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL CLEAN AND VIDEO THE EXISTING 18-INCH SEWER LINE AND 24X30-INCH DRAIN PIPE IN MYRTLE STREET FROM PINE STREET TO THE CATED END. THE RESULTS OF THIS EFFORT SHALL BE PROVIDED TO THE CITY OF NASHUA DIVISION OF PUBLIC WORKS.



No.	DATE	REVISION	BY

SITE DEMOLITION PLAN
 (MAP 80, LOT 89)
BRONSTEIN REDEVELOPMENT
 41 CENTRAL STREET
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR:
BOSTON CAPITAL CORPORATION
 ONE BOSTON PLACE, SUITE 2100 BOSTON, MA 02108 (617) 842-0800

RECORD OWNER:
Nashua Housing and Redevelopment Authority
 40 EAST PEARL STREET NASHUA, NEW HAMPSHIRE 03080 (603) 883-5661

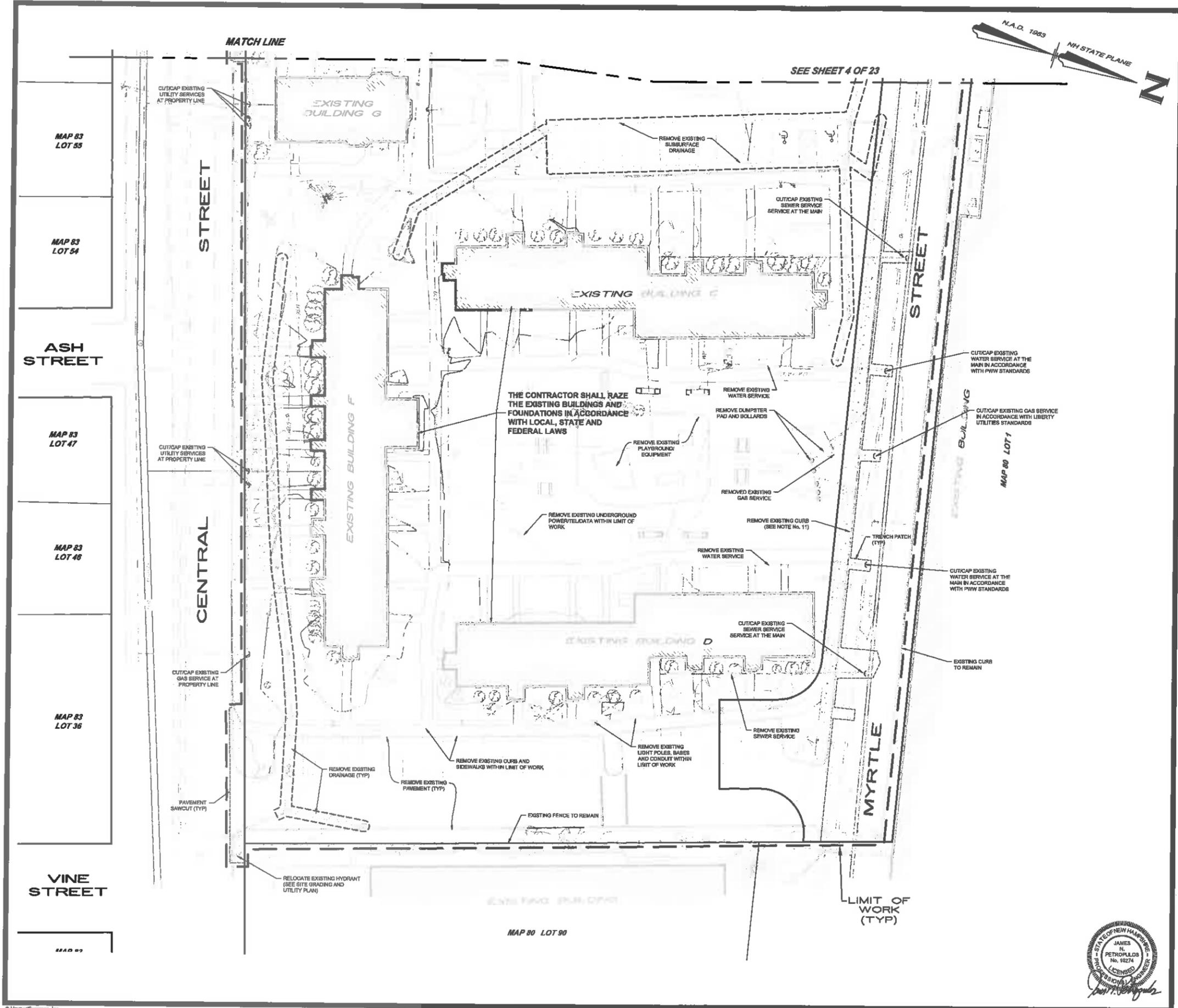


16 JUNE 2020

HSL Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors
 3 Congress Street Nashua, NH 03080
 (603) 883-2057 www.hayner-swanson.com



SEE SHEET 5 OF 23



No.	DATE	REVISION	BY

SITE DEMOLITION PLAN
 (MAP 80, LOT 89)
BRONSTEIN REDEVELOPMENT
 41 CENTRAL STREET
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR:
BOSTON CAPITAL CORPORATION
 ONE BOSTON PLACE, SUITE 2100 BOSTON, MA 02108 (617) 842-0600
 RECORD OWNER:
Nashua Housing and Redevelopment Authority
 40 EAST PEARL STREET NASHUA, NEW HAMPSHIRE 03060 (603) 883-5661

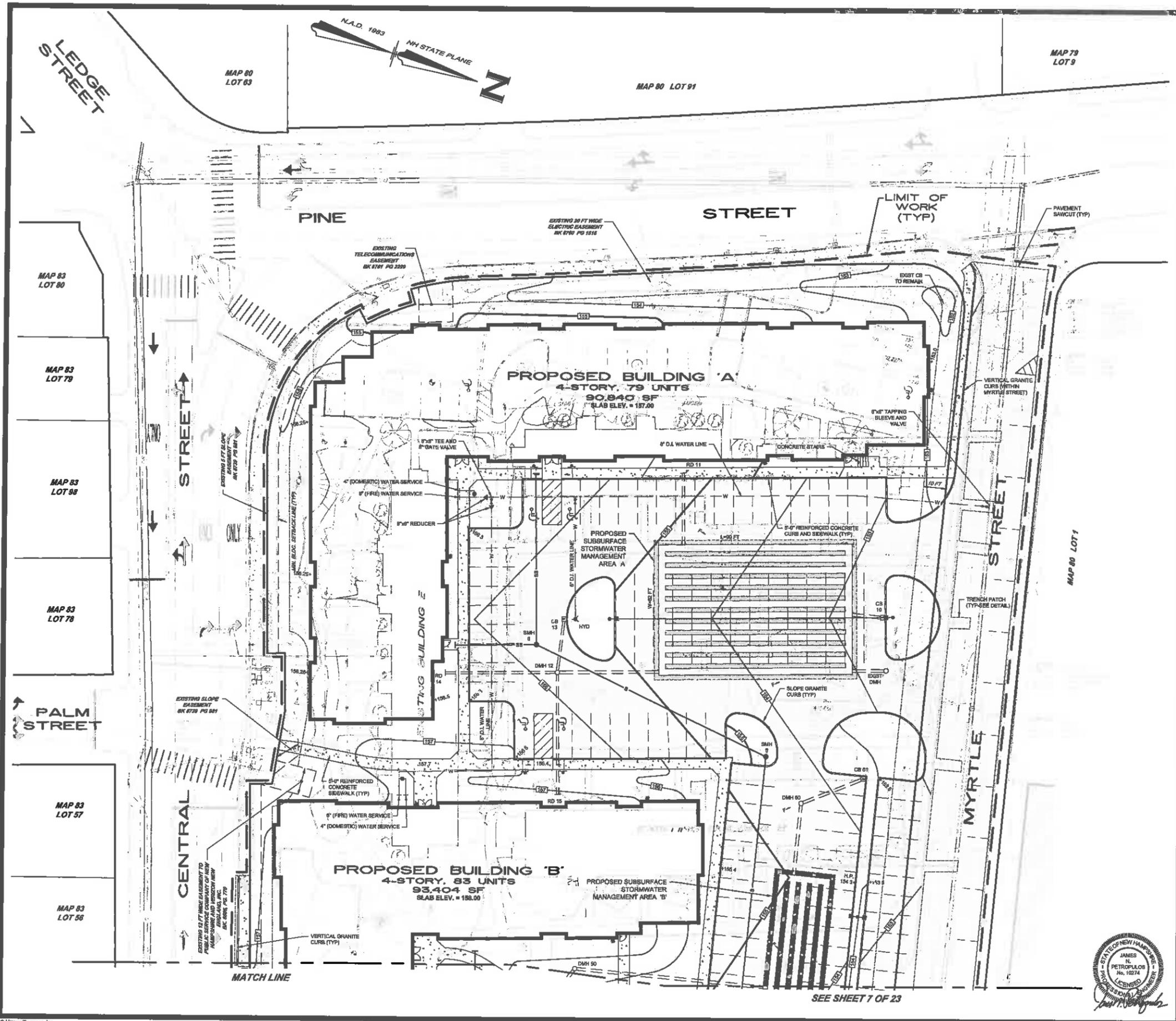
SCALE: 1"=20 Feet
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16 JUNE 2020

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 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
 www.haynerswanson.com

FIELD BOOK: 1845 DRAWING NAME: 570081E-DH21 5700 5 OF 23
 DRAWING LOC.: L:\6000\5700\DWG\5700 SITE P16 1/16/20





CONSTRUCTION NOTES:

1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF NASHUA, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, LATEST EDITION ARE HEREBY INCORPORATED BY REFERENCE.
2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
4. PRIOR TO ANY WORK BEING STARTED, THE APPLICANT AND THEIR CONTRACTORS SHALL HOLD A PRE-CONSTRUCTION CONFERENCE WITH PLANNING STAFF TO REVIEW SCHEDULING, EROSION AND TRAFFIC CONTROL, AND TREE PROTECTION.
5. BLASTING, IF NEEDED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF NASHUA FIRE DEPARTMENT REGULATIONS.
6. ALL STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
7. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED.
8. ROOF DRAIN TIERS AND DRAIN LINES SHALL BE INSPECTED PRIOR TO BACKFILLING AND PAVING.
9. IF THE PROPOSED WORK IMPACTS ANY CITY INFRASTRUCTURE SUCH AS CURBS, SIDEWALKS OR TRAFFIC SIGNS IT SHALL BE REPLACED IN ACCORDANCE WITH THE NASHUA DPW STANDARDS.

SITE GRADING NOTES:

1. CLEARING AND GRUBBING LIMITS SHALL INCLUDE ONLY AREAS DISTURBED BY GRADING OPERATIONS. ALL STUMPS TO BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
2. SITE CONTRACTOR SHALL PROVIDE SUBGRADE FOR BUILDING PADS PER THE GEOTECHNICAL ENGINEER'S SITEWORK SPECIFICATIONS. SEE ARCHITECTURAL PLANS FOR SUBGRADE ELEVATION.
3. ALL BLASTING, IF ANY, SHALL BE CONDUCTED IN CONFORMANCE SET FORTH BY THE CITY OF NASHUA FIRE DEPARTMENT.
4. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING PLAN ALIGNMENT AND GRADE AT COMPLETION OF CONSTRUCTION.
5. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED.
6. ANY GRADED, UNPAVED, DISTURBED AREAS SHALL HAVE 8 INCHES OF TOPSOIL WITH SEED, MULCH, FERTILIZER AND WATER APPLIED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. THE CONTRACTOR SHOULD ACKNOWLEDGE THAT WORK IS NOT CONSIDERED COMPLETE UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

DRAINAGE NOTES:

1. DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE CITY OF NASHUA DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES.
2. ALL DRAINAGE PIPES SHALL BE HDPE ADS-HP STORM OR APPROVED EQUAL. GATCH BASINS SHALL HAVE TYPE B FRAME AND COVERS, AND HAVE 4 FT SLUMPS UNLESS OTHERWISE NOTED.
3. THIS SITE CONTRACTOR SHALL CONSTRUCT THE PROPOSED DRAIN LINES UP TO 5'-0" OF THE FACE OF THE BUILDING. IT SHALL BE THE BUILDING PLUMBING CONTRACTOR'S RESPONSIBILITY TO CONNECT THE ROOF DRAIN INTO THE SITE DRAIN LINE.

No.	DATE	REVISION	BY

SITE GRADING AND UTILITY PLAN
(MAP 80, LOT 89)
BRONSTEIN REDEVELOPMENT
41 CENTRAL STREET
NASHUA, NEW HAMPSHIRE
PREPARED FOR:
BOSTON CAPITAL CORPORATION
ONE BOSTON PLACE, SUITE 2100 BOSTON, MA 02108 (617) 542-0600

RECORD OWNER:
Nashua Housing and Redevelopment Authority
40 EAST PEARL STREET NASHUA, NEW HAMPSHIRE 03060 (603) 883-5861



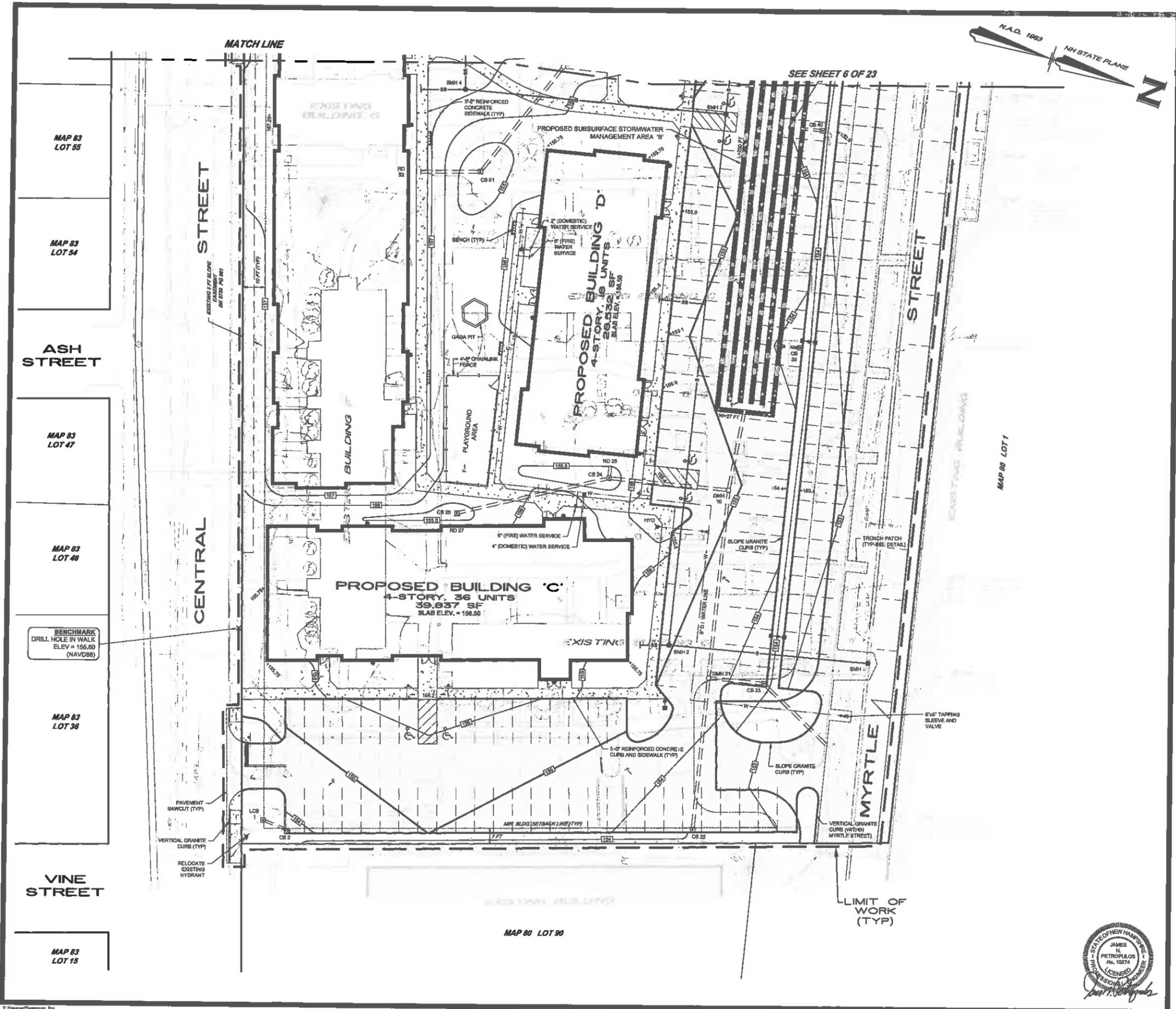
16 JUNE 2020

HSI Hayner/Swanson, Inc.
Civil Engineer/Lead Surveyor

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(603) 883-5057
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SANITARY SEWER NOTES:

- ALL SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH PLANS AND SPECIFICATIONS AND WITH THE REQUIREMENTS OF THE DEPARTMENT OF ENVIRONMENTAL SERVICES, CODE OF ADMINISTRATIVE RULES, CHAPTER ENV-400 700, AND THE CITY OF NASHUA, NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES.
- SEWER PIPE SHALL BE SOLID WALL-PVC UNLESS OTHERWISE REQUIRED BY THESE SPECIFICATIONS. SEWERS SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY AND 18 INCHES VERTICALLY FROM WATER LINES.
- WHENEVER SEWERS MUST CROSS WATER MAINS, SEWER SHALL BE CONSTRUCTED AS FOLLOWS:
 - SEWER PIPE SHALL BE CLASS 52 DUCTILE IRON FOR A MINIMUM DISTANCE OF 9 FEET EACH SIDE OF THE CROSSING.
 - JOINTS SHALL BE MECHANICAL TYPE WATER PRESSURE RATED WITH ZERO LEAKAGE WHEN TESTED AT 25 POUNDS PER SQUARE INCH FOR GRAVITY SEWERS AND 1-1/2 TIMES WORKING PRESSURE FOR FORCE MAINS. JOINTS SHALL NOT BE LOCATED WITHIN 5 FEET OF THE CROSSING.
 - VERTICAL SEPARATION OF THE SEWER AND WATER MAIN SHALL NOT BE LESS THAN 18 INCHES.
- THE SEWER CONNECTIONS SHALL BE INSPECTED BY AUTHORIZED CITY OF NASHUA REPRESENTATIVE BEFORE ANY BACKFILLING. THREE (3) DAYS NOTICE SHALL BE GIVEN FOR INSPECTION REQUESTS.
- SEWER MANHOLES SHALL BE VACUUM TESTED AND THE PVC PIPING PRESSURE TESTED BY THE CONTRACTOR WITH AN AUTHORIZED CITY OF NASHUA REPRESENTATIVE AS WITNESS.

POWER NOTES:

- ALL POWER RELATED WORK SHALL COMPLY WITH EVERSOURCE STANDARDS AND SPECIFICATIONS.
- UTILITY POLE AND OVERHEAD WIRE LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL COORDINATE FINAL LOCATIONS WITH EVERSOURCE PRIOR TO ANY POWER/TELEPHONE WORK.
- ALL PRIMARY AND SECONDARY SERVICE LOCATIONS ARE APPROXIMATE AND ARE SHOWN FOR COORDINATION PURPOSES ONLY.
- REFERENCE ARCHITECT'S PLANS FOR ALL BUILDING SERVICE CONNECTIONS.
- THE SECONDARY POWER RUN FROM THE TRANSFORMER PAD TO THE BUILDING SHALL BE PERFORMED BY THE PROJECT'S ELECTRICAL CONTRACTOR.

TELEPHONE NOTES:

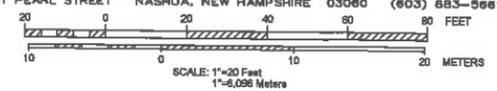
- ALL TELEPHONE RELATED WORK SHALL COMPLY WITH CONSOLIDATED COMMUNICATIONS STANDARDS AND SPECIFICATIONS. ALL TELEPHONE LINE LOCATIONS ARE APPROXIMATE AND SHOWN FOR COORDINATION PURPOSES ONLY.

WATER NOTES:

- REFERENCE PENNICKUCK WATER WORKS SPECIFICATIONS FOR INSTALLATION OF ALL WATER LINES.
- ALL SPRINKLER AND DOMESTIC LEADS TO BUILDING SHALL END 5'-0" OUTSIDE THE FACE OF BUILDING WALL, UNLESS NOTED, AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END (FOR OTHERS TO REMOVE AND EXTEND AS NECESSARY).
- THRUST BLOCKS AND MEGALID RESTRAINTS SHALL BE PROVIDED AT ALL HORIZONTAL BENDS, TEES, AND FIRE HYDRANTS. SEE DETAIL.
- MINIMUM COVER ON ALL WATER LINES IS 5'-0".
- CONTRACTOR SHALL MAINTAIN A 5'-0" HORIZONTAL (UNLESS OTHERWISE NOTED) AND 12" VERTICAL SEPARATION BETWEEN WATER SERVICE AND UTILITIES OTHER THAN SANITARY SEWER.
- INSPECTIONS ON WATER SERVICE INSTALLATION DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE SITE CONTRACTOR AND SHALL BE COORDINATED WITH PENNICKUCK WATER WORKS, AND ALL INSPECTION FEES SHALL BE PAID BY THE CONTRACTOR.
- CONTRACTOR SHALL HAVE BACTERIOLOGICAL AND PRESSURE TESTING PERFORMED. CONTRACTOR SHALL GIVE PENNICKUCK WATER WORKS A COPY OF RESULTS. PENNICKUCK WATER WORKS SHALL BE ON-SITE TO WITNESS TEST.
- ALL PIPE, VALVES, MISCELLANEOUS MATERIALS AND INSTALLATION SHALL CONFORM WITH THE PENNICKUCK WATER WORKS SPECIFICATIONS.
- ALL FIRE HYDRANTS, VALVES, FITTINGS, PIPES, ETC. SHALL BE IN ACCORDANCE WITH PENNICKUCK WATER WORKS REQUIREMENTS.
- METALLIC TAPE OR DETECTOR WIRE SHALL BE INSTALLED IN THE SAME TRENCH WITH ALL NONMETALLIC PIPE SUCH THAT THE PIPE MAY BE LOCATED WITH ELECTRONIC LOCATING EQUIPMENT. DETECTOR WIRE OR METALLIC TAPE SHALL BE INSTALLED APPROXIMATELY 12" TO 18" BELOW GRADE DIRECTLY ABOVE THE TOP OF THE PIPE. DETECTOR WIRE SHALL BE 14-GAUGE SOLID COPPER, SIMPLEX BNS001, OR EQUAL. METALLIC TAPE SHALL BE 2" MINIMUM METALLIZED TAPE, FREELYN COMPANY, INC. TERRATAPE OR EQUAL.
- CONTRACTOR SHALL ENSURE ALL WATER VALVES ARE IN A FULLY-OPEN POSITION UPON COMPLETION OF PROJECT.
- CONTRACTOR SHALL COORDINATE ALL WATER INTERRUPTIONS WITH PENNICKUCK WATER WORKS.

No.	DATE	REVISION	BY

SITE GRADING AND UTILITY PLAN
 (MAP 80, LOT 89)
BRONSTEIN REDEVELOPMENT
 41 CENTRAL STREET
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR:
BOSTON CAPITAL CORPORATION
 ONE BOSTON PLACE, SUITE 2100 BOSTON, MA 02108 (617) 842-0800
 RECORD OWNER:
Nashua Housing and Redevelopment Authority
 40 EAST PEARL STREET NASHUA, NEW HAMPSHIRE 03060 (603) 883-5661

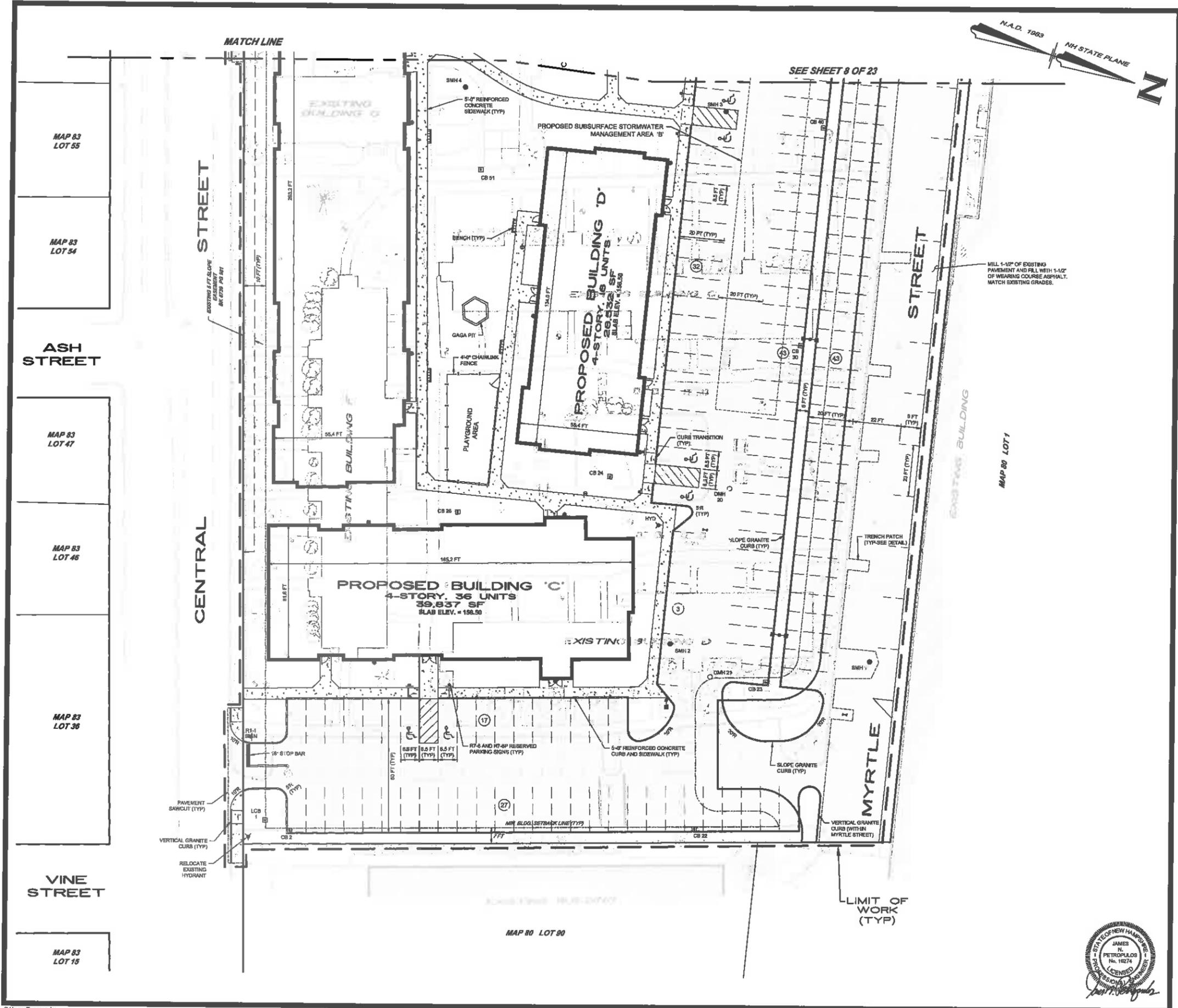


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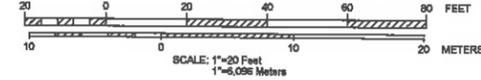




No.	DATE	REVISION	BY

SITE LAYOUT PLAN
 (MAP 80, LOT 89)
BRONSTEIN REDEVELOPMENT
 41 CENTRAL STREET
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR:
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 ONE BOSTON PLACE, SUITE 2100 BOSTON, MA 02108 (617) 842-0800

RECORD OWNER:
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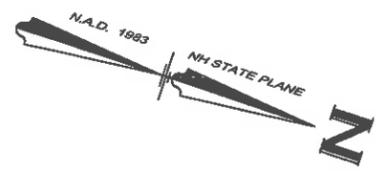


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GENERAL NOTES: (PHASE I)

1. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORMWATER POLLUTION CONTROL SHALL OBTAIN A COPY OF THE STORMWATER POLLUTION CONTROL PLAN (SPCP) AND NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) AND BECOME FAMILIAR WITH THEIR CONTENTS.
2. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SPCP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY SITE CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
4. EARTH MATERIAL STOCKPILE AREAS AS SHOWN ARE APPROXIMATE AND SUBJECT TO CHANGE. STOCKPILE AREAS SHALL BE SURROUNDED BY SILT FENCE AND RE-SEDED IF THEY ARE LEFT UNTOUCHED FOR MORE THAN TEN (10) DAYS.

CONSTRUCTION SEQUENCE (PHASE I)

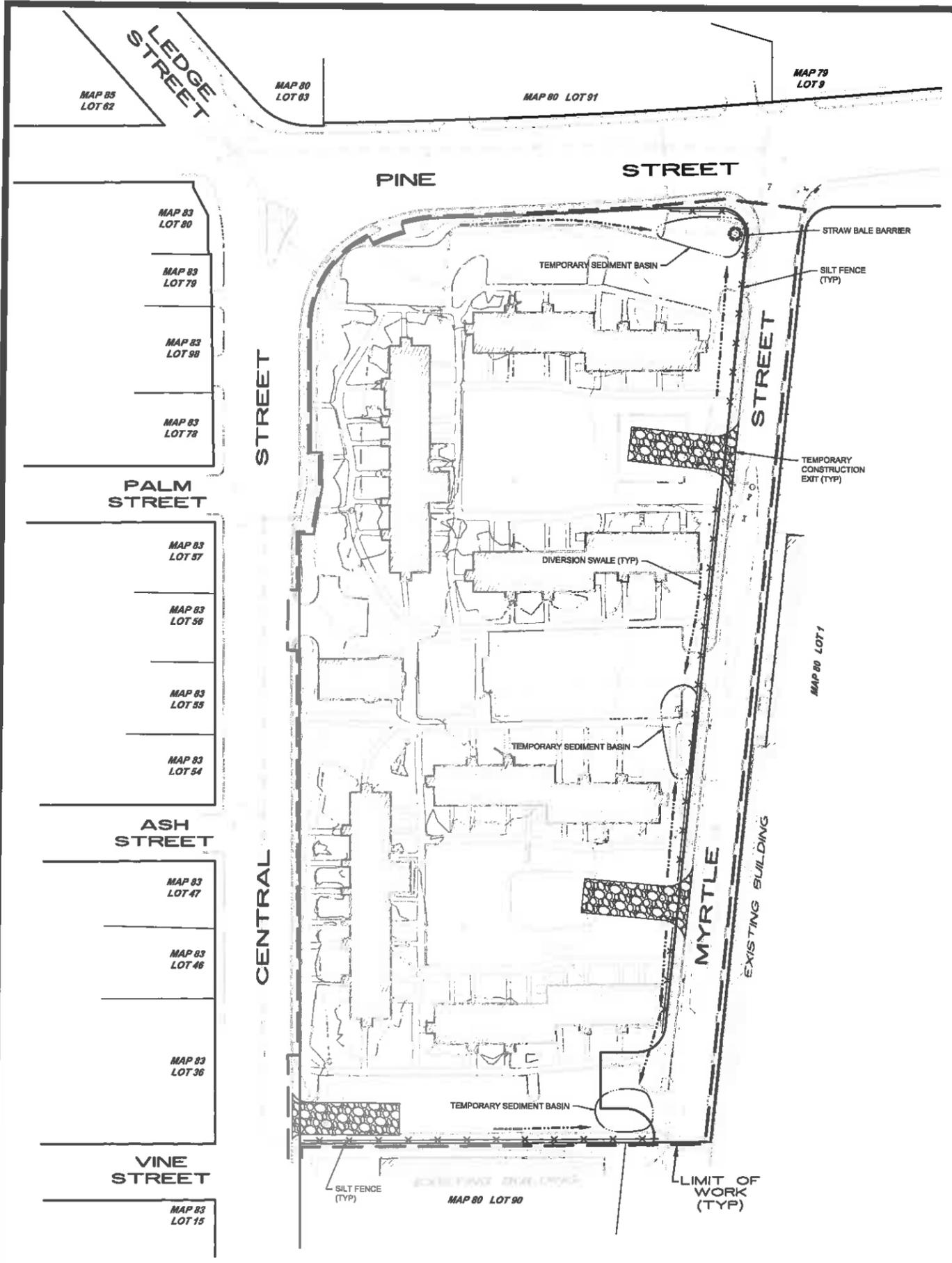
1. CONSTRUCT TEMPORARY CONSTRUCTION EXITS AND PREPARE TEMPORARY STAGING STOCKPILE AREA.
2. INSTALL SILT FENCES AS SHOWN ON THE PLAN.
3. CLEAN & GRUB SITE ACCORDING TO PLAN, CUT AND DISPOSE OF ANY DEBRIS PRODUCED DURING THE CLEARING AND GRUBBING ACTIVITY.
4. PERFORM BUILDING AND SITE DEMOLITION.
5. CONSTRUCT TEMPORARY SEDIMENT BASINS AND DIVERSION DITCHES PRIOR TO COMMENCING EARTHWORK.
6. STRIP/STOCKPILE TOPSOIL.
7. PERFORM SITE GRADING OF LOADING AND PARKING AREAS. ALL SLOPES SHALL BE LOANED AND SEDED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.

LEGEND

- EXISTING GROUND CONTOUR
- PROPOSED GRADE
- LIMIT OF WORK
- TEMPORARY SEDIMENT BASIN
- SILT FENCE
- ORANGE CONSTRUCTION FENCE
- SILT-BACK INLET PROTECTION DEVICES
- TEMPORARY GRAVEL CONSTRUCTION EXIT
- STABILIZATION MATTING (BIODEGRADABLE)
- STRAW BALE BARRIER
- TEMPORARY STONE CHECK DAM
- RUNOFF DIRECTION
- DIVERSION SWALE DIRECTION

NOTE
SEE DETAIL SHEET 19 OF 23 FOR EROSION CONTROL DETAILS AND ADDITIONAL NOTES

NOTE
THE CONTRACTOR SHALL TAKE MEASURES TO ENSURE THAT CENTRAL, PINE AND MYRTLE STREETS ARE KEPT FREE OF MUD, DIRT AND DEBRIS DURING CONSTRUCTION ACTIVITY



No.	DATE	REVISION	BY

EROSION CONTROL PLAN - PHASE I
(MAP 80, LOT 89)

BRONSTEIN REDEVELOPMENT
41 CENTRAL STREET
NASHUA, NEW HAMPSHIRE

PREPARED FOR:
BOSTON CAPITAL CORPORATION
ONE BOSTON PLACE, SUITE 2100 BOSTON, MA 02108 (617) 642-0800

RECORD OWNER:
Nashua Housing and Redevelopment Authority
40 EAST PEARL STREET NASHUA, NEW HAMPSHIRE 03060 (603) 883-5661

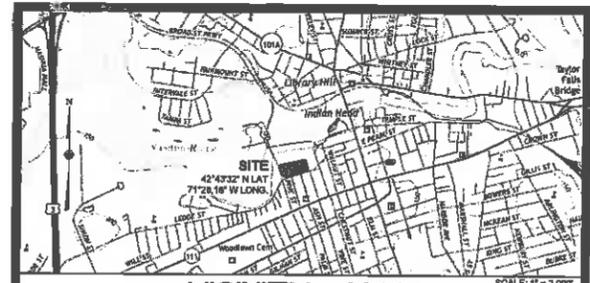
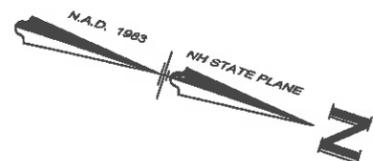
SCALE: 1"=40 Feet
1"=12.192 Meters

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FIELD BOOK: 1245 DRAWING NAME: 8700SITE-DR41 5700 10 OF 23
DRAWING LOG: \\S000\5700\DWG\5700 SITE





VICINITY MAP SCALE: 1" = 2,000'

GENERAL NOTES: (PHASE II)

- ALL MEASURES STATED ON THIS EROSION CONTROL PLAN, AND IN THE STORMWATER POLLUTION CONTROL PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETE PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT.
- SILT FENCE SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM SILT FENCES WHEN IT REACHED ONE-QUARTER THE HEIGHT OF THE SILT FENCE.
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
- ALL SEEDED AREAS SHALL BE CHECK REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEED AS NEEDED.
- THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF LIQUID ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXIT AS CONDITIONS DEMAND.

CONSTRUCTION SEQUENCE (PHASE II)

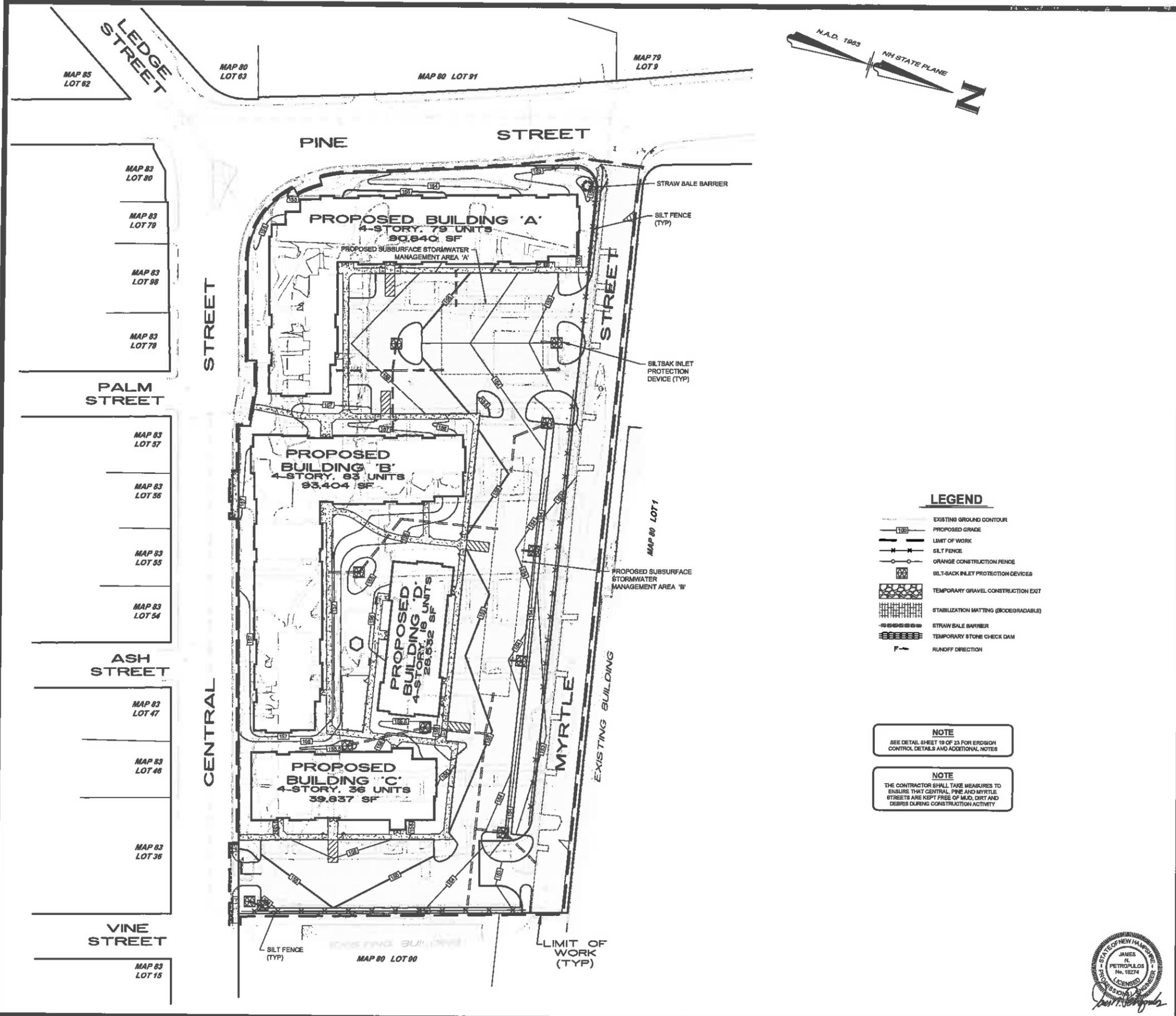
- INSTALL INLET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. INSTALLATION OF UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT IN ACCORDANCE WITH THE 'SILTBACK DETAIL'. THE CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED.
- ALL SWALES AND DRAINAGE WAYS SHALL BE STABILIZED PRIOR TO DIRECTING STORMWATER RUNOFF TO THEM.
- AS THE BUILDING IS COMPLETED, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED.
- NO PORTION OF THE PROJECT SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR A PERIOD OF GREATER THAN 45 DAYS. ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED PRIOR TO WINTER CONDITIONS. STABILIZATION SHALL BE DEFINED AS 70% VEGETATIVE GROWTH BY OCTOBER 15TH OR INSTALLATION OF EROSION CONTROL MATTING.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
 - A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.
 - OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- ALL DRIVEWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- FINAL PAVING OF DRIVEWAYS AND PARKING LOTS.
- SITE LANDSCAPING ALONG WITH PERMANENT SEEDING OR ALL DISTURBED AREAS.
- REMOVE ANY TEMPORARY EROSION CONTROL MEASURES NOT NEEDED.

LEGEND

- EXISTING GROUND CONTOUR
- PROPOSED GRADE
- LIMIT OF WORK
- SILT FENCE
- ORANGE CONSTRUCTION FENCE
- SILT-SACK INLET PROTECTION DEVICES
- TEMPORARY GRAVEL CONSTRUCTION EXIT
- STABILIZATION MATTING (BIODEGRADABLE)
- STRAW BALE BARRIER
- TEMPORARY STONE CHECK DAM
- RUNOFF DIRECTION

NOTE
SEE DETAIL SHEET 19 OF 23 FOR EROSION CONTROL DETAILS AND ADDITIONAL NOTES

NOTE
THE CONTRACTOR SHALL TAKE MEASURES TO ENSURE THAT CENTRAL, PINE AND MYRTLE STREETS ARE KEPT FREE OF MUD, DIRT AND DEBRIS DURING CONSTRUCTION ACTIVITY

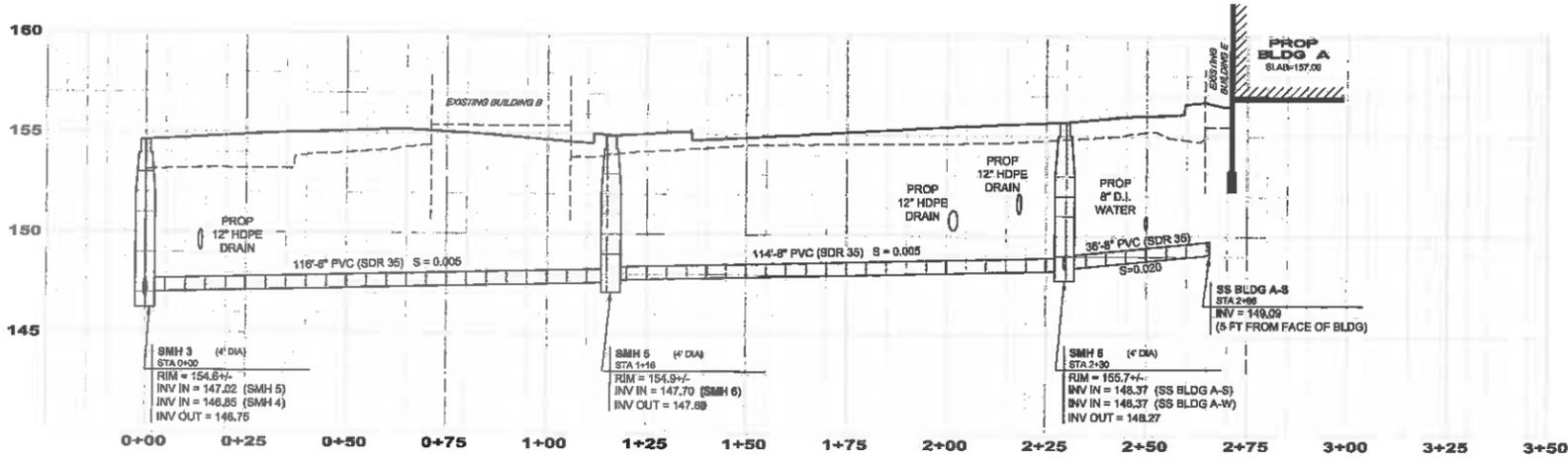
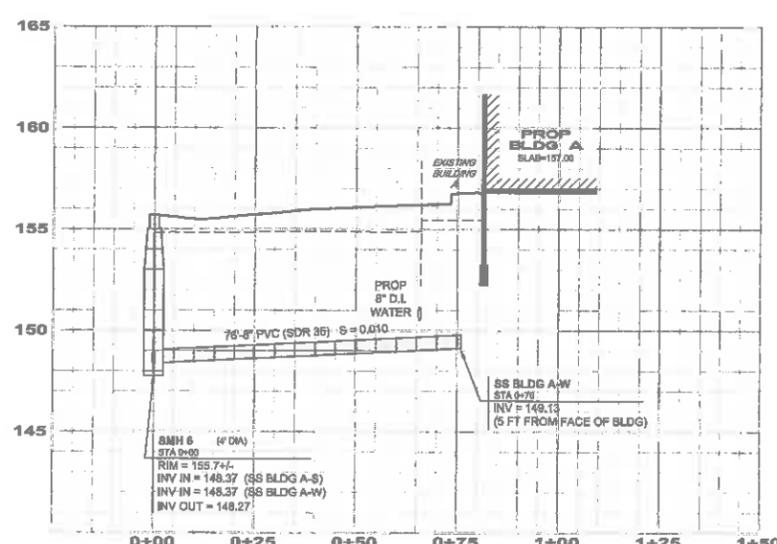
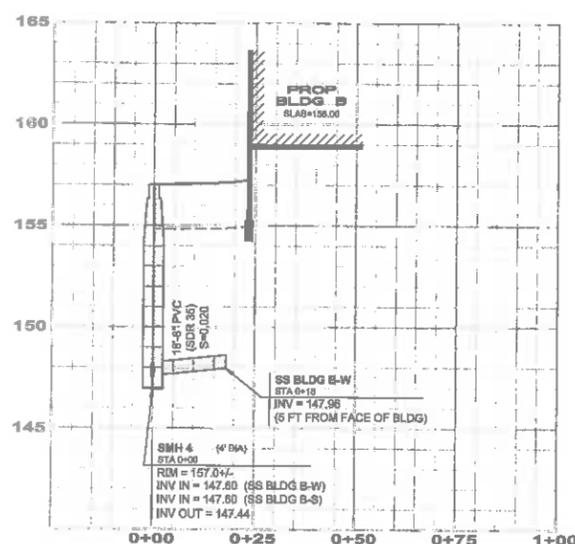
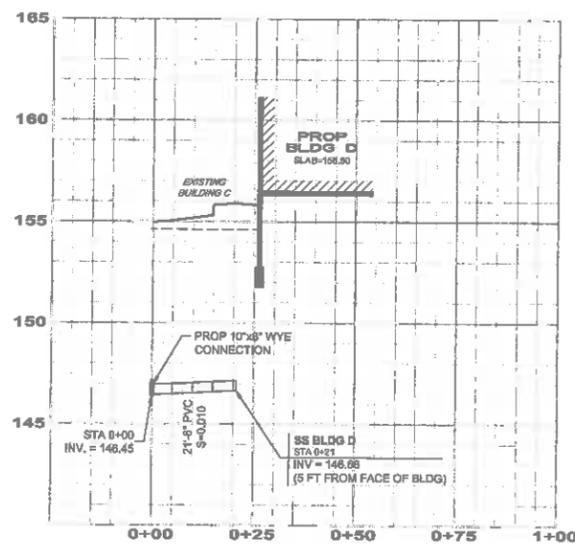
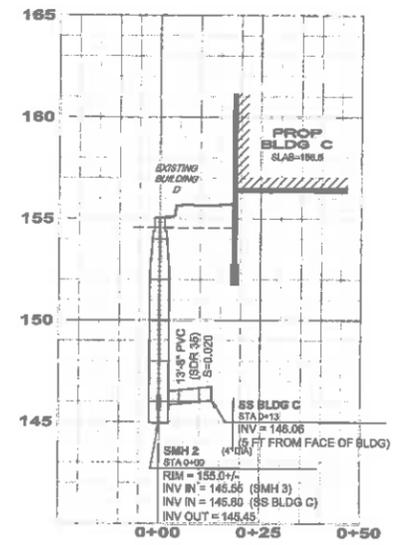
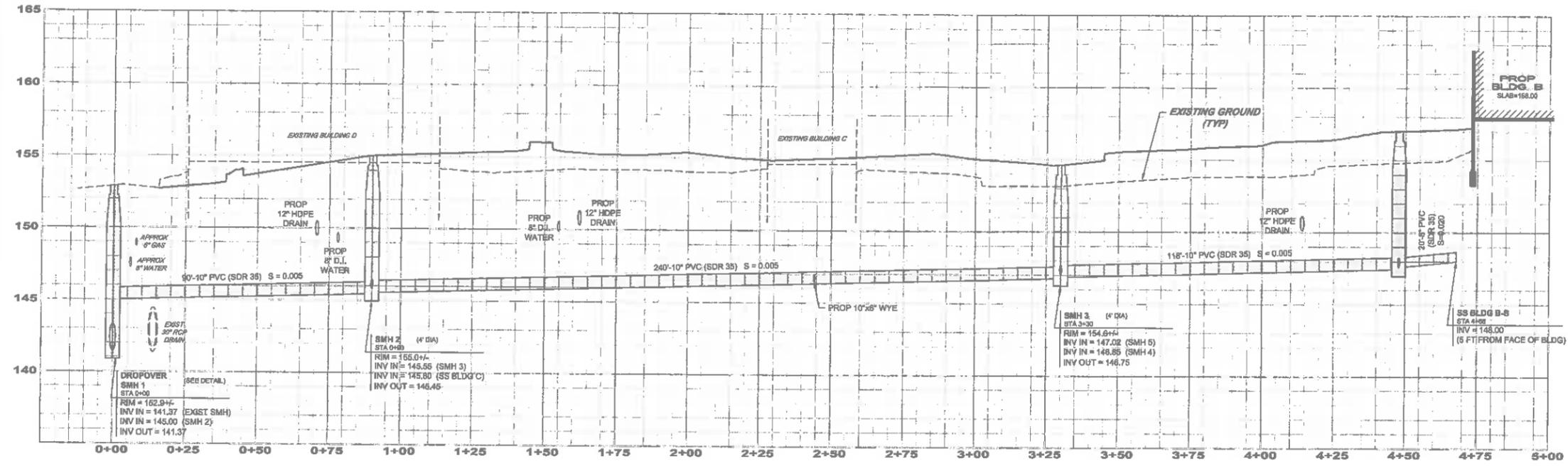


No.	DATE	REVISION	BY

EROSION CONTROL PLAN - PHASE II
(MAP 80, LOT 89)
BRONSTEIN REDEVELOPMENT
41 CENTRAL STREET
NASHUA, NEW HAMPSHIRE
PREPARED FOR:
BOSTON CAPITAL CORPORATION
ONE BOSTON PLACE, SUITE 2100 BOSTON, MA 02108 (617) 842-0800
RECORD OWNER:
Nashua Housing and Redevelopment Authority
40 EAST PEARL STREET NASHUA, NEW HAMPSHIRE 03080 (603) 883-5561
SCALE: 1"=40 Feet
1"=12.192 Meters
16 JUNE 2020

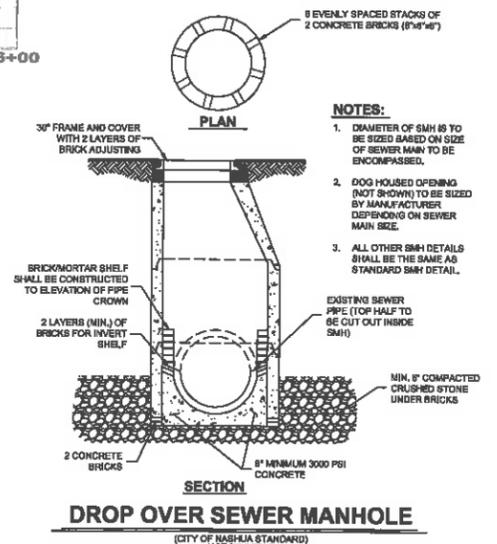


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NOTES

- STRUCTURE DIAMETERS AS SHOWN ON DRAINAGE PROFILES ARE CONSIDERED TO BE MINIMUM INSIDE DIMENSIONS. ALL STRUCTURES SHALL BE A MINIMUM INSIDE DIAMETER OF 48" UNLESS OTHERWISE INDICATED. LARGER STRUCTURES MAY BE NECESSARY DUE TO ALIGNMENT AND/OR PIPE SIZES. STRUCTURE MANUFACTURER SHALL DETERMINE FINAL SIZE.
- PIPE LENGTHS ARE MEASURED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.
- EXTERIOR FOUNDATION WALLS AND FOOTINGS AS SHOWN ARE APPROXIMATE.
- SEE PLUMBING PLANS FOR A DETAIL OF THE ROOF DRAIN PIPE/STORM DRAIN DROP CONNECTION.



No.	DATE	REVISION	BY

UTILITY PROFILES
(MAP 80, LOT 88)
BRONSTEIN REDEVELOPMENT
41 CENTRAL STREET
NASHUA, NEW HAMPSHIRE
PREPARED FOR:
BOSTON CAPITAL CORPORATION
ONE BOSTON PLACE, SUITE 2100 BOSTON, MA 02108 (617) 842-0800
RECORD OWNER:
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40 EAST PEARL STREET NASHUA, NEW HAMPSHIRE 03060 (603) 883-5661

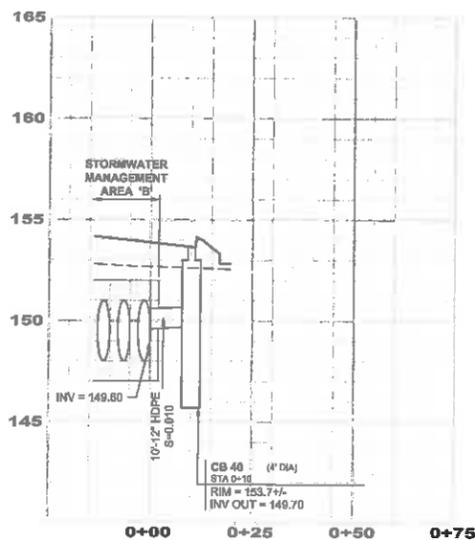
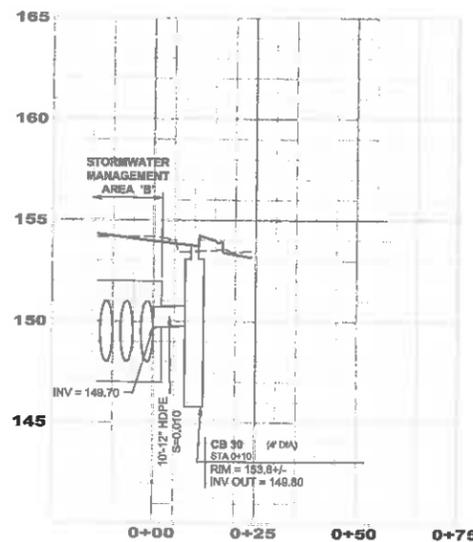
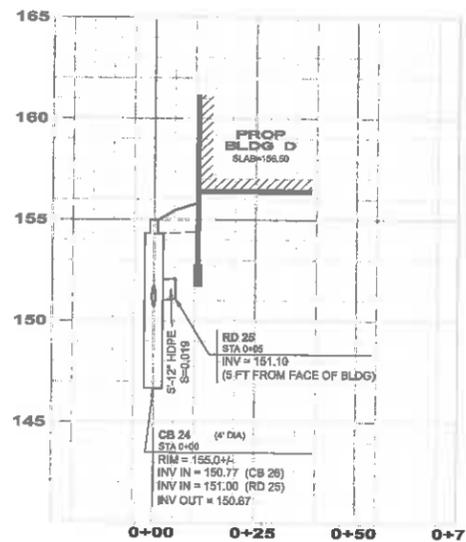
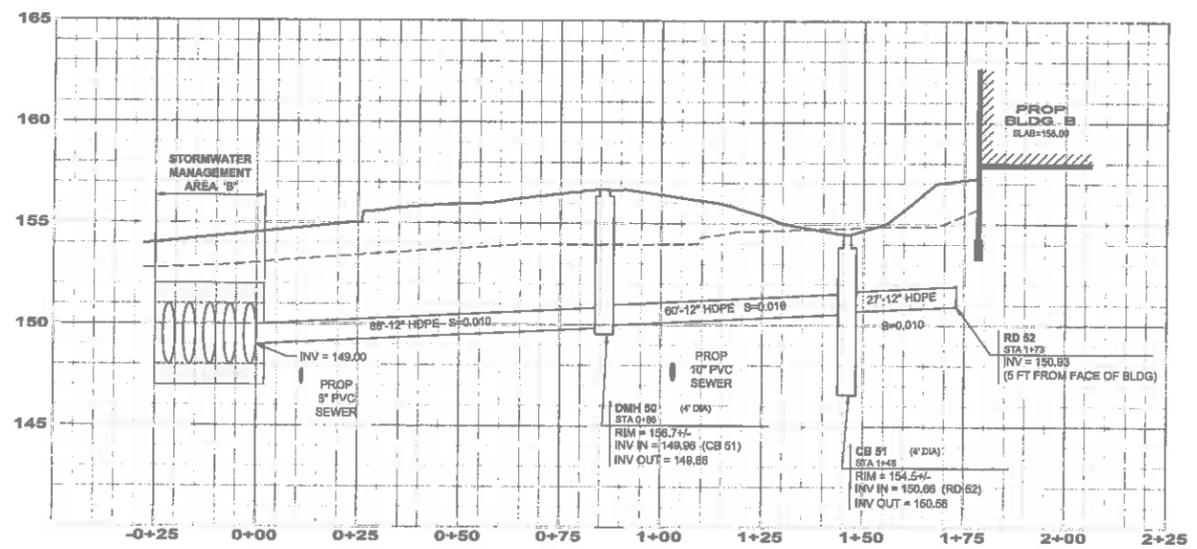
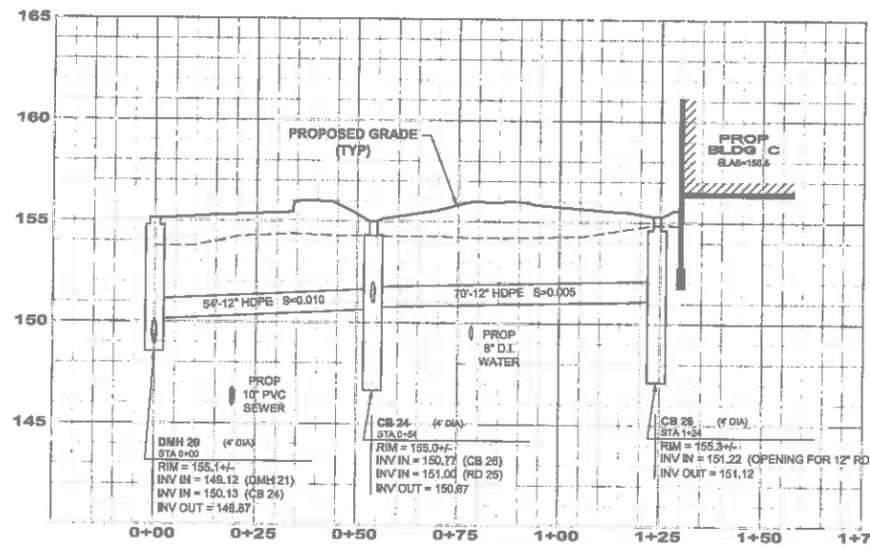
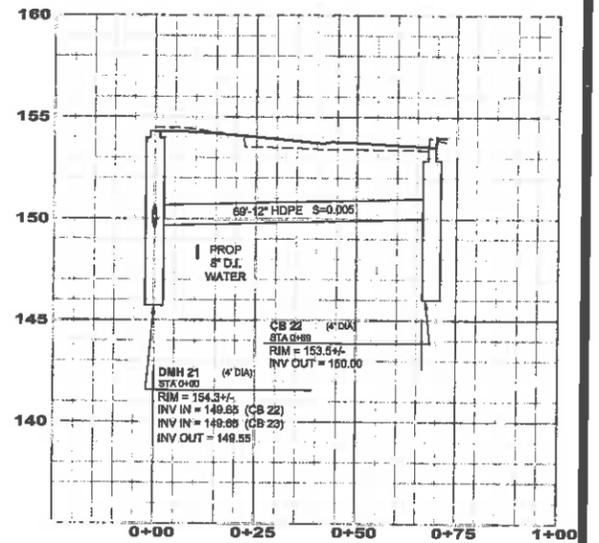
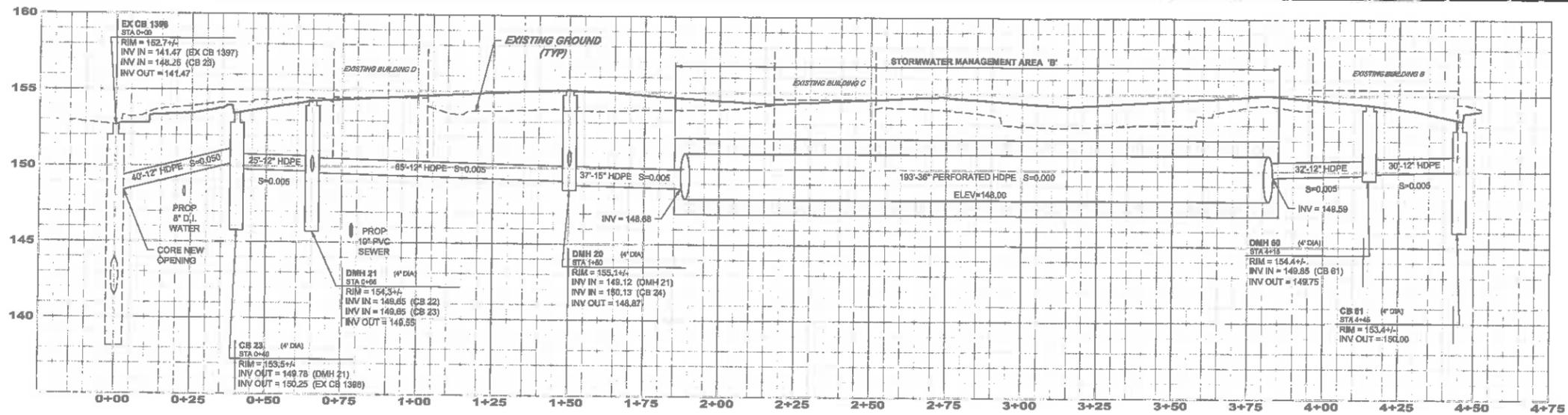
SCALE: HORIZ. 1" = 20 Feet
VERT. 1" = 4 Feet

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UTILITY PROFILES
(MAP 80, LOT 89)

BRONSTEIN REDEVELOPMENT
41 CENTRAL STREET
NASHUA, NEW HAMPSHIRE

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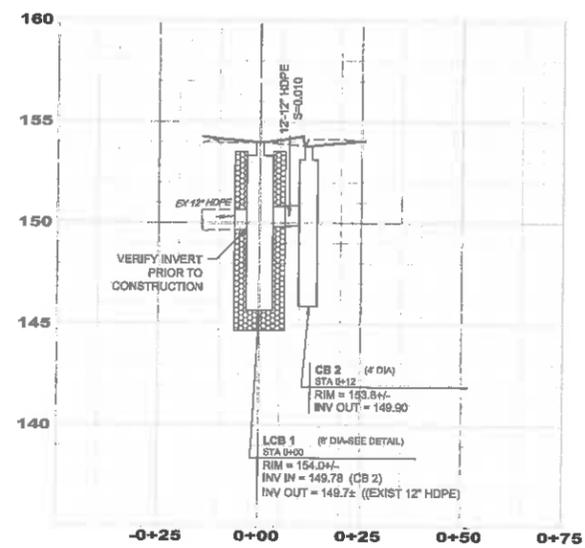
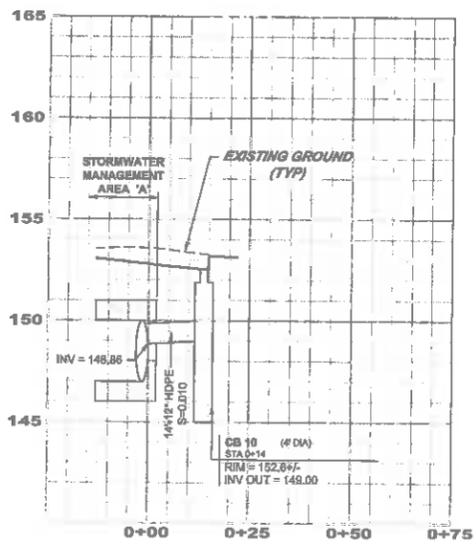
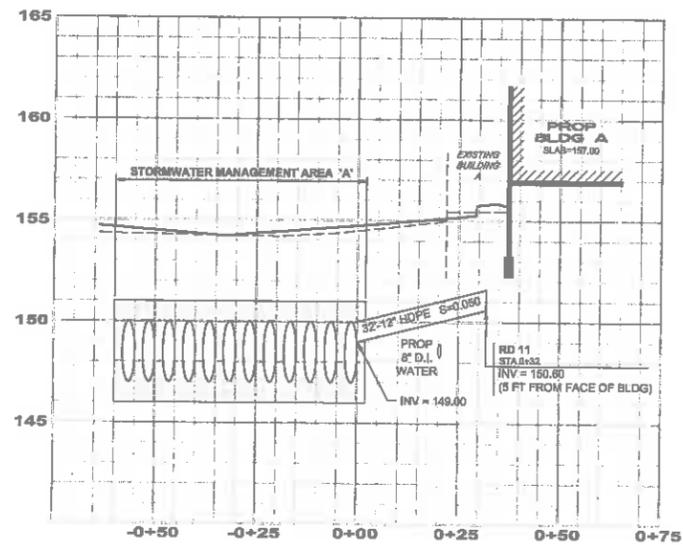
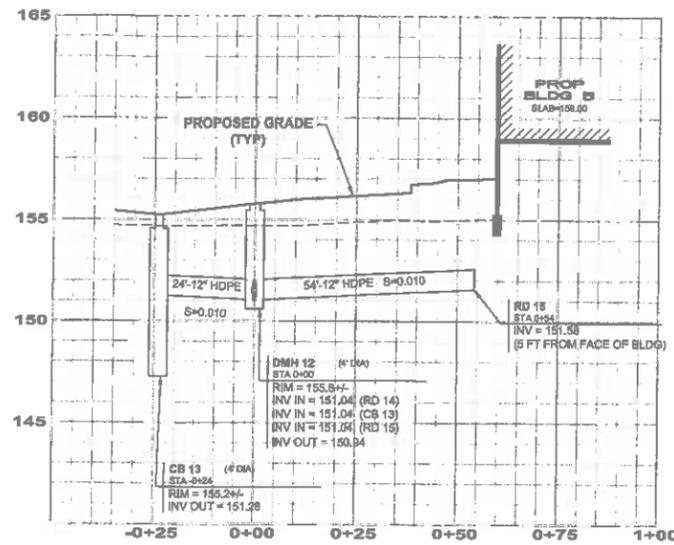
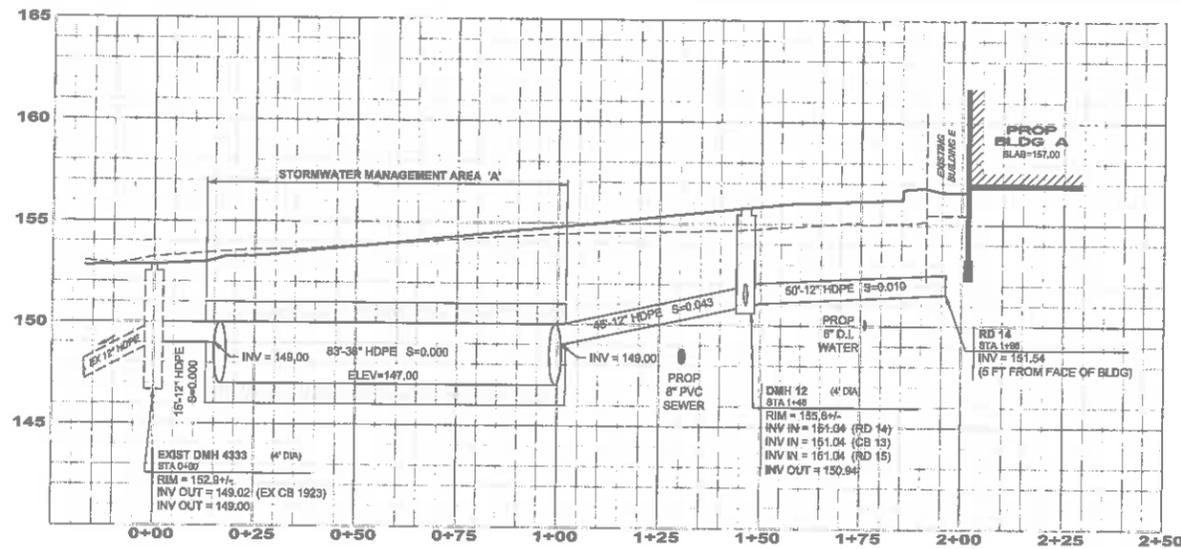
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SCALE: HORIZ. 1" = 20 Feet
VERT. 1" = 4 Feet

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DRAWING LOG: \\6000\5700\DWG\5700 SITE



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UTILITY PROFILES
(MAP 80, LOT 89)

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Nashua Housing and Redevelopment Authority
40 EAST PEARL STREET NASHUA, NEW HAMPSHIRE 03060 (603) 883-5661

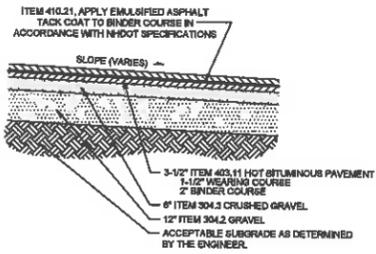
20 0 20 40 60 80 FEET
SCALE: HORIZ. 1" = 20 Feet
VERT. 1" = 4 Feet

16 JUNE 2020

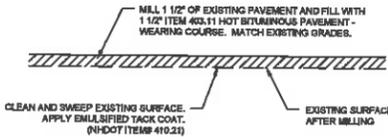
HESI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street
Nashua, NH 03062
(603) 883-2057
11 Middlesex Turnpike
Burlington, MA 01803
(781) 203-1901
www.haynerswanson.com

FIELD BOOK: 1245	DRAWING NAME: 5700SITE-PY21	5700	14 OF 23
DRAWING LOC: \\5000\5700\DWG\5700 SITE		File Number	Sheet

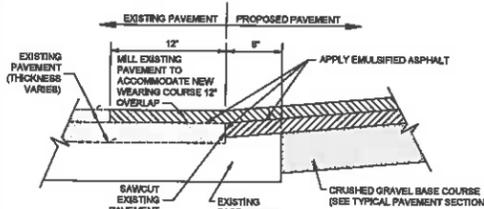




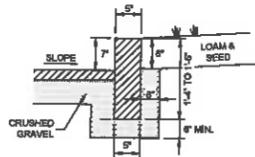
TYPICAL PAVEMENT SECTION
NOT TO SCALE



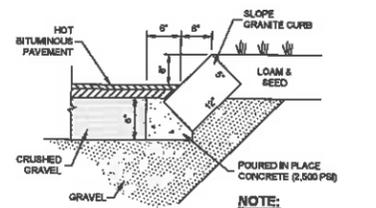
PAVEMENT MILL/OVERLAY DETAIL
NOT TO SCALE



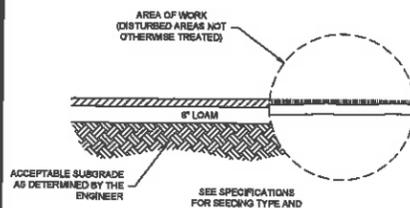
SAWCUT PAVEMENT DETAIL
NOT TO SCALE



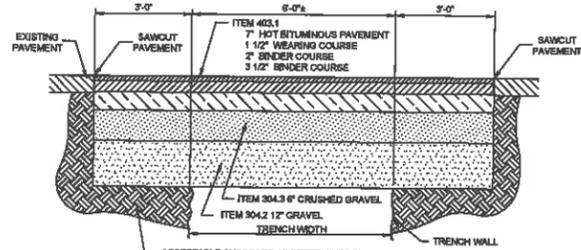
VERTICAL GRANITE CURB
NOT TO SCALE



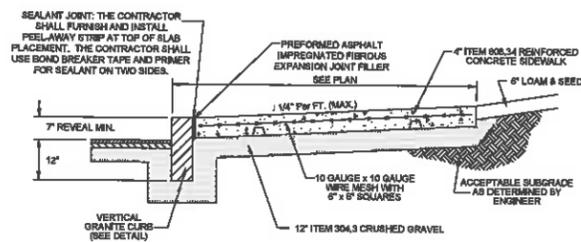
SLOPE GRANITE CURB DETAIL
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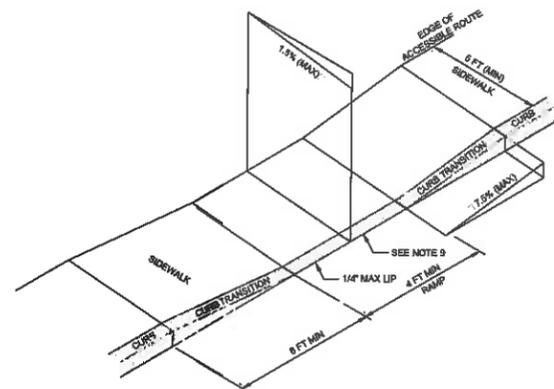
LOAM AND SEED DETAIL
NOT TO SCALE



TRENCH PATCH DETAIL
NOT TO SCALE

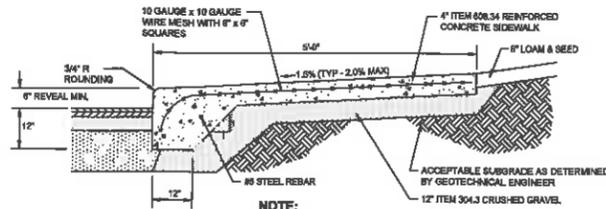


CONCRETE SIDEWALK AND VERTICAL GRANITE CURB DETAIL
NOT TO SCALE

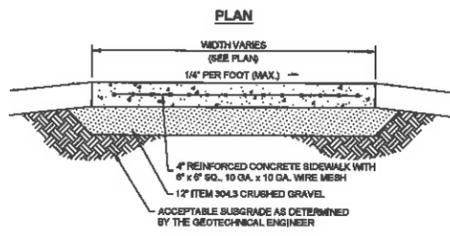
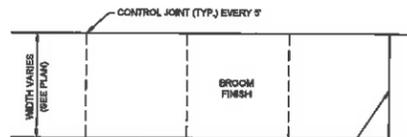


- NOTES:**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5% (1% MIN).
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMP SHALL BE 7.5%.
 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (E.G., HYDRANTS, UTILITY POLES, TREE WELLS, BOMS, ETC.)
 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5 FT IN WIDTH (EXCLUDING CURB) A 9 FT x 9 FT PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
 9. ELIMINATE ALL CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS PAVEMENT.

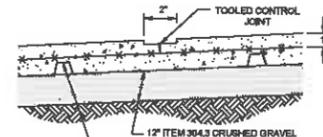
HANDICAP ACCESSIBLE CURB RAMP DETAIL
NOT TO SCALE



CONCRETE SIDEWALK AND CURB DETAIL
NOT TO SCALE

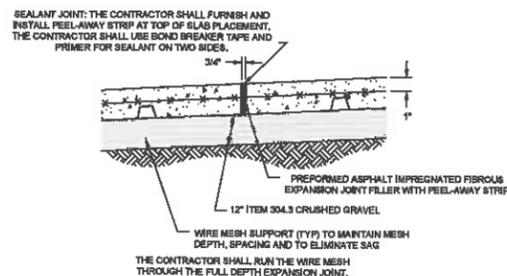


REINFORCED CONCRETE SIDEWALK DETAIL (PEDESTRIAN TRAFFIC ONLY)
NOT TO SCALE

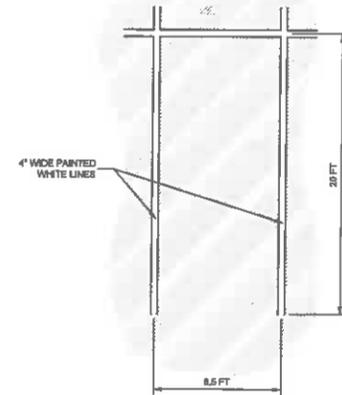


THE CONTRACTOR SHALL PROVIDE TOOLED CONTROL JOINTS @ 5'-0" O/C PROVIDE FULL DEPTH EXPANSION JOINT @ 20'-0" O/C AND AT ALL SIDEWALK INTERSECTIONS, T, L, IS AND CORNERS, DO NOT USE PRE-FORMED KEY COLD JOINTS. JOINTS SHALL ALSO LINE UP WITH BOTH SIDES OF T-SLAB INTERSECTIONS.

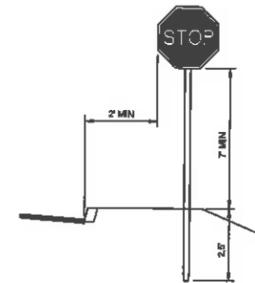
CONCRETE CONTROL JOINT DETAIL
NOT TO SCALE



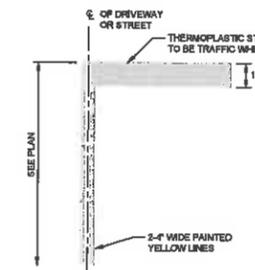
SIDEWALK EXPANSION JOINT DETAIL
NOT TO SCALE



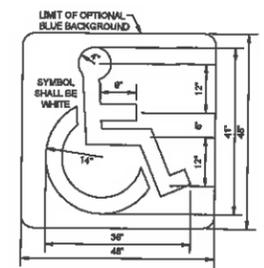
TYP. PARKING STALL DETAIL
NOT TO SCALE



STOP SIGN LOCATION DETAIL
NOT TO SCALE



STOP BAR DETAIL
NOT TO SCALE

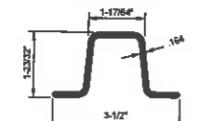


ACCESSIBLE PARKING SPACE PAVEMENT MARKING
NOT TO SCALE



SECTION P2-10, P2-11

LENGTH: P2-10, 10'-0"; P2-11, 11'-0"
WEIGHT PER LINEAR FOOT: 3.00 LBS
HOLES: 3/8" DIA. 1" O-C FULL LENGTH
STEEL: SHALL CONFORM TO ASTM A-688 (GRADE 60) OR ASTM A-575 (GRADE 105-100).
FINISH: SHALL BE PAINTED WITH TWO COATS OF BAKED ON OR AIR DRIED, PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING. PAINT SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT.



SECTION P-11 THRU P-16

LENGTH: P-11, 11'-0"; P-12, 12'-0"; P-13, 12'-0"; P-14, 14'-0"; P-15, 15'-0"
WEIGHT PER LINEAR FOOT: 3.00 LBS
STEEL: SAME AS FOR P2-10, P2-11
FINISH: SAME AS FOR P2-10, P2-11

DIMENSIONS SHOWN ARE NOMINAL. ALTERNATE SECTIONS MUST BE APPROVED PRIOR TO USE.

TRAFFIC SIGN SUPPORT DETAIL
NOT TO SCALE

No.	DATE	REVISION	BY

DETAIL SHEET - GENERAL SITE
(MAP 80, LOT 89)
BRONSTEIN REDEVELOPMENT
41 CENTRAL STREET
NASHUA, NEW HAMPSHIRE
PREPARED FOR:
BOSTON CAPITAL CORPORATION
ONE BOSTON PLACE, SUITE 2100 BOSTON, MA 02108 (617) 842-0800
RECORD OWNER:
Nashua Housing and Redevelopment Authority
40 EAST PEARL STREET NASHUA, NEW HAMPSHIRE 03060 (603) 883-5661

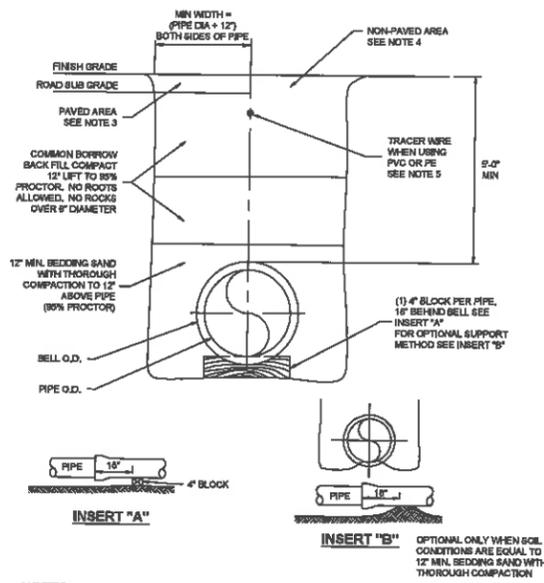
SCALE AS SHOWN

16 JUNE 2020

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Civil Engineers/Land Surveyors

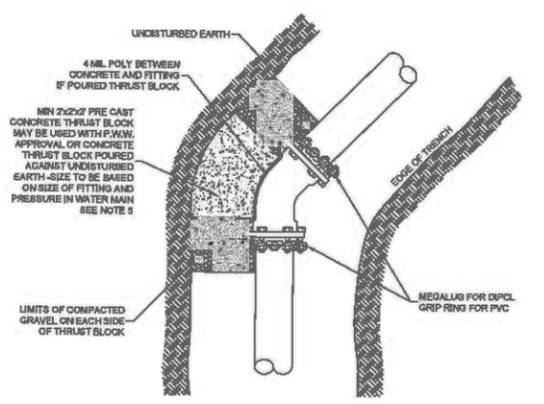
3 Congress Street
133 Middlesex Turnpike
Nashua, NH 03063
603-883-2057
www.haynerswanson.com





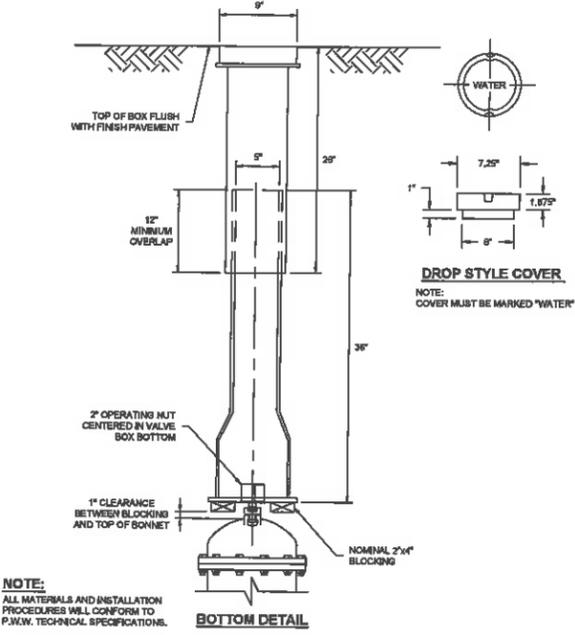
- NOTES:**
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO P.W.W. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.
 3. REQUIREMENTS FOR SUBBASE AND BASE MATERIAL TYPE ARE TO BE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING LOCAL JURISDICTION IN PAVED AREAS.
 4. REQUIREMENTS FOR GRAVEL, LOAM AND/OR SEED ARE TO BE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING LOCAL JURISDICTION IN UNPAVED AREAS.
 5. USE 10-GAUGE SOLID-CORE COATED BLUE TRACER WIRE PER P.W.W. TECHNICAL SPECIFICATIONS.

TYPICAL TRENCH DETAIL
NOT TO SCALE

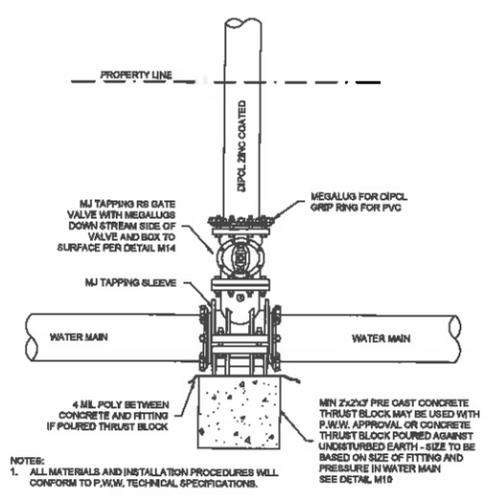


- NOTES:**
1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO P.W.W. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH 5'-0" FROM TOP OF PIPE TO FINISH GRADE.
 3. 3/4" S.S. RODS SHALL BE USED IN CONJUNCTION WITH REQUIRED S.S. NUTS. RODS ARE TO BE ATTACHED TO FITTINGS WITH EITHER 8 BAR BOLTS OR DUC LUGS.
 4. MIN 2x2x3 PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH P.W.W. APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN.
 5. VOID BETWEEN PRECAST THRUST BLOCK AND VIRGIN SOIL TO BE FILLED AND CHINED WITH STONE.

TYPICAL THRUST BLOCK BEHIND FITTINGS INSTALLATION
NOT TO SCALE

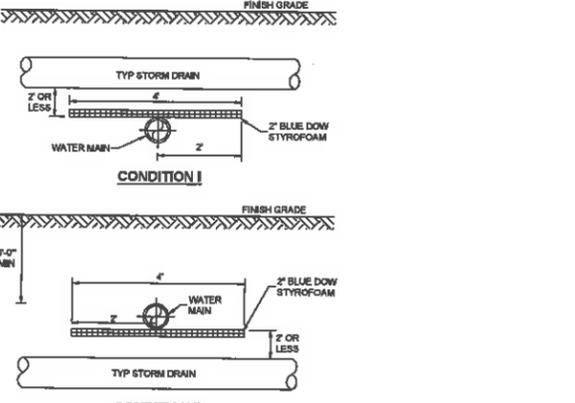


TYPICAL VALVE BOX DETAIL
NOT TO SCALE



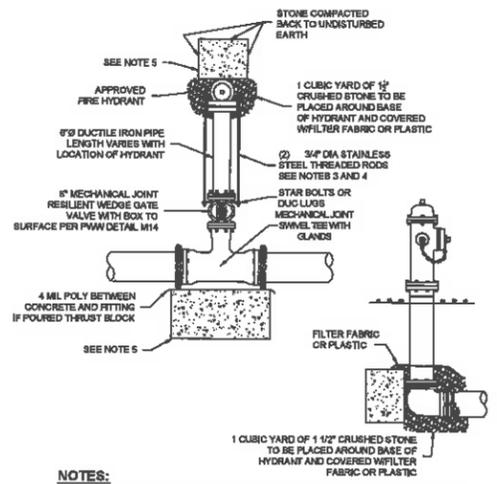
TYPICAL TAPPING SLEEVE DETAIL
NOT TO SCALE

DETAILS SHOWN SUPPLIED BY PENN-LOCK WATER WORKS, INC.



- NOTES:**
1. PENN-LOCK WATER WORKS, INC. RESERVES THE RIGHT TO MODIFY INSULATION REQUIREMENTS AS NECESSARY BASED ON FIELD CONDITIONS, ETC.
 2. THE LENGTH OR WIDTH OF INSULATION SHALL EXTEND 1' STORM DRAIN PIPE DIAMETER BEYOND THE EDGE OF STORM DRAIN PIPE IN EACH DIRECTION OR A MINIMUM OF 2' BEYOND THE CENTERLINE OF THE STORM DRAIN PIPE, WHICHEVER IS GREATER.
 3. ALL JOINT SEAMS TO BE OVERLAPPED WITH A 1'-0" PIECE OF INSULATION CENTERED OVER SEAM.

STORM DRAIN - WATER MAIN INTERSECTION RUNS - ELEV. VIEW
NOT TO SCALE



- NOTES:**
1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO P.W.W. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 3. 3/4" S.S. RODS SHALL BE USED IN CONJUNCTION WITH REQUIRED S.S. NUTS. RODS ARE TO BE ATTACHED TO FITTINGS WITH EITHER STAR BOLTS OR DUC LUGS. 1/2" FITTING OR SMALLER = (2) 3/4" S.S. RODS & ASSOC. HARDWARE. 1" FITTING OR LARGER = (4) 3/4" S.S. RODS & ASSOC. HARDWARE.
 4. WHEN DISTANCE FROM WATER MAIN TO HYDRANT IS MORE THAN 10' SUBSTITUTE MEGALLUS (OR GRIP RINGS) IN LIEU OF THREADED RODS.
 5. MIN 2x2x3 PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH P.W.W. APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN. SEE P.W.W. DETAIL M10.

TYPICAL HYDRANT INSTALLATION
NOT TO SCALE



No.	DATE	REVISION	BY

DETAIL SHEET - WATER
(MAP 80, LOT 89)

BRONSTEIN REDEVELOPMENT
41 CENTRAL STREET
NASHUA, NEW HAMPSHIRE

PREPARED FOR:
BOSTON CAPITAL CORPORATION
ONE BOSTON PLACE, SUITE 2100 BOSTON, MA 02108 (617) 842-0600

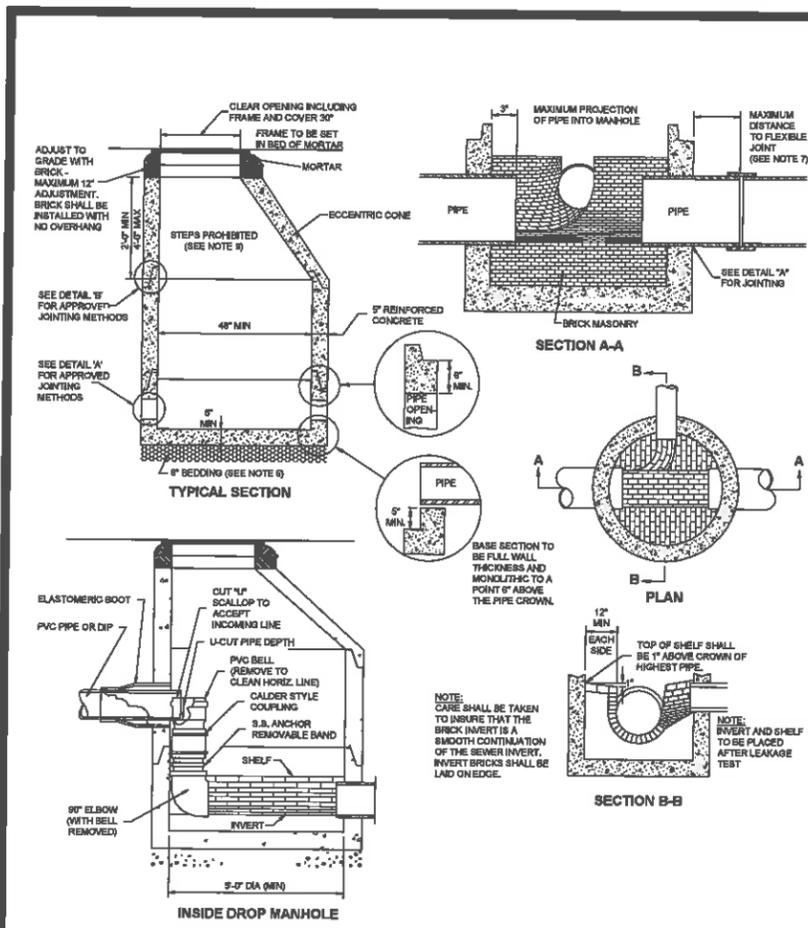
RECORD OWNER:
Nashua Housing and Redevelopment Authority
40 EAST PEARL STREET NASHUA, NEW HAMPSHIRE 03060 (603) 883-5661

SCALE AS SHOWN

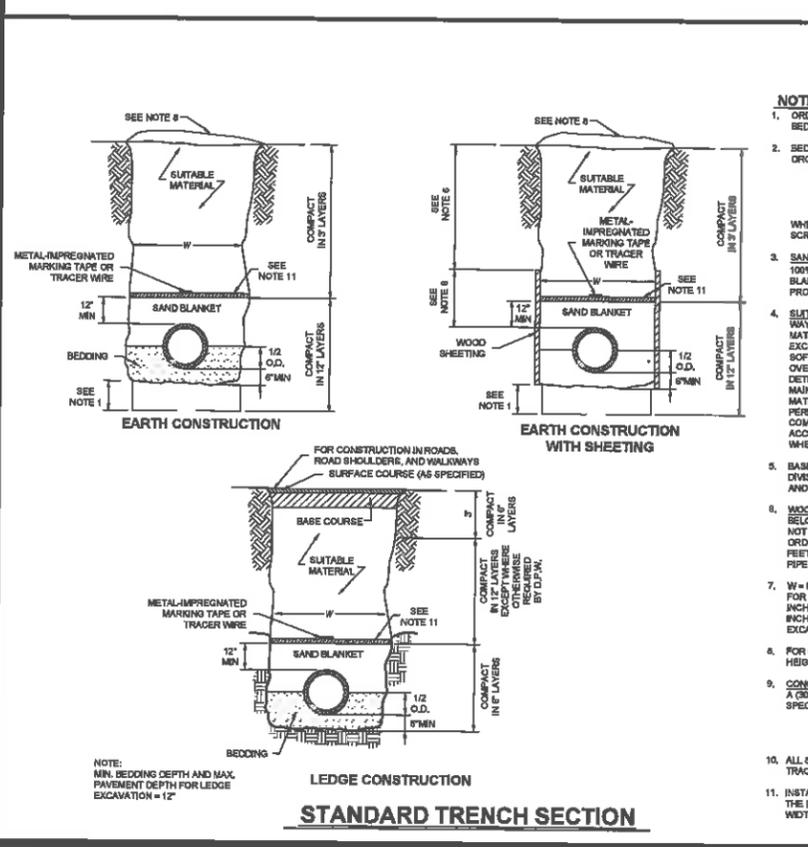
16 JUNE 2020

HESI Haynes/Swanson, Inc.
Civil Engineers/Land Surveyors
133 Middlesex Turnpike
Nashua, NH 03062
(603) 883-2097
www.haynes-swanson.com

FIELD BOOK: 1243 DRAWING NAME: 57008TE-DET1 5700 17 OF 23
DRAWING LOC: \\S0001\5700\DWG\5700 SITE PLO 8/20/20



STANDARD MANHOLE - PART A



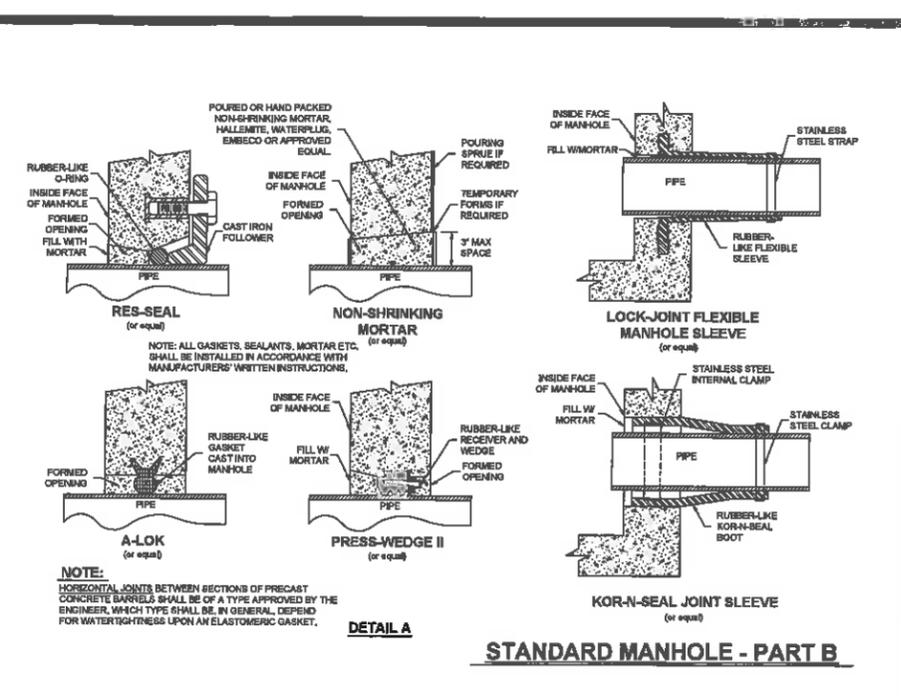
STANDARD TRENCH SECTION

NOTES:

- IT IS INTENDED THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE. SPACE REQUIREMENTS AND CONSIDERATIONS SHALL BE AS SHOWN ON THE DRAWING. MANHOLES MAY BE AN ASSEMBLY OF PRECAST SECTIONS, WITH STEEL REINFORCEMENT, WITH ADEQUATE JOINTING, OR CONCRETE CAST MONOLITHICALLY IN PLACE WITH REINFORCEMENT. IN ANY APPROVED DESIGN, THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (6-20 LOADS) WITHOUT FAILURE AND PREVENT IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE, CONTINUOUSLY FOR THE LIFE OF THE STRUCTURE A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.
- BARRELS AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE, OR POURED IN PLACE REINFORCED CONCRETE.
- PRECAST CONCRETE BARREL SECTIONS, CONES AND BARS SHALL CONFORM TO ASTM C-478.
- INVERTS AND SHELVE MANHOLES SHALL HAVE A BRICK PAVED OR PRECAST CONCRETE SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF THE PIPE AND FLOW. AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVE SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE. GROUND AND SLOPE TO DRAIN TOWARD THE FLOW THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY OR PRECAST CONCRETE.
- FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH CLEAR OPENING. A 3 INCH (MINIMUM HEIGHT) LETTER "S" FOR SEWER OR "D" FOR DRAIN SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
- BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33 SIZE # 87
 100% PASSING 1 INCH SCREEN
 95-100% PASSING 3/4 INCH SCREEN
 20-50% PASSING 3/8 INCH SCREEN
 0-10% PASSING #4 SIEVE
 0-5% PASSING #8 SIEVE
 WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE, SCREENED GRAVEL OR CRUSHED STONE 1-1/2 TO 1/2 INCH SHALL BE USED.
- FLEXIBLE JOINT A FLEXIBLE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES: RCP & CI PIPE (ALL SIZES): 40'
- SHALLOW MANHOLE IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED. IT MUST HAVE AN ECCENTRIC ENTRANCE OPENING AND BE CAPABLE OF SUPPORTING H-20 LOADING.
- MANHOLE STEPS ARE PROHIBITED.
- HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF AN OVERLAP TYPE, SEALED FOR WATER-TIGHTNESS USING A DOUBLE ROW OF AN ELASTOMERIC OR MASTIC-LIKE SEALANTS.
- PIPE TO MANHOLE JOINTS SHALL BE ONLY AS APPROVED BY THE ENGINEER AND IN GENERAL, WILL DEPEND FOR WATER-TIGHTNESS UPON EITHER AN APPROVED NON-SHRINKING MORTAR OR ELASTOMERIC SEALANT.
- SEPARATE CONSTRUCTION SPECIFICATIONS ARE ATTACHED OR INCLUDED IN THE CONTRACT DOCUMENTS. THESE STANDARD MANHOLE DRAWINGS ARE NOT COMPLETE WITHOUT THESE SPECIFICATIONS.

NOTES:

- ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE, REFILL WITH BEDDING MATERIAL. (SEE ALSO NOTE 7)
- BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33. STONE SIZE SET
 100% PASSING 1 INCH SCREEN
 95-100% PASSING 3/4 INCH SCREEN
 20-50% PASSING 3/8 INCH SCREEN
 0-10% PASSING #4 SIEVE
 0-5% PASSING #8 SIEVE
 WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, GRADED SCREENED GRAVEL OR CRUSHED STONE 1/2 TO 1-1/2 INCH SHALL BE USED.
- SAND BLANKET CLEAN SAND, FREE FROM ORGANIC MATTER, SO GRADED THAT 100% W/ PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 12% WILL PASS A #200 SIEVE. BLANKET MAY BE OMITTED FOR DUCTILE IRON AND REINFORCED CONCRETE PIPE PROVIDED THAT NO STONE LARGER THAN 1/2" IS IN CONTACT WITH THE PIPE.
- SUITABLE MATERIAL, IN ROADS, ROAD SHOULDERS, WALK WAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOPSOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES. IN LARGEST DIMENSION OR ANY MATERIAL WHICH AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED IN CROSS COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOPSOIL, LOAM, MUCK OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE SEWER FOR MAINTENANCE (AND POSSIBLY RECONSTRUCTION, WHEN NECESSARY) WILL BE PRESERVED.
- BASE COURSE IF ORDERED BY THE ENGINEER SHALL MEET THE REQUIREMENTS OF DIVISION 305 OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE N.H. DEPT. OF TRANSPORTATION.
- WOOD SHEETING, IF REQUIRED, IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER. IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE. WHERE THE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISH GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
- W = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 18 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 18 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D. W SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
- FOR CROSS COUNTRY CONSTRUCTION, BACKFILL OR FILL SHALL BE MOUND TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- CONCRETE FOR ENCASEMENT SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A GROUP CONCRETE OF THE N.H. DEPT. OF TRANSPORTATION STANDARD SPECIFICATIONS AS FOLLOWS:
 CEMENT: 8.5 BAGS PER CUBIC YARD
 WATER: 5.75 GALLONS PER BAG OF CEMENT
 MAXIMUM AGGREGATE SIZE: 1 INCH
- ALL SEWERS SHALL BE MARKED USING METAL-IMPREGNATED MARKING TAPE OR TRACER WIRE THAT CAN BE LOCATED USING METAL DETECTION EQUIPMENT.
- INSTALL 2" RIGID INSULATION IF LESS THAN 6 FEET OF COVER OR WHERE SHOWN ON THE INSULATION SHALL BE INSTALLED ABOVE THE SAND BLANKET AND EXTEND THE WIDTH OF THE TRENCH



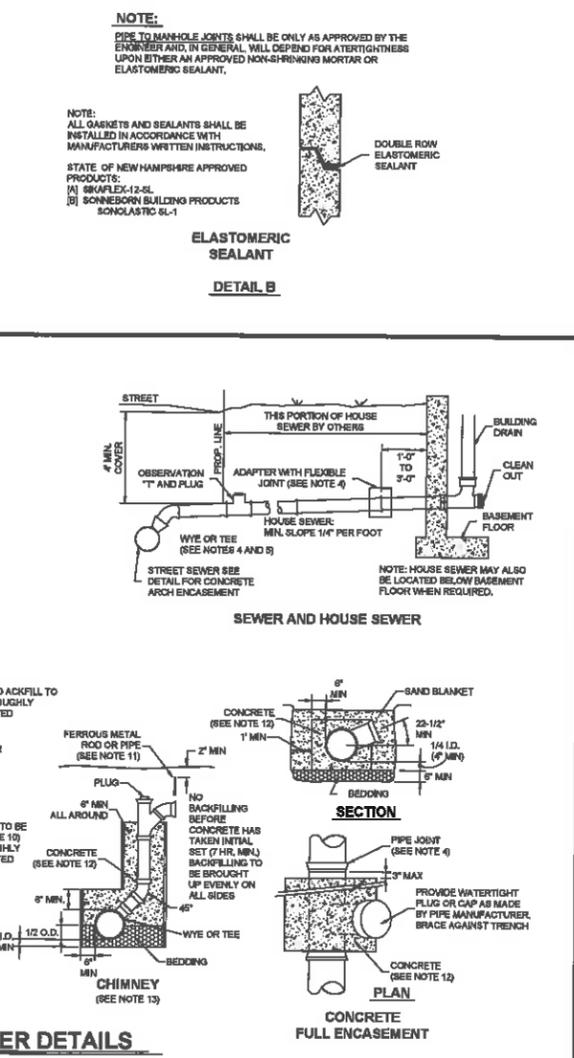
STANDARD MANHOLE - PART B

NOTES:

- MINIMUM SIZE PIPE FOR HOUSE SERVICE SHALL BE 6 INCHES.
- PIPE AND JOINT MATERIALS
 A. PLASTIC SEWER PIPE
 1. PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:

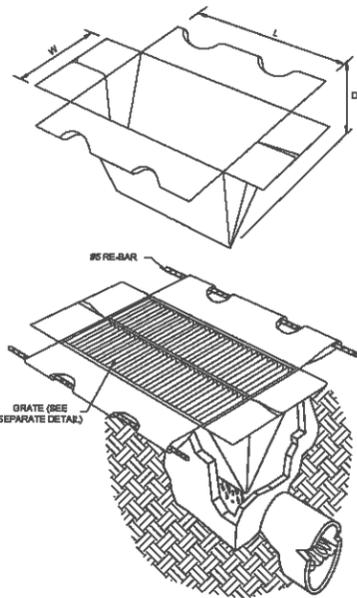
STANDARDS	MATERIAL	APPROVED SIZES
D3034	PVC (SOLID WALL)	1" THROUGH 15" (SDR 35)
F878	PVC (SOLID WALL)	18" THROUGH 27" (T-1 & T-2)
F789	PVC (SOLID WALL)	4" THROUGH 18" (T-1 & T-3)
F741	PVC (RIBBED WALL)	4" THROUGH 30"
D2680	ABS (COMPOSITE WALL)	4" THROUGH 30"
"PVC"	POLY VINYL CHLORIDE	4" THROUGH 15"
"ABS"	ACRYLONITRILE-BUTADIENE-STYRENE	

 2. JOINT SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-9212 AND SHALL BE PUSH-ON BELL AND SPIGOT TYPE. ABS TRUSS PIPE AND FITTINGS SHALL CONFORM TO ASTM D-2689. PLUG SET COMPOUNDED SHALL BE TO ASTM D-788 (CLASS 52). JOINTS FOR ABS TRUSS PIPE SHALL BE CHEMICAL WELDED COUPLINGS TYPE SC IN ACCORDANCE WITH ASTM D-2689, FORMING A CHEMICAL WELDED JOINT.
- DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE:
 A21.50 THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-536 DUCTILE IRON CASTINGS.
 A21.51 DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL MOLDS OR SAND-LINED MOLDS FOR WATER OR OTHER LIQUIDS.
- JOINTS SHALL BE OF THE MECHANICAL OR PUSH-ON TYPE. JOINTS AND GASKETS SHALL CONFORM TO:
 A21.11 RUBBER GASKETS JOINTS FOR CAST IRON PRESSURE PIPE AND FITTINGS.
- DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
- JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER-TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER "Y" OR AT THE FOUNDATION WALL, APPROPRIATE CAUTIONS SHALL BE USED.
- "T" AND "Y" WHERE A "T" OR "Y" IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE IN THE SEWER, FOLLOWING MANUFACTURERS INSTRUCTIONS (USING A BOLTED, CLAMPED OR EPOXY CEMENTED SADDLE TAPPED INTO A SMOOTHLY DRILLED OR SAWN OPENING. THE PRACTICE OF BREAKING AN OPENING WITH A SLEDGE HAMMER, STUFFING CLOTH OR OTHER SUCH MATERIAL AROUND THE JOINT, OR APPLYING MORTAR TO HOLD THE CONNECTION AND ANY OTHER SIMILAR CRUDE PRACTICES OR INEPT OR HASTY IMPROVISATIONS WILL NOT BE PERMITTED. THE CONNECTION SHALL BE CONCRETE ENCASED, AS SHOWN IN THE DETAIL, UP TO AND INCLUDING 15" DIAMETER.
- HOUSE SEWER INSTALLATION THE PIPE SHALL BE HANDLED, PLACED AND JOINTED IN ACCORDANCE WITH INSTALLATION GUIDES OF THE APPROPRIATE MANUFACTURER. IT SHALL BE CAREFULLY BEDDED ON A 4 INCH LAYER OF CRUSHED STONE AND GRAVEL, AS SPECIFIED IN NOTE 10, BEDDING AND RE-FILL FOR A DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE SHALL BE CAREFULLY AND THOROUGHLY TAMPED BY HAND OR WITH APPROPRIATE MECHANICAL DEVICES. THE PIPE SHALL BE LAID AT A CONTINUOUS AND CONSTANT GRADE FROM THE STREET SEWER CONNECTION TO THE HOUSE FOUNDATION AT A GRADE OF NOT LESS THAN 1/4 INCH PER FOOT. PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO Dewater THE TRENCH.
- TESTING THE COMPLETED HOUSE SEWER SHALL BE SUBJECTED TO A LEAKAGE TEST IN ANY OF THE FOLLOWING MANNERS (PRIOR TO BACKFILLING):
 A. AN OBSERVATION "T" SHALL BE INSTALLED AS SHOWN. WHEN READY TESTING, AN INFLATABLE BLADDER OR PLUG SHALL BE INSERTED JUST UPSTREAM FROM THE OPENING IN THE "T". AFTER INFLATION, WATER SHALL BE INTRODUCED INTO THE SYSTEM ABOVE THE PLUG TO A HEIGHT OF 6 FEET ABOVE THE LEVEL OF THE PLUG.
 B. THE PIPE SHALL BE LEFT EXPOSED AND LIBERALLY HOSED WITH WATER TO SIMULATE, AS NEARLY AS POSSIBLE, WET TRENCH CONDITIONS. IF THE TRENCH IS WET, THE GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. INSPECTIONS FOR LEAKS SHALL BE MADE THROUGH THE CLEANOUT WITH A FLASHLIGHT.
 C. DRY FLUORESCENT DYE SHALL BE SPRINKLED INTO THE TRENCH OVER THE PIPE. IF THE TRENCH IS WET, THE PIPE SHALL BE LIBERALLY HOSED WITH WATER. IF THE TRENCH IS WET, GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. OBSERVATION OR LEAKS SHALL BE MADE IN THE FIRST MANHOLE DOWNSTREAM. LEAKAGE OBSERVED IN ANY OF THE ABOVE, ALTERNATE TESTS SHALL BE CAUSE FOR NON-ACCEPTANCE AND THE PIPE SHALL BE DUG UP, IF NECESSARY, AND RELAID SO AS TO ASSURE WATER-TIGHTNESS.
- ILLEGAL CONNECTIONS THAT NOT ONLY BUT SANITARY WASTE FLOW FROM THE HOUSE TOILETS, SINKS, LAUNDRY ETC. SHALL BE PERMITTED. ROOF LEADERS, FOOTING DRAINS, GUMP PIPES OR ANY OTHER SIMILAR CONNECTION CARRYING RAIN WATER, DRAINAGE OR GROUND WATER SHALL NOT BE PERMITTED.
- HOUSE WATER SERVICE SHALL NOT BE LAID IN THE SAME TRENCH AS THE SEWER SERVICE.
- BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATERIAL AND MEETING ASTM C33-87.
 100% PASSING 1 INCH SCREEN
 95-100% PASSING 3/4 INCH SCREEN
 20-50% PASSING 3/8 INCH SCREEN
 0-10% PASSING #4 SIEVE
 0-5% PASSING #8 SIEVE
 WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, SCREENED GRAVEL OR CRUSHED STONE (1-1/2 TO 1/2 INCH) SHALL BE USED.
- LOCATION OF THE LOCATION OF THE "T" OR "Y" SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERROUS METAL ROD OR PIPE SHALL BE PLACED OVER THE "T" OR "Y", AS DESCRIBED IN THE TYPICAL "CHIMNEY" DETAIL, TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPEFINDER.
- CONCRETE: CONCRETE SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3000 PSI) CONCRETE OF THE N.H. DEPT. OF TRANSPORTATION STANDARD SPECIFICATIONS AS FOLLOWS:
 CEMENT: 8.5 BAGS PER CUBIC YARD
 WATER: 5.75 GALS./BAG CEMENT
 AGGREGATE: 1 INCH MAX.
- CHIMNEYS IF VERTICAL DROP INTO THE SEWER IS GREATER THAN 4 FEET, A CHIMNEY SHALL BE CONSTRUCTED FOR THE HOUSE CONNECTION. CHIMNEY INSTALLATION AS RECOMMENDED BY THE PIPE MANUFACTURER MAY BE USED IF APPROVED BY THE ENGINEER.



HOUSE SEWER DETAILS

DETAIL SHEET - SEWER
(MAP 80, LOT 89)
BRONSTEIN REDEVELOPMENT
41 CENTRAL STREET
NASHUA, NEW HAMPSHIRE
PREPARED FOR:
BOSTON CAPITAL CORPORATION
ONE BOSTON PLACE, SUITE 2100 BOSTON, MA 02108 (617) 542-0800
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40 EAST PEARL STREET NASHUA, NEW HAMPSHIRE 03060 (603) 883-5661
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16 JUNE 2020
HSI Hayner/Swanson, Inc.
Civil Engineer/Land Surveyor
3 Congress Street
Nashua, NH 03062
(603) 883-2057
www.hsiinc.com
RELD BOOK: 1245 DRAWING NAME: 8700STE-DET1 5700 18 OF 23
DRAWING LOC.: \6000\6700\DWG\5700 SITE



SILTSAK® NOTES:

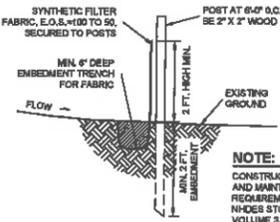
- THE SILTSAK® SHALL BE MANUFACTURED FROM WOVEN POLYPROPYLENE AND BERRY BY A DOUBLE NEEDLE MACHINE, USING A HIGH STRENGTH NYLON THREAD.
- THE SILTSAK® SEAMS SHALL HAVE A CERTIFIED AVERAGE WIDE WIDTH STRENGTH PER ASTM D-4854 STANDARDS AS FOLLOWS:

SILTSAK® STYLE	TEST METHOD	TEST RESULT
REGULAR FLOW	ASTM D-4854	185.0 LBS/W
H-FLOW	ASTM D-4854	114.6 LBS/W
- THE SILTSAK® WILL BE MANUFACTURED TO FIT THE OPENING OF THE CATCH BASIN OR DROP INLET. THE SILTSAK® WILL HAVE THE FOLLOWING FEATURES: TWO DURABLE STRAPS ATTACHED AT THE BOTTOM TO FACILITATE THE EMPTYING OF THE SILTSAK®. THE SILTSAK® SHALL HAVE LIFTING LOOPS AS AN INTEGRAL PART OF THE SYSTEM TO BE USED TO LIFT THE SILTSAK® FROM THE BASIN. THE SILTSAK® SHALL HAVE A RESTRAINT CORD APPROXIMATELY THE HALFWAY UP THE BACK TO KEEP THE SIDES AWAY FROM THE CATCH BASIN WALLS. THIS YELLOW CORD IS ALSO A VISIBLE MEANS OF INDICATING WHEN THE BACK SHOULD BE EMPTIED, CLEANED, AND PLACED BACK INTO THE BASIN.
- THE GEOTEXTILE FABRIC SHALL BE WOVEN POLYPROPYLENE FABRIC WITH THE FOLLOWING PROPERTIES:

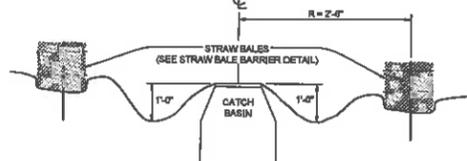
PROPERTY	TEST METHOD	TEST RESULT
GRAB TENSILE	ASTM D-4852	300 LBS
GRAB ELONGATION	ASTM D-4851	20%
PUNCTURE	ASTM D-4853	120 LBS
MULLEN BURST	ASTM D-3798	800 PSF
TRAPEZOID TEAR	ASTM D-4853	126 LBS
UV RESISTANCE	ASTM D-4355	80%
APPARENT OPENING	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/FT ²
PERMITTIVITY	ASTM D-4491	0.55 SEC

PROPERTY	TEST METHOD	TEST RESULT
GRAB TENSILE	ASTM D-4852	285 LBS
GRAB ELONGATION	ASTM D-4851	20%
PUNCTURE	ASTM D-4853	133 LBS
MULLEN BURST	ASTM D-3798	426 PSF
TRAPEZOID TEAR	ASTM D-4853	45 LBS
UV RESISTANCE	ASTM D-4355	90%
APPARENT OPENING	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/FT ²
PERMITTIVITY	ASTM D-4491	1.5 SEC

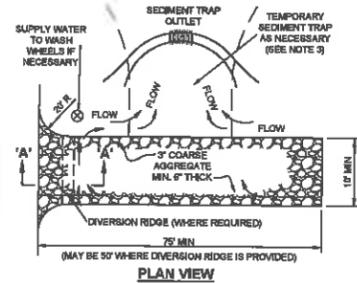
SILTSAK® DETAIL
NOT TO SCALE



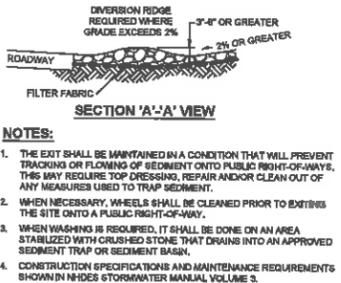
SILT FENCE DETAIL
NOT TO SCALE



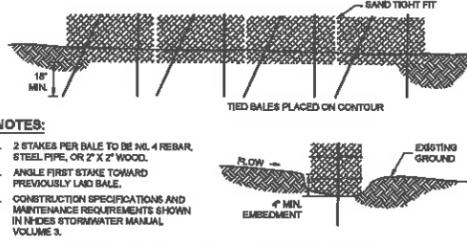
SEDIMENTATION CONTROL AT CATCH BASINS
NOT TO SCALE



TEMPORARY GRAVEL CONSTRUCTION EXIT
NOT TO SCALE



- NOTES:**
- THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN-OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO EXITING THE SITE ONTO A PUBLIC RIGHT-OF-WAY.
 - WHEN NECESSARY, TOP DRESSING SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
 - CONSTRUCTION SPECIFICATIONS AND MAINTENANCE REQUIREMENTS SHOWN IN NHDES STORMWATER MANUAL, VOLUME 3.



STRAW BALE BARRIER DETAIL
NOT TO SCALE

- NOTES:**
- 2 STAKES PER BALE TO BE #4 REBAR, STEEL PIPE, OR 2\"/>

GENERAL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS THEREOF IN NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES STORMWATER MANUAL, VOLUME 1, LATEST EDITION.
- THE WORK AREA SHALL BE GRADED, SHAPED, AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE THE LIMITS OF THE WORK AREA. SILT FENCES, STRAW BALES AND/OR DETENTION BASINS WILL BE NECESSARY TO ACCOMPLISH THIS END.
- STRIPPED TOPSOIL SHALL BE STOCKPILED, WITHOUT COMPACTION, AND STABILIZED AGAINST EROSION IN ACCORDANCE WITH 'TEMPORARY STABILIZATION OF DISTURBED AREAS', AS OUTLINED IN NOTE # 4.
- TEMPORARY STABILIZATION OF DISTURBED AREAS:

SEED BED PREPARATION: 10-15-10 FERTILIZATION TO BE APPLIED AT THE RATE OF 7 LBS PER 1,000 SF AND AGRICULTURAL LIMESTONE AT A RATE OF 40 LBS PER 1,000 SF AND INCORPORATED INTO THE SOIL. THE SOIL, FERTILIZER AND LIMESTONE SHALL BE TILLED TO PREPARE FOR SEEDING.

SPECIES	RATE PER 1,000 SF	DEPTH	SEEDING DATES
WINTER RYE	2.5 LBS	1"	09/15 TO 09/15
DATE	2.5 LBS	1"	04/15 TO 10/15
ANNUAL RYE GRASS	1.0 LBS	0.25"	09/15 TO 09/15

WINTER CONDITION NOTES

- ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 80% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 80% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 4-INCHES OF CRUSHED GRAVEL PER FOOT/ITEM 304.3.

SITE MAINTENANCE/INSPECTION PROGRAM

THE FOLLOWING PROVIDES AN ITEMIZATION OF SPECIFIC SITE MAINTENANCE PRACTICES THAT WILL BE EMPLOYED ON THE SITE TO MINIMIZE POLLUTANT GENERATION AND TRANSPORT FROM THE SITE. THE SITE MAINTENANCE PROGRAM INCLUDES ROUTINE INSPECTIONS, PREVENTATIVE MAINTENANCE AND 'GOOD HOUSEKEEPING' PRACTICES.

ROUTINE INSPECTIONS

- THE CONTRACTOR SHALL INSPECT ALL CONTROL MEASURES AT LEAST ONCE A WEEK AND WITHIN TWELVE (12) HOURS OF THE END OF A STORM WITH RAINFALL AMOUNT GREATER THAN 0.3 INCHES. THE INSPECTIONS WILL VERIFY THAT THE STRUCTURAL BMPs DESCRIBED IN THE PLANS ARE IN GOOD CONDITION AND ARE MINIMIZING EROSION. A MAINTENANCE INSPECTION REPORT WILL BE MADE WITH EACH INSPECTION. COMPLETED INSPECTION FORMS SHALL BE KEPT ON-SITE FOR THE DURATION OF THE PROJECT. FOLLOWING CONSTRUCTION, THE COMPLETED FORMS SHALL BE RETAINED AT THE CONTRACTOR'S OFFICE FOR A MINIMUM OF ONE YEAR.

PREVENTATIVE MAINTENANCE

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TEMPORARY AND PERMANENT CONTROLS THROUGHOUT THE DURATION OF THIS CONTRACT. MAINTENANCE PRACTICES SHALL INCLUDE, BUT ARE NOT LIMITED TO:
- CLEANING OF CATCH BASINS TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY QUARTERLY INSPECTIONS.
 - CLEANING OF SEDIMENT AND DEBRIS FROM STORMWATER MANAGEMENT AREA FOREBAY TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY MONTHLY INSPECTIONS.
 - IMPLEMENTATION OF OTHER MAINTENANCE OR REPAIR ACTIVITIES AS DEEMED NECESSARY BASED UPON WEEKLY INSPECTIONS.
 - REMOVAL OF BUILT UP SEDIMENT ALONG SILT FENCES AND/OR HAY BALE BARRIERS.
 - REMOVAL OF BUILT UP SEDIMENT IN BOTH TEMPORARY AND PERMANENT CONTROLS SUCH AS GRASS SWALES, SEDIMENT FOREBAYS AND RECHARGE/DETENTION BASINS.
 - RECONSTRUCTING THE TEMPORARY GRAVEL CONSTRUCTION EXIT IF NOT WORKING PROPERLY.
 - TREATMENT OF NON-STORM WATER DISCHARGES SUCH AS WATER FROM WATER LINE FLUSHINGS OR GROUNDWATER FROM DEWATERING EXCAVATIONS. SUCH FLOWS SHOULD BE DIRECTED TO A TEMPORARY SEDIMENTATION BASIN OR STORMWATER MANAGEMENT AREA.
 - SWEEP PARKING LOTS AND DRIVES REGULARLY TO MINIMIZE SEDIMENT ACCUMULATION. FREQUENCY WILL VARY SEASONALLY ACCORDING TO SEDIMENT ACCUMULATION ON PAVED SURFACES (E.G., MORE FREQUENT SWEEPING DURING THE WINTER AND SPRING).

GOOD HOUSEKEEPING PRACTICES

- THE CONTRACTOR SHALL EMPLOY MEASURES AND PRACTICES TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS TO STORM AND WATER RUNOFF. THE CONTRACTOR SHALL PAY SPECIAL ATTENTION TO THE HANDLING, USE AND DISPOSAL OF MATERIALS SUCH AS PETROLEUM PRODUCTS, FERTILIZERS AND PAINTS TO ENSURE THAT THE RISK ASSOCIATED WITH THE USE OF THESE PRODUCTS IS MINIMIZED. THE FOLLOWING 'GOOD HOUSEKEEPING' PRACTICES SHALL BE FOLLOWED DURING CONSTRUCTION OF THE PROJECT:
 - AN EFFORT SHALL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
 - ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
 - PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THEIR MANUFACTURERS' LABELS.
 - WHENEVER POSSIBLE, ALL OF A PRODUCT SHALL BE USED BEFORE DISPOSING OF THE CONTAINER.
 - MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.
 - THE CONTRACTOR SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.

SPILL PREVENTION AND CLEANUP PRACTICES

- MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIAL WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, ROPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, BAWOUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, RECORDS OF THE SPILL.
- THE SPILL PREVENTION PLAN WILL BE ADAPTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER OCCURRENCE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

No.	DATE	REVISION	BY

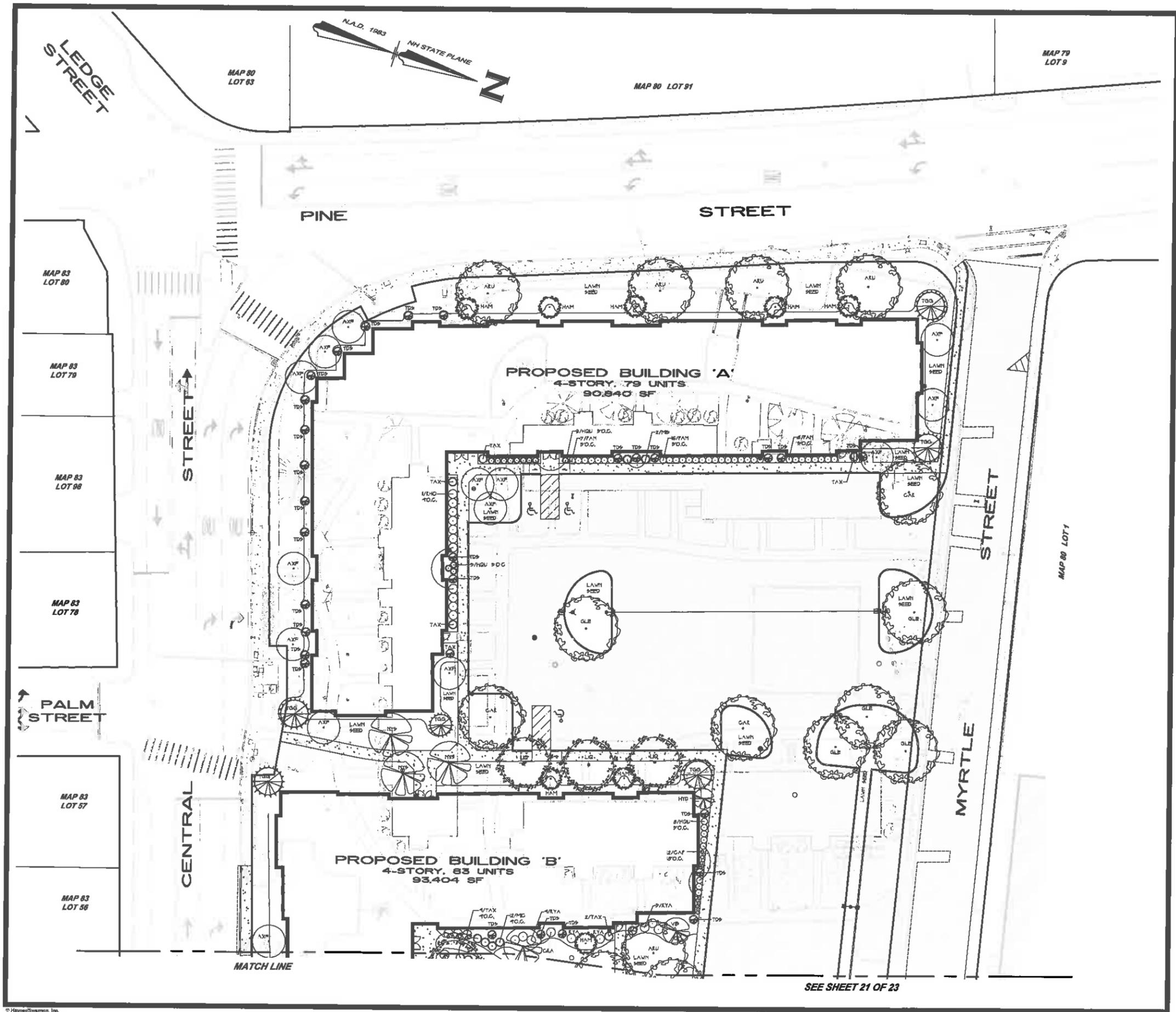
DETAIL SHEET - EROSION CONTROL
(MAP 80, LOT 89)
BRONSTEIN REDEVELOPMENT
41 CENTRAL STREET
NASHUA, NEW HAMPSHIRE
PREPARED FOR:
BOSTON CAPITAL CORPORATION
ONE BOSTON PLACE, SUITE 2100 BOSTON, MA 02108 (617) 842-0800
RECORD OWNER:
Nashua Housing and Redevelopment Authority
40 EAST PEARL STREET NASHUA, NEW HAMPSHIRE 03060 (603) 883-5661

SCALE AS SHOWN

16 JUNE 2020

HSI Hayner/Swanson, Inc.
Civil Engineer/Land Surveyor
3 Congress Street Nashua, NH 03063 (603) 883-2057
131 Middlesex Turnpike Berlin, NH 03570 (781) 203-1503
www.hayner-swanson.com





MATERIAL BID LIST

8/ARU	ACER EUROPEUM (OCTOBER GLORY RED MAILED)	25'-3" GAL
8/AXF	ACER X. FREEMANNI (ARMSTRONG MAILED)	25'-3" GAL
24/AZA	AZALEA (DELAWARE VALLEY WHITE AZALEA)	#9 GAL
2/PET	BETULA NANA (HERITAGE RIVER BRCH)	14-6" DB
85/CAT	CAREX APPALACHIA (APPALACHIAN SEDGE)	#2 QT.
2/CAR	CORNUS BETULUS (EUROPEAN HORNBERRY)	25'-3" GAL
2/COR	CORNUS KOUSA (SCARLET FIRE DOGWOOD)	25'-3" GAL
V/CA	CAATAEGUS CRUSGALLI I (THORNLESS COCKSPUR HAWTHORN)	7-8" MULTI-STEM
4/BER	ENKANTHUS GAMBELATUS (ALPELORUS ENKANTHUS)	2-3" DB
9/GLE	GLEISERIA T. I. (SHADEMASTER HONEYLOCUST)	25'-3" GAL
8/HAM	HAMAMELIS VIRGINIANA (COMMON WITCHHAZEL)	7-8" DB
20/HGU	HYDRANGEA QUERCIFOLIA (FEE WEE OAKLEAF HYDRANGEA)	#9 GAL
9/HYD	HYDRANGEA QUERCIFOLIA (CALICE OAKLEAF HYDRANGEA)	#7 GAL
V/KOE	KOELKEUTERIA FANGULATA (GOLDBERRY TREE)	3-4" DB GAL
16/MC	MICROBIOTA DECUSATA (LUSHMAN CYPRUS)	#9 GAL
2/PS	PHYGANTHUS SPENSIS (ADAGIO HARDEN GRASS)	#2 GAL
8/MS	NYSSA SYLVATICA (CRESTARTER TUPLO)	25'-3" GAL
19/TAH	PANICUM VIRGATUM (HEAVY METAL SWITCH GRASS)	#2 GAL
17/SP	REBA OHORRA (SHEWAN SPRUCE)	12-12" DB
6/RPH	RHODODENDRON (BOULE DE NEIGE RHODODENDRON)	#9 GAL
20/RHO	RHODODENDRON (MAXEGAT RHODODENDRON)	#9 GAL
9/RYA	RHODODENDRON YAK. (PRINCESS RHODODENDRON)	8-24" DB
18/ST	SPIREA JAPONICA (NEON FLASH SPIREA)	#9 GAL
1/TAX	TAXUS MEDIA (EVERLOW YEW)	18-24" DB
29/TDS	THUJA OCCIDENTALIS (CERROOT'S SPIRE ARBORVITAE)	7-8" DB
12/TGS	THUJA PLICATA (GREEN GIANT ARBORVITAE)	8-10" DB
V/VB	VBURNUM KYTHOPHYLLODES (MELLOWWOOD VBURNUM)	4-8" DB
V/VT	VBURNUM F.T. (SHASTA DOUBLELE VBURNUM)	3-4" DB

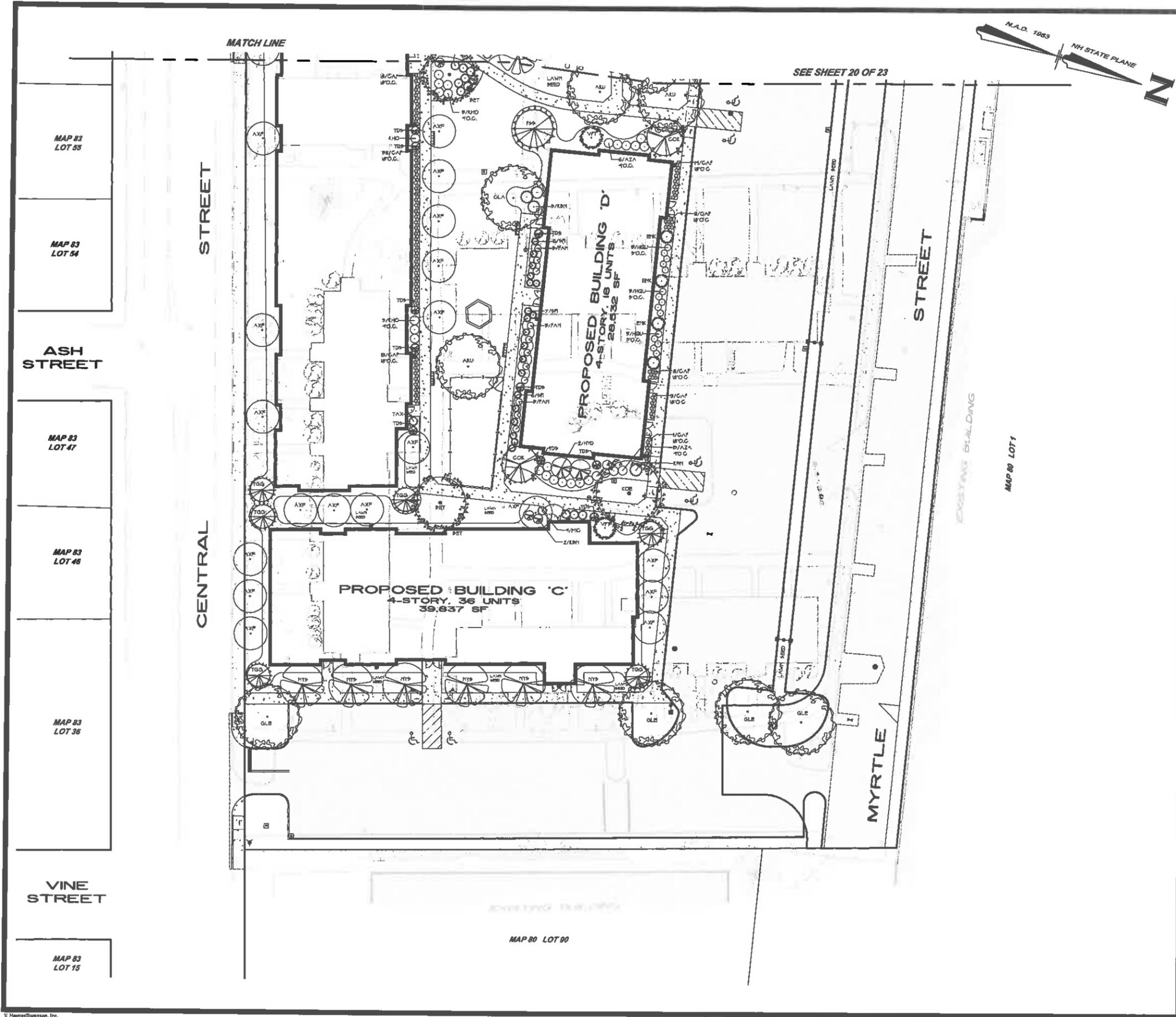
MISCELLANEOUS:
 PINE/SRUCE PARK MULCH ALL BEDS
 SANDY SOIL DROUGHT TOLERANT LAWN SEED. IE WWW.DERCKEERSEED.COM
 NOTE:
 PLAN DICTATES PLANT COUNT. ANY DISCREPANCIES BETWEEN PLAN AND BID LIST, ALBERT L.A.
 PLANT MATERIAL SOURCE:
 HILLIGAN'S NURSERIES, CHICHESTER, N.H. WWW.HILLIGANS.COM 603-299-6660.

NO.	DATE	REVISION	BY

LANDSCAPE PLAN
 (MAP 80, LOT 89)
BRONSTEIN REDEVELOPMENT
 41 CENTRAL STREET
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR:
BOSTON CAPITAL CORPORATION
 ONE BOSTON PLACE, SUITE 2100 BOSTON, MA 02108 (617) 842-0800
 RECORD OWNER:
Nashua Housing and Redevelopment Authority
 40 EAST PEARL STREET NASHUA, NEW HAMPSHIRE 03060 (603) 883-5661

SCALE: 1"=20 Feet
 1"=6.093 Meters

16 JUNE 2020
 PREPARED BY:
BLACKWATER DESIGN
 PHONE (603) 642-6550 FAX (603) 642-6906
 Land Planning - Landscape Architecture
 83 Front Lane - Webster, NH 03303



MAP 83 LOT 55

MAP 83 LOT 54

ASH STREET

MAP 83 LOT 47

MAP 83 LOT 46

MAP 83 LOT 36

VINE STREET

MAP 83 LOT 15

CENTRAL STREET

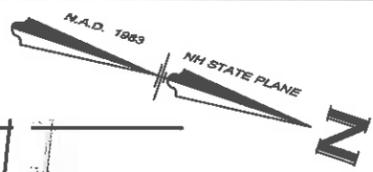
STREET

MYRTLE STREET

MAP 80 LOT 90

MAP 80 LOT 1

SEE SHEET 20 OF 23



No.	DATE	REVISION	BY

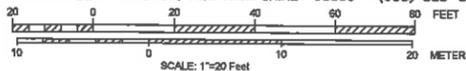
LANDSCAPE PLAN
(MAP 80, LOT 89)

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41 CENTRAL STREET
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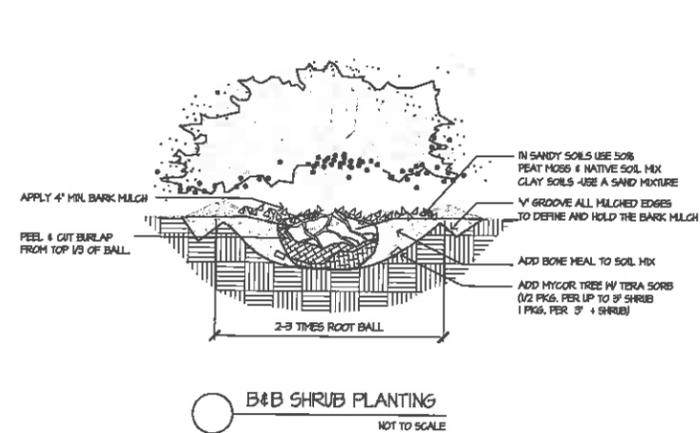
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PHONE (603) 548-6500 FAX (603) 548-6506
Land Planning - Landscape Architecture
85 Frost Lane - Webster, NH 03303

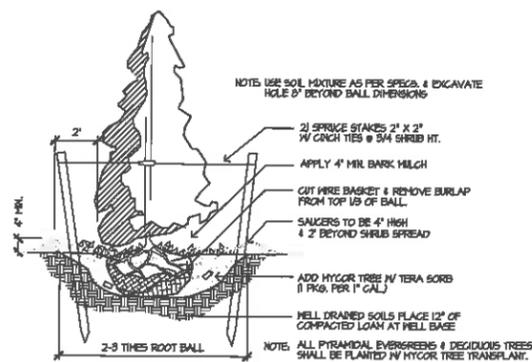
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General Specifications

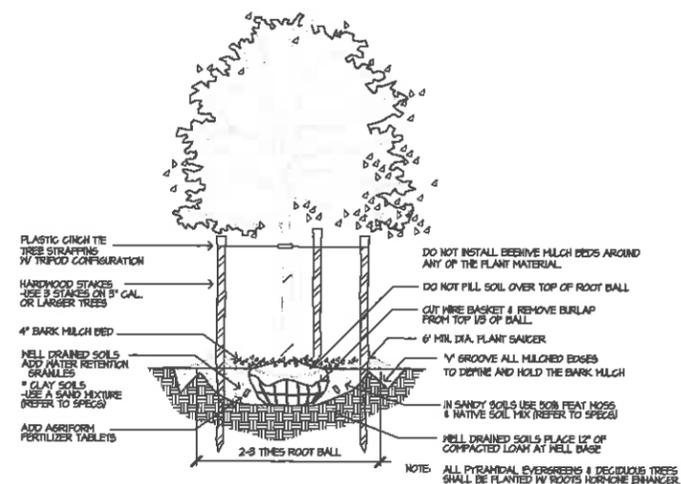
- The contractor shall at his expense furnish all the materials, supplies, machinery, equipment, tool, superintendent, labor, insurance, & other accessories and services necessary to complete the said project within the unit costs stated within the bid price.
- The work to be done under this contract is as shown and described on the drawings. Each bidder shall make a careful examination of the plans and specifications (the plan shall dictate quantities) and acquaint himself with all conditions before making his proposal. He will be held responsible for errors in his proposal resulting from his failure to make such an examination. All bidders shall visit the site and inform themselves of all conditions.
- The bids shall be based on materials and equipment complying with the drawings and the specifications. The contractor shall be responsible under this contract price, for furnishing and installing materials conforming to the bid items. Under no circumstances may a species 'hybrid' be substituted or size changed without written consent of the landscape architect.
- The contractor shall be responsible for the protection of such existing utilities as water mains, sewer systems, gas mains, electrical conduits, telephone lines and any other utilities and if any damage or destruction may occur to these utilities, he shall be responsible for their repair and/or replacement at his expense.
- The contractor shall make payment for all damages to buildings, structures, trees, shrubs and/or any other property outside the construction area or located within those limits but not designated for removal or reconstructed providing such damage shall result from accident caused by negligence for which the contractor shall be legally liable.
- If additional labor and/or materials is requested or required, the contractor shall submit a price to the owner. If the owner approves the price he shall prepare a change order for approval and signature. The contractor shall not proceed without a written authorization from the owner for the additional work. If the contractor proceeds with the additional work without this authorization he shall forfeit any claim for additional compensation.
- The landscape architect shall reserve the right to inspect the project work at any time deemed necessary to insure that the specifications and plans and any other contract documents are being followed.
- The L.A. shall have the right to reject any plant on-site based upon condition, size, or incorrect species or hybrid. LA must be contacted prior to install, to inspect materials delivered to the site, and to insure that soil amendments, bark mulch, roof ballast, etc. are to the written specifications.
- All seeded areas shall receive a minimum 6" topsoil blanket (by site contractor) w/site preparation, raking and general clean up prior to application. Operations shall include a preemergence type herbicide, 12-25-12 granular fertilizer @ 10 lbs./1000 sq. ft., and pelletized limestone @ 25 lbs./1000 sq ft power raked into the top 2" of soil prior to hydro-seeding. Ratios & application rates may change based upon the required soil analysis.
- Contractor is responsible for establishing a thick, weed free lawn. Seed shall be spread @ 4lbs./1000. Lawn germination shall be 95% free of noxious weeds for acceptance. Define differences in seed mixes (if applicable) with irrigation flagging until 2nd mowing. Site review by LA is required.
- Review of the installed irrigation system by the designer is required prior to release of final payment.
- Hydroseeding operations shall be a one part process with a paper fiber mulch; a tackifier shall be applied on all slopes greater than 3:1. Excelsior Drainage mat shall be applied to all 2:1 slopes and drainage swales per plan.
- Contractor shall maintain, from acceptance date, the lawn areas through the first mowing. Contractor is not responsible for the first mowing.
- All plant materials shall be installed in accordance with A.L.C.C. Trees and shrubs shall have appropriate soil mixtures, fertilizer and soil retention granules.
- If the soil conditions are extremely sandy, all trees shall have a 6" layer of compacted topsoil (verify with Landscape Architect) placed in the base of the plant pit as a moisture retention layer. The plant pit sidewalls shall be over excavated by an additional 12" beyond the normal outside radius of the hole. A topsoil planting mixture shall be used to backfill as per spec # 22.
- Landscape architect shall have the right to reject and have ground removed any plant material not of proper size or of weak quality, i.e. thin, no lower branching, etc. Contractor must submit shipping lists (billing invoices) for verification, prior to installation.
- All plant material shall be guaranteed for a period of one (1) year from date of installation. Any material which dies or does not show a healthy appearance within this time shall be replaced at the contractors expense; with same warranty requirements as the original. Warranty does not cover loss due mechanical damage, i.e. snow storage. Contractor should protect susceptible species from insect infestation. Use a liquid systemic application on birch, etc.
- Plant beds and saucers vary in dia. (refer to dwg). Trees and shrubs shall receive a 4" (settled) covering of pine/hemlock bark mulch; saucer diameters per drawing & details. Deciduous trees shall have a 6' dia. saucer (typ.), evergreen trees shall have a saucer 2' min. beyond it's outer branches. All edges shall have a "V" groove.
- All B&B material which are encased in wire baskets shall have the wires cut loose and the top third removed prior to backfill operation.
- If road base is encountered in any plant bed areas, i.e. parking islands, it shall be removed and suitable amended soil installed per drawings and specifications.
- Soil planting mixture shall be a 6%-10% organic topsoil, amended with 10% wood ash, 10% manure, & 30% peatmoss or incorporate a dehydrated compost material. If planting in sand, gravel or other well drained soils, a 50% peatmoss to excavated soil. Other soil amendments shall include; Agriform tablets, Hydro-Gel or equal, and Roots growth enhancer to all trees and shrubs listed, per manufacturers specifications. All plant material pits will receive a min. 20% in volume mix of a compost soil amendment. Submittal required. 'Roots' STEP 1 can be substituted for the individual supplements. Install per manufacturer's specs.
- Landscape contractor shall not be responsible for topsoil spreading but shall coordinate with the site contractor adherence to the mound grades, plant bed soil depths and soil type per dwgs & spes. Landscape contractor shall power rake-out for seed.
- Landscape contractor shall provide a soil analysis of the topsoil planting mixture. Analysis to show soil classification (min. sandy loam) and nutrients.
- Contractor shall protect all B&B materials left above grade prior to installation from drying out. All plants shall be stored, covered in mulch, and irrigated until planted. Any plant left on the ground and whose outer ball surface dries out, shall be rejected by the landscape architect. Plants stored in shade and off pavement.
- Plan dictates, contractor shall alert Landscape Architect if any discrepancies exist between the plan, the material list, and as-built site conditions.
- Installer shall notify landscape architect prior to planting, to review plant locations and bedline configurations. If contractor installs without the placement approval of the L.A., said architect shall have the right to relocate any installed plants at the contractor's expense.
- Installer shall notify landscape architect prior to plant installation to review all materials. Any plants of poor condition, improper size, or species will be rejected.
- Upon one year review, contractor shall straighten any trees that have shifted. Any weak or bare spots in lawn shall be reseeded.
- All bedlines shall have a deep "V" groove to define lawn to mulch edge. No "Beehive" mounding of mulch is allowed, also keep mulch away from base of perennials.
- Do not plant materials too close to the edge of bedlines. Refer to drawings for center of plant to bedline. At a minimum no outer branching of a shrub or perennial shall be closer than two feet from the bedlines. If the as-built does not comply contractor shall adjust the plant location or bedline at his expense.
- Seed mixes include: Sandy Soil Lawn Mix by: deercreekseed.com; New England Wetland Plants, Amherst, Ma. refer to planting plan for designations.
- Any items not completed to the specifications will be required at contractors expense prior to final approvals. Contractor is to bid the work according to the specifications and not to what they may do under their standard practices. Special attention will be paid to soils, amendments, guy stakes, bedline & saucer configurations, seed mixtures, etc.
- Certain designated foundation edging is rood ballast (washed rounds, non-crushed, natural) Size of stone is a range of 3/4"-1.5" dia. placed to a depth of 3", upon placement apply a coating of granular Preen (preemergent).
- Any questions concerning this drawing shall be directed to Joseph Hochrein c/o Blackwater Design, 85 Frost Lane, Webster, NH 03303, 603-648-2541.



B&B SHRUB PLANTING
NOT TO SCALE



PYRAMIDAL EVERGREEN TREE PLANTING
NOT TO SCALE



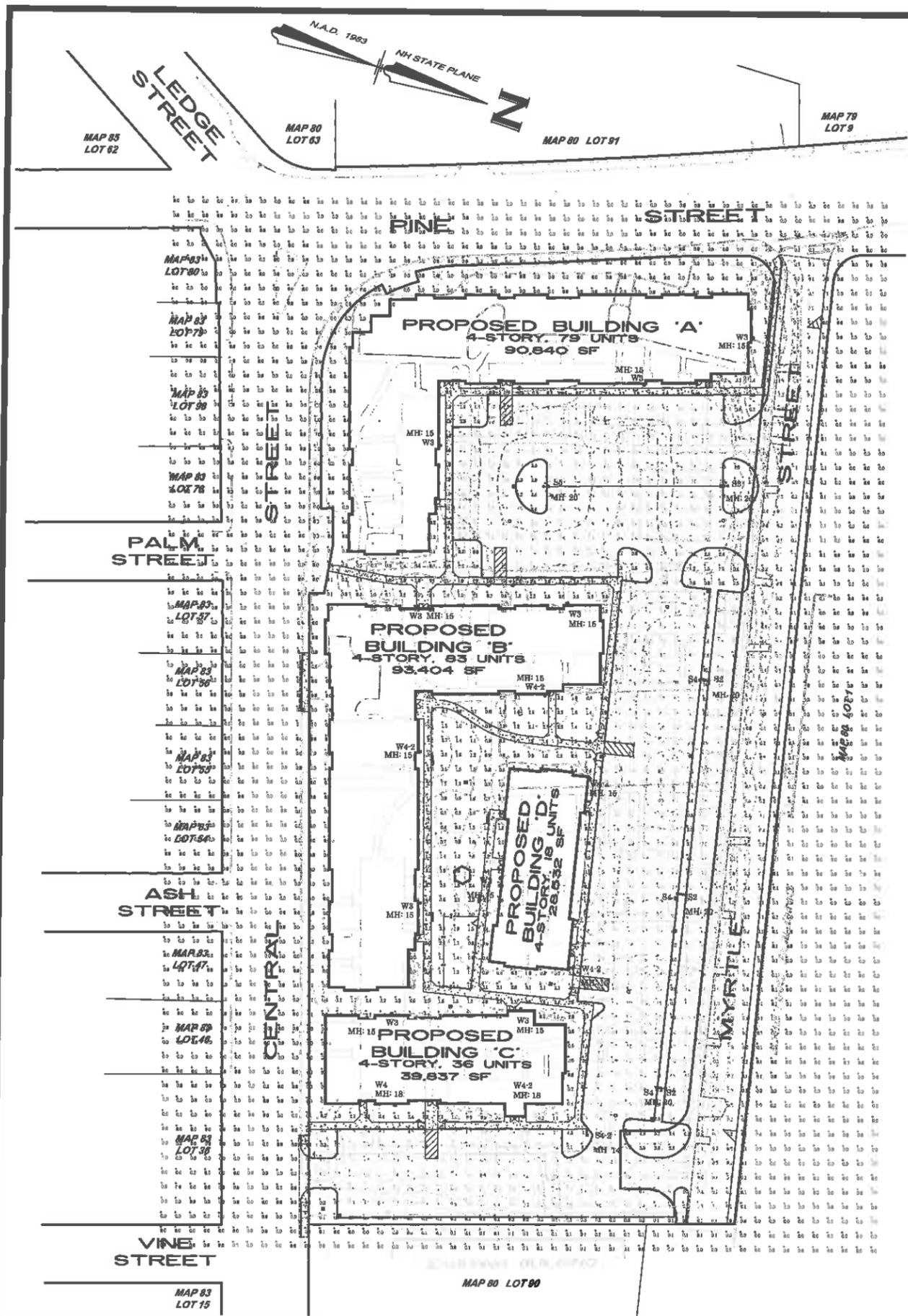
TREE PLANTING 2' + CAL.
NOT TO SCALE

No.	DATE	REVISION	BY

DETAIL SHEET - LANDSCAPE
(MAP 80, LOT 89)
BRONSTEIN REDEVELOPMENT
41 CENTRAL STREET
NASHUA, NEW HAMPSHIRE
PREPARED FOR:
BOSTON CAPITAL CORPORATION
ONE BOSTON PLACE, SUITE 2100 BOSTON, MA 02108 (617) 842-0800
RECORD OWNER:
Nashua Housing and Redevelopment Authority
40 EAST PEARL STREET NASHUA, NEW HAMPSHIRE 03060 (603) 883-5881

SCALE AS SHOWN
16 JUNE 2020
PREPARED BY:
BLACKWATER DESIGN
PHONE (603) 648-6500 FAX (603) 648-6506
Land Planning - Landscape Architecture
85 Frost Lane - Webster, NH 03303

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DESCRIPTION
The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building facades and security lighting applications. IP68 rated and ULASL1. Listed for safe locations.

SPECIFICATION FEATURES

Construction
Extruded aluminum driver enclosure thermally isolated from Light Source for optimal thermal performance. Heavy-duty, die-cast aluminum and caps include housing and die-cast aluminum heat sink. A unique, patent pending mounting housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for use of only two electrical connections.

Optics
Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application specific. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (4-2700 CCT) to 70 CRI. Optional 3000K, 5000K and 6000K CCT.

Electrical
LED drivers are mounted to removable key assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V systems only. Standard with D-10V dimming. Shipped standard with Cooper Lighting Solutions proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Spheres are IP68 rated. Greater than 90% lumen maintenance expected at 50,000 hours. Available in standard 1A drive current and optional 800mA, 800mA and 1200mA drive currents (nominal).

Mounting
STANDARD ARM MOUNT. Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 8" and 12" apart, the SA secured arm

may be required. Refer to the arm mounting requirements table. Round pole adapter included. For wall mounting, specify wall mount bracket option. QUICK MOUNT ARM: Adapter is bolted directly to the pole. Quick mount arm slides into place on the adapter and is secured via two screws. Splitting quick and easy installation. The vented, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-3/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

Finish
Housing finished in super durable TGIC polyester powder coat paint. 2.8-mil nominal thickness for superior protection against face and vent. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and practice metallic. RAL and custom color finishes available.

Warranty
Five-year warranty.

McGraw-Edison

Model	
Part No.	

GLEON GALLEON LED

1-10 Light Spheres
Solid State LED
AREA/BYTE LUMINAIRE



CERTIFICATION DATA
35 Wavelength Regulated
RoHS Compliant
Dark Sky Approved (3000K CCT and warmer only)
IP68 Rated
ULASL1 (LED Compliant)
ULASL1 Min Location (Listed)
IP68 Rated
100 B001
100 B002
100 B003
100 B004
100 B005
100 B006
100 B007
100 B008
100 B009
100 B010
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McGraw-Edison

Model	
Part No.	

SPECIFICATION FEATURES

Construction
Driver enclosure thermally isolated from optics for optimal thermal performance. Heavy wall aluminum housing die-cast with integral external heat sink to provide superior structural rigidity and an IP68 rated housing. Overall construction passes a 1.5G vibration test to ensure mechanical integrity. UPLIGHTING: Specify with the UPL option for inverted mount lighting housing with additional provisions to maintain IP rating.

Optics
Choice of three patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application specific. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (4-2700 CCT) and 6000K CCT and 70 CRI. Optional 3000K, 5000K and 6000K CCT. Greater than 90% lumen maintenance expected at 50,000 hours. Available in standard 1A drive current and optional 800mA, 800mA and 1200mA drive currents (nominal).

Mounting
Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 8" and 12" apart, the SA secured arm

may be required. Refer to the arm mounting requirements table. Round pole adapter included. For wall mounting, specify wall mount bracket option. QUICK MOUNT ARM: Adapter is bolted directly to the pole. Quick mount arm slides into place on the adapter and is secured via two screws. Splitting quick and easy installation. The vented, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-3/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

Finish
Housing finished in super durable TGIC polyester powder coat paint. 2.8-mil nominal thickness for superior protection against face and vent. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and practice metallic. RAL and custom color finishes available.

Warranty
Five-year warranty.

Warranty
Five-year warranty.

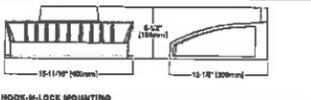


GWC GALLEON WALL

1-2 Light Spheres
Solid State LED
WALL MOUNT LUMINAIRE

WaveLinx

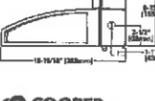
DIMENSIONS



HOOK-IN-LOCK MOUNTING



BATTERY BACKUP AND THRU-BRANCH BACK BOX

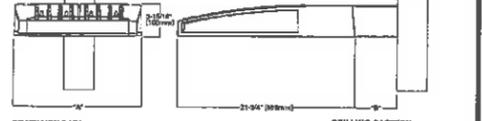


CERTIFICATION DATA

35 Wavelength Regulated
RoHS Compliant
Dark Sky Approved (3000K CCT and warmer only)
IP68 Rated
ULASL1 (LED Compliant)
ULASL1 Min Location (Listed)
IP68 Rated
100 B001
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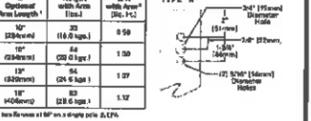
DIMENSIONS



DIMENSION DATA

Number of Light Spheres	2" WxH	Standard Arm Length	Optional Arm Length 1	Weight with Arm 1 (lb)	DR with Arm 1 (lb)
1-4	18-1/2" (468mm)	7" (178mm)	12" (305mm)	32 (14.5 kg)	4.50
1-6	21-3/4" (552mm)	7" (178mm)	12" (305mm)	38 (17.2 kg)	1.00
7-8	23-3/4" (603mm)	7" (178mm)	12" (305mm)	34 (15.4 kg)	1.07
1-8	33-3/4" (858mm)	7" (178mm)	12" (305mm)	33 (15.0 kg)	1.12

DRILLING PATTERN



Notes: 1. Standard arm length is used for all mounting. See Section 10.1 for a single pole. 2. DR is driver only. 3. Arm length may vary.

COOPER LIGHTING SOLUTIONS

Luminaire Schedule

Symbol	Qty	Label	Description
S2	3	S2	GLEON-AP-04-LED-E1-SL2-600
S3	1	S3	GLEON-AP-04-LED-E1-TTR
S4	3	S4	GLEON-AP-04-LED-E1-SL4-HSS
S4-2	1	S4-2	GLEON-AP-03-LED-E1-SL4-600
S5	1	S5	GLEON-AP-04-LED-E1-SWQ
W3	9	W3	GWC-AP-01-LED-E1-SL3
W4	1	W4	GWC-AP-02-LED-E1-TAPT
W4-2	6	W4-2	GWC-AP-01-LED-E1-TAPT

Symbol	Label	Description
W3	W3	W3
W4	W4	W4
W4-2	W4-2	W4-2
S2	S2	S2
S3	S3	S3
S4	S4	S4
S4-2	S4-2	S4-2
S5	S5	S5
W3	W3	W3
W4	W4	W4
W4-2	W4-2	W4-2

PHOTOMETRIC SITE LIGHTING PLAN
(MAP 80, LOT 89)
BRONSTEIN REDEVELOPMENT
41 CENTRAL STREET
NASHUA, NEW HAMPSHIRE
PREPARED FOR:
BOSTON CAPITAL CORPORATION
ONE BOSTON PLACE, SUITE 2100 BOSTON, MA 02108 (617) 842-0800
RECORD OWNER:
Nashua Housing and Redevelopment Authority
40 EAST PEARL STREET NASHUA, NEW HAMPSHIRE 03080 (603) 883-5861

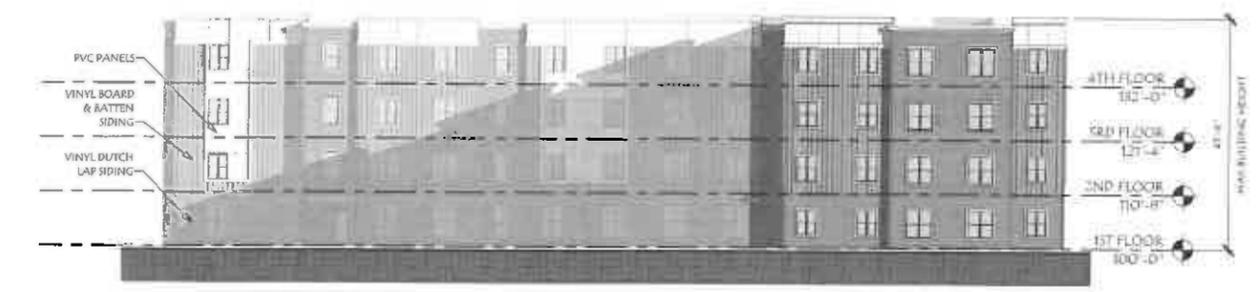
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1"=12.192 Meters

16 JUNE 2020

CHARRON

FILE BOOK: 1245 DRAWING NAME: 8700STE-SL41 5700 23 OF 23
DRAWING LOG: S:\5000\8700\DWG\8700 SITE

GENERAL NOTE: FINAL COLORS TBD



④ OVERALL - WEST ELEVATION
1/8" = 1'-0"



③ OVERALL - NORTH ELEVATION
1/8" = 1'-0"



② OVERALL - EAST ELEVATION
1/8" = 1'-0"



① OVERALL - SOUTH ELEVATION
1/8" = 1'-0"



NOT FOR CONSTRUCTION

**BRONSTEIN HOUSING DEVELOPMENT
BUILDING A**
NASHUA, NH

Revision #	Description	Date

Title: OVERALL BUILDING ELEVATIONS	Scale: 1/8" = 1'-0"
	Drawn By: JIN & MAB
	Checked By: ASW
	Project No: 3030037
	Date: 06/24/20

A2.00

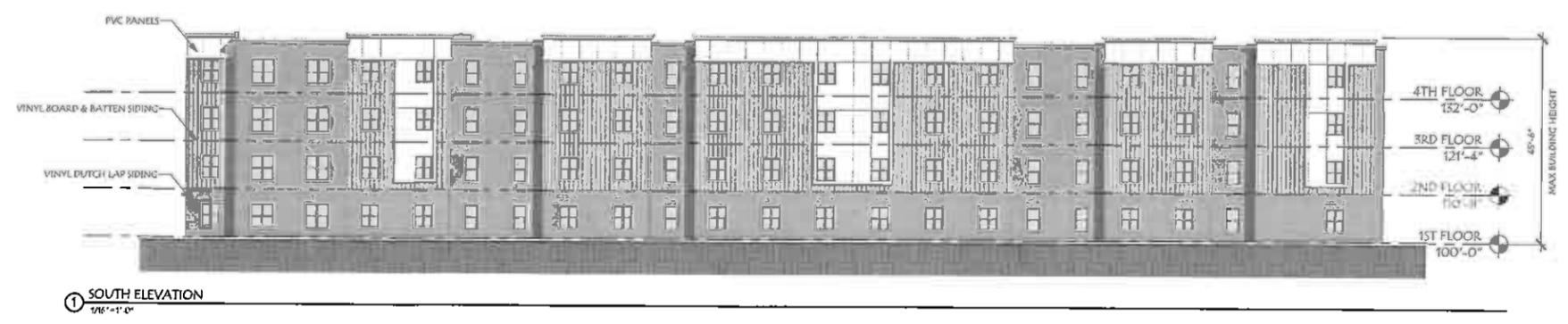
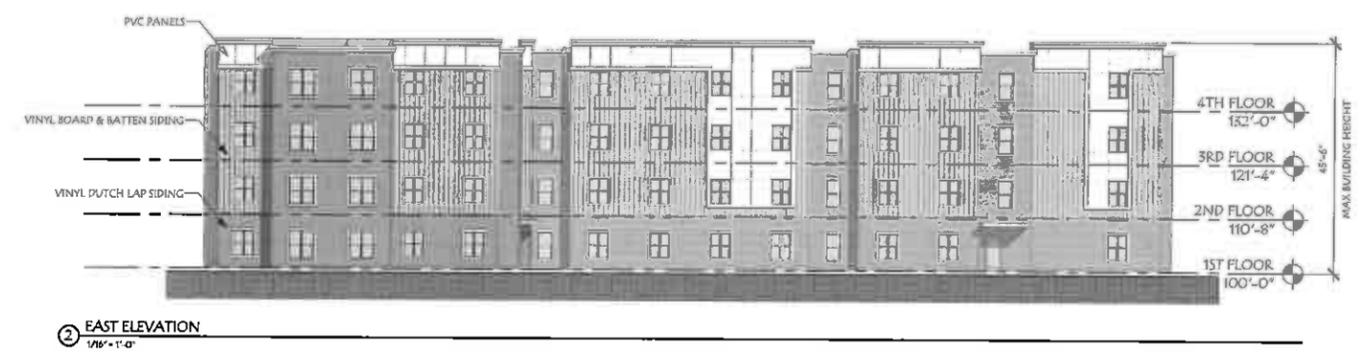
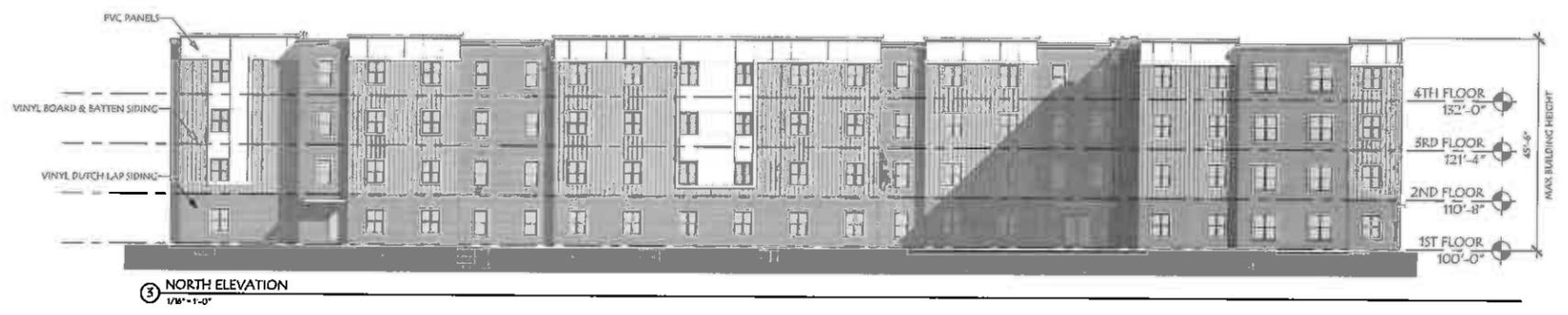
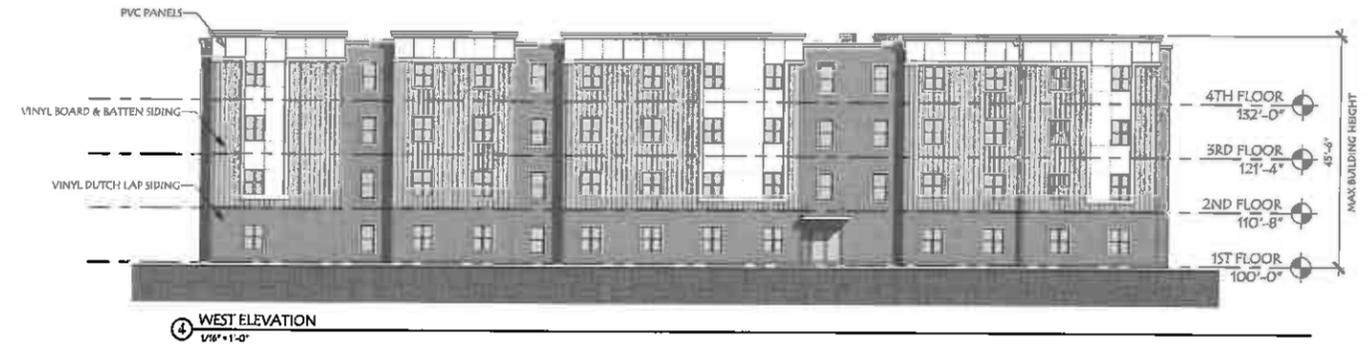
GENERAL NOTE: FINAL COLORS TBD



NOT FOR CONSTRUCTION

**BRONSTEIN HOUSING DEVELOPMENT
BUILDING B**

NASHUA, NH



Title: OVERALL BUILDING ELEVATIONS	Scale:	1/16" = 1'-0"
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A2.00	Checked By:	ALW
	Project No.:	20200027
	Date:	06/25/20
	Revision #	Description
		Date

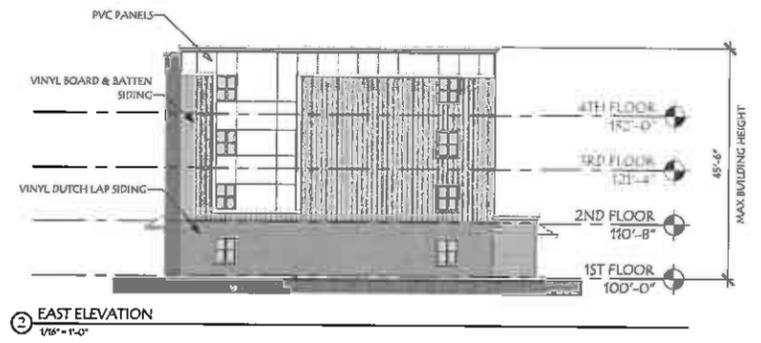
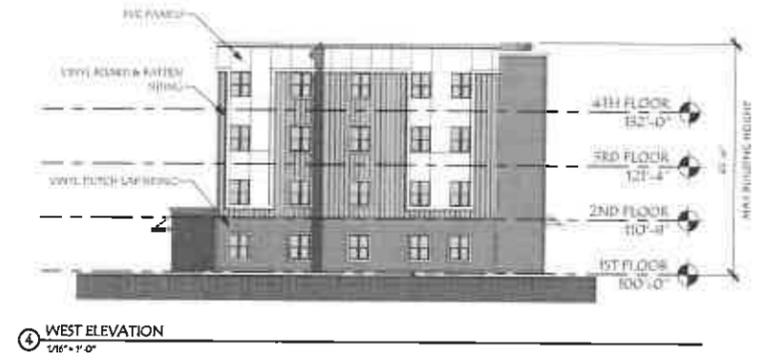
1000 MARKET SQUARE, SUITE 200, NASHUA, NH 03041

GENERAL NOTE: FINAL COLORS TBD



NOT FOR CONSTRUCTION

**BRONSTEIN HOUSING DEVELOPMENT
BUILDING C**
NASHUA, NH



Revision #	Description	Date

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Drawn By:	MAB
Checked By:	ALW
Project No:	2020027
Date:	06/25/20

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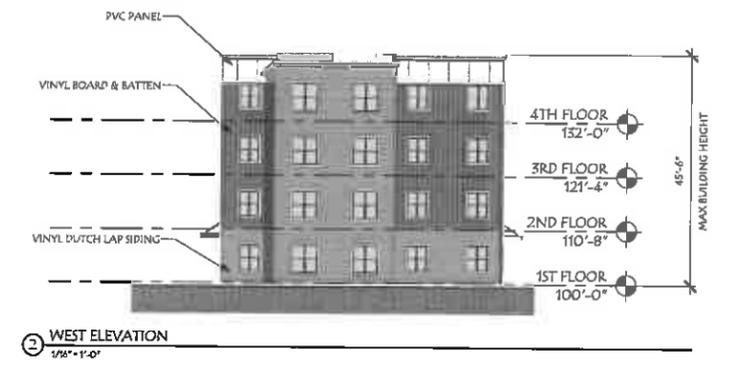
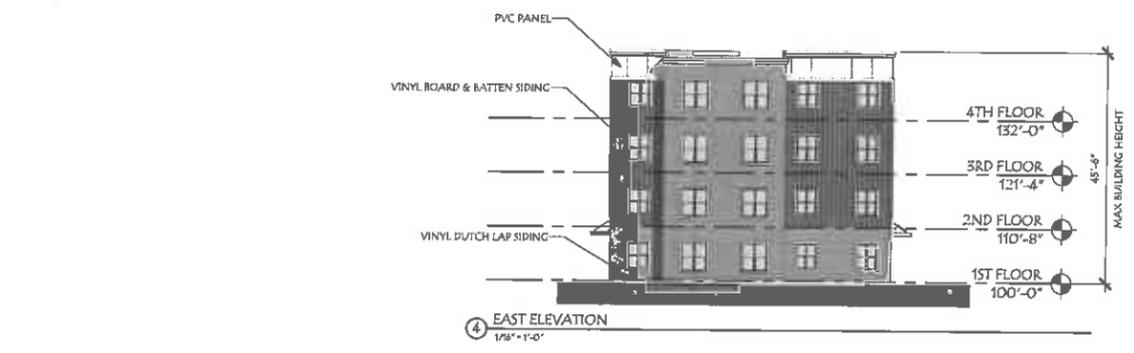
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GENERAL NOTE: FINAL COLORS TBD



NOT FOR CONSTRUCTION

**BRONSTEIN HOUSING DEVELOPMENT
BUILDING D
NASHUA, NH**



Revisions #	Description	Date

Scale:	1/8" = 1'-0"
Drawn By:	MAB
Checked By:	ALW
Project No.:	2020027
Date:	06/05/20

Title:	OVERALL BUILDING ELEVATIONS
	A2.00

* 2020 Market Square Architects 6/23/2020 11:55:53 AM