

1. Planning Board Regular Webex Meeting Agenda (PDF)

Documents:

[20200709 NCPB AGENDA.PDF](#)

2. Planning Board Staff Reports And Plans

Documents:

[20200709 4 BLACKSTONE DRIVE CUP STAFF REPORT.PDF](#)
[20200709 4 BLACKSTONE DRIVE CUP PLAN.PDF](#)
[20200709 4 BLACKSTONE DRIVE SUBDIVISION STAFF REPORT.PDF](#)
[20200709 4 BLACKSTONE DRIVE SUBDIVISION PLAN.PDF](#)
[20200709 4 BLACKSTONE DRIVE SITE PLAN STAFF REPORT.PDF](#)
[20200709 4 BLACKSTONE DRIVE SITE PLAN.PDF](#)
[20200709 6-8 HIGH PINE AVENUE SITE PLAN STAFF REPORT.PDF](#)
[20200709 6-8 HIGH PINE AVENUE SITE PLAN.PDF](#)
[20200709 267 MAIN STREET SITE PLAN STAFF REPORT.PDF](#)
[20200709 267 MAIN STREET SITE PLAN.PDF](#)



City of Nashua
Planning Department
229 Main Street
Nashua, New Hampshire 03061-2019

Planning & Zoning 589-3090
Fax 589-3119
WEB www.nashuanh.gov

June 26, 2020

AGENDA

To: NCPB Members

From: Planning Staff

Re: Regular Meeting and Public Hearing, July 9, 2020

Notice is hereby given that a Public hearing of the City of Nashua Planning Board will meet on Thursday, July 9, 2020 at 7:00 PM via a Webex Meeting. Real-time public comment can be addressed to the Board utilizing Webex virtual meeting software for remote access. This application will allow users to view the meeting and ask questions to the Board via the chat function. The public is also encouraged to submit their comments via email planningdepartment@nashuanh.gov to the Department email or by mail (please make sure to include your name/address and comments) by 5pm on July 9, 2020 and read into the record at the appropriate time. Letters should be addressed to City of Nashua, Planning Department, P.O. Box 2019, Nashua, NH 03061. Plans can be viewed on online starting July 2, 2020 at www.nashuanh.gov in the Calendar or Agendas and Minutes.

To access Webex: <https://nashuanh.webex.com/nashuanh/j.php?MTID=m80fc55d339c741629f0e709d4601bc6d>
Meeting number/access code: **129 364 9946** – Password: **Vf5GhuPhV36**

To join by phone: **1-(408)-418-9388** - Meeting number/access code: **129 364 9946**

If for some reason you can't connect to Webex, please contact us at **(603) 589-3115**.

- A. Call to Order
- B. Roll Call
- C. Approval of Minutes – June 18, 2020
- D. Communications
- E. Report of Chairman, Committee, & Liaison
- F. Executive Session

OLD BUSINESS – CONDITIONAL / SPECIAL USE PERMITS

None

OLD BUSINESS - SUBDIVISION PLANS

None

OLD BUSINESS – SITE PLANS

None

NEW BUSINESS – CONDITIONAL / SPICAL USE PERMITS

1. Wilmar, LLC (Owner) Colbea Enterprises, LLC (Applicant) - Application and acceptance of proposed Conditional Use Permit to allow a gas station in the General Business Zone. Property is located at 4 Blackstone Drive. Sheet H - Lot 520. Zoned "GB" General Business. Ward 2.

NEW BUSINESS –SUBDIVISION PLANS

2. Wilmar, LLC (Owner) Colbea Enterprises, LLC (Applicant) - Application and acceptance of proposed two lot subdivision. Property is located at 4 Blackstone Drive. Sheet H - Lot 520. Zoned "GB" General Business. Ward 2.

NEW BUSINESS – SITE PLANS

3. Wilmar, LLC (Owner) Colbea Enterprises, LLC (Applicant) - Application and acceptance of proposed amendment to NR1943 to construct a 5,005 sf convenience store with drive-thru lane and self-service gas pumps. Property is located at 4 Blackstone Drive. Sheet H - Lot 520. Zoned "GB" General Business. Ward 2.
4. Oakwood Square, LLC, c/o The Stabile Companies (Owner) - Application and acceptance of proposed site plan amendment to NR669 to construct a 40 space parking lot. Property is located at 6-8 High Pine Avenue. Sheet E - Lot 145. Zoned "RC" Urban Residence. Ward 1.
5. 267 Main Street Realty, LLC (Owner) - Application and acceptance of proposed one year extension to NR1625 to construct a 1,827 sf coffee shop with a drive through and associated site improvements. Property is located at 267 Main Street. Sheet 97 - Lot 13. Zoned "D1/MU" Downtown 1/Mixed Use. Ward 4.

OTHER BUSINESS

1. Review of tentative agenda to determine proposals of regional impact.

DISCUSSION ITEM

None

NONPUBLIC SESSION

The Planning Board will need to make a motion to enter into a Nonpublic Session under RSA 91-A:3, II (e) for consideration or negotiation of pending claims or litigation which has been threatened in writing or filed against the public body.

NEXT MEETING

August 6, 2020

ADJOURN

WORKSHOP

ACCOMMODATIONS FOR THE SENSORY IMPAIRED

**"SUITABLE ACCOMMODATIONS FOR THE SENSORY IMPAIRED
WILL BE PROVIDED UPON ADEQUATE ADVANCE NOTICE."**

CONDUCT AT PLANNING BOARD MEETING

When the meeting is called to order, the only talking allowed in the Auditorium will be remarks addressed to the Chairman. Except for the original presentation of the subject or application, each person speaking for or against shall be limited to five (5) minutes until all have been given an opportunity to be heard, at which time each person may be allowed additional time if deemed necessary by the Board or the Chairman. When you are recognized by the Chairman, proceed to the podium, using the microphone, state your name and address and then make your comments. Courtesy is shown when you reserve your comments for the proper time.

PLEASE BE COURTEOUS

By Order of the Chair

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda McGhee, Deputy Planning Manager
FOR: July 9, 2020
RE: **New Business #1 - Conditional Use Permit**

Owner: Wilmar, LLC
Applicant: Colbea Enterprises, LLC
Proposal: Conditional Use Permit
Location: 4 Blackstone Drive
Total Site Area: 3.14 acres (137,058 sf)
Existing Zoning: GB-General Business
Surrounding Uses: Commercial and Residential

II. Background Information:

The property was the site for a florist shop from 1999 to 2006. In 2008, the Planning Board approved a conditional use permit and site plan to allow the property to be used for vehicle rentals. In November 2008, a variance, conditional use permit, site plan, and lot consolidation plan were approved to allow the property to be used for vehicle sales. On July 28, 2009, a variance was granted for the property to permit a patio to encroach into the front setback. In 2009 the Planning Board approved a conditional use permit and site plan for the expansion of an automotive sales business. Currently the building on the lot is vacant.

In 2019 the planning board approved a site plan and conditional use permit for a 121,000 sf five-story climate control self-storage facility; however that project will not be moving forward. Most recently, in April the planning board approved a lot line relocation (with 561 Amherst Street) and site plan amendment.

III. Project Description:

The proposed use for this site is one-story 5,005 sf gas station/convenience store. Multi-use gas stations/convenience stores, #93, in the Land Use Code are only permitted conditionally in the General Business Zone. There are nine approval criteria for a conditional use permit found in NRO § 190-133(F). The applicant addresses the criteria in the attached letter dated May 7, 2020. City Staff reviewed the plans; there are no outstanding issues.

IV. Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO Section 190-133(F). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, they should state specific reasons. If the Planning Board chooses to approve this plan, the staff recommends the following stipulation be made part of that approval:

None

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda McGhee, Deputy Planning Manager
FOR: June 18, 2020
RE: **New Business #2 - Subdivision**

I. Project Statistics:

Owner : Wilmar LLC
Applicant: Colbea Enterprises
Proposal: Two lot subdivision
Location: 4 Blackstone Drive
Total Site Area: 3.14 acres (137,058 sf)
Existing Zoning: GB-General Business
Surrounding Uses: Commercial and residential

II. Background Information:

The property was the site for a florist shop from 1999 to 2006. In 2008, the Planning Board approved a conditional use permit and site plan to allow the property to be used for vehicle rentals. In November 2008, a variance, conditional use permit, site plan, and lot consolidation plan were approved to allow the property to be used for vehicle sales. On July 28, 2009, a variance was granted for the property to permit a patio to encroach into the front setback. In 2009 the Planning Board approved a conditional use permit and site plan for the expansion of an automotive sales business. Currently the building on the lot is vacant.

The applicant appeared before the Zoning Board of Adjustment on August 28, 2018 requesting a use variance to construct a gas station within 750 feet of an existing station.

In 2019 the planning board approved a site plan and conditional use permit for a 121,000 sf five-story climate control self-storage facility; however that project will not be moving forward. In Most recently, in April the planning board approved a lot line relocation (with 561 Amherst Street and site plan amendment.

III. Project Description:

The purpose of this plan is to subdivide the lot into two lots. As part of the lot line relocation approved by this board in April, 14,987 sf was transferred to Lot H-50. New lot, H-653, will contain 60,863 sf and the remainder 61,209 sf will be Lot H-520. At this time nothing is being proposed for the new lot. The applicant would have to come back to the planning board to develop the site.

One waiver is being requested to show existing conditions within 1,000 feet of the subdivision.

The plan was reviewed by City staff; there are no outstanding concerns.

Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet the requirements outlined in the Subdivision NRO § 190-138(G). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulation be made part of that approval:

1. The request for a waiver of § 190-282(B)(9) and (22), which requires an existing conditions plan, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. Prior to the chair signing the plan, all minor drafting corrections will be made.
3. Prior to the recording the plan, the new lot number, H-653 and the address of 8 Blackstone Drive shall be added to the plan.
4. Prior to recording of the plan, all conditions from the Planning Board approval letter will be added to the final mylar and paper copies submitted to the City.

May 07, 2020 - 10:46am
F:\GIS\Projects\16713-11\16713-11\DWG\16713-11\WK_CAD\BLD.dwg

LEGEND

- BK./Pg. BOOK & PAGE
- CHRD CHORD
- EP EDGE OF PAVEMENT
- E&R EASEMENTS AND RESTRICTIONS
- GB GENERAL BUSINESS ZONE
- HCRD HILLSBOROUGH COUNTY REGISTER OF DEEDS
- L LENGTH
- N/F NOW OR FORMERLY
- R-C CURB RESIDENCE ZONE
- R RADIUS
- SGC SLOPED GRANITE CURB
- S.F. SQUARE FEET
- TBE TO BE ELIMINATED
- VBC VERTICAL BITUMINOUS CURB
- VGC VERTICAL GRANITE CURB
- VOC CENTRAL ANGLE
- A ASSESSORS MAP & PARCEL NUMBER
- MONUMENT TO BE SET
- HANDICAP PARKING
- TRAFFIC SIGNAL
- DUMPSTER
- PROPERTY LINE
- CHAINLINK FENCE
- CONCRETE PAVERS
- LANDSCAPED AREA
- CRUSHED STONE WALK
- RIPRAP
- CONCRETE
- UTILITY EASEMENT
- SIDEWALK EASEMENT
- PAVEMENT

VARIANCES GRANTED:

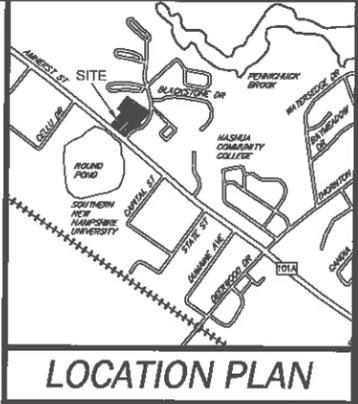
ON AUGUST 28, 2018 THE CITY OF NASHUA ZONING BOARD OF ADJUSTMENT GRANTED THE FOLLOWING VARIANCE FROM THE OF THE CITY OF NASHUA LAND USE CODE:

SECTION 190-45 (A) - TO ALLOW A CONVENIENCE STORE/GASOLINE STATION WITHIN 750 FEET FROM PROPERTY LINE TO PROPERTY LINE TO ANOTHER GAS STATION - 512 FEET PROPOSED (FROM MAP H LOT 129).

MAP H LOT 26
N/F
KNIGHTSBRIDGE ARMS,
A CONDOMINIUM
ROBBER DRIVE
NASHUA, NH 03063
HCRD BK.#4020 PG.#295

EASEMENTS AND RESTRICTIONS:

- RIGHTS AND EASEMENTS GRANTED IN DEED OF A. ROLAND CADORETTE AND BLANCHE M. CADORETTE TO JOHN A. CADORETTE AND ELAINE M. CADORETTE, DATED MAY 1, 1992, RECORDED WITH SAID REGISTRY AT BOOK 1683, PAGE 151. (LOCATION IS NOT DEFINED AND THEREFORE NOT PLOTTED).
- DEED AND EASEMENT GRANTED BY MARIE A. CADORETTE TO THE STATE OF NEW HAMPSHIRE, DATED AUGUST 3, 1976, RECORDED WITH SAID REGISTRY AT BOOK 2473, PAGE 506. (LOCATION IS NOT DEFINED AND THEREFORE NOT PLOTTED).
- DEED AND EASEMENTS GRANTED BY ROLAND A. CADORETTE, EXECUTOR OF THE ESTATE OF A. ROLAND CADORETTE, BY THE POWER CONFERRED BY SAID DECLARATION OF TRUST IN HILLSBOROUGH COUNTY, DATED SEPTEMBER 13, 1974, TO THE STATE OF NEW HAMPSHIRE, DATED AUGUST 10, 1976, RECORDED WITH SAID REGISTRY AT BOOK 2475, PAGE 348. (LOCATION IS NOT DEFINED AND THEREFORE NOT PLOTTED).
- RIGHTS, EASEMENTS, COVENANTS AND RESTRICTIONS AS SET FORTH IN DEED OF JOHN A. CADORETTE TO JADE REALTY CORP., DATED AUGUST 17, 1984, RECORDED WITH SAID REGISTRY AT BOOK 3189, PAGE 613. (LOCATION IS NOT DEFINED AND THEREFORE NOT PLOTTED).
- RIGHT AND EASEMENT GRANTED BY JADE REALTY CORP. TO NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY, DATED FEBRUARY 13, 1985, RECORDED WITH SAID REGISTRY AT BOOK 3290, PAGE 305.
- RIGHTS AND EASEMENTS RESERVED IN DEED OF JADE REALTY CORPORATION TO RICHARD H. COOKE, DATED JUNE 4, 1999, RECORDED WITH SAID REGISTRY AT BOOK 6114, PAGE 1521. (EASEMENT LIMITS ARE NOT DEFINED AND THEREFORE NOT PLOTTED).
- EASEMENT GRANTED BY RICHARD H. COOKE TO THE CITY OF NASHUA, DATED JUNE 4, 1999, RECORDED WITH SAID REGISTRY AT BOOK 6114, PAGE 1523. (LOCATION IS NOT DEFINED AND THEREFORE NOT PLOTTED).
- CUSTOMER'S ACKNOWLEDGEMENT AND AGREEMENT REGARDING HIGH PRESSURE WATER SERVICE DATED JUNE 28, 1999, RECORDED WITH SAID REGISTRY AT BOOK 6130, PAGE 65. (LOCATION IS NOT DEFINED AND THEREFORE NOT PLOTTED).
- DECLARATION OF COVENANTS AND RESTRICTIONS BY WILFRED J. PIEKARSKI REVOCABLE TRUST, LLC, DATED AUGUST 20, 2008, RECORDED WITH SAID REGISTRY AT BOOK 8017, PAGE 2370. (LOCATION IS NOT DEFINED AND THEREFORE NOT PLOTTED).
- EASEMENT GRANTED BY WILFRED J. PIEKARSKI REVOCABLE TRUST, LLC TO THE CITY OF NASHUA, DATED AUGUST 20, 2008, RECORDED WITH SAID REGISTRY AT BOOK 8017, PAGE 2377. (LOCATION IS NOT DEFINED AND THEREFORE NOT PLOTTED).
- DECLARATION OF COMMON ACCESS EASEMENTS BY PIEKARSKI REALTY HOLDINGS, LLC AND WILFRED J. PIEKARSKI, TRUSTEE OF THE WILFRED J. PIEKARSKI REVOCABLE TRUST U/D/T DECEMBER 17, 1991, SAID DEED DATED DECEMBER 18, 2008, RECORDED WITH SAID REGISTRY AT BOOK 8040, PAGE 2481. (LOCATION IS NOT DEFINED AND THEREFORE NOT PLOTTED).
- EASEMENT GRANTED BY WILFRED J. PIEKARSKI REVOCABLE TRUST, LLC TO THE CITY OF NASHUA, DATED SEPTEMBER 3, 2008, RECORDED WITH SAID REGISTRY AT BOOK 8203, PAGE 1671. (LOCATION IS NOT DEFINED AND THEREFORE NOT PLOTTED).
- SIDEWALK EASEMENT GRANTED BY WILFRED J. PIEKARSKI, TRUSTEE OF THE WILFRED J. PIEKARSKI REVOCABLE TRUST TO THE CITY OF NASHUA, DATED JANUARY 22, 2009, RECORDED WITH SAID REGISTRY AT BOOK 8203, PAGE 1675. PLOTTED HEREON.



NOTES:

- THE PARCEL IS LOCATED IN THE GENERAL BUSINESS ZONE (GB) & WATER SUPPLY PROTECTION DISTRICT.
 - THE PARCEL IS SHOWN ON THE CITY OF NASHUA ASSESSOR'S MAP H AS LOT 520.
 - FLOOD INSURANCE RATE MAP (FIRM), HILLSBOROUGH COUNTY, NEW HAMPSHIRE, PANELS 491 & 492 OF 701, CITY OF NASHUA, MAP NUMBERS 33011C0491D & 33011C0492D WITH EFFECTIVE DATE SEPTEMBER 25, 2008.
 - OWNER OF RECORD:
MAP H LOT 520
WILMAR, LLC
221 OSKWOOD ROAD
MILFORD, NH 03055
603-863-8900
HCRD BK.#8958 PG.#1373
- | | | |
|--|---|---|
| TOTAL AREA:
137,059 S.F.
(3.1484 ACRES) | PROPOSED LOT 1:
60,883 S.F.
(1.3972 ACRES) | PROPOSED LOT 2:
61,209 S.F.
(1.4051 ACRES) |
|--|---|---|
- DIMENSIONAL REQUIREMENTS:**

MAXIMUM DENSITY:	12.5
MINIMUM LOT AREA:	10,000 S.F.
MINIMUM LOT WIDTH:	50 FT
MINIMUM FRONTAGE:	50 FT
MINIMUM LOT DEPTH:	75 FT
MINIMUM FRONT SETBACK:	10 FT
MINIMUM SIDE SETBACK:	7 FT
MINIMUM REAR SETBACK:	10 FT
MAXIMUM HEIGHT:	60 FT
MAXIMUM STORIES:	5
OPEN SPACE PERCENTAGE:	10
MAXIMUM FLOOR AREA RATIO:	1.25

PER TABLE 16-3 DIMENSIONAL MATRIX OF THE ZONING ORDINANCE OF THE CITY OF NASHUA.
 - THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
 - THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE MAP H LOT 520 INTO TWO PARCELS AND TO ACCOMPANY A SITE PLAN REVIEW APPLICATION PACKAGE. THIS SHEET DEPICTS THE SUBDIVISION OF LAND AND IS TO BE RECORDED AT THE HCRD. SEE SHEET S-01 FOR EXISTING SITE FEATURES AND UTILITY LOCATIONS AND SEE SHEETS C-01 THRU C-18 FOR PROPOSED SITE FEATURES AND UTILITIES ON FILE WITH THE CITY OF NASHUA AS PLANNING BOARD CASE # _____ OF THE CITY OF NASHUA'S PLANNING BOARD MEETING HELD ON JUNE 18, 2020.
 - FIELD SURVEY COMPLETED BY TCE ON AUGUST 10, 17, 2018 AND IN MAY 2019 USING A TOPCON DS103 AND A TOPCON FG-5000 DATA COLLECTOR AND TOPCON HIPER-V.
 - HORIZONTAL DATUM IS NAD83 (2011) PER STATIC GPS OBSERVATIONS.
 - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TPI MORAN, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE.
 - NO WETLANDS WERE OBSERVED DURING THE COURSE OF THIS SURVEY.

PLANNING BOARD CASE #

APPROVED: NASHUA PLANNING BOARD	
CHAIRMAN	_____
SECRETARY	_____
DATE SIGNED	_____

PLAN REFERENCES:

- "PLAN OF PROPERTY OF J. B. CADORETTE, NASHUA, N.H." SURVEYED MARCH 1938 BY RICHARD P. PAULI, C.E. HCRD PLAN #648.
- "SUBDIVISION LAND OF A. ROLAND CADORETTE, NASHUA, N.H. SURVEYED BY ROLAND CADORETTE 559 AMHERST ST. NASHUA, N.H." SURVEY BY ROLAND R. GIROUARD, DATED JAN. 1969. HCRD PLAN #4014.
- "CONSOLIDATION & LOT LINE RELOCATION PLAN OF LAND IN NASHUA, N.H. PREPARED FOR JOHN CADORETTE, RITA DESCHENES, RACHEL LEDOUX & RONALD A. CADORETTE" BY DAVIS, BENOIT & TESSIER, INC. DATED FEBRUARY 11, 1983. HCRD PLAN #15496.
- "CONSOLIDATION & LOT LINE RELOCATION PLAN OF LAND IN NASHUA, N.H. PREPARED FOR JOHN CADORETTE, RITA DESCHENES, RACHEL LEDOUX & RONALD A. CADORETTE" BY DAVIS, BENOIT & TESSIER, INC. DATED APRIL 25, 1983. HCRD PLAN #15598.
- "FINAL SUBDIVISION PLAN (LOT 25 MAP "H") AMHERST STREET NASHUA, NEW HAMPSHIRE PREPARED FOR JADE REALTY" BY ALLAN H. SWANSON, INC., DATED 18 MAY 1984. HCRD PLAN #18948.
- "CONSOLIDATION PLAN (LOT 25 & 486, MAP "H") AMHERST STREET NASHUA, NEW HAMPSHIRE PREPARED FOR JADE REALTY" BY ALLAN H. SWANSON, INC., DATED 18 MAY 1984. HCRD PLAN #18938.
- "CORRECTIVE SUBDIVISION PLAN (LOT 25, MAP "H") AMHERST STREET NASHUA, NEW HAMPSHIRE PREPARED FOR JADE REALTY" BY ALLAN H. SWANSON, INC., DATED 5 SEPTEMBER 1986. HCRD PLAN #19886.
- "AS BUILT CONDOMINIUM PLAN (LOT 25, MAP "H") KNIGHTS BRIDGE ARMS "A" CONDOMINIUM BLACKSTONE DRIVE NASHUA, NEW HAMPSHIRE PREPARED FOR JADE REALTY" BY ALLAN H. SWANSON, INC., DATED 29 SEPTEMBER 1987. HCRD PLAN #22207.
- "LOT LINE RELOCATION PLAN - LOTS 49 & 50 / SHEET H 559 & 561 AMHERST STREET NASHUA, NEW HAMPSHIRE PREPARED FOR MARK & WILFRED PIEKARSKI (LOT 50) & RITA DESCHENES (LOT 49)" BY MAYNARD & PAQUETTE, INC. DATED MAY 9, 1994. HCRD PLAN #26977.
- "LOT LINE RELOCATION PLAN - LOTS 49 & 50 / SHEET H 559 & 581 AMHERST STREET NASHUA, NEW HAMPSHIRE" BY MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC, DATED SEPTEMBER 9, 2008 AND REVISION 01 DATED 9/9/08. HCRD PLAN #36241.
- "CONSOLIDATION PLAN - LOTS 49 & 520 / SHEET H 559 AMHERST STREET 4 BLACKSTONE DRIVE NASHUA, NEW HAMPSHIRE" BY MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC, DATED SEPTEMBER 9, 2008 AND REVISION 02 DATED 12/17/08. HCRD PLAN #36306.
- "EASEMENT RELEASE DISPLAY PLAN (MAP "H", LOT 625) 565 AMHERST STREET NASHUA, NEW HAMPSHIRE PREPARED FOR/RECORD OWNER: JB NASHUA RETAIL, LLC" BY HSI HAYNER/SWANSON, INC. DATED 20 AUGUST 2015. HCRD PLAN #38747.
- "STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS RIGHT OF WAY PLANS OF PROPOSED FEDERAL AID PROJECT NO. U-010-(10) N.H. PROJECT NO. P-1330-B RELOCATION OF N.H. ROUTE 101A CITY OF NASHUA COUNTY OF HILLSBOROUGH" PREPARED BY WRIGHT, PIERCE, BARNES & WYMAN ENGINEERS" DATED SEPTEMBER 1975. HCRD PLAN 09867.
- "SITE PLAN/CONDITIONAL USE PERMIT PLAN - LOT 520 / SHEET H 4 BLACKSTONE DRIVE NASHUA, NEW HAMPSHIRE" BY MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC, DATED SEPTEMBER 9, 2008 AND REVISION 02 DATED 12/17/08. PLAN IS NOT RECORDED.
- "CITY OF NASHUA, NEW HAMPSHIRE BOARD OF PUBLIC WORKS SEWAGE WORKS IMPROVEMENTS SPECTACLE BROOK INTERCEPTOR AMHERST STREET STA.115+30 TO STA.127+35" BY CAMP, DRESSER & MCKEE CONSULTING ENGINEERS BOSTON, MASS., DATED OCT. 1982. PLAN NOT RECORDED.
- "PLAN AND PROFILE BLACKSTONE DRIVE, NASHUA, NEW HAMPSHIRE PREPARED FOR JADE REALTY" PREPARED BY ALLAN H. SWANSON, INC. DATED JUNE 16 1984 WITH REVISION 3 DATED FEBRUARY 5, 1988. PLAN NOT RECORDED.
- "LOT LINE RELOCATION PLAN - LOTS 50 & 520 SHEET H 4 BLACKSTONE DRIVE & 561 AMHERST STREET NASHUA, NEW HAMPSHIRE" BY MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC, DATED FEBRUARY 24, 2020. PLAN NOT RECORDED.

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48 Constitution Drive, Bedford, N.H. 03110

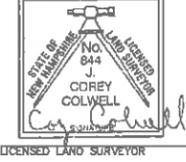
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This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

MAP H LOT 178
N/F
WESTON ASSOCIATES DEVELOPMENT
COMPANY, INC.
170 NEWBURY STREET
BOSTON, MA 02116
HCRD BK.#9136 PG.#0992



I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN AUGUST 2018 & MAY 2019. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I FURTHER CERTIFY THAT THIS SURVEY IS THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.



DATE	05-07-2020			
REV.	DATE	DESCRIPTION	DR	CK

TAX MAP H LOT 520
SUBDIVISION PLAN
OF
4 BLACKSTONE DRIVE
NASHUA, NEW HAMPSHIRE
COUNTY OF HILLSBOROUGH
OWNED BY
WILMAR LLC

SCALE: 1" = 40' (22x34)
1" = 80' (11x17)

MAY 7, 2020

Civil Engineers	170 Commerce Way, Suite 102
Structural Engineers	Portsmouth, NH 03801
Traffic Engineers	Phone (603) 431-2222
Land Surveyors	Phone (603) 431-0910
Landscape Architects	Fax (603) 431-0910
Scientists	www.tfmoran.com

TFM

FILE	16713-11	DR	MAP	FB	551 & 563	S-02
		CK	BK	GADFILE		

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda McGhee, Deputy Planning Manager
FOR: July 9, 2020
RE: **New Business #2- Site Plan**

I. Project Statistics:

Owner: Wilmar, LLC
Applicant: Colbea Enterprises, LLC
Proposal: Site plan amendment to NR1943 to construct a gas station/convenience store
Location: 4 Blackstone Drive
Total Site Area: 3.14 acres (137,058 sf)
Existing Zoning: GB-General Business
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II. Background Information:

The property was the site for a florist shop from 1999 to 2006. In 2008, the Planning Board approved a conditional use permit and site plan to allow the property to be used for vehicle rentals. In November 2008, a variance, conditional use permit, site plan, and lot consolidation plan were approved to allow the property to be used for vehicle sales. On July 28, 2009, a variance was granted for the property to permit a patio to encroach into the front setback. In 2009 the Planning Board approved a conditional use permit and site plan for the expansion of an automotive sales business. Currently the building on the lot is vacant.

The applicant appeared before the Zoning Board of Adjustment on August 28, 2018 requesting a use variance to construct a gas station within 750 feet of an existing station. The approval letter and minutes are attached.

In 2019 the planning board approved a site plan and conditional use permit for a 121,000 sf five-story climate control self-storage facility; however that project will not be moving forward. Most recently, in April 2020, the planning board approved lot line relocation (with 561 Amherst Street) and a site plan amendment. Copies of the approval letter and staff report are attached.

III. Project Description:

The proposal is to remove the existing building on site and construct a one-story 5,005 sf gas station/convenience store with a drive-through lane and 6 concrete islands for gasoline dispensers (with diesel dispensers). Improvements associated with the proposed project include a paved parking area, underground stormwater management areas, underground utilities and landscaping. The hours of operation will be 24 hours a day.

According to the applicant's engineer stormwater, a closed drainage system is proposed which utilizes catch basins and pipes to collect runoff from the site and distribute flow to either of two underground stormwater systems.

Access to the site will be provided by a full access drive on Blackstone Drive and a proposed right-in/right-out drive off of Amherst Street. The traffic report indicates that the project traffic can be safely and accommodated by the existing network with no significant impacts or need for mitigation to the adjacent roadway network. The traffic engineer has asked for a contribution for the installation of wireless communications for the Amherst Street Traffic Corridor Account.

Nine waivers are being requested as part of this plan; see waiver request letter from Dylan Erickson dated June 30, 2020.

City Staff reviewed the plans; comments are attached.

Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

1. The request for a waiver of § 190-215(G), which requires redevelopment sites meet certain stormwater standards for the site, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. The request for a waiver of § 190-209(A)(1), which requires a maximum width of 36 feet, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
3. The request for a waiver of § 190-209(A)(4), which requires a minimum inside turning radii of 15 feet, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
4. The request for a waiver of § 190-89(A), which requires light levels should not exceed 0.2 footcandles at any property line, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
5. The request for a waiver of NRO § 190-184(D) (1), which requires a median island for every 10 parking spaces, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
6. The request for a waiver of § 190-172(D)(2)), which requires certain exterior building materials, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.

7. The request for a waiver of § 190-172(E) (1), which requires all sides of a principal building facing abutting public streets to have at least one customer entrance, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
8. The request for a waiver of § 190-279(EE), which requires a plan sheet of existing conditions on site and adjacent parcels, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
9. The request for a waiver of § 190-24(F)(5)(e), which requires stormwater management systems be compliant with requirements for the ten-year twenty four hour storm event, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
10. Prior to the Chair signing the plan, minor drafting corrections will be made.
11. Prior to the Chair signing the plan, all conditions from the Planning Board approval letter will be added to the cover page of the final mylar and paper copies submitted to the City.
12. Prior to the Chair signing the plan, all comments in an e-mail from Joe Mendola, Street Construction Engineer, dated _____, 2020 shall be addressed to the satisfaction of the Engineering Department.
13. Prior to the issuance of a building permit, all comments in an e-mail from Wayne Husband, P.E., dated June 10, 2020 shall be addressed to the satisfaction of the Division of Public Works.
14. Prior to the issuance of a building permit, any easements and stormwater documents will be submitted to City staff for review and recorded at the applicant's expense.
15. Prior to the issuance of a building permit, the electronic file of the site plan shall be submitted to the City of Nashua
16. Prior to the issuance of a Certificate of Occupancy, all site improvements shall be completed.
17. Prior to any work on site, a pre-construction meeting shall be held and a financial guarantee shall be approved.

GENERAL INFORMATION

OWNER
 MAP H LOT 520
 WILMAR, LLC
 221 OSGOOD ROAD
 MILFORD, NH 03055

APPLICANT/PREPARED FOR
 COLBEA ENTERPRISES, LLC.
 2050 PLAINFIELD PIKE
 CRANSTON, RI 02921
 (401) 943-0005
 ROBERT MCGANN

RESOURCE LIST

PLANNING/ ZONING DEPARTMENT
 229 MAIN STREET
 NASHUA, NH 03061
 (603) 589-3090
 ROGER HOUSTON, PLANNING DIRECTOR

BUILDING DEPARTMENT
 229 MAIN STREET
 NASHUA, NH 03061
 (603) 589-3080
 NELSON ORTEGA,
 CODE ENFORCEMENT MANAGER

PUBLIC WORKS
 9 RIVERSIDE STREET
 NASHUA, NH 03062
 (603) 589-3169
 LISA FAUTEUX, PUBLIC WORKS DIRECTOR

POLICE DEPARTMENT
 28 OFFICER JAMES ROCHE DRIVE
 NASHUA, NH 03062
 (603) 594-3500
 MICHAEL CARIGNAN, CHIEF

FIRE DEPARTMENT
 70 EAST HOLLIS STREET
 NASHUA, NH 03060
 (603) 594-3651
 BRIAN RHODES, CHIEF

ABUTTERS

MAP H LOT 25
 KNIGHTSBRIDGE ARMS, A CONDOMINIUM
 ROEDEAN DRIVE
 NASHUA, NH 03063

MAP H LOT 50
 PIEKARSKI REALTY HOLDING, LLC
 561 AMHERST STREET
 NASHUA, NH 03063

MAP H LOT 178
 WESTON ASSOCIATES DEVELOPMENT CO.
 170 NEWBURY STREET
 BOSTON, MA 02116

MAP H LOT 183
 CONSERVANCY FOUNDATION, INC.
 40 TEMPLE STREET
 NASHUA, NH 03060

MAP H LOT 486
 MILLSTONE VILLAGE, A CONDOMINIUM
 BLACKSTONE DRIVE
 NASHUA, NH 03063

LAND SURVEYORS
 MSC: A DIVISION OF TFMORAN, INC.
 170 COMMERCE WAY
 PORTSMOUTH, NH 03801
 (603) 431-2222
 J. COREY COLWELL, LLS

ARCHITECT
 AYCOB ENGINEERING
 414 BENEFIT STREET
 PAWTUCKET, RI 02861
 (401) 728-5533

SOIL SCIENCE
 TES ENVIRONMENTAL CONSULTANTS, LLC
 1494 ROUTE 3A, UNIT 1
 BOW, NH, 03304
 (603) 858-8825
 THOMAS E. SOKOLOSKI, CERTIFIED SOIL
 SCIENTIST

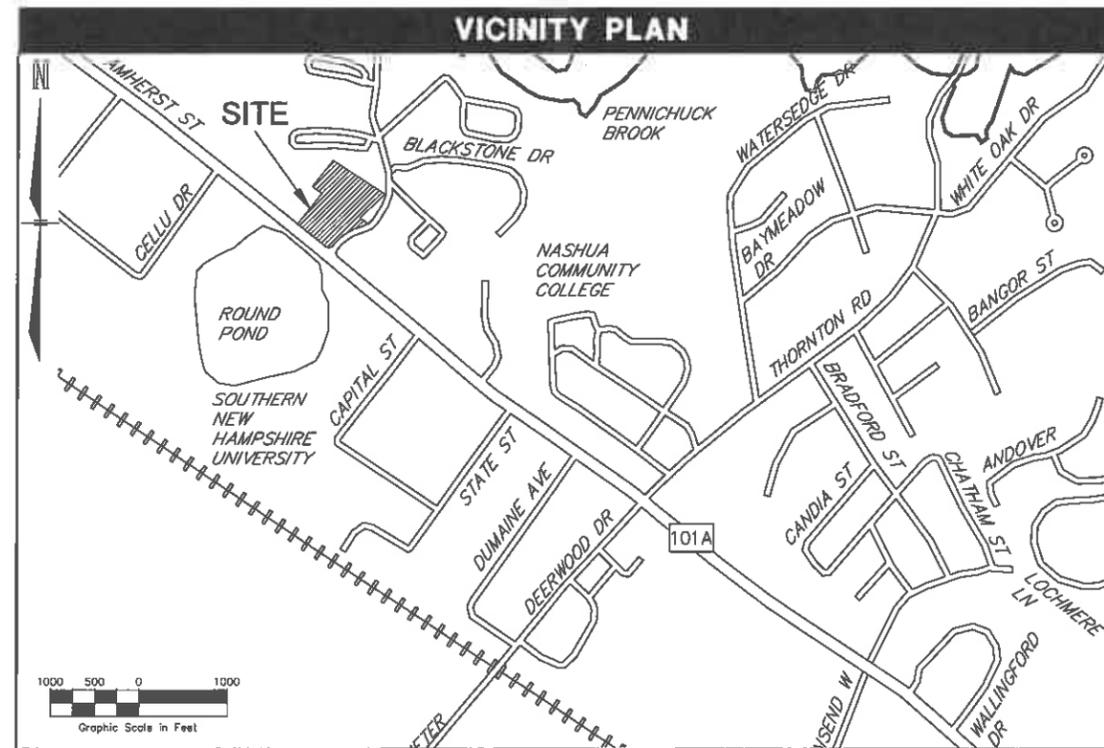
WETLANDS SCIENCE
 TFMORAN, INC
 48 CONSTITUTION DRIVE
 BEDFORD, NH, 03110
 (603) 472-4488
 CHRIS DANFORTH, CERTIFIED WETLAND
 SCIENTIST

LIGHTING
 CHARRON, INC.
 P.O. BOX 4550
 MANCHESTER, NH, 03108
 (603) 624-4827
 KEN SWEENEY

PROPOSED GAS STATION & CONVENIENCENCE STORE

**4 BLACKSTONE DRIVE
 NASHUA, NEW HAMPSHIRE**

**MAY 7, 2020
 (LAST REVISED: MAY 27, 2020)**



INDEX OF SHEETS

SHEET	SHEET TITLE
C-00	COVER
S-01	EXISTING CONDITIONS PLAN
C-02	NOTES & LEGEND
C-03	AERIAL PLAN
C-04	SITE PREPARATION PLAN
C-05	SITE LAYOUT PLAN
C-06	GRADING & DRAINAGE PLAN
C-07	UTILITY PLAN
C-08	UTILITY PLAN & PROFILE
C-09	LANDSCAPE PLAN
C-10	LANDSCAPE DETAILS
C-11	LIGHTING PLAN
C-12	ROUTE 101A FUTURE WIDENING PLAN
C-13	EROSION CONTROL NOTES
C-14	SIGNAGE PLAN & ELEVATIONS
C-15	TRUCK MOVEMENT PLAN
C-16 TO C-22	DETAILS
A2.0a-A2.2a	ARCHITECTURAL ELEVATION PLANS (BY AYCOB ENGINEERING)

PERMITS/APPROVALS

	NUMBER	APPROVED	EXPIRES
TOWN SITE PLAN			
NHDOT DRIVEWAY			

VARIANCES

THE FOLLOWING VARIANCE HAS BEEN GRANTED BY THE CITY OF NASHUA ZONING BOARD OF ADJUSTMENT:
 1. CITY OF NASHUA LAND USE CODE - §190-45(A)
 CONVENIENCE STORE/GASOLINE STATION WITHIN 750 FEET FROM A PROPERTY LINE TO PROPERTY LINE TO ANOTHER GAS STATION.

APPROVED, NASHUA PLANNING BOARD

	CHAIRMAN	SECRETARY	DATE SIGNED
_____	_____	_____	_____

THE UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO ISSUANCE OF OCCUPANCY

_____ OWNER
 _____ DATE SIGNED

IT SHALL BE UNLAWFUL TO MODIFY, CHANGE OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN IN ANY WAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THIS CITY

THESE PLANS ARE PERMIT DRAWINGS ONLY AND HAVE NOT BEEN DETAILED FOR CONSTRUCTION OR BIDDING.

SITE DEVELOPMENT PLANS

TAX MAP H LOT 520
COVER
**4 BLACKSTONE DRIVE
 NASHUA, NEW HAMPSHIRE**
 OWNED BY
WILMAR, LLC
 PREPARED FOR
COLBEA ENTERPRISES, LLC

MAY 7, 2020

TFM **MSC**
 Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.TFMoran.com

REV.	DATE	REVISIONS PER CITY CHECKLIST COMMENTS DESCRIPTION	DKE	CRR	DF	CRC
1	5/27/2020					

TFM Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

48 Constitution Drive
 Bedford, NH 03110
 Phone (603) 472-4488
 Fax (603) 472-3747
 www.tfmoran.com

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 CK CRR CADFILE 16713-11_Cover.dwg C-00

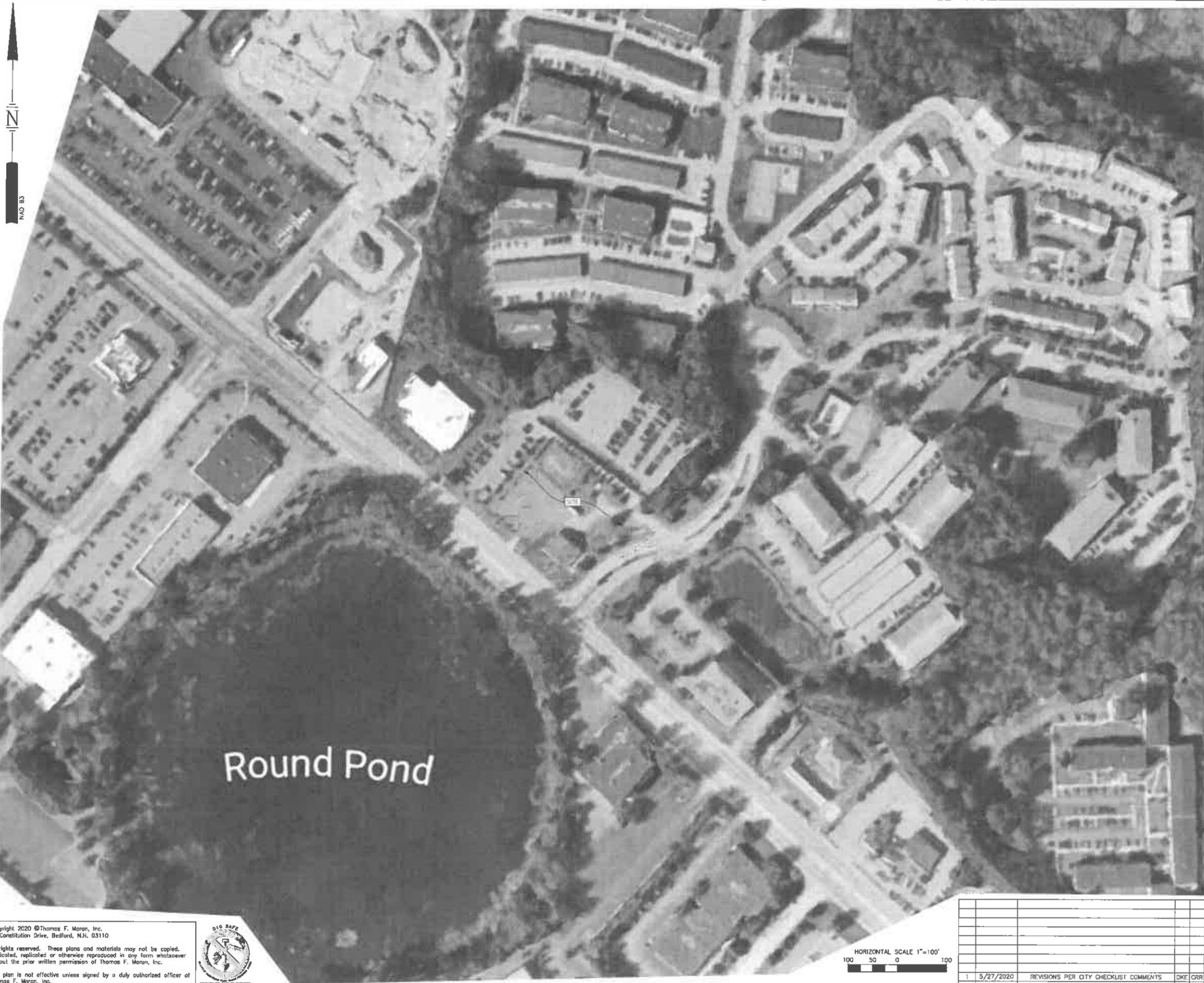
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NOTES

1. THE PURPOSE OF THIS PLAN IS TO USE AERIAL IMAGERY TO SHOW THE APPROXIMATE LOCATION OF EXISTING FEATURES WITHIN 1,000' OF THE SITE.

Round Pond

SITE DEVELOPMENT PLANS

TAX MAP H LOT 520

AERIAL PLAN

**4 BLACKSTONE DRIVE
NASHUA, NEW HAMPSHIRE**

OWNED BY

WILMAR, LLC

PREPARED FOR

COLBEA ENTERPRISES, LLC

1"=200' (11"X17")

SCALE: 1"=100' (22"X34")

MAY 7, 2020



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

48 Constitution Drive
Bedford, NH 03110
Phone (603) 472-4488
Fax (603) 472-9747
www.tfmoran.com

HORIZONTAL SCALE 1"=100'
100 50 0 100

REV.	DATE	DESCRIPTION	DNE	CRR
1	5/27/2020	REVISIONS PER CITY CHECKLIST COMMENTS	DNE	CRR

FILE	16713.11	DR	RCK	FB	
		CK	CRR	CADFILE	16713-11_AERIAL
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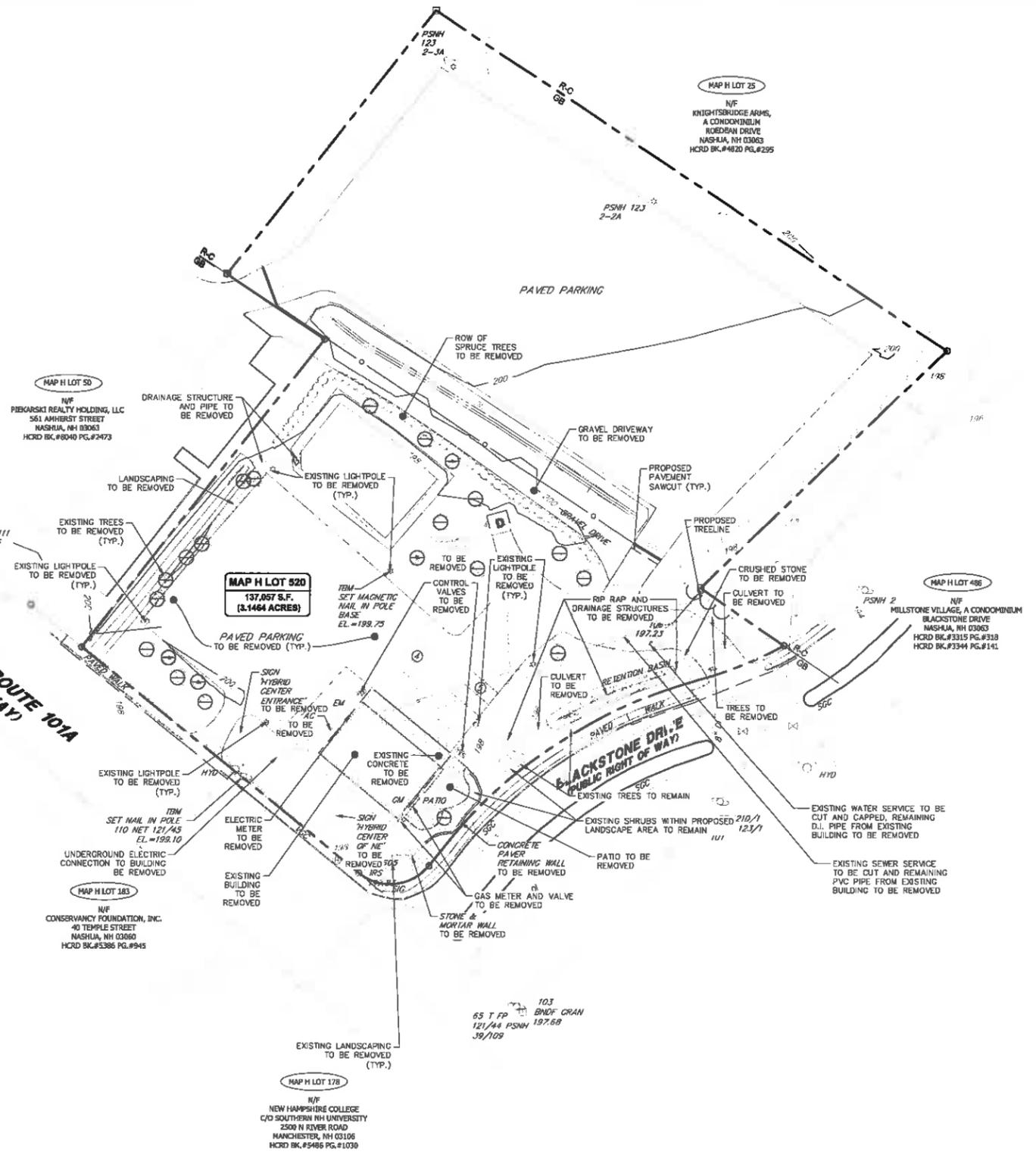
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16' ASS
AMHERST ROAD / NH ROUTE 101A
(PUBLIC RIGHT OF WAY)



- ### NOTES
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATIONS, SIZE, AND ELEVATIONS OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO THE START OF ANY DEMOLITION. THE LOCATIONS SHOWN ON THESE PLANS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED DEMOLITION TO DETERMINE APPROPRIATE ACTION TO BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ANTICIPATE CONFLICTS AND REPAIR EXISTING UTILITIES AS NECESSARY TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
 2. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
 3. THE CONTRACTOR SHALL VERIFY ALL SURVEY INFORMATION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
 4. EXISTING UTILITY SERVICES TO BE DISCONTINUED ARE TO BE CAPPED AS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES.
 5. CONSTRUCTION DEBRIS AND INVASIVE SPECIES SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
 6. PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL PLACE ORANGE CONSTRUCTION FENCING AROUND EACH TREE TO BE RETAINED THROUGHOUT CONSTRUCTION. NO STOCKPILES OF MATERIAL ARE PERMITTED WITHIN THE DRIP LINE OF THE TREES TO BE SAVED.
 7. CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY IF ANY TREES ARE DAMAGED DURING CONSTRUCTION.

- ### CONSTRUCTION SEQUENCE NOTES
- TO MINIMIZE EROSION AND SEDIMENTATION DUE TO CONSTRUCTION, CONSTRUCTION SHALL FOLLOW THIS GENERAL CONSTRUCTION SEQUENCE.
- MODIFICATIONS TO THE SEQUENCE NECESSARY DUE TO THE CONTRACTOR'S SCHEDULE SHALL INCLUDE APPROPRIATE TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES.
- THE CONTRACTOR SHALL SCHEDULE WORK SUCH THAT ANY CONSTRUCTION AREA IS STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE EXCEPT AS NOTED BELOW. NO MORE THAN 5 ACRES OF DISTURBED LAND SHALL BE UNSTABILIZED AT ANY ONE TIME.
- THE PROJECT SHALL BE MANAGED SO THAT IT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER ARG 3800 RELATIVE TO INVASIVE SPECIES.
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE INFILTRATION BASIN.
- DO NOT PLACE INFILTRATION SYSTEMS/RAIN GARDENS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE THE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
1. NOTIFY EASEMENT OWNERS PRIOR TO COMMENCEMENT OF WORK.
 2. INSTALL ALL PERIMETER EROSION PROTECTION MEASURES AS INDICATED ON THE PLANS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 3. PONDING AND SWALES SHALL BE INSTALLED BEFORE ROUGH GRADING THE SITE.
 4. DURING CONSTRUCTION EVERY EFFORT SHALL BE MADE TO MANAGE SURFACE RUNOFF QUALITY.
 5. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT BARRIERS, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED. (TEMPORARY SEED MIXTURE OF WINTER RYE APPLIED AT A RATE OF 2.5 LBS/1000 SF SHALL BE USED).
 6. CONDUCT MAJOR EARTHWORK, INCLUDING CLEARING AND GRUBBING, WITHIN THE LIMITS OF WORK. ALL CUT AND FILL SLOPES SHALL BE SEEDED WITHIN 72 HOURS AFTER GRADING.
 7. ALL STRIPPED TOPSOIL AND OTHER EARTH MATERIALS SHALL BE STOCKPILED OUTSIDE THE IMMEDIATE WORK AND WETLAND AREAS. A SILT BARRIER SHALL BE CONSTRUCTED AROUND THESE PILES IN A MANNER TO PROVIDE ACCESS AND AVOID SEDIMENT OUTSIDE OF THE WORK AREA.
 8. CONSTRUCT BUILDING PAD AND COMMENCE NEW BUILDING CONSTRUCTION.
 9. CONSTRUCT TEMPORARY CULVERTS AND DIVERSIONS AS REQUIRED.
 10. BEGIN PERMANENT AND TEMPORARY INSTALLATION OF SEED AND MULCH.
 11. PERFORM EARTHWORK NECESSARY TO ESTABLISH ROUGH GRADING AROUND PARKING FIELDS AND ACCESS DRIVES. MANAGE EXPOSED SOIL SURFACES TO AVOID TRANSPORTING SEDIMENTS INTO WETLANDS. PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
 12. INSTALL SUBSURFACE UTILITIES (WATER, SEWER, GAS, ELECTRIC, COMMUNICATIONS, DRAINAGE, DRAINAGE FACILITIES, ETC.).
 13. CONSTRUCT PROPOSED ROADWAY, RAIN GARDENS, GRAVEL WETLANDS AND DRAINAGE SWALES. ALL DITCHES, SWALES, AND GRAVEL WETLANDS SHALL BE FULLY STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
 14. COMPLETE BUILDING AND ALL OFF-SITE IMPROVEMENTS.
 15. COMPLETE SEEDING AND MULCHING. SEED TO BE APPLIED WITH BROADCAST SPREADER OR BY HYDRO-SEEDING, THEN ROLLED, RAKED OR DRAGGED TO ASSURE SEED/SOIL CONTACT.
 16. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDED AREAS HAVE BECOME FIRMLY ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE.
 17. DURING THE COURSE OF THE WORK AND UPON COMPLETION, THE CONTRACTOR SHALL REMOVE ALL SEDIMENT DEPOSITS, EITHER ON OR OFF SITE, INCLUDING CATCH BASINS, AND SUMPS, DRAIN PIPES AND DITCHES, CURB LINES, ALONG SILT BARRIERS, ETC. RESULTING FROM SOIL AND/OR CONSTRUCTION OPERATIONS.
 18. SEE WINTER CONSTRUCTION SEQUENCE FOR WORK CONDUCTED AFTER OCTOBER 15TH.

SITE DEVELOPMENT PLANS

TAX MAP H LOT 520
SITE PREPARATION PLAN
4 BLACKSTONE DRIVE
NASHUA, NEW HAMPSHIRE
 OWNED BY
WILMAR, LLC
 PREPARED FOR
COLBEA ENTERPRISES, LLC
1"=80' (11"X17")
SCALE: 1"=40' (22"X34") **MAY 7, 2020**



Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

45 Constitution Drive
 Bedford, NH 03110
 Phone (603) 472-4488
 Fax (603) 472-9747
 www.tfmaran.com



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1	5/27/2020	REVISIONS PER CITY CHECKLIST COMMENTS	DWE	CRK

16713.11	DR	RCK	FB	-
	CK	CRK	CADFILE	16713-11_SITEPREP
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SITE DATA

OWNER OF RECORD OF MAP H LOT 520: WILMAR, LLC, 221 OSGOOD ROAD, MILFORD, NH 03055
 DEED REFERENCE TO PARCEL IS BK 8958 PG 1373
 AREA OF PARCEL = 137,057± SF OR 3.14± ACRES

ZONED: GENERAL BUSINESS (GB)
 EXISTING USE: VACANT RETAIL BUILDING
 PROPOSED USE: CONVENIENCE STORE/GAS SALES

THE PURPOSE OF THIS PLAN IS TO CONSTRUCT A CONVENIENCE STORE (SINGLE STORY WITH BASEMENT) WITH SELF SERVICE GAS PUMPS.

TYPICAL HOURS OF OPERATION: OPEN 24 HOURS.

DIMENSIONAL REQUIREMENTS (CURRENT ZONING)

	REQUIRED:	PROVIDED:
MINIMUM LOT DIMENSIONS:		
LOT AREA	10,000 SF (0.22± AC)	137,057 SF (3.14± AC)
LOT FRONTAGE	50 FT	235 FT
DEPTH	75 FT	436 FT
MAXIMUM STRUCTURE DIMENSIONS:		
STRUCTURE HEIGHT	80 FT	XXX FT
STRUCTURE STORIES	5 STORIES	1 STORY
ROOF APPURTENANCE HEIGHT	15% ROOF HEIGHT	XXX FT
MINIMUM SETBACKS/BUFFER:		
BUILDING FRONT	10 FT	151.4 FT
BUILDING SIDE	7 FT	58.8 FT
BUILDING REAR	10 FT	239.7 FT
MINIMUM OPEN SPACE	10%	30.8%

PARKING REQUIREMENTS

PARKING SPACES (SEE CALCULATION)	25 SPACES	43 SPACES (INCLUDING 12 SPACES AT PUMPS)
ACCESSIBLE SPACES (REQ'D BY ADA)	2 SPACES	2 SPACES
PARKING SPACE SIZE	9 FT X 20 FT	9 FT X 20 FT
aisle WIDTH	20 FT	≥ 20 FT

PARKING CALCULATIONS

REQUIRED PARKING RATIO:
 MINIMUM: 1 SPACE PER 200 S.F. GROSS FLOOR AREA
 1/200 X 5,005 SF = 25 SPACES
 MAXIMUM: 1 SPACE PER 100 S.F. GROSS FLOOR AREA
 1/100 X 5,005 SF = 50 SPACES

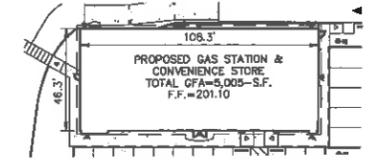
NOTES

- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
- LIGHTING, SIGNAGE, LANDSCAPING, AND SCREENING SHALL MEET THE REQUIREMENTS OF THE CITY ZONING ORDINANCE AND SITE PLAN REGULATIONS.
- SNOW SHALL NOT BE STOCKPILED IN STORMWATER BMP'S, WETLAND BUFFERS, OR WETLANDS. SEE SNOW STORAGE LOCATIONS. IN THE EVENT THAT THE SNOW STORAGE AREAS PROVIDED ON THE SITE ARE COMPLETELY UTILIZED, EXCESS SNOW SHALL BE TRANSPORTED OFF SITE FOR DISPOSAL IN ACCORDANCE WITH NHDES REGULATION. IF SNOW IS STORED WITHIN PARKING AREA, KEEP CATCH BASINS CLEAR.

SIGN LEGEND

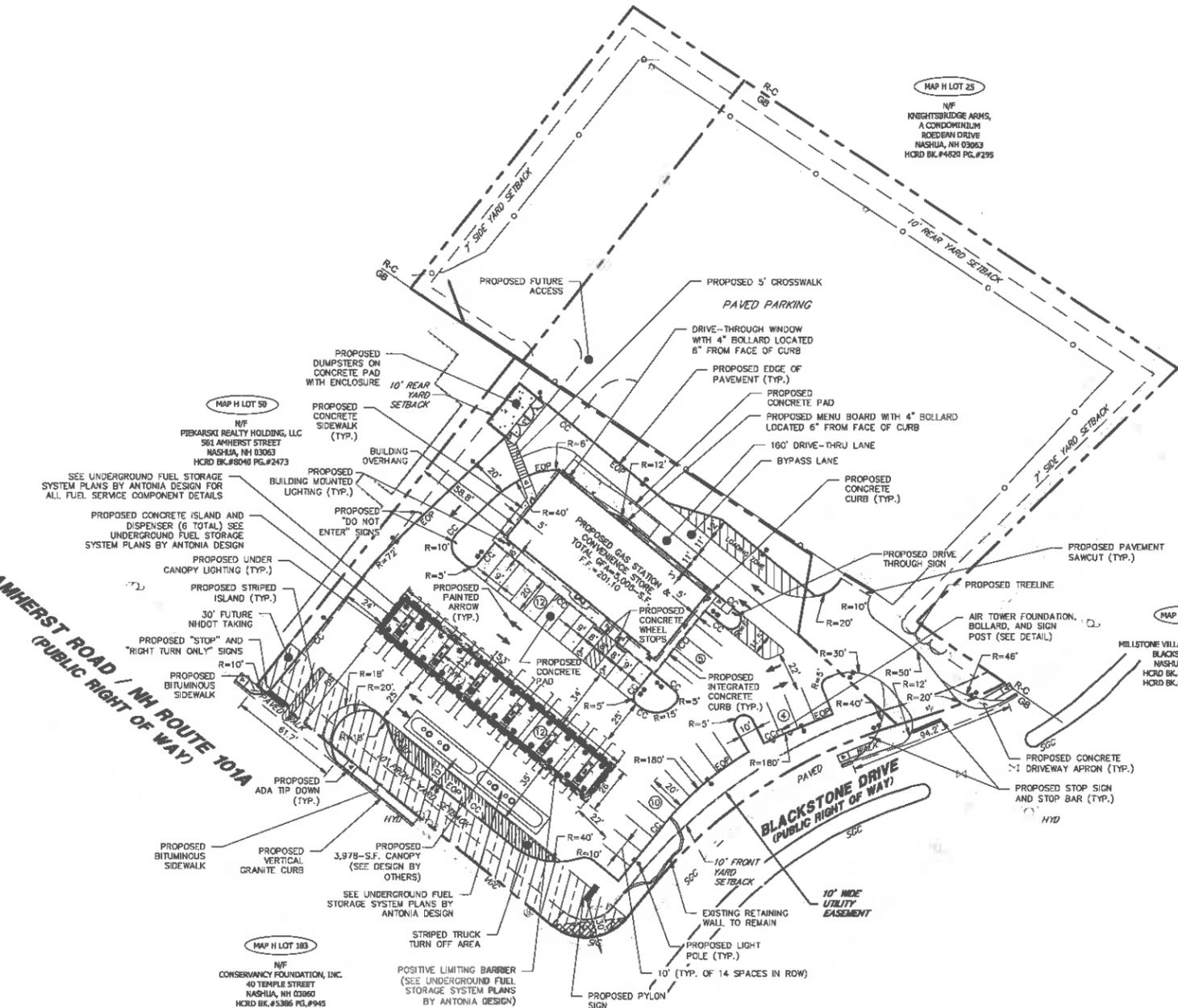
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		WIDTH	HEIGHT		
R1-1	STOP	30	30		2
R7-B1	RESERVED PARKING	12	18	REFER TO THE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS	1
R7-BP2	VAN ACCESSIBLE	18	9		1

- NOTE:
 1. HANDICAP PARKING SIGNS SHALL BE IN ACCORDANCE WITH CITY OF NASHUA STANDARDS AND ADA REGULATIONS.
 2. PER ADA STANDARDS, A "VAN ACCESSIBLE" PLAQUE DOES NOT RESTRICT USE OF ACCESSIBLE SPACES TO VAN USERS ONLY.



BUILDING DIMENSIONS

SCALE: 1"=40'



AMHERST ROAD / NH ROUTE 101A
 (PUBLIC RIGHT OF WAY)

BLACKSTONE DRIVE
 (PUBLIC RIGHT OF WAY)

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MAP H LOT 178
 N/F
 NEW HAMPSHIRE COLLEGE
 C/O SOUTHERN NH UNIVERSITY
 2500 N RIVER ROAD
 MANCHESTER, NH 03106
 HCRD BK.#5486 PG.#1030



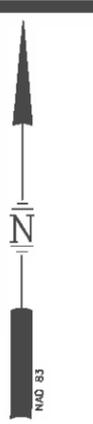
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1	5/27/2020	REVISIONS PER CITY CHECKLIST COMMENTS	DKE	CRR

SITE DEVELOPMENT PLANS
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SITE LAYOUT PLAN
4 BLACKSTONE DRIVE
NASHUA, NEW HAMPSHIRE
 OWNED BY
WILMAR, LLC
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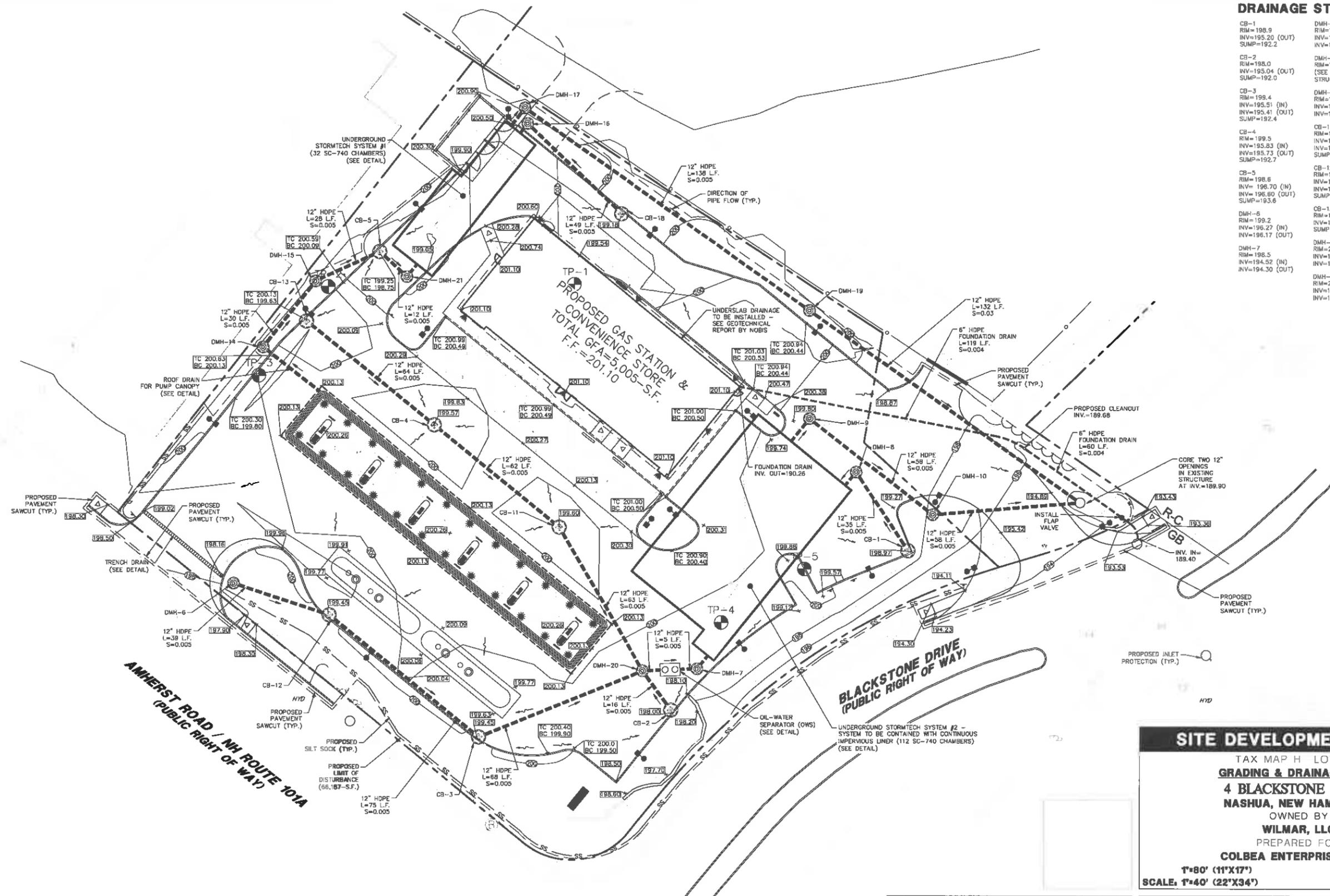
16713.11
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DRAINAGE STRUCTURE TABLE

CB-1 RIM=198.9 INV=195.20 (OUT) SUMP=192.2	DMH-9 RIM=199.5 INV=195.02 (IN) INV=194.30 (OUT)	DMH-16 RIM=200.7 INV=195.16 (IN) INV=194.93 (OUT)
CB-2 RIM=198.0 INV=195.04 (OUT) SUMP=192.0	DMH-9 RIM=199.6 INV=195.02 (IN) STRUCTURE DETAIL	DMH-17 RIM=200.0 INV=194.83 (IN) INV=194.83 (OUT)
CB-3 RIM=199.4 INV=195.51 (IN) INV=195.41 (OUT) SUMP=192.4	DMH-10 RIM=199.5 INV=190.31 (IN) INV=190.21 (OUT)	CB-18 RIM=199.1 INV=195.46 (OUT) SUMP=192.4
CB-4 RIM=199.5 INV=195.83 (IN) INV=195.73 (OUT) SUMP=192.7	DMH-11 RIM=199.6 INV=195.42 (IN) INV=195.32 (OUT) SUMP=192.3	DMH-19 RIM=201.2 INV=194.06 (IN) INV=193.96 (OUT)
CB-5 RIM=198.6 INV=196.70 (IN) INV=196.60 (OUT) SUMP=193.6	DMH-12 RIM=199.4 INV=195.98 (IN) INV=195.88 (OUT) SUMP=192.8	DMH-20 RIM=199.1 INV=194.96 (IN) [CB2] INV=195.07 (IN) [CB3] INV=195.00 (IN) [CB11] INV=194.81 (OUT)
DMH-6 RIM=199.2 INV=196.27 (IN) INV=196.17 (OUT)	DMH-13 RIM=199.6 INV=196.15 (OUT) SUMP=193.1	DMH-21 RIM=199.3 INV=196.54 (IN) INV=194.93 (OUT)
DMH-7 RIM=198.5 INV=194.52 (IN) INV=194.30 (OUT)	DMH-14 RIM=200.8 INV=197.20 (IN) INV=197.10 (OUT)	OL-WATER SEPARATOR (OWS) RIM=198.9 INV=194.78 (IN) INV=194.54 (OUT)
	DMH-15 RIM=200.8 INV=196.95 (IN) INV=196.85 (OUT)	TRENCH DRAIN INV. OUT=196.27



SITE DEVELOPMENT PLANS

TAX MAP H LOT 520

GRADING & DRAINAGE PLAN

4 BLACKSTONE DRIVE

NASHUA, NEW HAMPSHIRE

OWNED BY

WILMAR, LLC

PREPARED FOR

COLBEA ENTERPRISES, LLC

1"=80' (11"X17")

SCALE: 1"=40' (22"X34")

MAY 7, 2020

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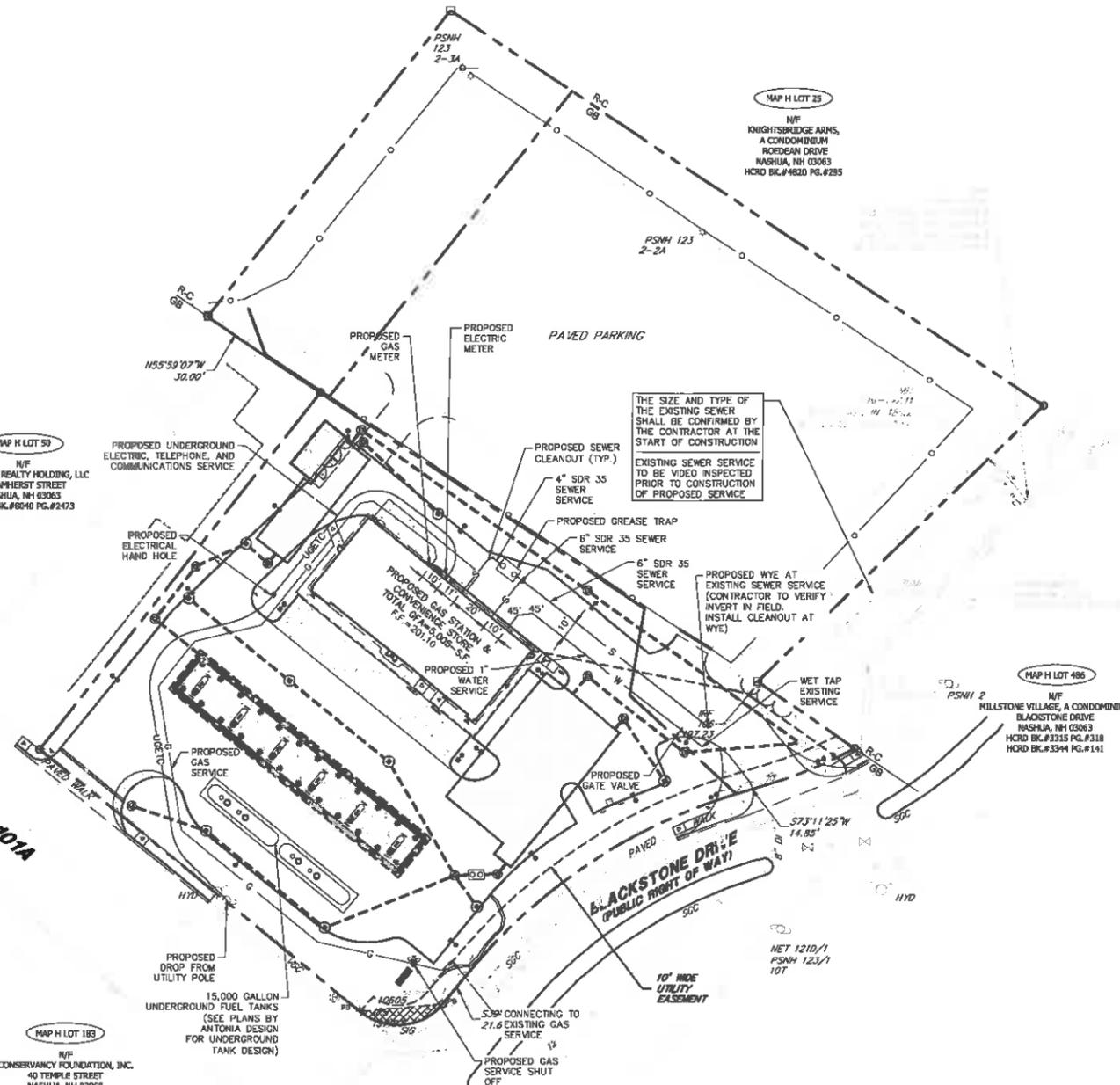
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1	5/27/2020	REVISIONS PER CITY CHECKLIST COMMENTS	DME	CRR

TFM Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

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16713.11 DR RCK FB
CK CRR CADFILE 16713-11_GRADING&DRAINAGE C-06

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AMHERST ROAD / NH ROUTE 101A
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BLACKSTONE DRIVE
 (PUBLIC RIGHT OF WAY)

MAP H LOT 50
 N/F
 PIEKARSKI REALTY HOLDING, LLC
 561 AMHERST STREET
 NASHUA, NH 03063
 HCRD BK.#6640 PG.#2473

MAP H LOT 183
 N/F
 CONSERVANCY FOUNDATION, INC.
 40 TEMPLE STREET
 NASHUA, NH 03066
 HCRD BK.#5386 PG.#45

MAP H LOT 178
 N/F
 NEW HAMPSHIRE COLLEGE
 C/O SOUTHERN NH UNIVERSITY
 2500 N RIVER ROAD
 MANCHESTER, NH 03106
 HCRD BK.#5486 PG.#1030

MAP H LOT 25
 N/F
 KNIGHTSBRIDGE ARMS,
 A CONDOMINIUM
 ROEDEMAN DRIVE
 NASHUA, NH 03063
 HCRD BK.#4820 PG.#295

MAP H LOT 486
 N/F
 MILLSTONE VILLAGE, A CONDOMINIUM
 BLACKSTONE DRIVE
 NASHUA, NH 03063
 HCRD BK.#3315 PG.#318
 HCRD BK.#3344 PG.#141

THE SIZE AND TYPE OF
 THE EXISTING SEWER
 SHALL BE CONFIRMED BY
 THE CONTRACTOR AT THE
 START OF CONSTRUCTION
 EXISTING SEWER SERVICE
 TO BE VIDEO INSPECTED
 PRIOR TO CONSTRUCTION
 OF PROPOSED SERVICE

15,000 GALLON
 UNDERGROUND FUEL TANKS
 (SEE PLANS BY
 ANTONIA DESIGN
 FOR UNDERGROUND
 TANK DESIGN)

3.0\"/>

103
 65 T FP
 121/44 PSNH 197.88
 39/109

SITE DEVELOPMENT PLANS

TAX MAP H LOT 520
UTILITY PLAN
4 BLACKSTONE DRIVE
NASHUA, NEW HAMPSHIRE
 OWNED BY
WILMAR, LLC
 PREPARED FOR
COLBEA ENTERPRISES, LLC
 1"=80' (11"X17")
 SCALE: 1"=40' (22"X34") MAY 7, 2020



Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

48 Constitution Drive
 Bedford, NH 03110
 Phone (603) 472-4488
 Fax (603) 472-9747
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1	5/27/2020	REVISIONS PER CITY CHECKLIST COMMENTS	DKE	CRR

16713.11	DR	RCK	FB	
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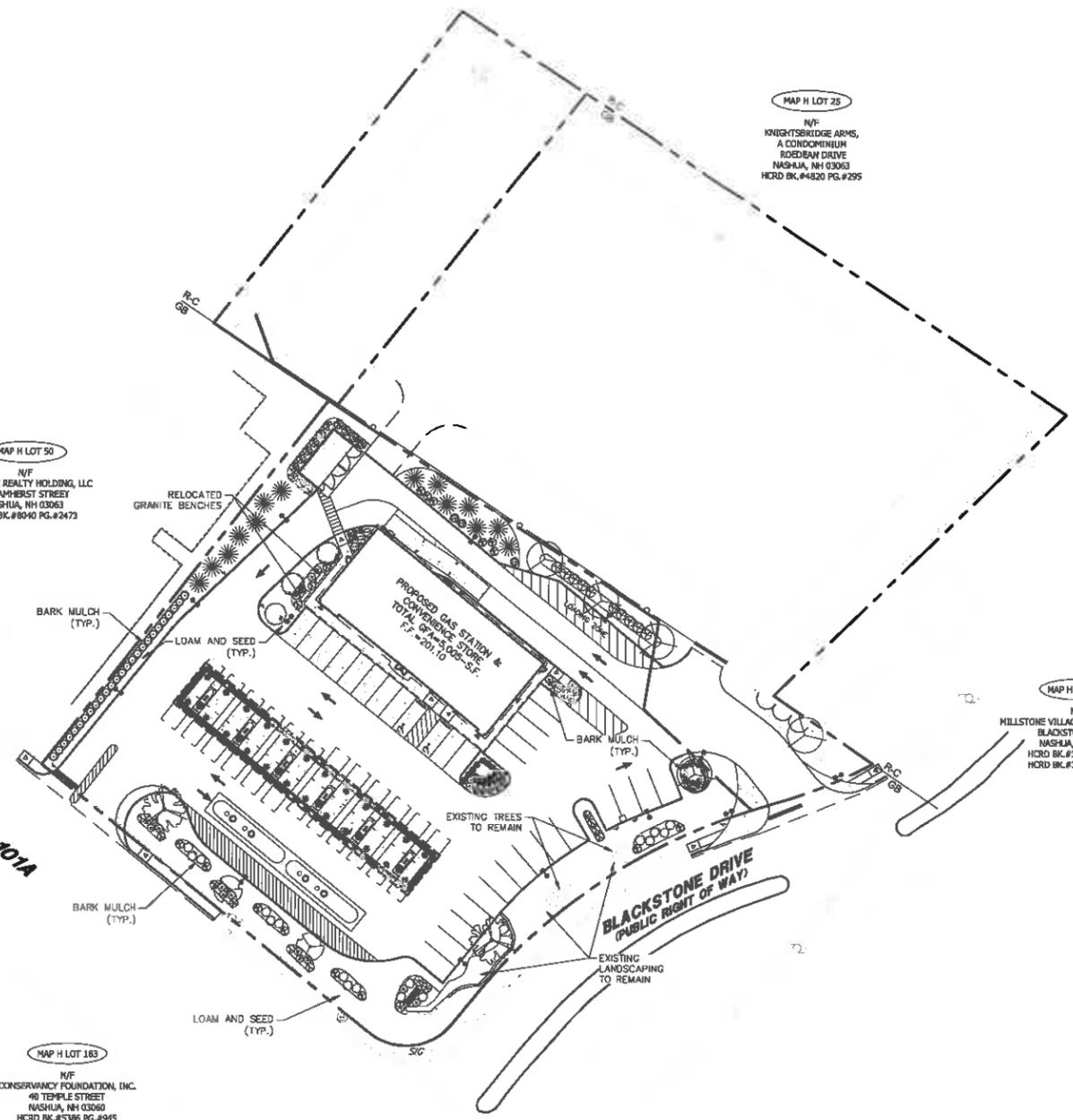
MAP H LOT 50
N/F
PIKARSKI REALTY HOLDING, LLC
561 AMHERST STREET
NASHUA, NH 03063
HCRD BK.#8940 PG.#2473

MAP H LOT 25
N/F
KNIGHTSBRIDGE ARMS,
A CONDOMINIUM
ROSEDEAN DRIVE
NASHUA, NH 03063
HCRD BK.#4820 PG.#295

MAP H LOT 486
N/F
MILLSTONE VILLAGE, A CONDOMINIUM
BLACKSTONE DRIVE
NASHUA, NH 03063
HCRD BK.#3315 PG.#318
HCRD BK.#3344 PG.#141

MAP H LOT 183
N/F
CONSERVANCY FOUNDATION, INC.
48 TEMPLE STREET
NASHUA, NH 03060
HCRD BK.#5386 PG.#945

MAP H LOT 178
N/F
NEW HAMPSHIRE COLLEGE
C/O SOUTHERN NH UNIVERSITY
2500 N RIVER ROAD
MANCHESTER, NH 03106
HCRD BK.#5486 PG.#1030



LANDSCAPE LEGEND

SYMBOL	QTY	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
	2	ACER RUBRUM 'KARPIK' KARPIK RED MAPLE	2 1/2" TO 3" CAL.	B&B
	5	AMELANCHIER GRANDIFLORA 'ROBIN HILL' ROBIN HILL SERVICEBERRY	2 1/2" TO 3" CAL.	B&B
	2	CORNUS KOUSA 'MILKY WAY' MILKY WAY KOUSA DOGWOOD	2 1/2" TO 3" CAL.	B&B
	2	GLEDITSIA T.I. 'STREET KEEPER' SKYLINE HONEYLOCUST	2 1/2" TO 3" CAL.	B&B
	14	PICEA PLUNGENS BLUE SPRUCE	7' TO 8'	B&B
	5	TILIA TOMENTOSA 'STERLING' STERLING LINDEN	2 1/2" TO 3" CAL.	B&B
	26	BUXUS MICROPHYLLA 'WINTER GEM' WINTER GEM BOXWOOD	2' TO 3'	B&B
	3	CORNUS ALBA 'IVORY HALO' IVORY HALO DOGWOOD	2' TO 3'	B&B
	14	CORNUS SANGUINEA 'ARCTIC SUN' ARCTIC SUN DOGWOOD	7 GAL.	CONT.
	12	HYDRANGEA 'BLUSHING BRIDE' BLUSHING BRIDE HYDRANGEA	5 GAL.	CONT.
	3	HYDRANGEA M. 'NIKKO BLUE' NIKKO BLUE HYDRANGEA	5 GAL.	CONT.
	13	ITEA VIRGINICA 'LITTLE HENRY' LITTLE HENRY VIRGINIA SWEETSPIRE	5 GAL.	CONT.
	21	PENNISETUM A. 'HAMELN' HAMELN FOUNTAIN GRASS	3 GAL.	CONT.
	17	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' LITTLE DEVIL NINEBARK	2' TO 3'	B&B
	17	JUNIPERUS C. 'SEAGREEN' SEAGREEN JUNIPER	2' TO 3'	B&B
	18	JUNIPERUS HORIZONTALIS 'WILTONII' BLUE RUG JUNIPER	3 GAL.	CONT.
	10	MYRICA PENNSYLVANICA NORTHERN BAYBERRY	2' TO 3'	B&B
	3	RHODODENDRON 'PJM' PJM RHODODENDRON	18" TO 24"	B&B
	13	THUJA O. 'SMARAGD' EMERALD GREEN ARBORVITAE	7' TO 8'	B&B

LANDSCAPE CALCULATIONS

PERIMETER LANDSCAPING
REQUIRED: A THREE (3) FOOT HIGH VISUAL SCREEN RELIEF THAT IS A MINIMUM TWO (2) FEET HIGH AT TIME OF PLANTING, LOCATED WITHIN 5 (FIVE) FEET AROUND THE EDGE OF SURFACE PARKING LOT ABUTTING ADJOINING PROPERTY OR A PUBLIC RIGHT-OF-WAY.

LANDSCAPED YARD AREA REQUIREMENTS
REQUIRED: ONE SHADE TREE PER 40 LINEAR FOOT OF FRONTAGE ALONG PUBLIC STREETS AND MAJOR PRIVATE STREETS. TWO ORNAMENTAL TREES PER 40 LINEAR FOOT OF FRONTAGE MAY BE USED AS ACCENT TREES IN THE FRONT YARDS. ONE SHRUB, PLUS ONE SHRUB PER FIVE LINEAL FEET OF FRONTAGE SHALL BE PLANTED.
PROPOSED: EXISTING FRONTAGE LANDSCAPE TO BE MAINTAINED
YARD AREA: FRONTAGE = 235'
REQUIRED: 1 SHADE TREE/40' OF FRONTAGE ALONG PUBLIC STREETS (2 ORNAMENTAL TREES MAY BE USED INSTEAD) = 6 STREET TREES
PROPOSED: 8 TREES
REQUIRED: 1 SHRUB PLUS 1 SHRUB/5' (LINEAL) OF FRONTAGE = 48 SHRUBS
PROPOSED: 56 SHRUBS (45 PROPOSED PLUS 11 EXISTING)

SEE DETAIL SHEET FOR LANDSCAPE NOTES

SITE DEVELOPMENT PLANS

TAX MAP H LOT 520
LANDSCAPE PLAN
4 BLACKSTONE DRIVE
NASHUA, NEW HAMPSHIRE
OWNED BY
WILMAR, LLC
PREPARED FOR
COLBEA ENTERPRISES, LLC
1"=80' (11"X17")
SCALE: 1"=40' (22"X34') **MAY 7, 2020**



Civil Engineers
Structural Engineers
Traffic Engineers
Lane Surveyors
Landscape Architects
Scientists

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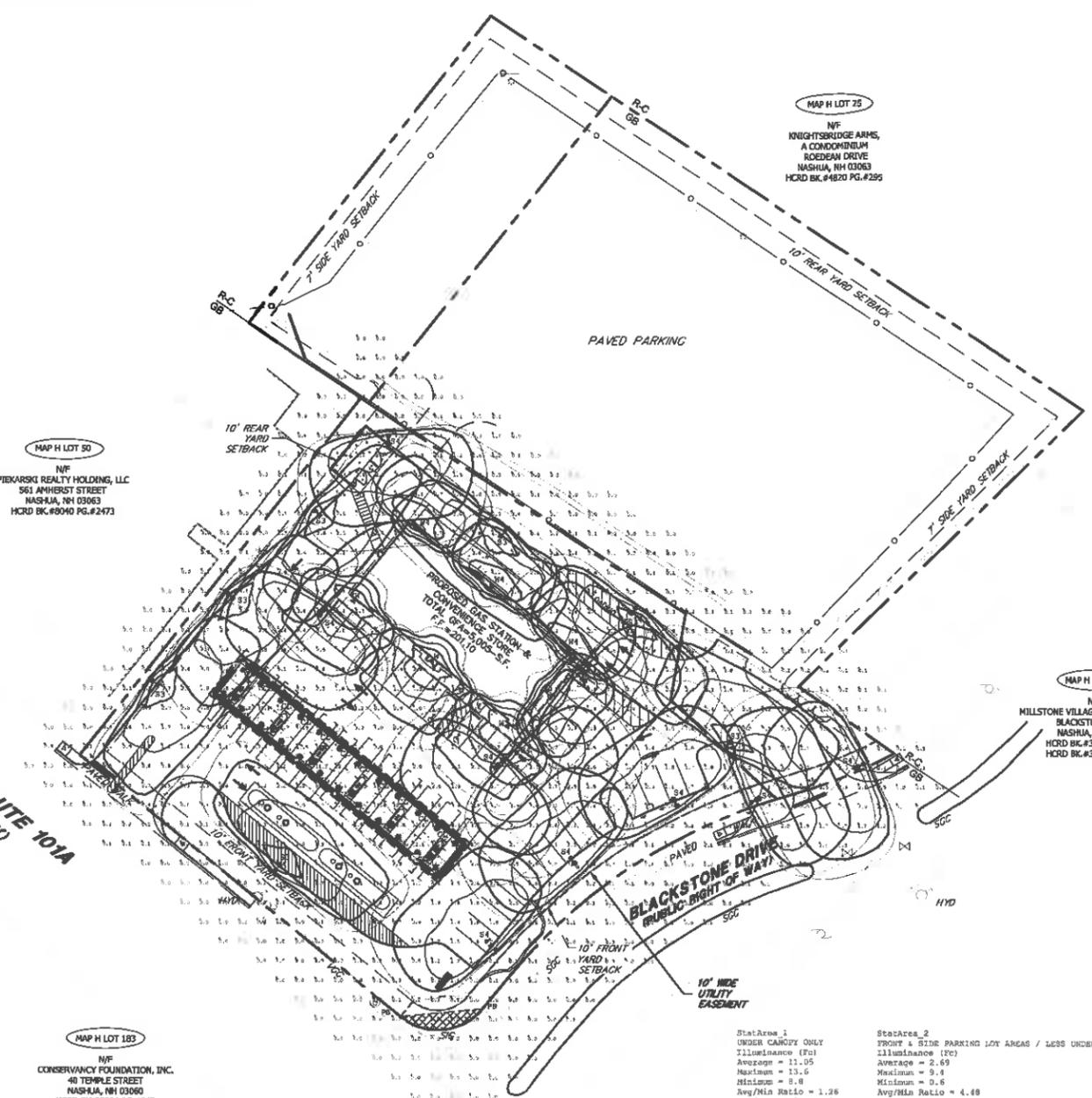
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AMHERST ROAD / NH ROUTE 101A
(PUBLIC RIGHT OF WAY)

MAP H LOT 50
N/F
PIEKARSKI REALTY HOLDING, LLC
561 AMHERST STREET
NASHUA, NH 03063
HCRD BK.#9049 PG.#2473

MAP H LOT 25
N/F
KNIGHTSBRIDGE ARMS,
A CONDOMINIUM
RODEAN DRIVE
NASHUA, NH 03063
HCRD BK.#4820 PG.#295

MAP H LOT 466
N/F
MILLSTONE VILLAGE, A CONDOMINIUM
BLACKSTONE DRIVE
NASHUA, NH 03063
HCRD BK.#3315 PG.#318
HCRD BK.#3344 PG.#141

MAP H LOT 183
N/F
CONSERVANCY FOUNDATION, INC.
48 TEMPLE STREET
NASHUA, NH 03060
HCRD BK.#5386 PG.#945

MAP H LOT 178
N/F
NEW HAMPSHIRE COLLEGE
C/O SOUTHERN NH UNIVERSITY
2500 W RIVER ROAD
MANCHESTER, NH 03106
HCRD BK.#5486 PG.#1039

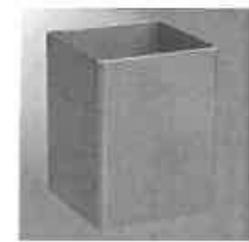
Station 1
UNDER CANOPY ONLY
Illuminance (Fc)
Average = 11.95
Maximum = 13.5
Minimum = 8.8
Avg/Min Ratio = 1.26
Max/Min Ratio = 1.55

Station 2
FRONT & SIDE PARKING LOT AREAS / LESS UNDER CANOPY
Illuminance (Fc)
Average = 2.69
Maximum = 3.4
Minimum = 0.6
Avg/Min Ratio = 4.48
Max/Min Ratio = 15.67

Symbol	Qty	Label	Arrangement	Description
⊙	21	CL	SINGLE	IRC-B14-7-LED-R1-MS7/ CANOPY MID LIGHT
⊙	7	B3	SINGLE	GLOR-AP-01-LED-R1-813-BS7/ SSB44232FN1 (20' APG)
⊙	10	B4	SINGLE	GLOR-AP-01-LED-R1-814-BS7/ SSB44232FN1 (20' APG)
⊙	3	W	SINGLE	TSP-AT-450-LED-R1-MS7/ WALL MTD 32' AVE
⊙	4	W4	SINGLE	1ST-AP-150-LED-R1-SL4/ WALL MTD 12' AVE



CANOPY LIGHT (B3)



LIGHT POLE



LIGHT POLE FIXTURE (S3, S4)

SITE DEVELOPMENT PLANS

TAX MAP H LOT 520
LIGHTING PLAN
4 BLACKSTONE DRIVE
NASHUA, NEW HAMPSHIRE
OWNED BY
WILMAR, LLC
PREPARED FOR
COLBEA ENTERPRISES, LLC
1"=80' (11"X17")
SCALE: 1"=40' (22"X34") **MAY 7, 2020**



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
48 Constitution Drive
Bedford, NH 03110
Phone (603) 472-4488
Fax (603) 472-9747
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HORIZONTAL SCALE 1"=40'
0 20 40

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				C-11

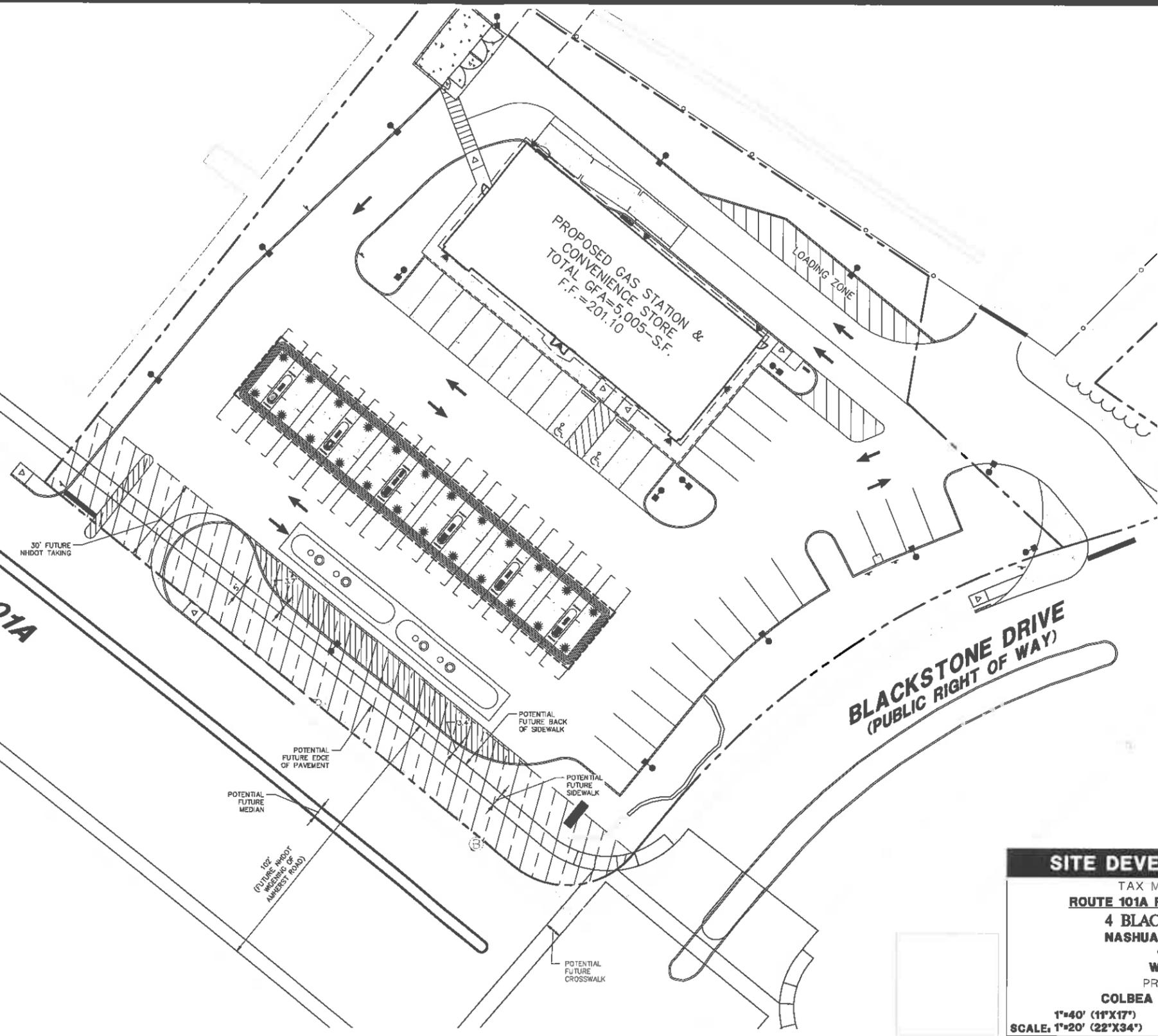
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AMHERST ROAD / NH ROUTE 101A
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BLACKSTONE DRIVE
(PUBLIC RIGHT OF WAY)

SITE DEVELOPMENT PLANS
TAX MAP H LOT 520
ROUTE 101A FUTURE WIDENING PLAN
4 BLACKSTONE DRIVE
NASHUA, NEW HAMPSHIRE
OWNED BY
WILMAR, LLC
PREPARED FOR
COLBEA ENTERPRISES, LLC
1"=40' (11"X17")
SCALE: 1"=20' (22"X34") **MAY 7, 2020**

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Traffic Engineers
Land Surveyors
Landscape Architects
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Fax (603) 472-9747
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16713.11 DR RCK FB
CK CRR CADFILE 16713-11_101A WIDENING PLAN C-12

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SOIL CHARACTERISTICS

THE SOIL IN THE VICINITY OF THE SITE CONSISTS OF WINDSOR AND WINDSOR-URBAN SOILS. THE MAJORITY OF THE SOIL IS HSG TYPE A.

DISTURBED AREA

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 78,150 SQUARE FEET (1.82 ACRES). CONSTRUCTION SHALL BE PHASED TO LIMIT DISTURBED AREAS TO LESS THAN 5 ACRES.

CRITICAL NOTE: THIS DRAWING IS PROVIDED FOR GENERAL GUIDANCE. ALL SPECIAL EROSION CONTROL MEASURES MUST BE EXECUTED IN ACCORDANCE WITH CURRENT STATE AND LOCAL REGULATIONS, APPROVED SWPPP AND PERMIT REQUIREMENTS.

SEQUENCE OF MAJOR ACTIVITIES

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND TEMPORARY EROSION CONTROL MEASURES PER APPROVED SWPPP IF REQUIRED.
2. DEMOLISH EXISTING SITE WORK DESIGNATED FOR REMOVAL.
3. COMPLETE MAJOR GRADING OF SITE.
4. CONSTRUCT BUILDING PAD, STORMWATER SYSTEM, AND SITE UTILITIES.
5. CONSTRUCT PARKING LOT.
6. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND SITE IS STABILIZED, REMOVE ALL INLET PROTECTION, SILT BARRIERS AND SEDIMENT THAT HAS BEEN TRAPPED BY THESE DEVICES.
7. CONSULT APPROVED SWPPP FOR CONDITIONS RELATED TO NOTICE OF TERMINATION, IF REQUIRED.

EROSION AND SEDIMENT CONTROLS AND STABILIZATION PRACTICES

STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES AND DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR MORE THAN TWENTY ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

1. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
2. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
3. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
4. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT BARRIERS. ALL STORM DRAIN INLETS SHALL BE PROVIDED WITH BARRIER FILTERS. STONE RIPRAP SHALL BE PROVIDED AT THE OUTLETS OF DRAINAGE PIPES WHERE EROSION VELOCITIES ARE ENCOUNTERED.

OFF SITE VEHICLE TRACKING

STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED.

INSTALLATION, MAINTENANCE AND INSPECTION OF EROSION AND SEDIMENT CONTROLS

A. GENERAL

THESE ARE THE GENERAL INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO IMPLEMENT THE PLAN.

1. STABILIZATION OF ALL SWALES, DITCHES AND PONDS IS REQUIRED PRIOR TO DIRECTING FLOW TO THEM.
2. THE SMALLEST PRACTICAL PORTION OF THE SITE WILL BE DENUDE AT ONE TIME. (5 AC MAX)
3. ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE EACH WEEK AND FOLLOWING ANY STORM EVENT OF 0.10" OR GREATER.
4. ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.
5. BUILT UP SEDIMENT WILL BE REMOVED FROM SILT BARRIER WHEN IT HAS REACHED ONE THIRD THE HEIGHT OF THE BARRIER.
6. ALL DIVERSION DIKES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
7. TEMPORARY SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND UNHEALTHY GROWTH.
8. A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION.
9. THE CONTRACTOR'S SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.

B. FILTERS / BARRIERS

1. SILT SOCKS
 - A. KNOTTED MESH NETTING MATERIAL SHALL BE DELIVERED TO SITE IN A 5 MIL CONTINUOUS, TUBULAR, HDPE 3/8" MATERIAL, FILLED WITH COMPOST CONFORMING TO THE FOLLOWING REQUIREMENTS:

PHYSICAL PROPERTY	TEST	REQUIREMENTS
PH	TMECC 04.11-A	5.0 TO 8.0
PARTICLE SIZE	TMECC 02.02-B	2" SIEVE AND MIN. 50% GREATER THAN THE 8" SIEVE

MOISTURE CONTENT
MATERIAL SHALL BE RELATIVELY FREE OF INERT OR FOREIGN MAN-MADE MATERIALS

MATERIAL SHALL BE WEED FREE AND DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER, FREE FROM ANY REFUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH.

- B. SEDIMENT COLLECTED AT THE BASE OF THE SILT SOCK SHALL BE REMOVED ONCE IT HAS REACHED 1/3 OF THE EXPOSED HEIGHT OF THE SILT SOCK.
- C. SILT BARRIER SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREAS HAS BEEN PERMANENTLY STABILIZED.

2. SEQUENCE OF INSTALLATION

SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM.

3. MAINTENANCE

- A. SILT BARRIERS SHALL BE INSPECTED WEEKLY AND IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. THEY SHALL BE REPAIRED IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES, OR IMPONDING OF LARGE VOLUMES OF WATER BEHIND THEM, SEDIMENT BARRIERS SHALL BE REPLACED WITH A TEMPORARY CHECK DAM.
- B. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
- C. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE THIRD (1/3) THE HEIGHT OF THE BARRIER.
- D. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFIRM WITH THE EXISTING GRADE, PREPARED AND SEDED.

C. MULCHING

1. TIMING

IN ORDER FOR MULCH TO BE EFFECTIVE, IT MUST BE IN PLACE PRIOR TO MAJOR STORM EVENTS. THERE ARE TWO (2) TYPES OF STANDARDS WHICH SHALL BE USED TO ASSURE THIS:

- A. APPLY MULCH PRIOR TO ANY STORM EVENT.

THIS IS APPLICABLE WHEN WORKING WITHIN 100' OF WETLANDS. IT WILL BE NECESSARY TO CLOSELY MONITOR WEATHER PREDICTIONS, USUALLY BY CONTACTING THE NATIONAL WEATHER SERVICE, TO HAVE ADEQUATE WARNING OF SIGNIFICANT STORMS.

- B. REQUIRED MULCHING WITHIN A SPECIFIED TIME PERIOD.

THE TIME PERIOD CAN RANGE FROM 14 TO 21 DAYS OF INACTIVITY ON AN AREA, WHERE THE LENGTH OF TIME VARIES WITH SITE CONDITIONS. PROFESSIONAL JUDGMENT SHALL BE USED TO EVALUATE THE INTERACTION OF SITE CONDITIONS (SOIL ERODIBILITY, SEASON OF YEAR, EXTENT OF DISTURBANCE, PROXIMITY TO SENSITIVE RESOURCES, ETC.) AND THE POTENTIAL IMPACT OF EROSION ON ADJACENT AREAS TO CHOOSE AN APPROPRIATE TIME RESTRICTION.

2. GUIDELINES FOR WINTER MULCH APPLICATION.

WHEN MULCH IS APPLIED TO PROVIDE PROTECTION OVER WINTER (PAST THE GROWING SEASON) IT SHALL BE AT A RATE OF 6,000 POUNDS OF HAY OR STRAW PER ACRE. A TACKIFIER MAY BE ADDED TO THE MULCH.

3. MAINTENANCE

ALL MULCHES MUST BE INSPECTED PERIODICALLY, IN PARTICULAR AFTER RAINSTORMS, TO CHECK FOR HILL EROSION. IF LESS THAN 90% OF THE SOIL SURFACE IS COVERED BY MULCH, ADDITIONAL MULCH SHALL BE IMMEDIATELY APPLIED.

D. VEGETATIVE PRACTICE

1. AFTER ROUGH GRADING OF THE SUBGRADE HAS BEEN COMPLETED AND APPROVED, THE SUB GRADE SURFACE SHALL BE SCARIFIED TO A DEPTH OF 4". THEN, FURNISH AND INSTALL A LAYER OF LOAM PROVIDING A ROLLED THICKNESS AS SPECIFIED IN THESE PLANS. ANY DEPRESSIONS WHICH MAY OCCUR DURING ROLLING SHALL BE FILLED WITH ADDITIONAL LOAM, REGRADED AND ROLLED UNTIL THE SURFACE IS TRUE TO THE FINISHED LINES AND GRADES. ALL LOAM NECESSARY TO COMPLETE THE WORK UNDER THIS SECTION SHALL BE SUPPLIED BY THE SITE SUBCONTRACTOR.

2. ALL LARGE STIFF CLODS, LUMPS, BRUSH, ROOTS, DEBRIS, GLASS, STUMPS, LITTER AND OTHER FOREIGN MATERIAL, AS WELL AS STONES OVER 1" IN DIAMETER, SHALL BE REMOVED FROM THE LOAM AND DISPOSED OF OFF SITE. THE LOAM SHALL BE RAKED SMOOTH AND EVEN.

3. THE LOAM SHALL BE PREPARED TO RECEIVE SEED BY REMOVING STONES, FOREIGN OBJECTS AND GRADING TO ELIMINATE WATER POCKETS AND IRREGULARITIES PRIOR TO PLACING SEED. FINISH GRADING SHALL RESULT IN STRAIGHT UNIFORM GRADES AND SMOOTH, EVEN SURFACES WITHOUT IRREGULARITIES TO LOW POINTS.

4. SHAPE THE AREAS TO THE LINES AND GRADES REQUIRED. THE SITE SUBCONTRACTOR'S ATTENTION IS DIRECTED TO THE SCHEDULING OF LOAMING AND SEEDING OF GRADED AREAS TO PERMIT SUFFICIENT TIME FOR THE STABILIZATION OF THESE AREAS. IT SHALL BE THE SITE SUBCONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE AREAS DURING THE CONSTRUCTION PERIOD AND REGRADE, LOAM AND RESEED ANY DAMAGED AREAS.

5. ALL AREAS DISTURBED BY CONSTRUCTION WITHIN THE PROPERTY LINES AND NOT COVERED BY STRUCTURES, PAVEMENT, OR MULCH SHALL BE LOAMED AND SEEDED.

6. LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5.

7. FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 500 POUNDS PER ACRE OF 10-20-20 FERTILIZER.

8. SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4 1/2 POUNDS AND 5 1/2 POUNDS PER INCH OF WIDTH.

9. SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN IMMEDIATELY BEFORE SEEDING. THE SOIL SHALL BE LIGHTLY RAKED, ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4" AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH.

10. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE. MULCH THAT BLOWS OR WASHES AWAY SHALL BE REPLACED IMMEDIATELY AND ANCHORED USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.

11. THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEED, AND ALL NOXIOUS WEEDS REMOVED.
12. THE SITE SUBCONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED, INCLUDING CUTTING, AS SPECIFIED HEREIN AFTER UNDER MAINTENANCE AND PROTECTION.

13. UNLESS OTHERWISE APPROVED, SEEDING SHALL BE DONE DURING THE APPROXIMATE PERIODS OF EARLY SPRING TO SEPTEMBER 30, WHEN SOIL CONDITIONS AND WEATHER ARE SUITABLE FOR SUCH WORK IN NO CASE SHALL THE WEED CONTENT EXCEED 1 PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. FOR TEMPORARY PLANTINGS AFTER SEPTEMBER 30, TO EARLY SPRING AND FOR TEMPORARY PROTECTION OF DISTURBED AREAS:

- A. FOLLOW ABOVE SLOPE, LOAM DEPTH AND GRADING REQUIREMENTS.
- B. FERTILIZER SHALL BE SPREAD AND WORKED INTO THE SURFACE AT A RATE OF 300 POUNDS PER ACRE.

MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES:

WINTER RYE (FALL SEEDING)	2.5 LBS/1,000 SF
DATS (SPRING SEEDING)	2.0 LBS/1,000 SF
MULCH	1.5 TONS/ACRE

E. CATCH BASIN INLET PROTECTION

1. INLET BASKET STRUCTURE

- A. INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY PRIOR TO DISTURBING PAVEMENT AND SHALL REMAIN IN PLACE AND MAINTAINED UNTIL PAVEMENT BINDER COURSE IS COMPLETE.

- B. WOLD EXS. 42 LB. WIRE SUPPORT AROUND INLET FRAME AND GRATE AND EXTEND 6" BEYOND SIDES. SECURE FILTER FABRIC TO WIRE SUPPORT.

- C. THE FILTER FABRIC SHALL BE A GEOTEXTILE FABRIC, POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE OR POLYVINYLIDENE CHLORIDE MEETING THE FOLLOWING SPECIFICATIONS:

GRAB STRENGTH: 45 LB. MINIMUM IN ANY PRINCIPAL DIRECTION (ASTM D1682)
MULLEN BURST STRENGTH: MIN. 60PSI (ASTM D774)

- D. THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 20 U.S. STANDARD SIEVE AND A MINIMUM PERMEABILITY OF 120 GPM.

- E. THE INLET PROTECTION SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING.

- F. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.

F. WINTER CONSTRUCTION SEQUENCE

1. ALL PROPOSED POST-DEVELOPMENT LANDSCAPED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1 AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE, THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENT.

2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

3. AFTER OCTOBER 15TH, ALL TRAVEL SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOWFALL AFTER EACH STORM EVENT.

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, SILT BARRIERS SHALL BE INSTALLED PRIOR TO COMMENCING ANY CLEARING OR GRADING OF THE SITE. STRUCTURAL CONTROLS SHALL BE INSTALLED CONCURRENTLY WITH THE APPLICABLE ACTIVITY. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN TWENTY ONE (21) DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN FOURTEEN (14) DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT BARRIERS AND ANY EARTH/DIKES WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

WASTE DISPOSAL

1. WASTE MATERIALS
ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSTER. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.

2. HAZARDOUS WASTE
ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.

3. SANITARY WASTE
ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

SPILL PREVENTION

1. MATERIAL MANAGEMENT PRACTICES
THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:

GOOD HOUSEKEEPING:
THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT:

- A. AN EFFORT WILL BE MADE TO STORE ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB.
- B. ALL MATERIALS STORED ON SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
- C. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
- D. THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.
- E. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
- F. WHENEVER POSSIBLE ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.

HAZARDOUS PRODUCTS:
THE FOLLOWING PRACTICES WILL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:

- A. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
- B. ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION.
- C. SURPLUS PRODUCT THAT MUST BE DISPOSED OF WILL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL.

2. PRODUCT SPECIFICATION PRACTICES
THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON SITE:

PETROLEUM PRODUCTS:
ALL ON SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FERTILIZERS:
FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS. ONCE APPLIED FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS:
ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS:
CONCRETE TRUCKS WILL DISCHARGE AND WASH OUT SURPLUS CONCRETE OR DRUM WASH WATER IN A CONTAINED AREA DESIGNATED ON SITE.

SPILL CONTROL PRACTICES

IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

- A. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SANDUST AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- C. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- D. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- E. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
- F. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM RECURRING AND HOW TO CLEANUP THE SPILL IF IT RECURS. A DESCRIPTION OF THE SPILL, ITS CAUSE, AND THE CLEANUP MEASURES WILL BE INCLUDED.
- G. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.

DUST CONTROL

THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL METHODS SHALL INCLUDE, BUT NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ADJUTING AREAS.

SITE DEVELOPMENT PLANS

TAX MAP H LOT 520

EROSION CONTROL NOTES

**4 BLACKSTONE DRIVE
NASHUA, NEW HAMPSHIRE**

OWNED BY
WILMAR, LLC

PREPARED FOR
COLBEA ENTERPRISES, LLC

SCALE: NTS

MAY 7, 2020



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

48 Constitution Drive
Bedford, NH 03110
Phone (603) 472-4488
Fax (603) 472-9747
www.tfmoran.com

16713.11	DR RCK	FB	-	C-13
CK CHR	CA/FILE	16713-11_NOTES		

REV	DATE	DESCRIPTION	DKE	CR
1	5/27/2020	REVISIONS PER QTY CHECKLIST COMMENTS		

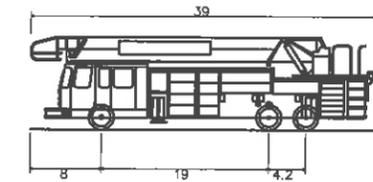
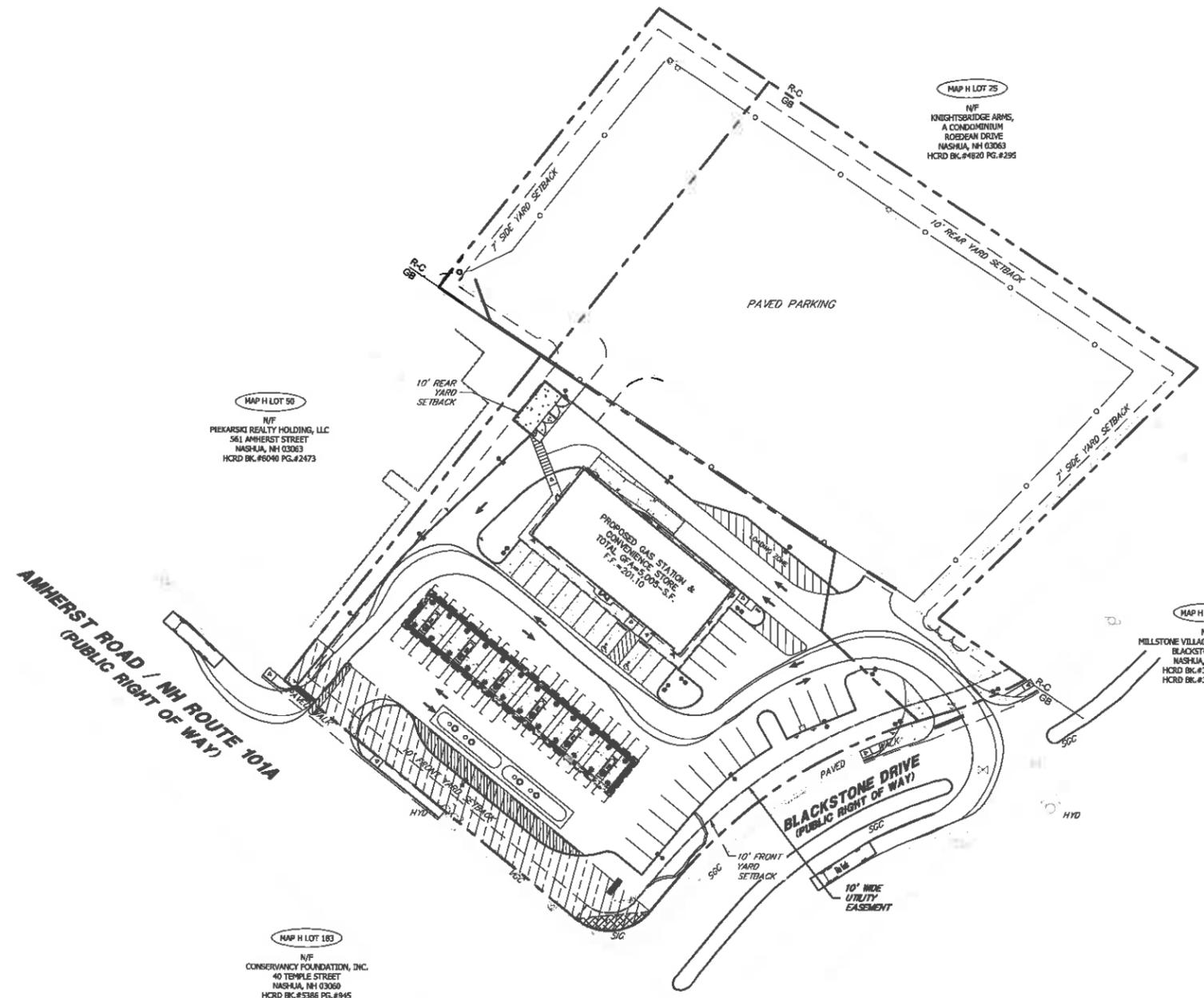
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Jun 01, 2020 - 9:27am F:\MSC Projects\16713-11 - Blackstone Drive - Nashua\16713-11 - COLBEA Enterside Enterprises_4 - Blackstone Dr\Design\Production Drawings\16713-11_Notes.dwg



Fire Truck
 Overall Length 39.000ft
 Overall Width 8.000ft
 Overall Body Height 10.432ft
 Min Body Ground Clearance 0.862ft
 Track Width 8.000ft
 Lock-to-lock time 6.00s
 Max Steering Angle (Virtual) 34.70°

AMHERST ROAD / NH ROUTE 101A
 (PUBLIC RIGHT OF WAY)

BLACKSTONE DRIVE
 (PUBLIC RIGHT OF WAY)

MAP H LOT 50
 N/F
 PEKARSKI REALTY HOLDING, LLC
 561 AMHERST STREET
 NASHUA, NH 03063
 HCRD BK.#6040 PG.#2473

MAP H LOT 25
 N/F
 KNIGHTSBRIDGE ARMS,
 A CONDOMINIUM
 ROSIEAN DRIVE
 NASHUA, NH 03063
 HCRD BK.#4820 PG.#295

MAP H LOT 486
 N/F
 MILLSTONE VILLAGE, A CONDOMINIUM
 BLACKSTONE DRIVE
 NASHUA, NH 03063
 HCRD BK.#3315 PG.#318
 HCRD BK.#3244 PG.#141

MAP H LOT 183
 N/F
 CONSERVANCY FOUNDATION, INC.
 40 TEMPLE STREET
 NASHUA, NH 03060
 HCRD BK.#5386 PG.#945

MAP H LOT 178
 N/F
 NEW HAMPSHIRE COLLEGE
 C/O SOUTHERN NH UNIVERSITY
 2500 N RIVER ROAD
 MANCHESTER, NH 03106
 HCRD BK.#5466 PG.#1039

SITE DEVELOPMENT PLANS
 TAX MAP H LOT 520
TRUCK MOVEMENT PLAN
4 BLACKSTONE DRIVE
NASHUA, NEW HAMPSHIRE
 OWNED BY
WILMAR, LLC
 PREPARED FOR
COLBEA ENTERPRISES, LLC
 1"=80' (11"X17")
 SCALE: 1"=40' (22"X34") MAY 7, 2020

TFM Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

48 Constitution Drive
 Bedford, NH 03110
 Phone (603) 472-4488
 Fax (603) 472-9747
 www.tfmaron.com



REV.	DATE	DESCRIPTION	DKE	CRR
1	5/27/2020	REVISIONS PER CITY CHECKLIST COMMENTS	DKE	CRR

FILE	16713.11	DR	RCK	FB		
		CK	CRR	CAO/FILE	16713-11_TRUCK MOVEMENT	C-15

Jun 01, 2020 - 9:28am
 F:\MISC Projects\16713 - Blackstone Drive - Nashua\16713-11 - COLBEA Eastside Enterprises_4 Blackstone Drive\Production Drawings\16713-11_Truck Movement.dwg

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NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda McGhee, Deputy Planning Manager
FOR: July 9, 2020
RE: **New Business #4 - Site Plan**

I. Project Statistics:

Owner: Oakwood Square, LLC
Proposal: Site plan amendment to NR669 to add a 32 space parking lot
Location: 6-8 High Pine Avenue
Total Site Area: 2.377 acres (103,557 square feet)
Existing Zoning: RC- Urban Residence
Surrounding Uses: Residential

II. Background Information:

The existing property consists of multiple condominium units constructed back in 1983. The site contains 10 buildings with 29 units and 55 parking spaces. Presently access to the site is via two curb cuts on High Pine Avenue.

III. Project Description:

The proposal is to construct a 32 space parking lot on the undeveloped area south of the condominium units. Access to the new parking lot will be provided via a curb cut onto Cypress Lane. Other site improvements include curbing, internal traffic signage and landscaping improvements. The project was not required to provide a traffic letter. No new buildings are proposed.

According to the applicant's engineer, to accommodate the additional runoff generated by the proposed parking lot a subsurface infiltration basin will be constructed.

Two waivers have been requested for the project. The first waiver is to exceed the maximum number of parking spaces; 87 spaces are proposed, 55 spaces are allowed. The second waiver is to show existing features on site and on the adjacent parcels.

City Staff have reviewed the plans; comments are attached.

Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, they should state specific reasons. If the Planning Board chooses to approve this plan, staff recommends the following stipulation(s) be made part of that approval:

1. The request for a waiver of § 190-279 (EE) which requires one to show existing conditions on site and adjacent parcels, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. The request for a waiver of NRO § 190-198 which requires a maximum number of parking spaces, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
3. Prior to the Chair signing the plan, minor drafting corrections will be made.
4. Prior to the issuance of a building permit, all comments in an e-mail from Joe Mendola, Street Construction Engineer, dated May 5, 2020 shall be addressed to the satisfaction of the Engineering Department.

3 Congress Street Nashua, NH 03063 (603) 883-2057
 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
 www.haynerswanson.com

Hayner/Swanson, Inc.



MAP 'E', LOT 145
 SITE PLAN

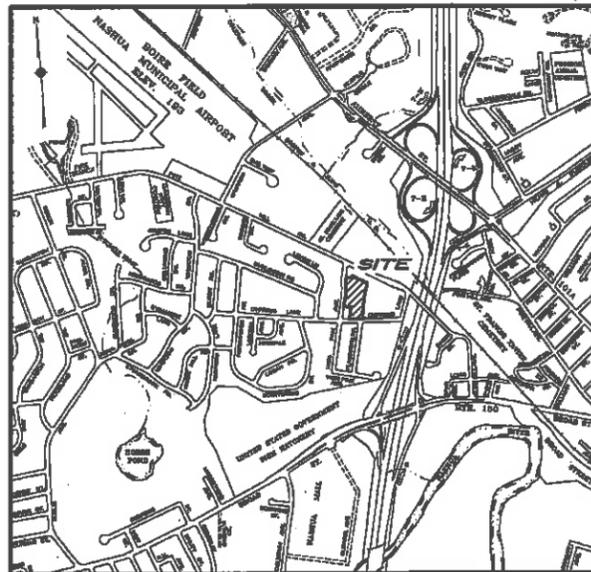
PROPOSED PARKING LOT ADDITION

6-8 HIGH PINE AVENUE
 NASHUA, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER

OAKWOOD SQUARE, LLC

c/o THE STABLE COMPANIES
 20 COTTON ROAD, SUITE 200
 NASHUA, NEW HAMPSHIRE 03063
 (603) 889-0318



VICINITY PLAN
 Scale 1" = 400'

23 MARCH 2020

No.	DATE	REVISION	BY
1	03/23/20	ADDRESS CITY COMMENTS	EM

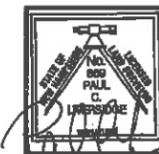
INDEX OF PLANS

SHEET No.	TITLE	SCALE
1 OF 6	MASTER SITE PLAN	1" = 40'
2 OF 6	EXISTING CONDITIONS PLAN	1" = 20'
3 OF 6	SITE PLAN	1" = 20'
4-5 OF 6	DETAIL SHEET- GENERAL SITE	
6 OF 6	LANDSCAPE PLAN	1" = 20'



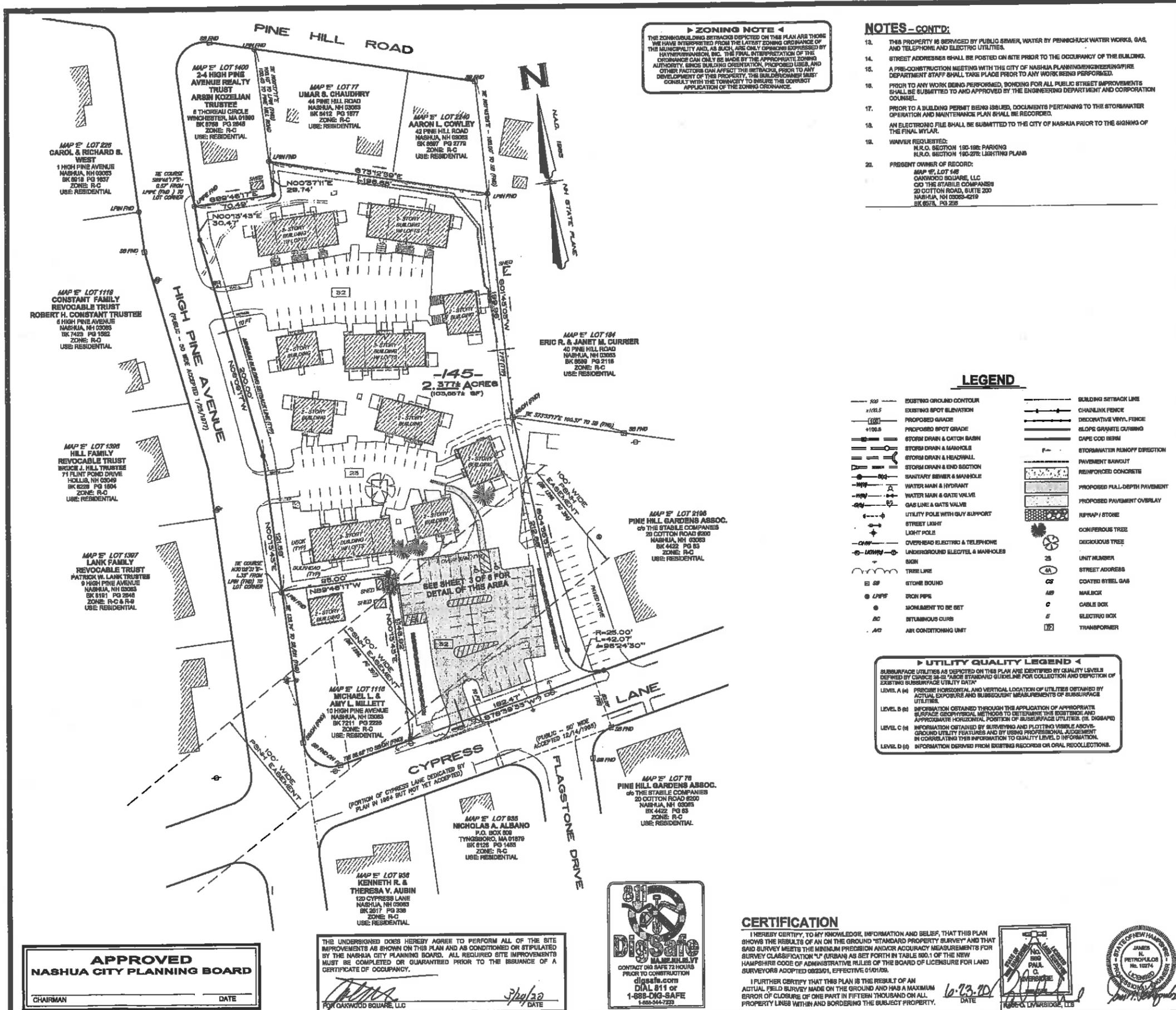
HSI Hayner/Swanson, Inc.

Civil Engineers/Land Surveyors
 3 Congress Street Nashua, NH 03062 (603) 883-2057
 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
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6-23-20





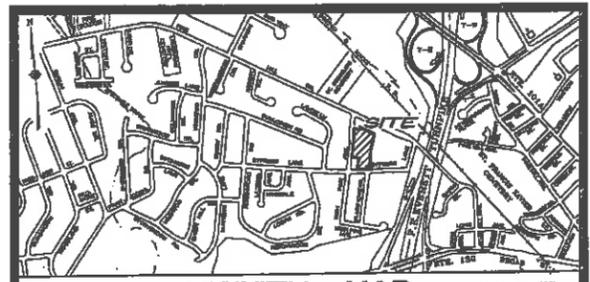
ZONING NOTE 4
 THE ZONING BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNES/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDING OWNER MUST CONSULT WITH THE TOWN/CITY TO ENSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

- NOTES - CONT'D:**
- THIS PROPERTY IS SERVICED BY PUBLIC SEWER, WATER BY PENNECHUCK WATER WORKS, GAS AND TELEPHONE AND ELECTRIC UTILITIES.
 - STREET ADDRESSERS SHALL BE POSTED ON SITE PRIOR TO THE OCCUPANCY OF THE BUILDING.
 - A PRE-CONSTRUCTION MEETING WITH THE CITY OF NASHUA PLANNING/ENGINEERING/FIRE DEPARTMENT STAFF SHALL TAKE PLACE PRIOR TO ANY WORK BEING PERFORMED.
 - PRIOR TO ANY WORK BEING PERFORMED, BONDING FOR ALL PUBLIC STREET IMPROVEMENTS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEERING DEPARTMENT AND CORPORATION COUNSEL.
 - PRIOR TO A BUILDING PERMIT BEING ISSUED, DOCUMENTS PERTAINING TO THE STORMWATER OPERATION AND MAINTENANCE PLAN SHALL BE RECORDED.
 - AN ELECTRONIC FILE SHALL BE SUBMITTED TO THE CITY OF NASHUA PRIOR TO THE SIGNING OF THE FINAL W/AR.
 - W/AVER REQUESTED:
 N.R.O. SECTION 150-152: PARKING
 N.R.O. SECTION 150-272: LIGHTING PLANS
 - PRESENT OWNER OF RECORD:
 MAP 'E', LOT 145
 OAKWOOD SQUARE, LLC
 c/o THE STABLE COMPANIES
 20 COTTON ROAD, SUITE 200
 NASHUA, NH 03083-4219
 BK 9273, PG 229

LEGEND

- | | | | |
|-----------|---------------------------------|-----------|------------------------------|
| — 100 — | EXISTING GROUND CONTOUR | — — — — — | BUILDING SETBACK LINE |
| +101.5 | EXISTING SPOT ELEVATION | — — — — — | CHAINLINK FENCE |
| (100) | PROPOSED GRADE | — — — — — | DECORATIVE VINYL FENCE |
| +100.5 | PROPOSED SPOT GRADE | — — — — — | SLOPE GRANITE CURBING |
| — — — — — | STORM DRAIN & CATCH BASIN | — — — — — | CAPE COD BERM |
| — — — — — | STORM DRAIN & MANHOLE | — — — — — | STORMWATER RUNOFF DIRECTION |
| — — — — — | STORM DRAIN & HEADWALL | — — — — — | PAVEMENT BANGOUT |
| — — — — — | STORM DRAIN & END SECTION | — — — — — | REINFORCED CONCRETE |
| — — — — — | SANITARY SEWER & MANHOLE | — — — — — | PROPOSED FULL-DEPTH PAVEMENT |
| — — — — — | WATER MAIN & HYDRANT | — — — — — | PROPOSED PAVEMENT OVERLAY |
| — — — — — | WATER MAIN & GATE VALVE | — — — — — | REFRAP / STONE |
| — — — — — | GAS LINE & GATE VALVE | — — — — — | CONFERENTIAL TREE |
| — — — — — | UTILITY POLE WITH GUY SUPPORT | — — — — — | DECIDUOUS TREE |
| — — — — — | STREET LIGHT | — — — — — | UNIT NUMBER |
| — — — — — | LIGHT POLE | — — — — — | STREET ADDRESS |
| — — — — — | OVERHEAD ELECTRIC & TELEPHONE | — — — — — | COATED STEEL GAS |
| — — — — — | UNDERGROUND ELEVATOR & MANHOLES | — — — — — | MAILBOX |
| — — — — — | TREE LINE | — — — — — | ELECTRIC BOX |
| — — — — — | STONE BOUND | — — — — — | CABLE BOX |
| — — — — — | IRON PIPE | — — — — — | TRANSFORMER |
| — — — — — | MONUMENT TO BE SET | | |
| — — — — — | STIMULOUS CURB | | |
| — — — — — | AIR CONDITIONING UNIT | | |

UTILITY QUALITY LEGEND 4
 SUBSURFACE UTILITIES AS DEPICTED ON THIS PLAN ARE IDENTIFIED BY QUALITY LEVELS DEFINED BY CHAPTER 38-BZ "ARCS" STANDARD GUIDELINE FOR COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA
 LEVEL A (A) PROPOSED HORIZONTAL AND VERTICAL LOCATION OF UTILITIES OBTAINED BY ACTUAL EXPOSURE AND SUBSEQUENT MEASUREMENTS OF SUBSURFACE UTILITIES
 LEVEL B (B) INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES (IE. DISABED)
 LEVEL C (C) INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGEMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D INFORMATION
 LEVEL D (D) INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS



- PLAN REFERENCES:**
- AS BUILT SITE PLAN (LOTS 145, 150 & 157, MAP 'E'), OAKWOOD SQUARE CONDOMINIUM, HIGH PINE AVENUE, NASHUA, NEW HAMPSHIRE, PREPARED FOR JOHN P. STABLER II, SCALE: 1"=50', DATED JUNE 1, 1992 BY ALLAN H. SWANSON, INC. RECORDED: HCRO PLAN No. 24054.
 - PINEHILL ACRES, PINE HILL ROAD, NASHUA, N.H., SCALE: 1"=50', DATED SEPTEMBER 1994 BY A.E. MAYNARD. RECORDED: HCRO PLAN No. 2694.
 - CONSOLIDATION PLAN- HIGH PINE AVENUE, NASHUA, N.H., FOR NORTHEAST REALTY, SCALE: 1"=20', DATED JUNE 1977 BY A.E. MAYNARD. RECORDED: HCRO PLAN No. 11087.

- NOTES:**
- LOT AREA: 2.377± ACRES (103,957± SF)
 - PRESENT ZONING: R-C - C URBAN RESIDENCE
 DIMENSIONAL REQUIREMENTS: EXISTING/PROPOSED
 MIN. LOT AREA: 6,000 SF / 103,957 SF
 MIN. LOT WIDTH: 50 FT / 145 FT
 MIN. FRONTAGE: 50 FT / 534 FT
 MIN. LOT DEPTH: 75 FT / 110 FT
 MIN. FRONT SETBACK: 10 FT / 32 FT
 MIN. SIDE SETBACK: 7 FT / 20 FT
 MIN. REAR SETBACK: 20 FT / 20 FT
 MAX. BUILDING HEIGHT: 100 FT / .
 MAX. STORES: 10 / 2.0
 MAX. F.A.R.: 1.0 / .
 - LOT NUMBERS REFER TO THE CITY OF NASHUA AG8586808 MAP 'E'
 - PURPOSE OF PLAN:
 TO AMEND 1988Z TO SHOW THE PROPOSED PARKING LOT ADDITION UPON LOT 145.
 - PARKING:
 REQUIRED (MULTI-FAMILY-20 UNITS): 44 SPACES
 MINIMUM: 1.5 SPACES/UNIT x 29 UNITS = 44 SPACES
 MAXIMUM: 1.9 SPACES/UNIT x 29 UNITS = 55 SPACES
 PROVIDED (86 EXISTING SPACES + 32 PROPOSED SPACES) = 87 SPACES
 - OPEN SPACE:
 REQUIRED: 30%
 PROVIDED: 46%
 - THIS PARCEL IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE RATE MAP (FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, OCCURRED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33011003130, REVISED DATE: SEPTEMBER 28, 2008.
 - MONUMENTS, WHERE REQUIRED, TO BE SET BY A LICENSED LAND SURVEYOR.
 - ALL LANDSCAPING SHALL BE AS SHOWN ON THE PLANS AND CONFORM TO THE APPLICABLE CITY OF NASHUA ZONING REGULATIONS.
 - ALL LIGHTING SHALL BE AS SHOWN ON THE PLANS, DIRECTED ONTO THE SITE AND CONFORM TO APPLICABLE CITY OF NASHUA ZONING REGULATIONS. ALL SIGNAGE SHALL CONFORM TO THE APPLICABLE CITY OF NASHUA REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
 - SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE II OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION, GRADE AND NUMBER OF PARKING SPACES.
 - IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY OF NASHUA PLANNING BOARD.
 - IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY OF NASHUA PLANNING BOARD.
 - PUBLIC STREET RESTORATION WORK SHALL BE IN ACCORDANCE WITH N.R.O. SECTION 256-15, LATEST EDITION.

NO.	DATE	ADDRESS CITY COMMENTS	BY
1	08/19/20		
2			
3			

MASTER SITE PLAN
 (MAP 'E', LOT 145)
PROPOSED PARKING LOT ADDITION
 6-8 HIGH PINE AVENUE
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR/RECORD OWNER:
OAKWOOD SQUARE, LLC
 c/o THE STABLE COMPANIES 20 COTTON ROAD, SUITE 200 NASHUA, NH 03083-4219
 SCALE: 1"=40 Feet
 1"=12.192 Meters
23 MARCH 2020

APPROVED
NASHUA CITY PLANNING BOARD
 CHAIRMAN _____ DATE _____

THIS UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE SITE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 FOR OAKWOOD SQUARE, LLC
 DATE: 3/20/20

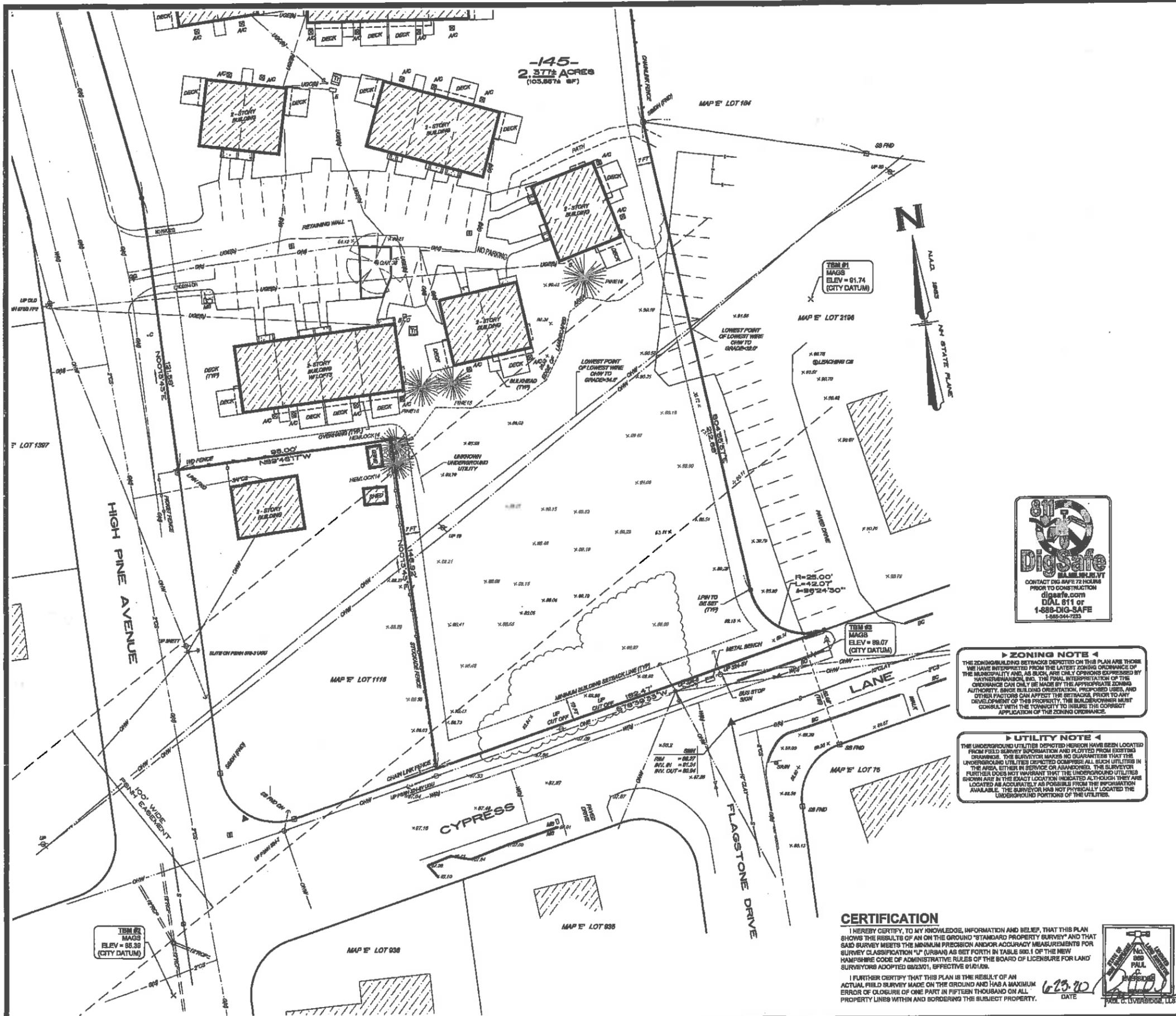
DIGSAFE
 CONTACT OR CALL
 DIAL 811 OF
 1-888-DIG-SAFE
 1-888-444-7229

CERTIFICATION

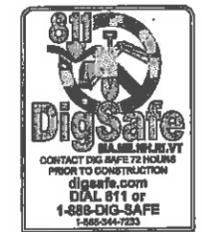
I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 800.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/05.
 I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTY THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.
 DATE: 3/23/20
 MADE & LIVERMORSE, LLC



H/S/I Haynes/Swanson, Inc.
 Civil Engineers/Land Surveyors
 3 Congress Street Nashua, NH 03062 (603) 883-9237
 131 Middlesex Turnpike Burlington, MA 02403 (781) 303-1901
 www.haynes-swanson.com
 DTD: 0306
 DRAWING NAME: 180575E-P04
 1951 1 OF 6
 DRAWING LOG: 2\1\000\1951\1951\1951 SITE



- SURVEY NOTES:**
1. THE EXISTING PLANIMETRIC AND TOPOGRAPHY, AS SHOWN ON THESE PLANS, IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND IN NOVEMBER 2018.
 2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
 3. THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.
 4. SURVEY CONTROL INFORMATION:
CONTROLLED BY TRIMBLE R10 GPS RECEIVER
RTK CORRECTIONS VIA KEYMET VRS
HORIZONTAL DATUM: NAD 83 (2011)
HORIZONTAL PROJECTION: NH STATE PLANE
VERTICAL DATUM: NASHUA CITY DATUM
UNITS: US SURVEY FEET
 5. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO WETLANDS ON THE SITE.



ZONING NOTE 4
THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNES/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDING OWNER MUST CONSULT WITH THE TOWNSHIPS TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

UTILITY NOTE 4
THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

CERTIFICATION

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "UP" (URBAN) AS SET FORTH IN TABLE 903.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/08.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

DATE: 6-23-20
PAUL C. LIVERSIDGE, LLS



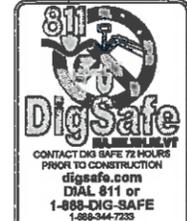
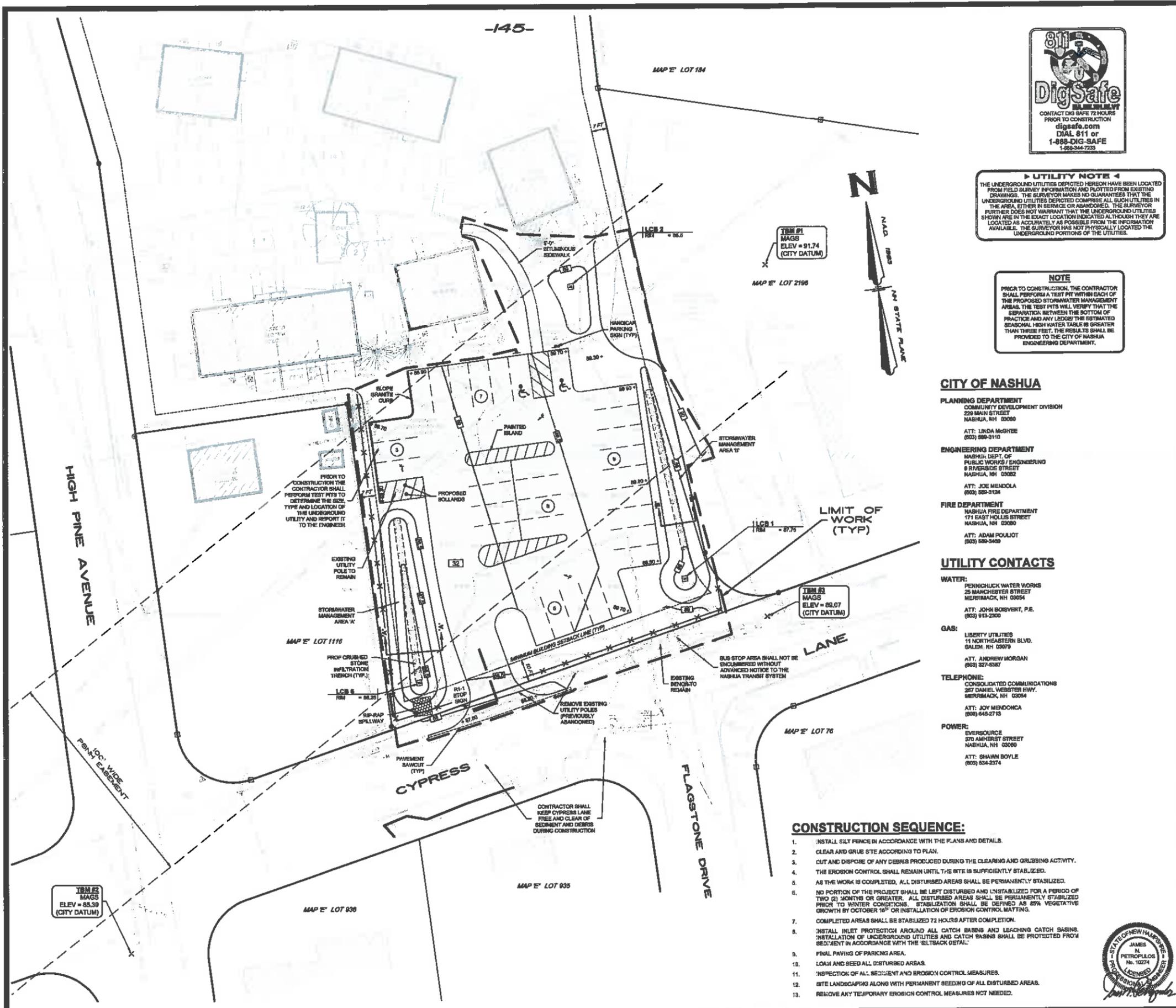
1	03/19/20	ADDRESS CITY COMMENTS	BSB
No.	DATE	REVISION	BY

EXISTING CONDITIONS PLAN
(MAP 'E', LOT 145)
PROPOSED PARKING LOT ADDITION
6-8 HIGH PINE AVENUE
NASHUA, NEW HAMPSHIRE
PREPARED FOR/RECORD OWNER:
OAKWOOD SQUARE, LLC
c/o THE STABLE COMPANIES 20 COTTON ROAD, SUITE 200 NASHUA, NH 03063-4219

23 MARCH 2020

HSI Haynes/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street Nashua, NH 03063 (603) 883-3037 www.hsi-haynes.com
131 Middlesex Turnpike Burlington, MA 01803 (781) 243-1511

FIELD BOOK	DRAWING NAME: 1901SITE-0221	1981	2 OF 5
DRAWING LOC: 4:\1000\1981\DWG\1981 SITE		PH: Nashua	Sheet



UTILITY NOTE 4
 THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

NOTE
 PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PERFORM A TEST PIT WITHIN EACH OF THE PROPOSED STORMWATER MANAGEMENT AREAS. THE TEST PITS WILL VERIFY THAT THE SEPARATION BETWEEN THE BOTTOM OF PRACTICE AND ANY LEAKY OR ESTIMATED SEASONAL HIGH WATER TABLE IS GREATER THAN THREE FEET. THE RESULTS SHALL BE PROVIDED TO THE CITY OF NASHUA ENGINEERING DEPARTMENT.

CITY OF NASHUA

PLANNING DEPARTMENT
 COMMUNITY DEVELOPMENT DIVISION
 229 MAIN STREET
 NASHUA, NH 03080
 ATT: LINDA MOHRE
 (603) 888-9110

ENGINEERING DEPARTMENT
 NASHUA DEPT. OF PUBLIC WORKS / ENGINEERING
 9 RIVERSIDE STREET
 NASHUA, NH 03082
 ATT: JOE MENDOLA
 (603) 888-9104

FIRE DEPARTMENT
 NASHUA FIRE DEPARTMENT
 171 EAST HOLLIS STREET
 NASHUA, NH 03080
 ATT: ADAM POLIOT
 (603) 888-3400

UTILITY CONTACTS

WATER:
 PENNICK WATER WORKS
 25 MANCHESTER STREET
 MERRIMACK, NH 03054
 ATT: JOHN BOISVERT, P.E.
 (603) 913-2800

GAS:
 LIBERTY UTILITIES
 11 NORTHEASTERN BLVD.
 SALEM, NH 03079
 ATT: ANDREW MORGAN
 (603) 327-5387

TELEPHONE:
 CONSOLIDATED COMMUNICATIONS
 267 DANIEL WEBSTER HWY.
 MERRIMACK, NH 03054
 ATT: JOY MENDONCA
 (603) 645-2715

POWER:
 EVERSOURCE
 370 UNIVERSITY STREET
 NASHUA, NH 03080
 ATT: SHAWN BOYLE
 (603) 634-2274

CONSTRUCTION SEQUENCE:

- INSTALL SILT FENCE IN ACCORDANCE WITH THE PLANS AND DETAILS.
- CLEAR AND GRUB SITE ACCORDING TO PLAN.
- CUT AND DISPOSE OF ANY DEBRIS PRODUCED DURING THE CLEARING AND GRUBBING ACTIVITY.
- THE EROSION CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED.
- AS THE WORK IS COMPLETED, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED.
- NO PORTION OF THE PROJECT SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR A PERIOD OF TWO (2) MONTHS OR GREATER. ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED PRIOR TO WINTER CONDITIONS. STABILIZATION SHALL BE DEFINED AS 85% VEGETATIVE GROWTH BY OCTOBER 15TH OR INSTALLATION OF EROSION CONTROL MATTING.
- COMPLETED AREAS SHALL BE STABILIZED 72 HOURS AFTER COMPLETION.
- INSTALL INLET PROTECTION AROUND ALL CATCH BASINS AND LEACHING CATCH BASINS. INSTALLATION OF UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT IN ACCORDANCE WITH THE "SLTBACK DETAIL".
- FINAL PAVING OF PARKING AREA.
- LOAM AND SEED ALL DISTURBED AREAS.
- INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES.
- SITE LANDSCAPING ALONG WITH PERMANENT SEEDING OF ALL DISTURBED AREA.
- REMOVE ANY TEMPORARY EROSION CONTROL MEASURES NOT NEEDED.

CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF NASHUA, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, LATEST EDITION ARE HEREBY INCORPORATED BY REFERENCE.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
- BLASTING, IF NEEDED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF NASHUA FIRE DEPARTMENT REGULATIONS.
- ALL STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDDED IMMEDIATELY UPON BEING COMPLETED.
- THERE IS NO NEW PROPOSED SITE LIGHTING AS PART OF THIS PROJECT.

UTILITY NOTES:

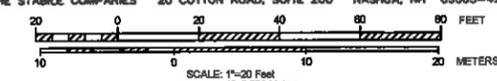
- ALL WATER LINE, HYDRANT VALVES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS FOR THE INSTALLATION OF MATERIALS, MAIN PIPING, SERVICE CONNECTIONS IN THE PENNICK WATER WORKS FRANCHISED AREAS OF NASHUA AND MERRIMACK, NEW HAMPSHIRE, LATEST EDITION.
- ALL DRAINAGE PIPE SHALL BE ADS N-12 HOPE (WATERTIGHT-WT) PIPE AND JOINTS OR APPROVED EQUAL. MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE FOLLOWED.
- FOUNDATION DRAINS ARE NOT ALLOWED TO OUTLET OVERLAND ONTO ANY STREET.
- DRAIN SYSTEMS SHALL BE INSTALLED BY A NASHUA LICENSED DRAIN LAYER, PER NRD SECTION 18-82 THROUGH SECTION 18-80.
- ALL POWER RELATED WORK SHALL CONFORM TO EVERSOURCE STANDARDS.
- ALL TELECOMMUNICATIONS WORK SHALL CONFORM TO CONSOLIDATED COMMUNICATIONS STANDARDS.
- ALL NATURAL GAS RELATED WORK SHALL COMPLY WITH LIBERTY UTILITIES STANDARDS.
- THE PROPOSED BUILDINGS SHALL BE SERVICED BY A FIRE SUPPRESSION SYSTEM. FINAL SIZING AND LOCATION OF PROPOSED WATER SERVICES TO BE DESIGNED BY PROJECT'S MEP ENGINEER AND COORDINATED WITH PENNICK WATER WORKS PRIOR TO CONSTRUCTION.

EROSION CONTROL NOTES:

- THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES THROUGHOUT THE DURATION OF THE PROJECT. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN A GRAVEL CONSTRUCTION EXIT THROUGHOUT CONSTRUCTION TO LIMIT TRACKING OF MATERIAL ONTO CYPRESS LANE. MONITOR CYPRESS LANE FOR TRACKING AND SWEEP AS NECESSARY.
- LOADS AND MATERIAL STOCKPILE AREAS SHALL BE SURROUNDED BY BILT FENCE AND RE-SEEDED IF FIRST ARE LEFT UNPROTECTED FOR MORE THAN FOURTEEN (14) DAYS.
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
- ALL REEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
- SILT FENCE SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-QUARTER THE HEIGHT OF THE SILT FENCE.

No.	DATE	REVISION	BY
1	08/19/20	ADDRESS CITY COMMENTS	EMB

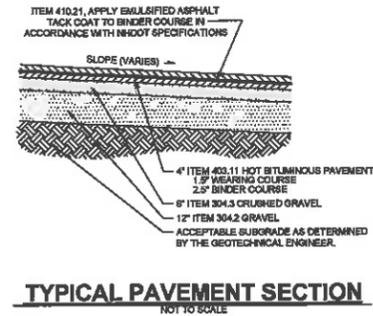
SITE PLAN
 (MAP "E", LOT 145)
PROPOSED PARKING LOT ADDITION
 6-8 HIGH PINE AVENUE
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR/RECORD OWNER:
OAKWOOD SQUARE, LLC
 c/o THE STABLE COMPANIES 20 COTTON ROAD, SUITE 200 NASHUA, NH 03063-4219



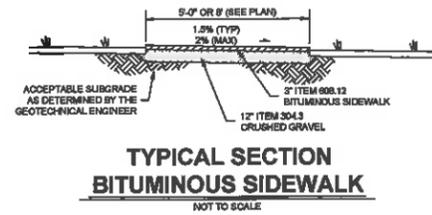
23 MARCH 2020

HISI *Layne/Swanson, Inc.*
 Civil Engineer/Lead Surveyor
 3 Congress Street
 Nashua, NH 03063
 (603) 883-2037
 131 Middlesex Turnpike
 Burlington, MA 02903
 (781) 203-1504
 www.layne-swanson.com

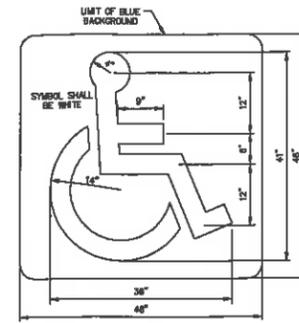




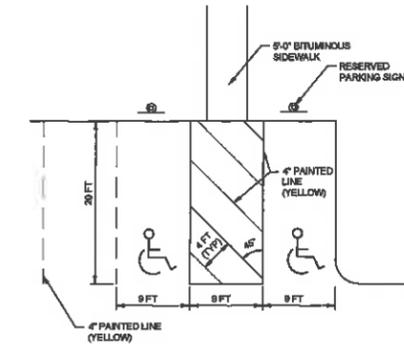
TYPICAL PAVEMENT SECTION
NOT TO SCALE



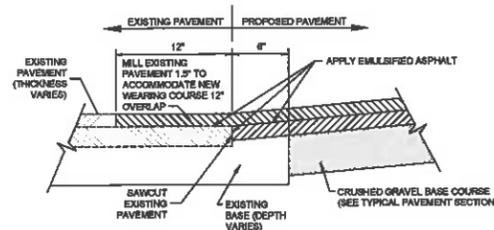
TYPICAL SECTION BITUMINOUS SIDEWALK
NOT TO SCALE



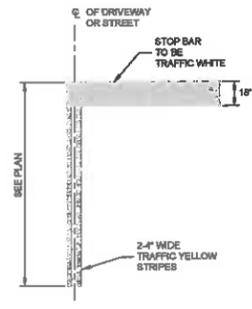
ACCESSIBLE PARKING SPACE PAVEMENT MARKING
NOT TO SCALE



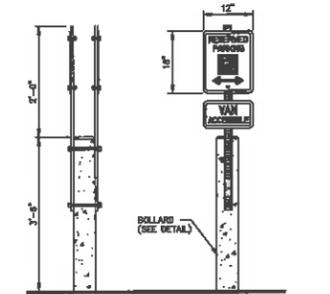
RESERVED PARKING AREA DETAIL
SCALE: 1" = 10'



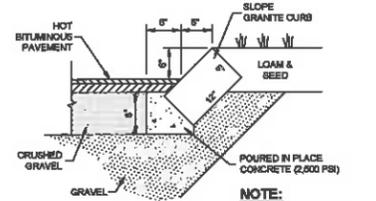
SAWCUT PAVEMENT DETAIL
NOT TO SCALE



STOP BAR DETAIL
NOT TO SCALE

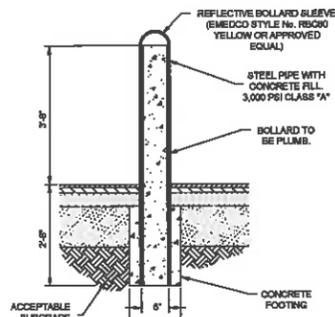


ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE

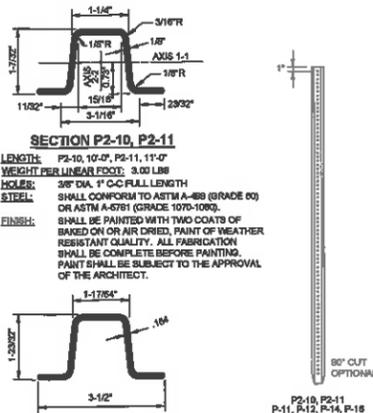


SLOPE GRANITE CURB DETAIL
NOT TO SCALE

NOTE: PAYMENT FOR CEMENT CONCRETE WILL BE INCLUDED IN THE PRICE PER LINEAL FOOT OF GRANITE CURB



BOLLARD DETAIL
NOT TO SCALE



SECTION P2-10, P2-11

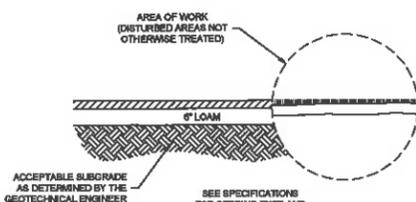
LENGTH: P2-10, 10'-0"; P2-11, 11'-0"
WEIGHT PER LINEAR FOOT: 3.00 LBS
HOLE: 3/8" DIA. 1" O-C FULL LENGTH
STEEL: SHALL CONFORM TO ASTM A-688 (GRADE 60) OR ASTM A-5781 (GRADE 1070-1083).
FINISH: SHALL BE PAINTED WITH TWO COATS OF BAKED ON OR AIR DRIED, PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING. PAINT SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT.

SECTION P-11 THRU P-16

LENGTH: P-11, 11'-0"; P-12, 12'-0"; P-14, 14'-0"; P-16, 16'-0"
WEIGHT PER LINEAR FOOT: 3.00 LBS
STEEL: SAME AS FOR P2-10, P2-11
FINISH: SAME AS FOR P2-10, P2-11

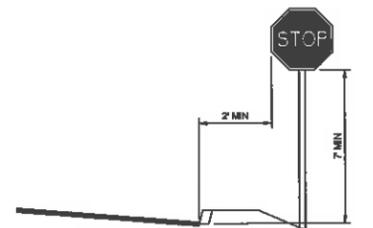
DIMENSIONS SHOWN ARE NOMINAL. ALTERNATE SECTIONS MUST BE APPROVED PRIOR TO USE.

TRAFFIC SIGN SUPPORT DETAIL
NOT TO SCALE



LOAM AND SEED DETAIL
NOT TO SCALE

SEE SPECIFICATIONS FOR SEEDING TYPE AND APPLICATION RATES



STOP SIGN LOCATION DETAIL
NOT TO SCALE



No.	DATE	ADDRESS CITY COMMENTS	REVISION	BY
1	06/19/20			EMB

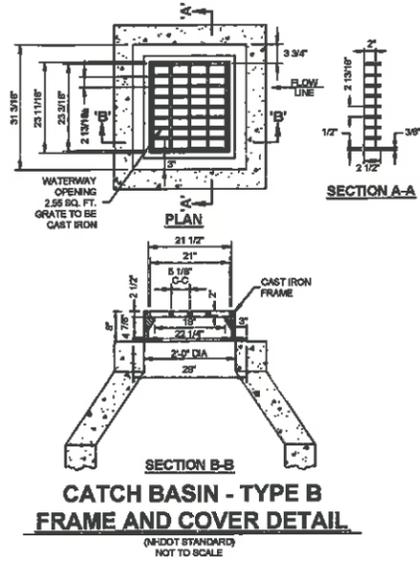
DETAIL SHEET - GENERAL SITE
(MAP 'E', LOT 145)
PROPOSED PARKING LOT ADDITION
6-8 HIGH PINE AVENUE
NASHUA, NEW HAMPSHIRE
PREPARED FOR/RECORD OWNER:
OAKWOOD SQUARE, LLC
c/o THE STABLE COMPANIES 20 COTTON ROAD, SUITE 200 NASHUA, NH 03063-4218

SCALE AS SHOWN

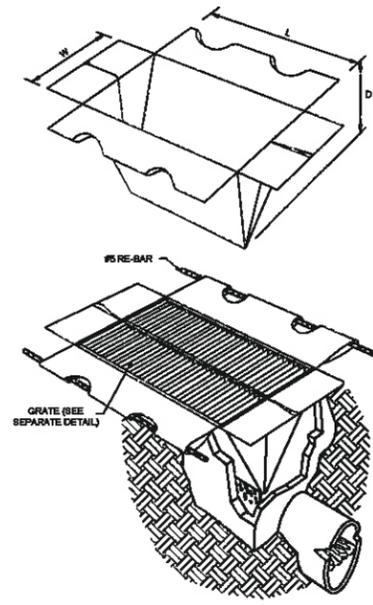
23 MARCH 2020

HISI Haynes/Swanson, Inc.
Civil Engineer/Lead Surveyor
3 Congress Street Nashua, NH 03062 (603) 883-2037
151 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
www.haynes-swanson.com

FIELD BOOK:	DRAWING NAME: 1981SPTC-DET1	1981	4 OF 6
DRAWING LOC: J:\1000\1981\DWG\1981 SITE		PL: Number	Sheet



**CATCH BASIN - TYPE B
FRAME AND COVER DETAIL**
(NOT STANDARD)
NOT TO SCALE



SILTSAK® DETAIL
NOT TO SCALE

SILTSAK® NOTES:

- 1.0 THE SILTSAK® SHALL BE MANUFACTURED FROM WOVEN POLYPROPYLENE AND SEWN BY A DOUBLE NEEDLE MACHINE, USING A HIGH STRENGTH NYLON THREAD.
- 2.0 THE SILTSAK® BEAMS SHALL HAVE A CERTIFIED AVERAGE WIDE WIDTH STRENGTH PER ASTM D-4884 STANDARDS AS FOLLOWS:

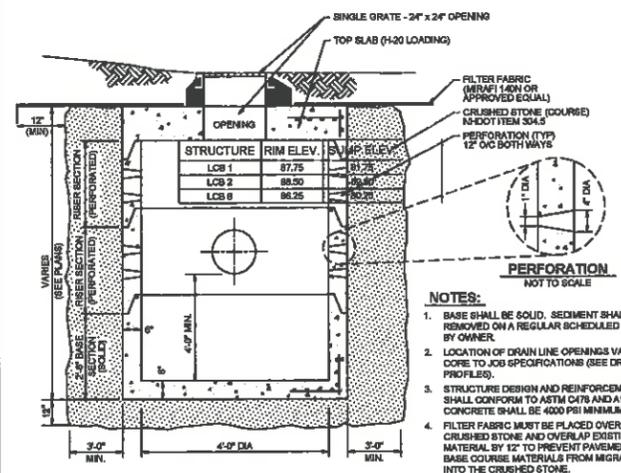
SILTSAK® STYLE	TEST METHOD	TEST RESULT
REGULAR FLOW	ASTM D-4884	105.0 LBMIN
H-LOW	ASTM D-4884	114.8 LBMIN

- 3.0 THE SILTSAK® WILL BE MANUFACTURED TO FIT THE OPENING OF THE CATCH BASIN OR DROP INLET. THE SILTSAK® WILL HAVE THE FOLLOWING FEATURES: TWO DUMP STRAPS ATTACHED AT THE BOTTOM TO FACILITATE THE EMPTYING OF THE SILTSAK®. THE SILTSAK® SHALL HAVE LIFTING LOOPS AS AN INTEGRAL PART OF THE SYSTEM TO BE USED TO LIFT THE SILTSAK® FROM THE BASIN. THE SILTSAK® SHALL HAVE A RESTRAINT CORD APPROXIMATELY HALFWAY UP THE SACK TO KEEP THE SIDES AWAY FROM THE CATCH BASIN WALLS. THIS YELLOW CORD IS ALSO A VISIBLE MEANS OF INDICATING WHEN THE SACK SHOULD BE EMPLOYED, CLEANED, AND PLACED BACK INTO THE BASIN.
- 4.0 THE GEOTEXTILE FABRIC SHALL BE WOVEN POLYPROPYLENE FABRIC WITH THE FOLLOWING PROPERTIES:

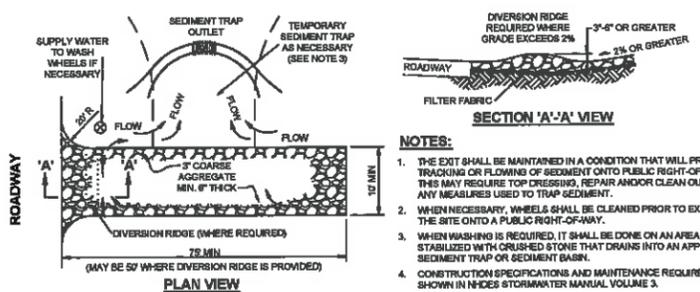
PROPERTY	TEST METHOD	TEST RESULT
GRAB TENSILE	ASTM D-4832	300 LBS
GRAB ELONGATION	ASTM D-4831	20%
PUNCTURE	ASTM D-4833	130 LBS
MULLER BURST	ASTM D-5798	800 PSI
TRAPEZOID TEAR	ASTM D-4833	130 LBS
UV RESISTANCE	ASTM D-4255	90%
APPARENT OPENING	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/FT ²
PERMITTIVITY	ASTM D-4491	0.55 SEC

- OR SILTSAK® H-LOW

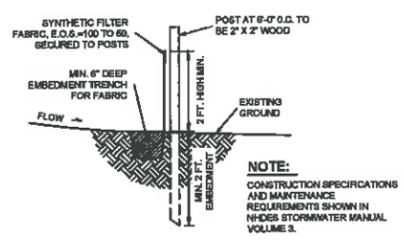
PROPERTY	TEST METHOD	TEST RESULT
GRAB TENSILE	ASTM D-4832	285 LBS
GRAB ELONGATION	ASTM D-4832	20%
PUNCTURE	ASTM D-4833	130 LBS
MULLER BURST	ASTM D-5798	430 PSI
TRAPEZOID TEAR	ASTM D-4833	45 LBS
UV RESISTANCE	ASTM D-4255	90%
APPARENT OPENING	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/FT ²
PERMITTIVITY	ASTM D-4491	1.5 SEC



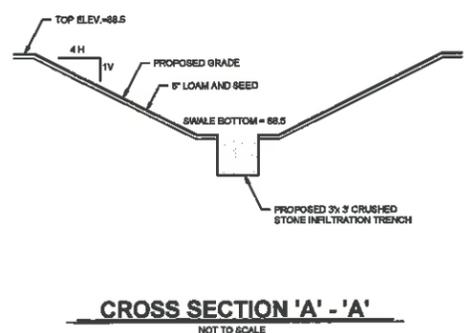
LEACHING CATCH BASIN
NOT TO SCALE



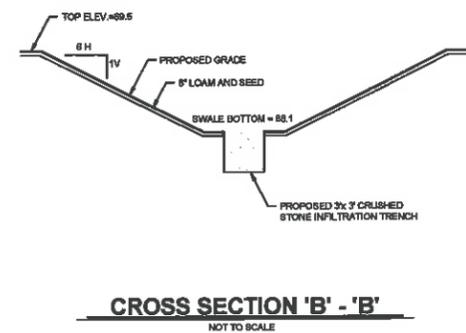
TEMPORARY GRAVEL CONSTRUCTION EXIT
NOT TO SCALE



SILT FENCE DETAIL
NOT TO SCALE



CROSS SECTION 'A' - 'A'
NOT TO SCALE



CROSS SECTION 'B' - 'B'
NOT TO SCALE

SITE MAINTENANCE/INSPECTION PROGRAM

THE FOLLOWING PROVIDES AN ITEMIZATION OF SPECIFIC SITE MAINTENANCE PRACTICES THAT WILL BE EMPLOYED ON THE SITE TO MINIMIZE POLLUTANT GENERATION AND TRANSPORT FROM THE SITE. THIS SITE MAINTENANCE PROGRAM INCLUDES ROUTINE INSPECTIONS, PREVENTATIVE MAINTENANCE AND "GOOD HOUSEKEEPING" PRACTICES.

ROUTINE INSPECTIONS

1. THE CONTRACTOR SHALL INSPECT ALL CONTROL MEASURES AT LEAST ONCE A WEEK AND WITHIN TWELVE (12) HOURS OF THE END OF A STORM WITH RAINFALL AMOUNT GREATER THAN 0.5 INCHES. THE INSPECTIONS WILL VERIFY THAT THE STRUCTURAL DEVICES DESCRIBED IN THE PLANS ARE IN GOOD CONDITION AND ARE MINIMIZING EROSION. A MAINTENANCE INSPECTION REPORT WILL BE MADE WITH EACH INSPECTION. COMPLETED INSPECTION FORMS SHALL BE KEPT ON-SITE FOR THE DURATION OF THE PROJECT. FOLLOWING CONSTRUCTION, THE COMPLETED FORMS SHALL BE RETURNED AT THE CONTRACTOR'S OFFICE FOR A MINIMUM OF ONE YEAR.

PREVENTATIVE MAINTENANCE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TEMPORARY AND PERMANENT CONTROLS THROUGHOUT THE DURATION OF THIS CONTRACT. MAINTENANCE PRACTICES SHALL INCLUDE, BUT ARE NOT LIMITED TO:

1. CLEANING OF CATCH BASINS TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY QUARTERLY INSPECTIONS.
2. CLEANING OF SEDIMENT AND DEBRIS FROM STORMWATER MANAGEMENT AREA FOREBAY TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY MONTHLY INSPECTIONS.
3. IMPLEMENTATION OF OTHER MAINTENANCE OR REPAIR ACTIVITIES AS DEEMED NECESSARY BASED UPON WEEKLY INSPECTIONS.
4. REMOVAL OF BUILT UP SEDIMENT ALONG SILT FENCES AND/OR HAY BALE BARRIERS.
5. REMOVAL OF BUILT UP SEDIMENT IN BOTH TEMPORARY AND PERMANENT CONTROLS SUCH AS GRASS SWALES, SEDIMENT FOREBAYS AND RECHARGE/DEFENTION BASINS.
6. RECONSTRUCTING THE TEMPORARY GRAVEL CONSTRUCTION EXIT IF NOT WORKING PROPERLY.
7. TREATMENT OF NON-STORM WATER DISCHARGES SUCH AS WATER FROM WADING LINE FLUSHINGS OR GROUNDWATER FROM DEWATERING EXCAVATIONS. SUCH FLOWS SHOULD BE DIRECTED TO A TEMPORARY SEDIMENTATION BASIN OR STORMWATER MANAGEMENT AREA.
8. SWEEP PARKING LOTS AND DRIVES REGULARLY TO MINIMIZE SEDIMENT ACCUMULATION. FREQUENCY WILL VARY SEASONALLY ACCORDING TO SEDIMENT ACCUMULATION ON PAVE SURFACES (E.G., MORE FREQUENT SWEEPING DURING THE WINTER AND SPRING).

GOOD HOUSEKEEPING PRACTICES

1. THE CONTRACTOR SHALL EMPLOY MEASURES AND PRACTICES TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS TO STORM AND WATER RUNOFF. THE CONTRACTOR SHALL PAY SPECIAL ATTENTION TO THE HANDLING, USE AND DISPOSAL OF MATERIALS SUCH AS PETROLEUM PRODUCTS, FERTILIZERS AND PAINTS TO ENSURE THAT THE RISK ASSOCIATED WITH THE USE OF THESE PRODUCTS IS MINIMIZED. THE FOLLOWING "GOOD HOUSEKEEPING" PRACTICES SHALL BE FOLLOWED DURING CONSTRUCTION OF THE PROJECT:
 - A. AN EFFORT SHALL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
 - B. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
 - C. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THEIR MANUFACTURER'S LABELS.
 - D. WHENEVER POSSIBLE, ALL OF A PRODUCT SHALL BE USED BEFORE DISPOSING OF THE CONTAINER.
 - E. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.
 - F. THE CONTRACTOR SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.

EROSION CONTROL NOTES - CONT'D

1. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS THEREOF IN NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES STORMWATER MANUALS, VOLUME 1-3, LATEST EDITION.
 2. THE WORK AREA SHALL BE GRADED, SHAPED, AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE THE LIMITS OF THE WORK AREA. SILT FENCES, STRAW BALE AND/OR DEFENTION BASINS WILL BE NECESSARY TO ACCOMPLISH THIS END.
 3. STRIPPED TOPSOIL SHALL BE STOCKPILED, WITHOUT COMPACTION, AND STABILIZED AGAINST EROSION IN ACCORDANCE WITH "TEMPORARY STABILIZATION OF DISTURBED AREAS", AS OUTLINED IN NOTE NO. 4.
 4. TEMPORARY STABILIZATION OF DISTURBED AREAS: SEED BED PREPARATION: 10-15-10 FERTILIZATION TO BE SPREAD AT THE RATE OF 1 LBS PER 1,000 SF AND AGRICULTURAL LIMESTONE AT A RATE OF 6 LBS PER 1,000 SF AND INCORPORATED INTO THE SOIL. THE SOIL, FERTILIZER AND LIMESTONE SHALL BE TILLED TO PREPARE FOR SEEDING.
 - A. SEED MIXTURE: USE ANY OF THE FOLLOWING:

SPECIES	RATE PER 1,000 SF	DEPTH	SEEDING DATES
WINTER RYE	2.5 LBS	1"	09/15 TO 09/15
OATS	2.5 LBS	1"	09/15 TO 10/15
ANNUAL RYE GRASS	1.0 LBS	0.25"	09/15 TO 09/15
 - B. MULCHING: MULCH SHOULD BE USED ON HIGHLY ERODIBLE AREAS AND WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT AS FOLLOWS:

TYPURE	RATE PER 1,000 SF	USE & COMMENTS
STRAW	70 TO 80 LBS	MAY BE USED WITH PLANTINGS, MUST BE ANCHORED TO BE USED ALONE
WOOD CHIPS OR BARK MULCH	480 TO 600 LBS	USED WITH TREE AND SHRUB PLANTINGS
FIBROUS MATTING	AS RECOMMENDED BY MANUFACTURER	MUST BE BIODEGRADABLE. USE IN SLOPE AREAS AND AREAS DIFFICULT TO VEGETATE.
- PERMANENT STABILIZATION OF DISTURBED AREAS:
 - A. ALL ROADWAYS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
 - B. ALL CUT AND FILL SLOPES SHALL BE SEED/ED/COVERED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION.
- AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
 - A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN ACCORDANCE WITH THE PLANS.
 - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - C. A MINIMUM OF 3 INCHES OF NON-ERODIBLE MATERIAL, SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.
 - D. OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- SITE LOCATION: 42° 40' 20" N LATITUDE, 71° 28' 48" W LONGITUDE
- TOTAL AREA OF DISTURBED SOILS: 21,450 sq. ft.

SPILL PREVENTION AND CLEANUP PRACTICES

- A. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIAL WILL INCLUDE BUT NOT BE LIMITED TO: BRUSHES, DUSTPANS, HOOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SACKS, AND PLASTIC AND METAL TRAYS. CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- C. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- D. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT HAZARDOUS CONTACT WITH A HAZARDOUS SUBSTANCE.
- E. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL AGENCY IMMEDIATELY, REGARDLESS OF THE SIZE.
- F. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL. IF THERE IS ANOTHER ONE, A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

No.	DATE	REVISION	BY
1	09/18/20	ADDRESS CITY COMMENTS	EMB

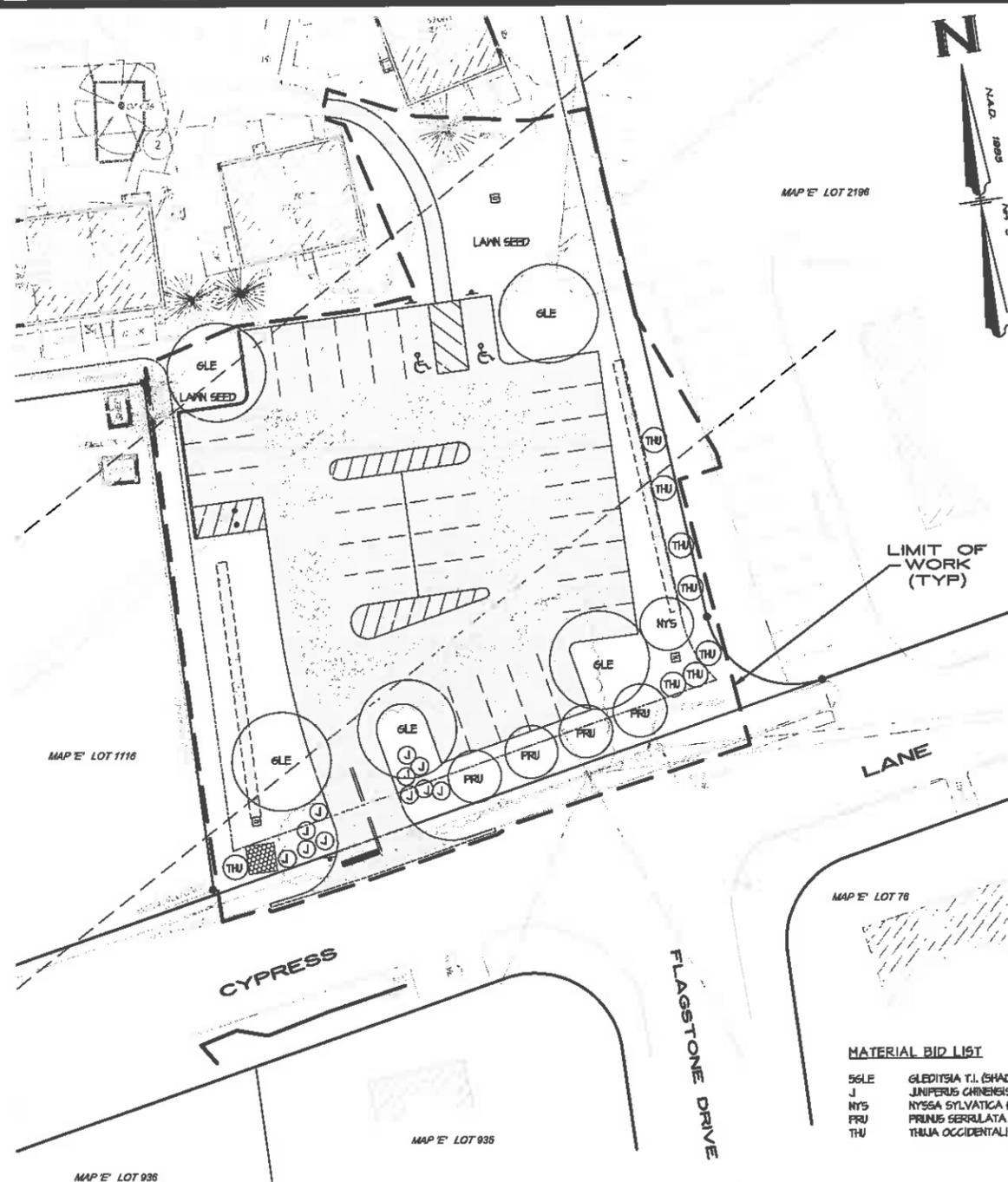
DETAIL SHEET - GENERAL SITE
(MAP 'E', LOT 145)
PROPOSED PARKING LOT ADDITION
6-8 HIGH PINE AVENUE
NASHUA, NEW HAMPSHIRE
PREPARED FOR/RECORD OWNER:
OAKWOOD SQUARE, LLC
c/o THE STABLE COMPANIES 20 COTTON ROAD, SUITE 200 NASHUA, NH 03063-4219

SCALE AS SHOWN
23 MARCH 2020

HISI Hayami/Swanson, Inc.
Civil Engineer/Land Surveyor
131 Middlesex Turnpike
Nashua, NH 03062
(603) 883-2027
www.hisyswanson.com

FIELD BOOK:	DRAWING NAME: 1801STE-DET1	1981	5 OF 6
DRAWING LOC: 4\1000\1981\981\1981 SITE	FILE NUMBER:		





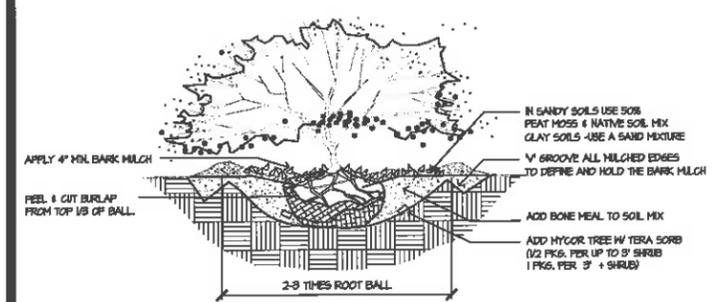
General Specifications

- The contractor shall at his expense furnish all the materials, supplies, machinery, equipment, tool, superintendent, labor, insurance, & other accessories and services necessary to complete the said project within the unit costs stated within the bid price.
- The work to be done under this contract is as shown and described on the drawings. Each bidder shall make a careful examination of the plans and specifications (the plan shall dictate quantities) and acquaint himself with all conditions before making his proposal. He will be held responsible for errors in his proposal resulting from his failure to make such an examination. All bidders shall visit the site and inform themselves of all conditions.
- The bids shall be based on materials and equipment complying with the drawings and the specifications. The contractor shall be responsible under this contract price, for furnishing and installing materials confirming to the bid items. Under no circumstances may a species 'hybrid' be substituted or size changed without written consent of the landscape architect.
- The contractor shall be responsible for the protection of such existing utilities as water mains, sewer systems, gas mains, electrical conduits, telephone lines and any other utilities and if any damage or destruction may occur to these utilities, he shall be responsible for their repair and/or replacement at his expense.
- The contractor shall make payment for all damages to buildings, structures, trees, shrubs and/or any other property outside the construction area or located within those limits but not designated for removal or reconstructed providing such damage shall result from accident caused by negligence for which the contractor shall be legally liable.
- If additional labor and/or materials is requested or required, the contractor shall submit a price to the owner. If the owner approves the price he shall prepare a change order for approval and signature. The contractor shall not proceed without a written authorization from the owner for the additional work. If the contractor proceeds with the additional work without this authorization he shall forfeit any claim for additional compensation.
- The landscape architect shall reserve the right to inspect the project work at any time deemed necessary to insure that the specifications and plans and any other contract documents are being followed.
- The L.A. shall have the right to reject any plant on-site based upon condition, size, or incorrect species or hybrid. LA must be contacted prior to install, to inspect materials delivered to the site, and to insure that soil amendments, bark mulch, roof ballast, etc. are to the written specifications.
- All seeded areas shall receive a minimum 6" topsoil blanket (by site contractor) w/so preparation, raking and general clean up prior to application. Operations shall include a preemergence type herbicide, 12-25-12 granular fertilizer @ 10 lbs./1000 sq. ft., and pelletized limestone @ 25 lbs./1000 sq. ft. power raked into the top 2" of soil prior to hydro-seeding. Ratios & application rates may change based upon the required soil analysis.
- Contractor is responsible for establishing a thick, weed free lawn. Seed shall be spread @ 4lbs./1000. Lawn germination shall be 95% free of noxious weeds for acceptance. Define differences in seed mixes (if applicable) with irrigation flagging until 2nd mowing. Site review by LA is required.
- Review of the installed irrigation system by the designer is required prior to release of final payment.
- Hydroseeding operations shall be a one part process with a paper fiber mulch; a tackifier shall be applied on all slopes greater than 3:1, Excelsior Drainage mat shall be applied to all 2:1 slopes and drainage swales per plan.
- Contractor shall maintain, from acceptance date, the lawn areas through the first mowing. Contractor is not responsible for the first mowing.
- All plant materials shall be installed in accordance with A.L.C.C. Trees and shrubs shall have appropriate soil mixtures, fertilizer and soil retention granules.
- If the soil conditions are extremely sandy, all trees shall have a 6" layer of compacted topsoil (verify with Landscape Architect) placed in the base of the plant pit as a moisture retention layer. The plant pit sidewalls shall be over excavated by an additional 12" beyond the normal outside radius of the hole. A topsoil planting mixture shall be used to backfill as per spec # 22.
- Landscape architect shall have the right to reject and have ground removed any plant material not of proper size or of weak quality, i.e. thin, no lower branching, etc. Contractor must submit shipping lists (billing invoices) for verification, prior to installation.

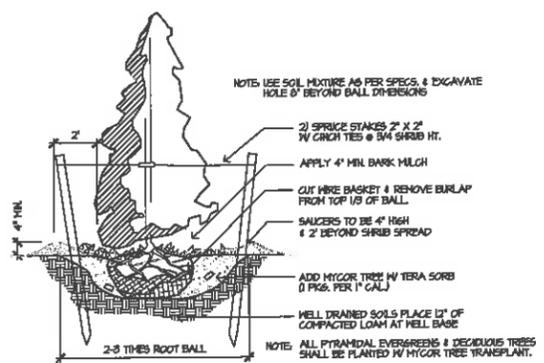
- All plant material shall be guaranteed for a period of one (1) year from date of installation. Any material which dies or does not show a healthy appearance within this time shall be replaced at the contractor's expense; with same warranty requirements as the original. Warranty does not cover loss due mechanical damage, i.e. snow storage. Contractor should protect susceptible species from insect infestation. Use a liquid systemic application on birch, etc.
- Plant beds and saucers vary in dia. (refer to dwg). Trees and shrubs shall receive a 4" (settled) covering of pine/needle bark mulch; saucer diameters per drawing & details. Deciduous trees shall have a 6" dia. saucer (typ.), evergreen trees shall have a saucer 2' min. beyond it's outer branches. All edges shall have a "V" groove.
- All B&B material which are encased in wire baskets shall have the wires cut loose and the top third removed prior to backfill operation.
- If road base is encountered in any plant bed areas, i.e. parking islands, it shall be removed and suitable amended soil installed per drawings and specifications.
- Soil planting mixture shall be a 6%-10% organic topsoil, amended with 10% wood ash, 10% peat moss, & 30% peat moss or incorporate a dehydrated compost material. If planting in sand, gravel or other well drained soils, a 50% peat moss to excavated soil. Other soil amendments shall include; Agriform tablets, Hydro-Gel or equal, and Roots growth enhancer to all trees and shrubs listed, per manufacturers specifications. All plant material pits will receive a min. 20% in volume mix of a compost soil amendment. Submittal required. "Roots" STEP 1 can be substituted for the individual supplements. Install per manufacturer's specs.
- Landscape contractor shall not be responsible for topsoil spreading but shall coordinate with the site contractor adherence to the mound grades, plant bed soil depths and soil type per dwgs & spec. Landscape contractor shall power rake-out for seed.
- Landscape contractor shall provide a soil analysis of the topsoil planting mixture. Analysis to show soil classification (min. sandy loam) and nutrients.
- Contractor shall protect all B&B materials left above grade prior to installation from drying out. All plants shall be stored, covered in mulch, and irrigated until planted. Any plant left on the ground and whose outer ball surface dries out, shall be rejected by the landscape architect. Plants stored in shade and off pavement.
- Plan dictates, contractor shall alert Landscape Architect if any discrepancies exist between the plan, the material list, and as-built site conditions.
- Installer shall notify landscape architect prior to planting, to review plant locations and bedline configurations. If contractor installs without the placement approval of the L.A., said architect shall have the right to relocate any installed plants at the contractor's expense.
- Installer shall notify landscape architect prior to plant installation to review all materials. Any plants of poor condition, improper size, or species will be rejected.
- Upon one year review, contractor shall straighten any trees that have shifted. Any weak or bare spots in lawn shall be reseeded.
- All bedlines shall have a deep "V" groove to define lawn to mulch edge. No "Beehive" mounding of mulch is allowed, also keep mulch away from base of perennials.
- Do not plant materials too close to the edge of bedlines. Refer to drawings for center of plant to bedline. At a minimum no outer branching of a shrub or perennial shall be closer than two feet from the bedlines. If the as-built does not comply contractor shall adjust the plant location or bedline at his expense.
- Seed mixes include: Sandy Soil Lawn Mix by: deercreekseed.com; New England Wetland Plants, Amherst, Ma. refer to planting plan for designations.
- Any items not completed to the specifications will be required at contractor's expense prior to final approvals. Contractor is to bid the work according to the specifications and not to what they may do under their standard practices. Special attention will be paid to soils, amendments, guy stakes, bedline & saucer configurations, seed mixtures, etc.
- Certain designated foundation edging is road ballast (washed rounds, non-crushed, natural) Size of stone is a range of 3/4"-1.5" dia. placed to a depth of 3", upon placement apply a coating of granular Preen (preemergent).
- Any questions concerning this drawing shall be directed to Joseph Hochrein c/o Blackwater Design, 85 Frost Lane, Webster, NH 03303, 603-648-2541.

MATERIAL BID LIST

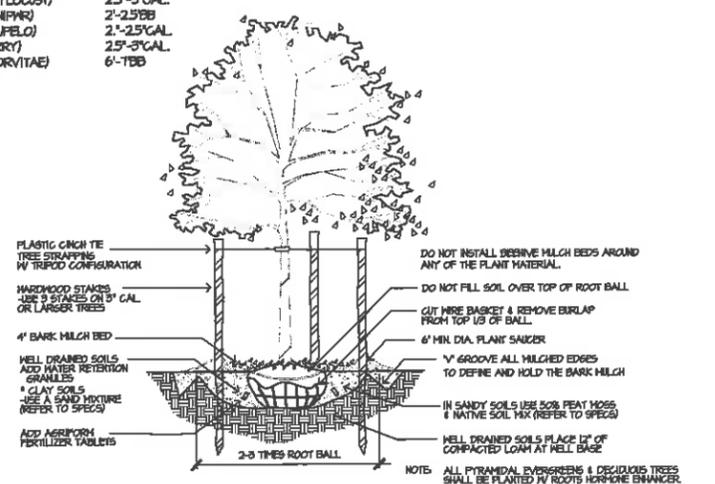
56LE	GLEDITSIA T.L. (SHADEMASTER HONEYLOCUST)	2.5'-3' CAL.
J	JUNIPERUS CHINENSIS (SEAGREEN JUNIPER)	2'-2.5' BB
NYS	NYSSA SYLVATICA (FIRESTARTER TUPELO)	2'-2.5' CAL.
FRU	PRUNUS SERRULATA (KOWANZAN CHERRY)	2.5'-3' CAL.
THU	THUJA OCCIDENTALIS (TECHNY ARBORVITAE)	6'-TBB



B&B SHRUB PLANTING
NOT TO SCALE



PYRAMIDAL EVERGREEN TREE PLANTING
NOT TO SCALE



TREE PLANTING 2' + CAL.
NOT TO SCALE

1	03/20	ADDRESS CITY COMMENTS	EMR
No.	DATE	REVISION	BY

LANDSCAPE PLAN
(MAP 'E', LOT 145)
PROPOSED PARKING LOT ADDITION
6-8 HIGH PINE AVENUE
NASHUA, NEW HAMPSHIRE
PREPARED FOR/RECORD OWNER:
OAKWOOD SQUARE, LLC
c/o THE STABLE COMPANIES 20 COTTON ROAD, SUITE 200 NASHUA, NH 03063-4219

23 MARCH 2020

PREPARED BY:
BLACKWATER DESIGN
PHONE (603) 648-6800 FAX (603) 648-6006
Land Planning - Landscape Architecture
85 Frost Lane - Webster, NH 03303

FIELD BOOK:	DRAWING NAME: 1981 SITE-LS21	1981	6 OF 6
DRAWING LOC: \\1000\1981\DWG\1981 SITE	PLT Number		

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda McGhee Deputy Planning Manager
FOR: July 9, 2020
RE: **New Business #5 - Site Plan – One Year Extension**

I. Project Statistics:

Owner: 267 Main Street Realty, LLC
Proposal: Site plan amendment to NR1625 to construct a coffee shop with a drive thru
Location: 267 Main Street
Total Site Area: 18,712 square feet
Existing Zoning: D1-Downtown/MU-Mixed Use
Surrounding Uses: Residential and commercial

II. Background Information:

On May 16, 2019 the Planning Board approved a site plan for a coffee shop with a drive thru. The staff report and approval letter are attached.

III. Project Description:

The purpose of this application is to extend the Planning Board approval for one year. There are no changes proposed to the approved plan. City Staff has no concerns or objections related to this application.

IV. Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

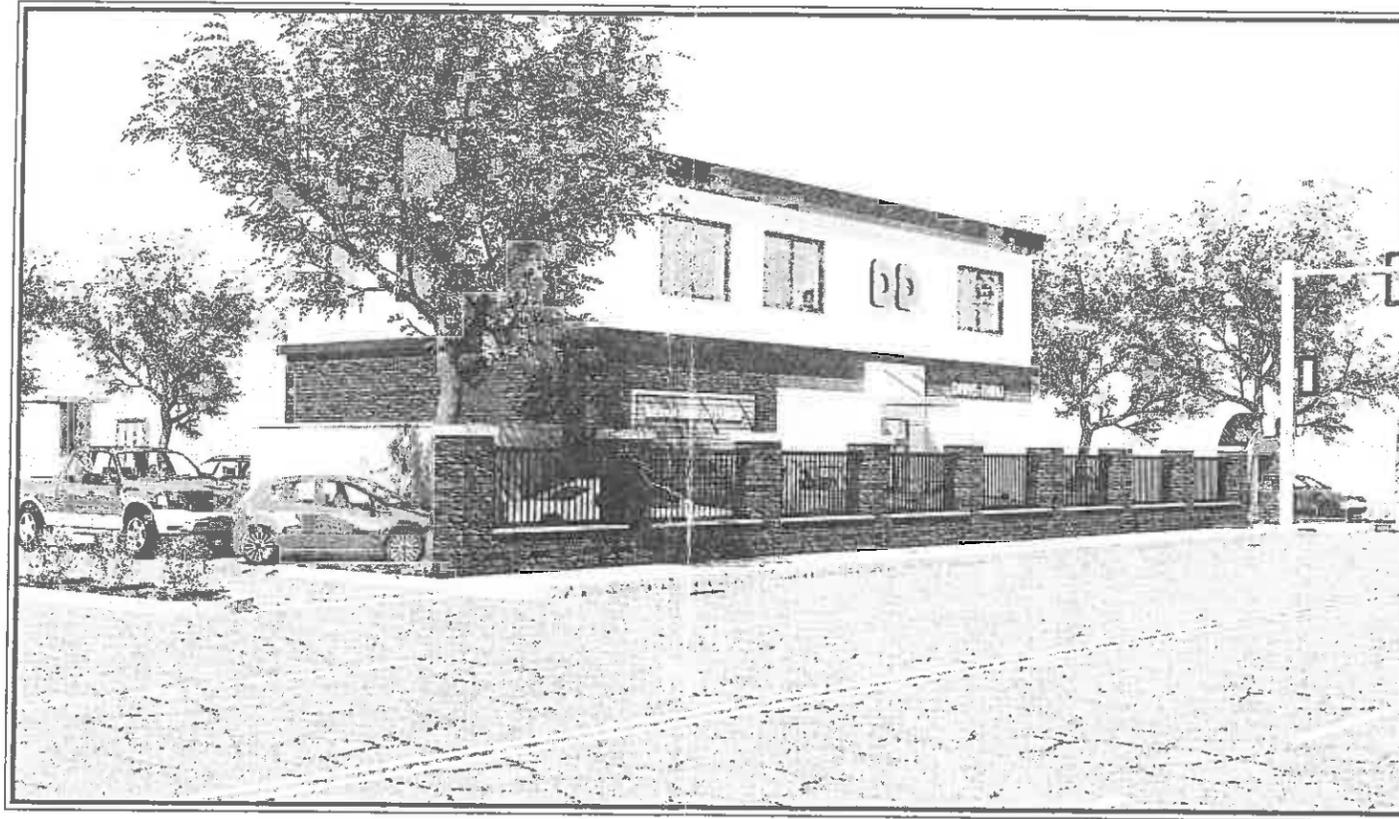
1. All prior conditions of approval are incorporated herein and made a part of this plan, unless otherwise determined by the Planning Board.

SITE DEVELOPMENT PLANS

- TAX MAP 93, LOT 13 -

COMMERCIAL DEVELOPMENT

267 MAIN STREET
 NASHUA, NEW HAMPSHIRE
 MARCH 7, 2019
 LAST REVISED: MAY 13, 2019



SHEET INDEX		
PAGE	SHEET	TITLE
1	CY-1	COVER SHEET
2	SP-1	SITE PLAN
3	EX-1	EXISTING CONDITIONS PLAN
4	DM-1	DEMOLITION PLAN
5	GR-1	GRADING & DRAINAGE PLAN
6	UT-1	UTILITY PLAN
7	LT-1	LIGHTING PLAN
8	LS-1	LANDSCAPING PLAN
9	DT-1	CONSTRUCTION DETAILS
10	DT-2	CONSTRUCTION DETAILS
11	DT-3	CONSTRUCTION DETAILS
12	DT-4	EROSION CONTROL DETAILS

CITY OF NASHUA CONTACTS:

1. **PLANNING DEPARTMENT:**
 COMMUNITY DEVELOPMENT DIVISION
 229 MAIN STREET
 NASHUA, NH 03060

 ATT: LINDA MCGHEE
 (603) 589-3110
2. **ENGINEERING DEPARTMENT:**
 NASHUA DEPT. OF PUBLIC WORKS
 6 RIVERSIDE STREET
 NASHUA, NH 03062

 ATT: JOE MENDOLA
 (603) 589-3124
3. **FIRE DEPARTMENT:**
 NASHUA FIRE DEPARTMENT
 171 EAST HOLLIS STREET
 NASHUA, NH 03060

 ATT: ADAM POULIOT
 (603) 589-3480

UTILITY CONTACTS:

1. **WATER:**
 PENNICHUCK WATER WORKS
 25 MANCHESTER STREET
 MERRIMACK, NH 03064

 ATT: JOHN BOISVERT, PE
 (603) 913-2300
2. **GAS:**
 LIBERTY UTILITIES
 130 ELM STREET
 MANCHESTER, NH 03101

 ATT: RYAN LAGASSE
 (603) 327-7151
3. **TELEPHONE:**
 FAIRPOINT COMMUNICATIONS
 237 DANIEL WEBSTER HWY.
 MERRIMACK, NH 03054

 ATT: ROBERTO DIAZ
 (603) 895-1150
4. **POWER:**
 EVERSOURCE
 370 AMHERST STREET
 NASHUA, NH 03060

 ATT: THOMAS VALITON
 (603) 882-5894, ext: 5208

PREPARED FOR:
JOE CARVALHO
 42 MAIN STREET
 NASHUA, NEW HAMPSHIRE 03064
 PH (603) 305-9469

LAND OF:
267 MAIN STREET REALTY, LLC
 13 CUMMINGS LANE
 HOLLIS, NEW HAMPSHIRE 03049
 PH (603) 305-9469



1. THE LOCATION OF THE UTILITIES SHOWN ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PRESERVE ALL UTILITY SERVICES.
2. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL UTILITY COMPANIES AND JURISDICTIONAL AGENCIES PRIOR TO AND DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND PROPOSED WORK PRIOR TO CONSTRUCTION.

CONTACT DIG SAFE
 72 HOURS PRIOR
 TO CONSTRUCTION
DIGSAFE.COM
 OR DIAL 811
 CALL BEFORE YOU DIG
 ITS THE LAW

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



FIELDSTONE

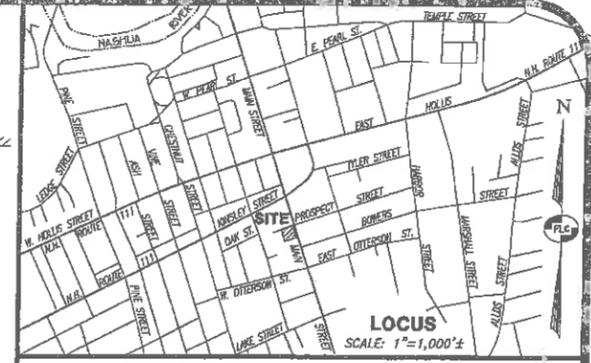
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
 Phone: (603)-672-5456 Fax: (603)-413-5456
www.FieldstoneLandConsultants.com



REV.	DATE	DESCRIPTION	C/O	DR	CK
B	5/13/19	ADDRESS 5/13/19 ENGINEERING EMAIL	DPW	NRC	CEB
A	4/30/19	ADDRESS 4/26/19 ENGINEERING EMAIL	DPW	NRC	CEB

FILE: 1825CV008.dwg PROJ. NO. 1825.00 SHEET: CY-1 PAGE NO. 1 OF 12



NOTES:

- THE APPLICANT AND THE OWNER OF RECORD FOR TAX MAP 97 LOT 13 IS 267 MAIN STREET REALTY, LLC, 13 CUMMINGS LANE, HOLLIS, NH 03049. THE DEED REFERENCE FOR THE PARCEL IS VOL.9065 PG.1972 DATED APRIL 20, 2018 IN THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS.
- THE TOTAL AREA OF EXISTING TAX MAP PARCEL 97-13 IS 0.430 ACRES OR 18,712 SQ. FT. PER REFERENCE PLAN #1 CITED HEREOF.
- THE PURPOSE OF THIS PLAN IS TO DEPICT A PROPOSED COFFEE SHOP WITH DRIVE THROUGH SERVICE AND ASSOCIATED SITE IMPROVEMENTS ON TAX MAP LOT 97-13.
- LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAP 97 AND 31.
- ZONING FOR THE PARCEL IS THE DOWNTOWN 1 DISTRICT (MIXED USE) (D1MU).

D-1 ZONE: CONVENTIONAL	REQUIRED	EXIST. 97-13	PROP. 97-13
MIN LOT AREA	NONE SF	18,712 SF	18,743 SF
MIN LOT WIDTH	NONE FT	140.43 FT	120.38 FT
MIN LOT FRONTAGE	NONE FT	280.00 FT	255.80 FT
MIN LOT DEPTH	NONE FT	134.4 FT±	134.4 FT±
MIN FRONT SETBACK	0 FT	42.9 FT	18.2 FT
MIN SIDE SETBACK	0 FT	45.8 FT	29.0 FT
MIN REAR SETBACK	10 FT	78.3 FT	58.6 FT
MAX. BUILDING HEIGHT	90 FT	10 FT±	29.5 FT
MAX. STORIES	6	1.0	2.0
CONSERVATION AREA	NONE	NA	NA
OPEN SPACE	NONE	35%	73%

- THE SURFACE FEATURES AND BOUNDARY INFORMATION SHOWN WERE DEVELOPED FROM THE REFERENCE PLAN CITED AND A PRECISE FIELD TIE-IN SURVEY BY THIS OFFICE DURING THE MONTH OF APRIL 2018. HORIZONTAL ORIENTATION IS BASED ON THE REFERENCE PLAN. VERTICAL DATUM IS NASHUA CITY DATUM. REFERENCE BENCHMARK IS STANDARD USGS SURVEY DISK STAMPED "188 CONCORD USGS", LOCATED IN THE SOUTH SIDE OF THE BASE OF THE WAR MONUMENT ON THE SQUARE AT THE INTERSECTION OF MAIN STREET AND AMHERST STREET. THE NASHUA CITY DATUM ELEV.=78.43 CONVERTED FROM NAVD83 (188.20 (NAVD83)-89.77=78.43(NASHUA CITY)).
- JURISDICTIONAL WETLANDS WERE NOT FOUND ON THE SUBJECT PARCEL PER AN ON SITE FIELD INVESTIGATION BY CHRISTOPHER A. GUIDA, C.M.S., IN APRIL 2018 IN ACCORDANCE WITH THE "CORPUS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, DATED JANUARY 1987".
- THE SITE IS NOT LOCATED WITHIN THE WATER SUPPLY PROTECTION DISTRICT.
- THE SITE IS CURRENTLY SERVICED BY OVERHEAD UTILITIES AND BY MUNICIPAL SEWER AND WATER.
- THE SUBJECT PARCEL IS NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY NO. 33059, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 3301C054E, EFFECTIVE DATE APRIL 18, 2011.
- SOIL TYPE FOR THE ENTIRE SITE IS Ur - URBAN LAND.
- THIS SITE PROVIDES FOR 13 PARKING SPACES INCLUDING 1 HANDICAP.
- ALL LANDSCAPING SHALL BE SHOWN ON THE PLANS AND CONFORM TO THE APPLICABLE CITY OF NASHUA LAND USE CODE UNDER ARTICLE XXVI.
- ALL SIGNAGE SHALL CONFORM TO THE APPLICABLE CITY OF NASHUA REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
- PRIOR TO OPENING, ALL PAVEMENT MARKINGS ALONG THE PROPERTY'S FRONTAGE AND PROSPECT AVENUE INTERSECTION WILL BE IN GOOD CONDITION.

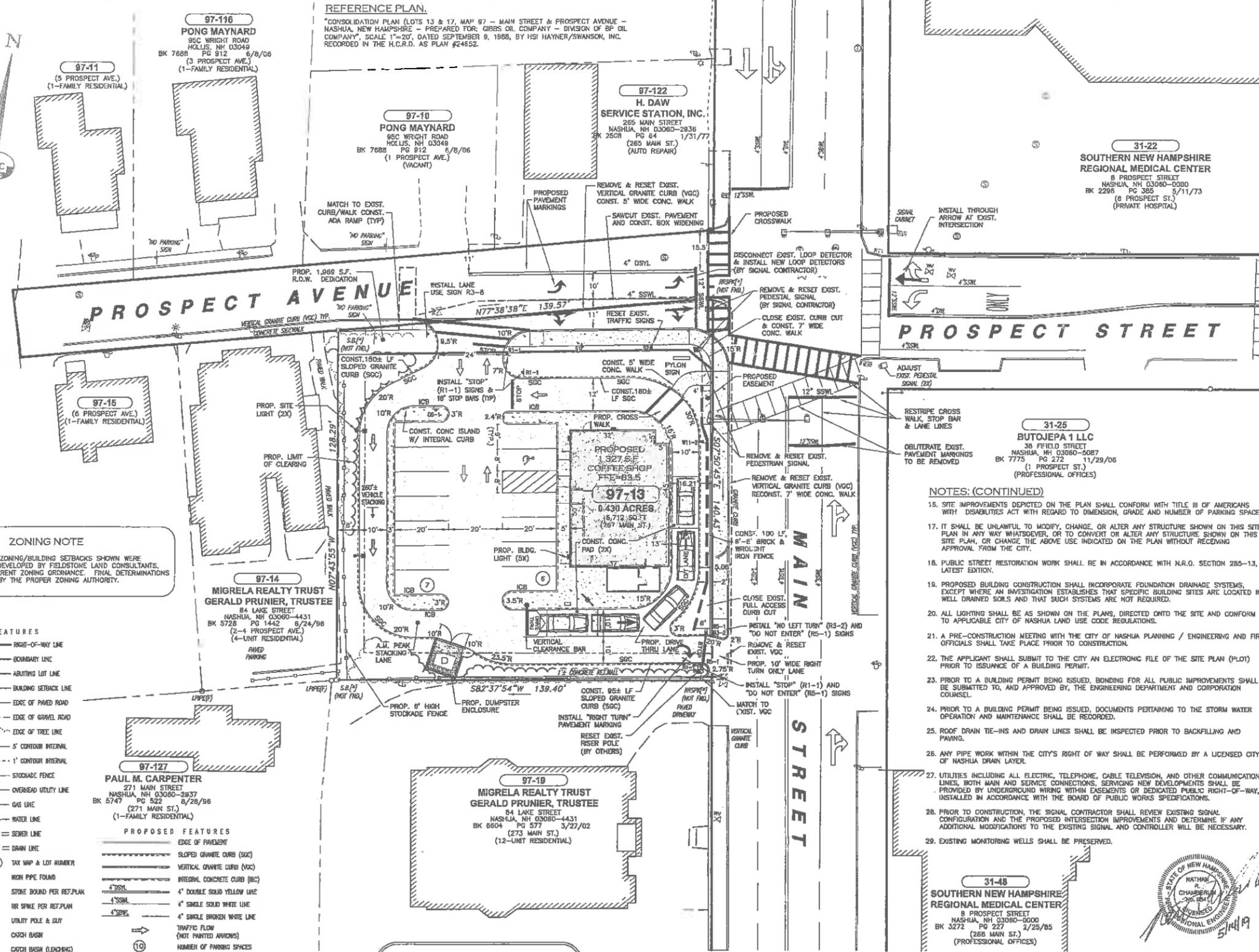
REV.	DATE	DESCRIPTION	C/O	DR	CK
B	05/13/19	ADDRESS 5/13/19 ENGINEERING EMAIL	T/W	NRC	CEB
A	04/30/19	ADDRESS 4/28/19 ENGINEERING EMAIL	DPW	NRC	CEB

SITE PLAN
TAX MAP 97 LOT 13
267 MAIN STREET
NASHUA, NEW HAMPSHIRE
 PREPARED FOR:
JOE CARVALHO
 42 MAIN STREET, NASHUA, NH 03064
 LAND OF:
267 MAIN STREET REALTY, LLC
 13 CUMMINGS LANE, HOLLIS, NH 03049

SCALE: 1" = 20' MARCH 7, 2019
 Surveying + Engineering + Land Planning + Permitting + Septic Designs

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 www.FieldstoneLandConsultants.com

REFERENCE PLAN.
 *CONSOLIDATION PLAN (LOTS 13 & 17, MAP 97 - MAIN STREET & PROSPECT AVENUE - NASHUA, NEW HAMPSHIRE - PREPARED FOR: CIBBS OIL COMPANY - DIVISION OF BP OIL COMPANY, SCALE 1"=20', DATED SEPTEMBER 9, 1988, BY HSI HAYNER/SWANSON, INC. RECORDED IN THE H.C.R.D. AS PLAN #24652.



ZONING NOTE
 DEPICTION OF THE ZONING/BUILDING SETBACKS SHOWN WERE INTERPRETED AND DEVELOPED BY FIELDSTONE LAND CONSULTANTS, PLLC PER THE CURRENT ZONING ORDINANCE. FINAL DETERMINATIONS SHOULD BE MADE BY THE PROPER ZONING AUTHORITY.

- LEGEND:**
- EXISTING FEATURES**
- RIGHT-OF-WAY LINE
 - BOUNDARY LINE
 - ADJUTING LOT LINE
 - BUILDING SETBACK LINE
 - EDGE OF PAVED ROAD
 - EDGE OF GRAVEL ROAD
 - EDGE OF TREE LINE
 - 5' CONTOUR INTERVAL
 - 1' CONTOUR INTERVAL
 - STOCKADE FENCE
 - OVERHEAD UTILITY LINE
 - GAS LINE
 - WATER LINE
 - SEWER LINE
 - DRAIN LINE
- PROPOSED FEATURES**
- TAX MAP & LOT NUMBER
 - IRON PIPE FOUND
 - STONE BOUND PER REF.PLAN
 - BR SPIKE PER REF.PLAN
 - UTILITY POLE & GUY
 - CATCH BASIN
 - CATCH BASIN (LEACHING)
 - SEWER MAN-HOLE
 - SEWER CLEAN-OUT
 - WATER HYDRANT
 - WATER VALVE
 - WATER SHUT-OFF
 - GAS VALVE
 - SINGLE SIGN POST
 - TRAFFIC LIGHT POST
 - FLUSH MONITORING WELL
 - BOLLARD
- PROPOSED FEATURES**
- EDGE OF PAVEMENT
 - SLOPED GRANITE CURB (SGC)
 - VERTICAL GRANITE CURB (VGC)
 - INTEGRAL CONCRETE CURB (ICC)
 - 4" DOUBLE SOLID YELLOW LINE
 - 4" SINGLE SOLID WHITE LINE
 - 4" SINGLE BROKEN WHITE LINE
 - TRAFFIC FLOW (NOT PAINTED ARROWS)
 - NUMBER OF PARKING SPACES
 - HANDICAP PARKING STALL
 - CONC. SIDEWALK/PAVEMENT
 - BL. CONC. PAVEMENT
- TRAFFIC SIGNS**
- RS-2 NO LEFT TURN
 - RS-1 DO NOT ENTER
 - DS-1 DIRECTION SIGN (BROWE THRU)
 - ST, S2 EXIST. SIGNS (SEE DEMOLITION PLAN)
 - POLE MOUNTED LIGHT
 - BUILDING MOUNTED LIGHT

97-127
PAUL M. CARPENTER
 271 MAIN STREET
 NASHUA, NH 03060-2837
 BK 5747 PG 522 8/28/86
 (271 MAIN ST.)
 (1-FAMILY RESIDENTIAL)

97-13
 267 MAIN STREET
 NASHUA, NH 03060-2837
 BK 5747 PG 522 8/28/86
 (267 MAIN ST.)
 (1-FAMILY RESIDENTIAL)

97-14
MIGRELA REALTY TRUST
GERALD PRUNIER, TRUSTEE
 84 LAKE STREET
 NASHUA, NH 03060-4431
 BK 5728 PG 1442 8/24/98
 (2-4 PROSPECT AVE.)
 (4-UNIT RESIDENTIAL)

97-19
MIGRELA REALTY TRUST
GERALD PRUNIER, TRUSTEE
 84 LAKE STREET
 NASHUA, NH 03060-4431
 BK 6604 PG 577 3/27/02
 (273 MAIN ST.)
 (12-UNIT RESIDENTIAL)

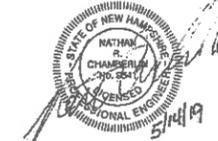
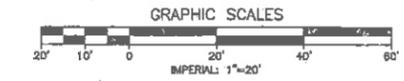
CONTACT DIG SAFE
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 TO CONSTRUCTION
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 OR DIAL 811
 CALL 811 - KNOW WHAT'S BELOW

NOTE:
 THE SITE IS SUBJECT TO THE CONDITIONS AND RESTRICTIONS IN THE DEED AT H.C.R.D. VOL.9065 PG.1972, INCLUDING BUT NOT LIMITED TO THE DEED RESTRICTIONS AND COVENANT AGAINST RESIDENTIAL USE (SECTION 3) AND THE ENGINEERING CONTROLS (SECTION 4).

OWNER _____ DATE _____
 THE UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE SITE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 OWNER _____ DATE _____

APPROVED BY NASHUA PLANNING BOARD

CHAIRMAN: _____ DATE: _____
 SECRETARY: _____ DATE: _____

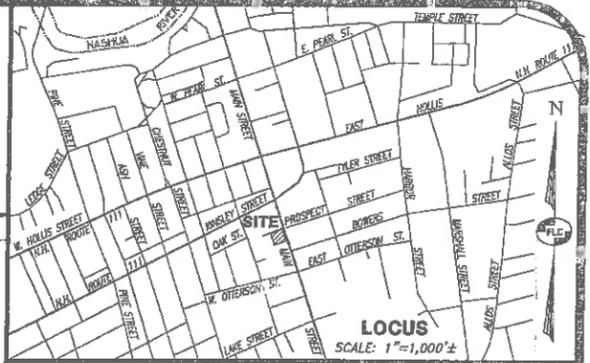


31-48
SOUTHERN NEW HAMPSHIRE
REGIONAL MEDICAL CENTER
 8 PROSPECT STREET
 NASHUA, NH 03060-0000
 BK 3272 PG 227 1/25/85
 (268 MAIN ST.)
 (PROFESSIONAL OFFICES)

31-25
BUTOJEPA 1 LLC
 38 FIELD STREET
 NASHUA, NH 03060-5087
 BK 7775 PG 272 11/29/06
 (1 PROSPECT ST.)
 (PROFESSIONAL OFFICES)

NOTES: (CONTINUED)

15. SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION, GRADE AND NUMBER OF PARKING SPACES.
17. IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN IN ANY WAY WHATSOEVER, OR TO CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
18. PUBLIC STREET RESTORATION WORK SHALL BE IN ACCORDANCE WITH N.R.O. SECTION 285-13, LATEST EDITION.
19. PROPOSED BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS, EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
20. ALL LIGHTING SHALL BE AS SHOWN ON THE PLANS, DIRECTED OUTSIDE THE SITE AND CONFORM TO APPLICABLE CITY OF NASHUA LAND USE CODE REGULATIONS.
21. A PRE-CONSTRUCTION MEETING WITH THE CITY OF NASHUA PLANNING / ENGINEERING AND FIRE OFFICIALS SHALL TAKE PLACE PRIOR TO CONSTRUCTION.
22. THE APPLICANT SHALL SUBMIT TO THE CITY AN ELECTRONIC FILE OF THE SITE PLAN (PLOT) PRIOR TO ISSUANCE OF A BUILDING PERMIT.
23. PRIOR TO A BUILDING PERMIT BEING ISSUED, BONDING FOR ALL PUBLIC IMPROVEMENTS SHALL BE SUBMITTED TO, AND APPROVED BY, THE ENGINEERING DEPARTMENT AND CORPORATION COUNSEL.
24. PRIOR TO A BUILDING PERMIT BEING ISSUED, DOCUMENTS PERTAINING TO THE STORM WATER OPERATION AND MAINTENANCE SHALL BE RECORDED.
25. ROOF DRAIN TIERS AND DRAIN LINES SHALL BE INSPECTED PRIOR TO BACKFILLING AND PAVING.
26. ANY PIPE WORK WITHIN THE CITY'S RIGHT OF WAY SHALL BE PERFORMED BY A LICENSED CITY OF NASHUA DRAIN LAYER.
27. UTILITIES INCLUDING ALL ELECTRIC, TELEPHONE, CABLE TELEVISION, AND OTHER COMMUNICATION LINES, BOTH MAIN AND SERVICE CONNECTIONS, SERVICING NEW DEVELOPMENTS SHALL BE PROVIDED BY UNDERGROUND WIRING WITHIN EASEMENTS OR DEDICATED PUBLIC RIGHT-OF-WAY, INSTALLED IN ACCORDANCE WITH THE BOARD OF PUBLIC WORKS SPECIFICATIONS.
28. PRIOR TO CONSTRUCTION, THE SIGNAL CONTRACTOR SHALL REVIEW EXISTING SIGNAL CONFIGURATION AND THE PROPOSED INTERSECTION IMPROVEMENTS AND DETERMINE IF ANY ADDITIONAL MODIFICATIONS TO THE EXISTING SIGNAL AND CONTROLLER WILL BE NECESSARY.
29. EXISTING MONITORING WELLS SHALL BE PRESERVED.



- NOTES:**
1. THE APPLICANT AND THE OWNER OF RECORD FOR TAX MAP 67 LOT 13 IS 267 MAIN STREET REALTY, LLC, 13 CUMMINGS LANE, HOLLIS, NH 03049. THE DEED REFERENCE FOR THE PARCEL IS VOL.8065 PG.1972 DATED APRIL 20, 2018 IN THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS.
 2. THE TOTAL AREA OF EXISTING TAX MAP PARCEL 67-13 IS 0.430 ACRES OR 18,712 SQ.FT. PER REFERENCE PLAN #1 CITED HEREON.
 3. THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS ON EXISTING TAX MAP LOT 97-13.
 4. LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAP 97 AND 31.
 5. ZONING FOR THE PARCEL IS THE DOWNTOWN 1 DISTRICT (MIXED USE) (D1M1).
- | D-1 ZONE: CONVENTIONAL | REQUIRED | EXIST 97-13 |
|-------------------------|----------|-------------|
| MIN LOT AREA | NONE SF | 18,712 SF |
| MIN LOT WIDTH | NONE FT | 140.43 FT |
| MIN LOT FRONTAGE | NONE FT | 260.00 FT |
| MIN LOT DEPTH | NONE FT | 134.4 FT± |
| MIN FRONT SETBACK | 0 FT | 42.9 FT |
| MIN SIDE SETBACK | 10 FT | 45.8 FT |
| MIN REAR SETBACK | 10 FT | 70.3 FT |
| MAX. BUILDING HEIGHT | 80 FT | 10 FT± |
| MAX. STORIES | 6 | 1.0 |
| CONSERVATION AREA | NONE | NA |
| OPEN SPACE FOR EACH LOT | NONE | 75% |
6. THE SURFACE FEATURES AND BOUNDARY INFORMATION SHOWN WERE DEVELOPED FROM THE REFERENCE PLAN CITED AND A PRECISE FIELD TIE-IN SURVEY BY THIS OFFICE DURING THE MONTH OF APRIL 2018. HORIZONTAL ORIENTATION IS BASED ON THE REFERENCE PLAN. VERTICAL DATUM IS NASHUA CITY DATUM. REFERENCE BENCHMARK IS STANDARD USGS SURVEY DISK STAMPED "188 CONCORD USGS", LOCATED IN THE SOUTH SIDE OF THE BASE OF THE WAR MONUMENT ON THE SQUARE AT THE INTERSECTION OF MAIN STREET AND AMHERST STREET. THE NASHUA CITY DATUM ELEVATION=78.43 CONVERTED FROM NAVD83 (168.20 (NAVD88)-89.77=78.43(NASHUA CITY)).
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 8. THE SITE IS NOT LOCATED WITHIN THE WATER SUPPLY PROTECTION DISTRICT.
 9. THE SITE IS CURRENTLY SERVICED BY OVERHEAD UTILITIES AND BY MUNICIPAL SEWER, WATER PROVIDED BY PENNACQUICK WATER AND NATURAL GAS PROVIDED BY LIBERTY UTILITIES.
 10. THE SUBJECT PARCEL IS NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY NO. 330627, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33011C0514E, EFFECTIVE DATE APRIL 18, 2011.
 11. SOIL TYPE FOR THE ENTIRE SITE IS U - URBAN LAND.

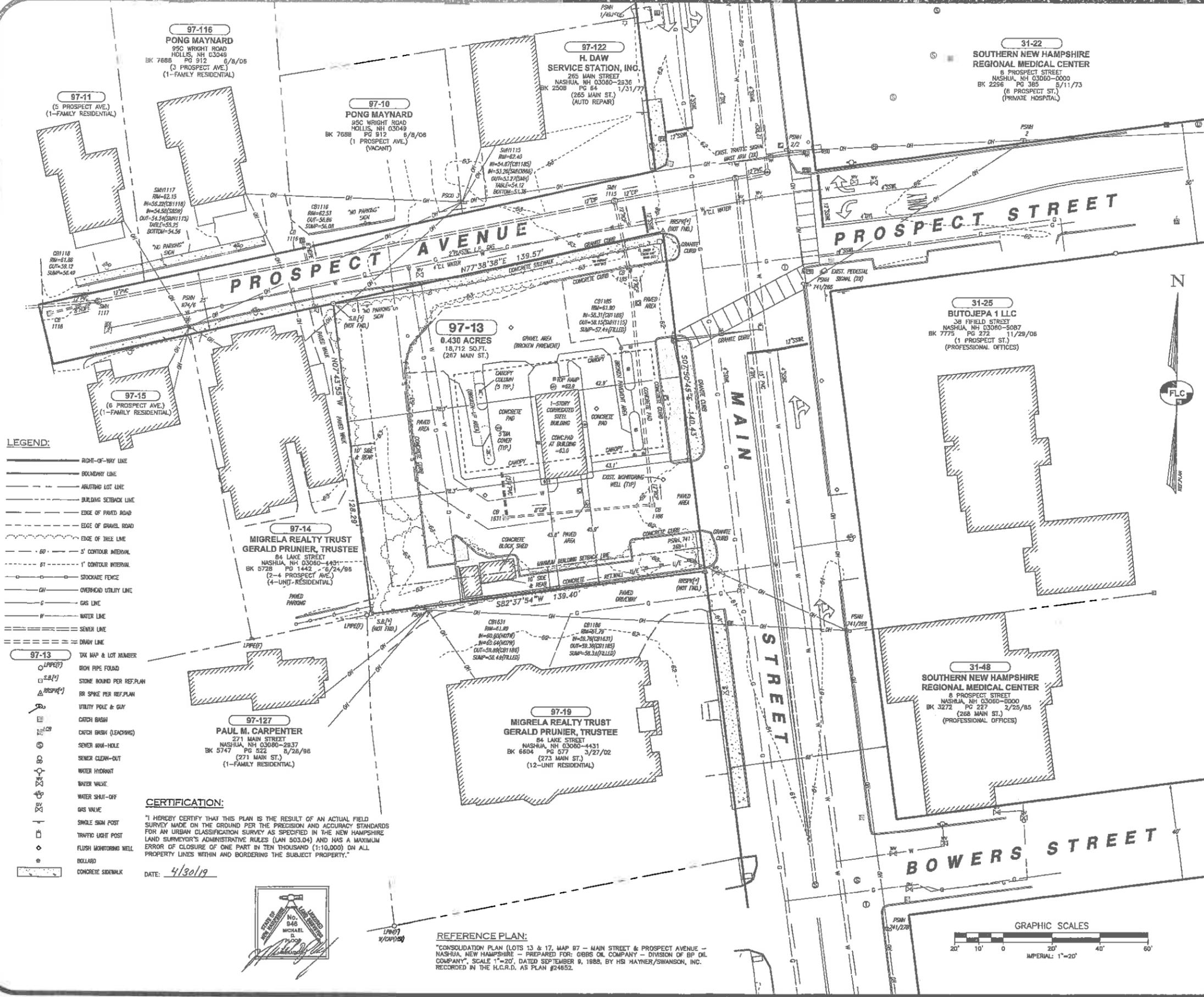
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REV.	DATE	DESCRIPTION	C/O	DR	CK

EXISTING CONDITIONS PLAN
TAX MAP 97 LOT 13
267 MAIN STREET
NASHUA, NEW HAMPSHIRE
 PREPARED FOR:
JOE CARVALHO
 42 MAIN STREET, NASHUA, NH 03064
 LAND OF:
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SCALE: 1" = 20' APRIL 26, 2019

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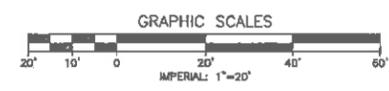
- LEGEND:**
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 - OVERHEAD UTILITY LINE
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 - SEWER LINE
 - DRAIN LINE

- 97-13**
- TAX MAP & LOT NUMBER
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 - RR SPIKE PER REF.PLAN
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 - CATCH BASIN
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 - SEWER MAN-HOLE
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 - WATER HYDRANT
 - WATER VALVE
 - WATER SHUT-OFF
 - GAS VALVE
 - SINGLE SIGN POST
 - TRAFFIC LIGHT POST
 - FLUSH MONITORING WELL
 - BOLLARD
 - CONCRETE SIDEWALK

CERTIFICATION:
 "I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND PER THE PRECISION AND ACCURACY STANDARDS FOR AN URBAN CLASSIFICATION SURVEY AS SPECIFIED IN THE NEW HAMPSHIRE LAND SURVEYOR'S ADMINISTRATIVE RULES (LAN 503.04) AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY."
 DATE: 4/30/19



REFERENCE PLAN:
 "CONSOLIDATION PLAN (LOTS 13 & 17, MAP 97 - MAIN STREET & PROSPECT AVENUE - NASHUA, NEW HAMPSHIRE - PREPARED FOR: GIBBS OIL COMPANY - DIVISION OF BP OIL COMPANY", SCALE 1"=20', DATED SEPTEMBER 9, 1988, BY HSI HAYNER/SWANSON, INC. RECORDED IN THE H.C.R.D. AS PLAN #24652.

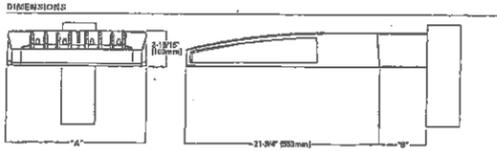




GLEON GALLEON LED

1-10 Light Squares
Solid State LED
AREA/SITE LUMINAIRE

McGraw-Edison



Number of Light Squares	"A" Width	"B" Standard Arm Length	"C" Standard Arm Length	Width with Arm (Box)	DBA with Arm (100% FC)
1-4	10-10"	7"	10"	23"	0.45
6-8	11-50"	7"	10"	24.5"	1.00
7-9	12-50"	7"	13"	26"	1.07
10-12	13-50"	7"	15"	27.5"	1.12

ORDERING INFORMATION
Sample Number: GLEON-01-04-LED-E1-SL4-GM-01

Product Family	Light Engine	Number of Light Squares	Lamp Type	Voltage	Distribution	Color	Mounting
GLEON-01-04-LED	AP-A1 Drive Core	10	LED-Solid State Light Emitting Diodes	240-277V AC	150° Type II Roadway	AP-Grey	Square Pole

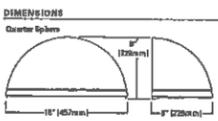
POLE LIGHT

McGraw-Edison



ISC/ISS/IST/SW IMPACT ELITE LED

1 Light Square
Solid State LED
WALL MOUNT LUMINAIRE

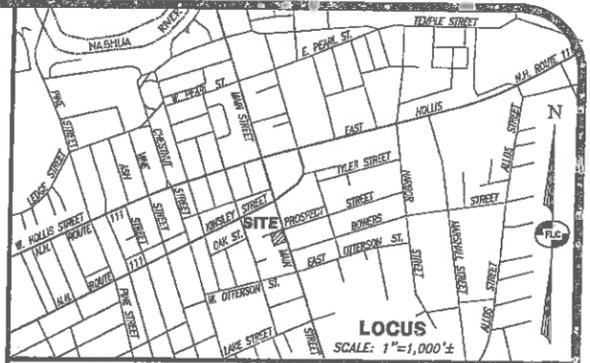
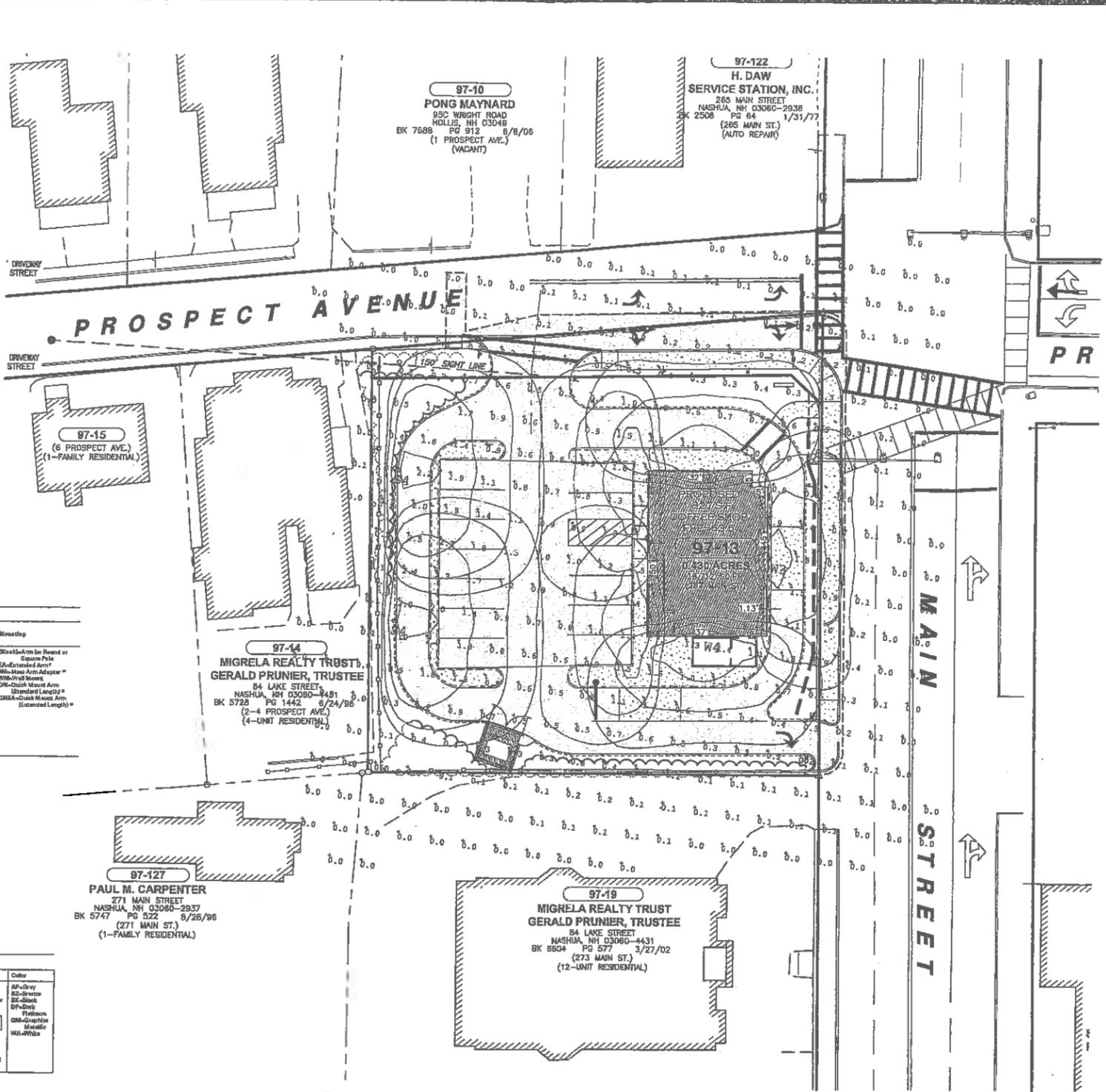


Product Family	Light Engine	Drive Core	Lamp Type	Voltage	Distribution	Color
ISC-IMPACT ELITE LED	AP-A1 Drive Core	400-Drive Core Factory Set to 800mA	LED-Solid State Light Emitting Diodes	240-277V AC	150° Type II Roadway	AP-Grey

WALL LIGHT

StatArea_1
PARKING LOT AREA ONLY
Illuminance (Fc)
Average = 1.16
Maximum = 2.3
Minimum = 0.6
Avg/Min Ratio = 1.93
Max/Min Ratio = 3.83

Symbol	Qty	Label	Arrangement	Description
[Symbol]	2	S4	SINGLE	GLEON-AF-01-LED-E1-SL4-600-HSS/SSS4A15SFN1 (15' AFG)
[Symbol]	1	W3	SINGLE	ISS-AF-350-LED-E1-SL3/ WALL MTD 12' AFG
[Symbol]	4	W4	SINGLE	ISS-AF-350-LED-E1-SL4/ WALL MTD 15' AFG

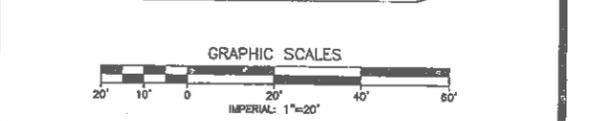


LEGEND:

	EXISTING FEATURES		PROPOSED FEATURES
	BOUNDARY LINE		SLOPED GRANITE CURB (SGC)
	ABUTTING LOT LINE		VERTICAL GRANITE CURB (VGC)
	EDGE OF PAVED ROAD		INTERNAL CONCRETE CURB (ICC)
	EDGE OF GRAVEL ROAD		CONC. SIDEWALK/PAVEMENT
	EDGE OF TREE LINE		INT. CONC. PAVEMENT
	STOCKADE FENCE		

97-13
TAX MAP & LOT NUMBER
IRON PIPE FOUND
STONE BOUND PER REF PLAN
RR SPIKE PER REF PLAN
UTILITY POLE & GUY
SINGLE SIGN POST
TRAFFIC LIGHT POST
FLUSH MONITORING WELL
BOLLARD

CONTACT DIG SAFE
72 HOURS PRIOR
TO CONSTRUCTION
DIGSAFE.COM
OR DIAL 3 1 1
CALL 811 - KNOW WHAT'S BELOW



REV.	DATE	DESCRIPTION	C/O	DR	CK
B	05/13/19	ADDRESS 3/13/19 ENGINEERING EMAIL	DPW	NRC	CEB
A	04/30/19	ADDRESS 4/28/19 ENGINEERING EMAIL	DPW	NRC	CEB

LIGHTING PLAN
TAX MAP 97 LOT 13
267 MAIN STREET
NASHUA, NEW HAMPSHIRE
PREPARED FOR:
JOE CARVALHO
42 MAIN STREET, NASHUA, NH 03064
LAND OF:
267 MAIN STREET REALTY, LLC
13 CUMMINGS LANE, HOLLIS, NH 03049

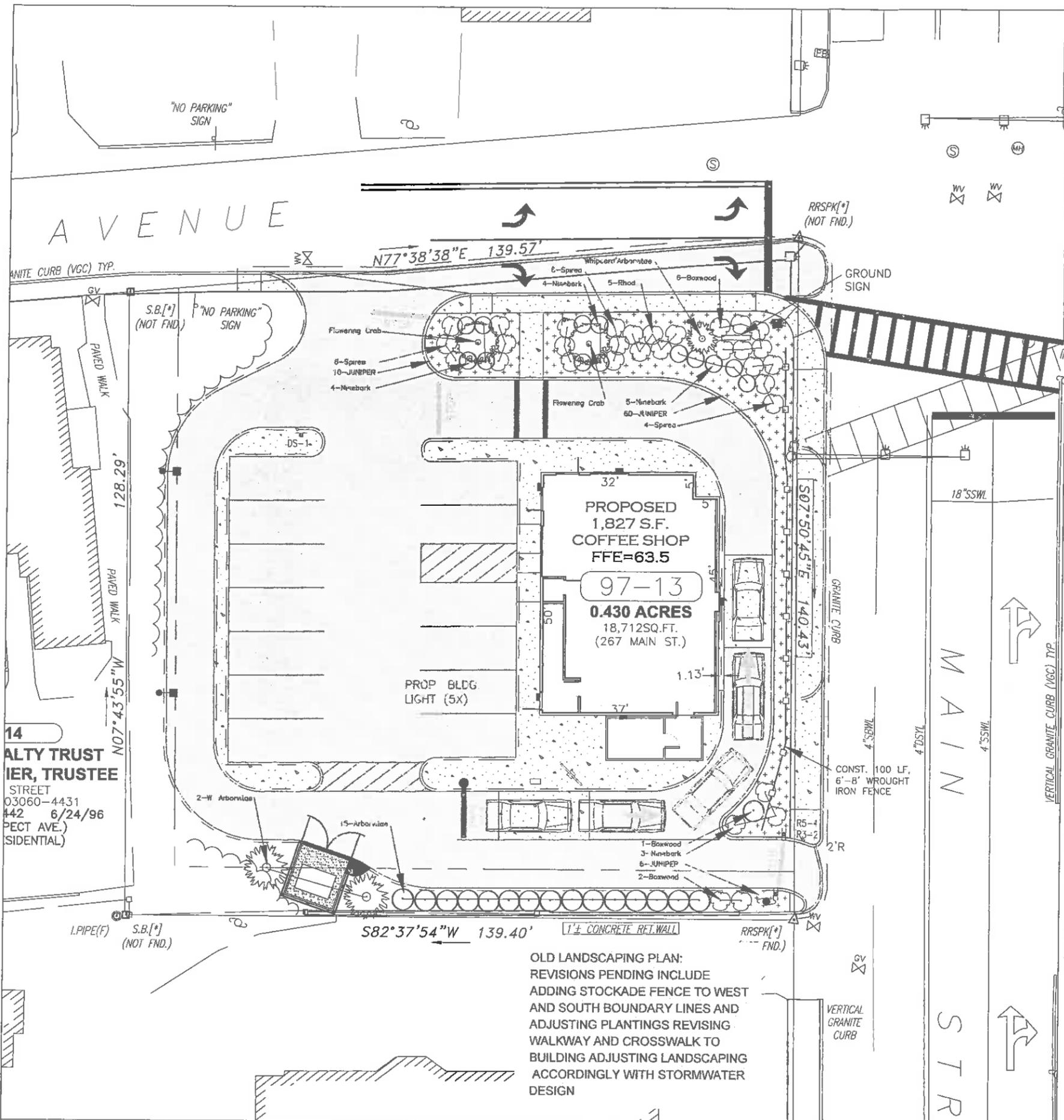
SCALE: 1" = 20' MARCH 7, 2019

Surveying + Engineering + Land Planning + Permitting + Septic Designs

FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
Phone: (603) 672-5458 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com





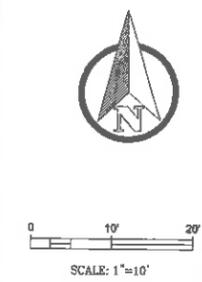
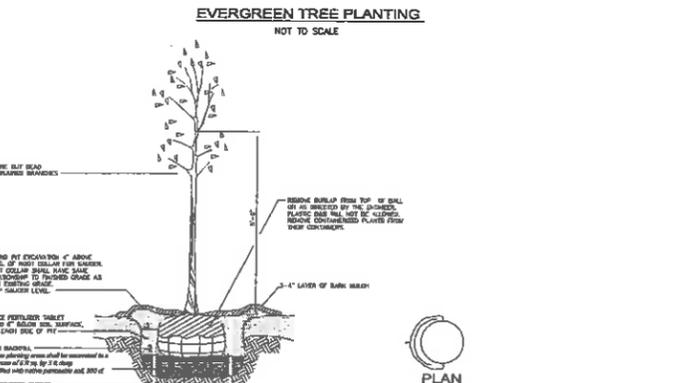
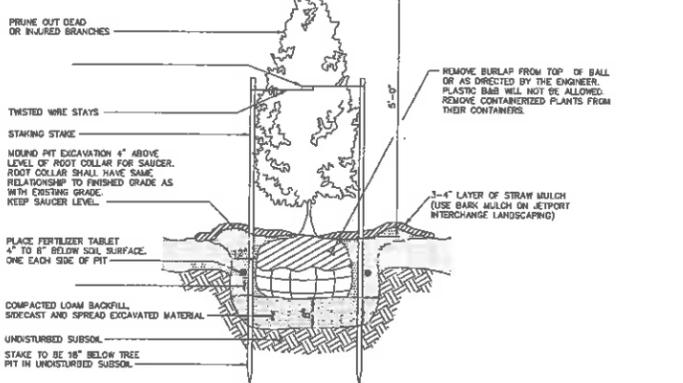
PLANTING NOTES:

- The Landscape Contractor shall grade planting beds, as required, to provide positive drainage and promote optimum plant growth.
- All recommended trees and plant materials will be graded as Nursery Grade No. 1 or better.
- All planting shall be done in accordance with standard Nurseryman's and Grower's Association approved practices.
- All plants shall be fertilized with Phosphorus free fertilizer tablets as per the manufacturer's specifications in conjunction with notes # 5 or approved equal.
- The planting soil shall be the appropriate proportions as follows: 50% sand and 50% organic material consisting of native peat, well-decomposed sawdust, leaf mold and top soil. It shall provide a good pliable and thoroughly moist medium with adequate aeration, drainage and water-holding capacity. It shall also be free of all noxious debris, such as roots, stones, weeds, etc. Soil depth shall be 6" min.
- All planting areas shall receive a 3" layer of recycled hardwood log mulch, which is to be worked-in after installation.
- The plant material schedule is presented for the convenience of the Landscape Contractor. In the event of a discrepancy between the plan and the plant key, the plan shall prevail.
- Plants shall meet size, establish, and spacing specifications. Any material not meeting specifications shall be removed and replaced at the contractor's expense.
- All tree and shrub locations are subject to change. All locations shall be approved by the Site Architect prior to planting.
- The Landscape Contractor shall be responsible for assembling fully both the site and the bid documents. Also specify in the documents or the actual site conditions shall be reported to the Site Architect in writing at the time of bidding or discovery. No account shall be made after contract completion for failure to report such conditions, or for errors on the part of the Landscape Contractor with the time of bidding.
- The Landscape Contractor shall be responsible for securing all necessary applicable permits and licenses to perform the work set forth in this plan set and the specifications.
- Plant material shall be bid as specified unless otherwise stated at which time the Site Architect will be notified by telephone and in writing of intended changes for approval.
- Any and all questions concerning the plan set and/or specifications shall be directed to the Site Architect.
- There shall be no additional deletions or substitutions without the written approval of the Site Architect.
- The Landscape Contractor shall guarantee, in writing, plant survivability for a period of twelve (12) months from final acceptance by the Site Architect.
- All dimensions to be field-checked by the Landscape Contractor prior to landscape material installation. Discrepancies shall be reported immediately to the Site Architect.
- All materials must be as specified on the landscape plan. If materials or labor do not adhere to specifications they will be rejected by the Site Architect with proper installation carried out by Landscape Contractor at no additional cost.
- All permits necessary are to be provided by the installing contractor unless otherwise specifically stated in the specifications.
- No excavation identification signs shall be permitted on the project, except for the perfect information signs.
- Existing soil shall be recovered as necessary to accommodate new plantings.
- Any existing soil and areas that are unnecessarily disturbed during the landscape installation shall be restored.

- FERTILIZATION NOTES:**
 All trees and shrubs shall be fertilized with Phosphorus free fertilizer tablets (or approved equal) planting tablets at time of installation and prior to completion of the installation. Tablets shall be placed uniformly around the root mass at a depth that is between the middle and bottom of the root mass.
- APPLICATION RATE:**
- | | |
|---------------|--|
| 3 Gallon size | 1-23 gram tablets |
| 5 Gallon size | 2-23 gram tablets |
| 7 Gallon size | 4-23 gram tablets |
| Tree | 1-23 gram tablets each 1/2" of caliper |
- GUARANTEE:**
1. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WRITTEN GUARANTEE FOR THE INSTALLED PLANT MATERIALS. THIS GUARANTEE SHALL BEGIN AT THE POINT OF SUBSTANTIAL COMPLETION AND EXTEND FOR A PERIOD NOT LESS THAN ONE (1) YEAR. ALL PLANT MATERIALS, INSTALLATION AND MAINTENANCE SHALL BE INCLUDED. THE GUARANTEE SHALL BE ADMINISTERED AT THE DISCRETION OF THE SITE ARCHITECT.

PLANTING LIST:

QTY.	SIZE	SPECIES
2	2.5'-3' Cal	MALUS 'Prairiefire' - Flowering Crab
2	5'-6'	THUJA plicata 'Arbovitae' - Arbovitae
15	5'-6'	THUJA occidentalis 'Wintergreen' - Arbovitae
1	3-4'	THUJA plicata 'Whipped' - Arbovitae
9	18-24"	BUXUS 'Green Velvet' - BOXWOOD
5	18-24"	RHOD. 'P.J.M.' comp clone - Compact PIM Rhododendron
16	18-24"	PHYSOCARPUS opulifolius 'Burgundy Candy' - NINEBARK
76	18-24"	JUNIPERUS communis depressa 'Blueberry Delight' JUNIPER
16	18-24"	SPRAEA japonica 'Ivory Princess' - Pink Mound Spirea



Donald R Scott, RLA
 Landscape Architect
 144 Main St. Box 45
 Harrisville, NH 03450
 603-313-9335 Cell
 dscoot.r.l.a@myfairpoint.net

REV.	DESCRIPTION	DATE

DESIGNED BY:
 CHECKED BY:
 DATE PLAN: 04/05/2019
 DATE SURVEY:
 PROJECT NO.: 18255P
 CAD NO.:

Chad E. Brown, P.E.
 Civil Engineer / Principal
 TERRACON CONSULTANTS, INC.
 200 Elm Street - 4th Floor
 Tel: 603.875.3450 - Fax: 603.875.3450
 Cell: 603.875.3791
 cbrown@terraconconsultants.com

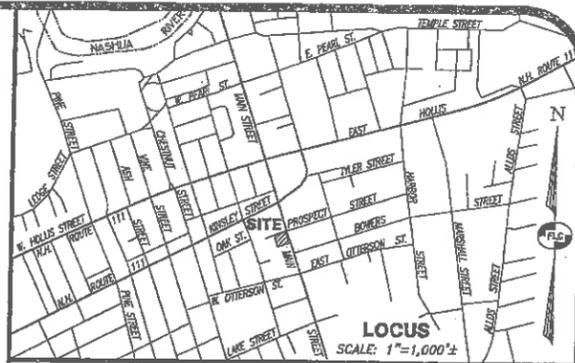
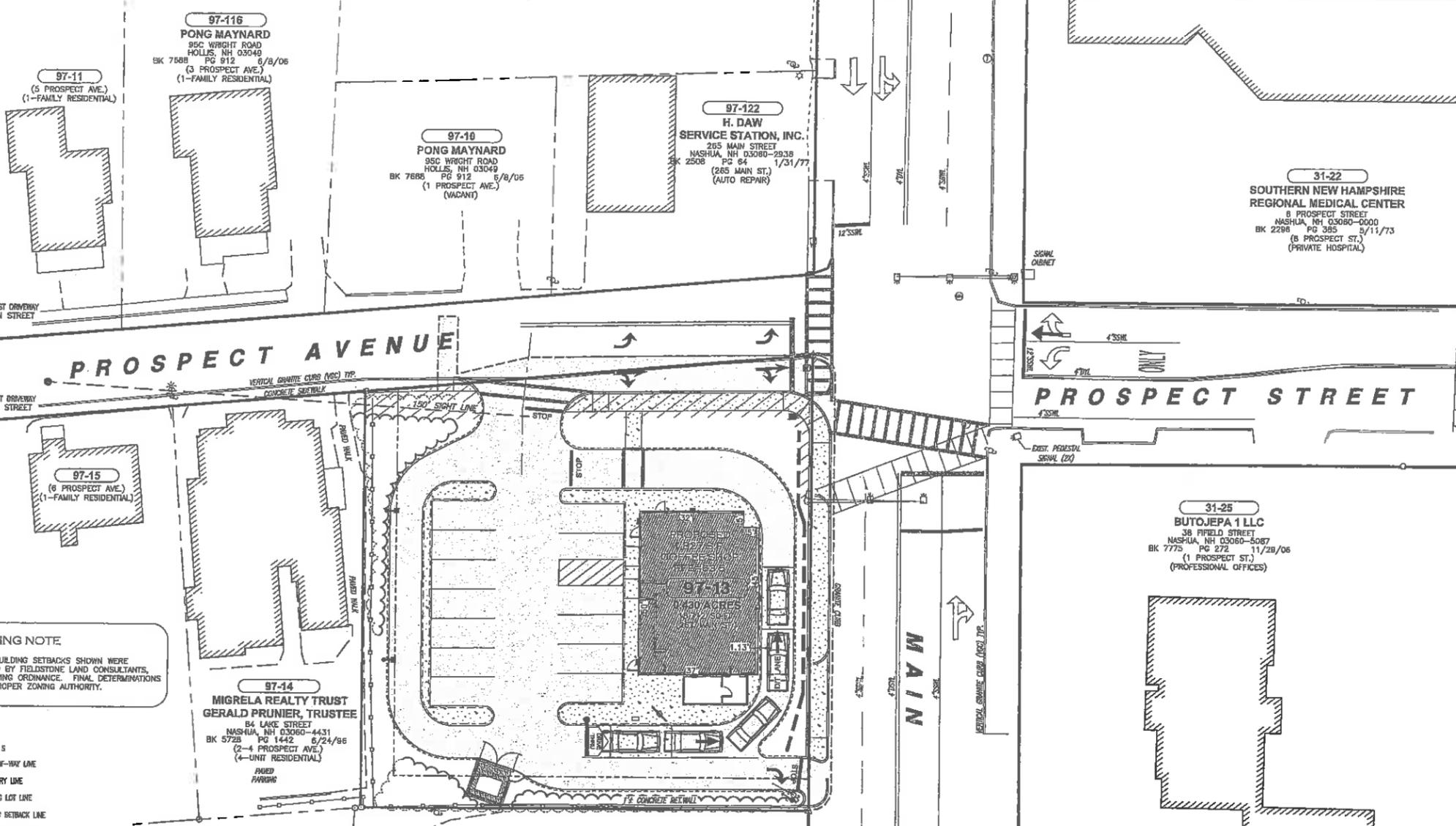
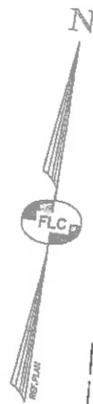
By: DUNKIN DONUTS
 PROSPECT ST.
 NASHUA, NH

PROPOSED LANDSCAPE PLAN
 DUNKIN DONUTS PROSPECT ST.
 NASHUA, NH

PROPOSED LANDSCAPE PLAN
 4-08-2019

SHEET
 LA-1

OLD LANDSCAPING PLAN:
 REVISIONS PENDING INCLUDE
 ADDING STOCKADE FENCE TO WEST
 AND SOUTH BOUNDARY LINES AND
 ADJUSTING PLANTINGS REVISNG
 WALKWAY AND CROSSWALK TO
 BUILDING ADJUSTING LANDSCAPING
 ACCORDINGLY WITH STORMWATER
 DESIGN

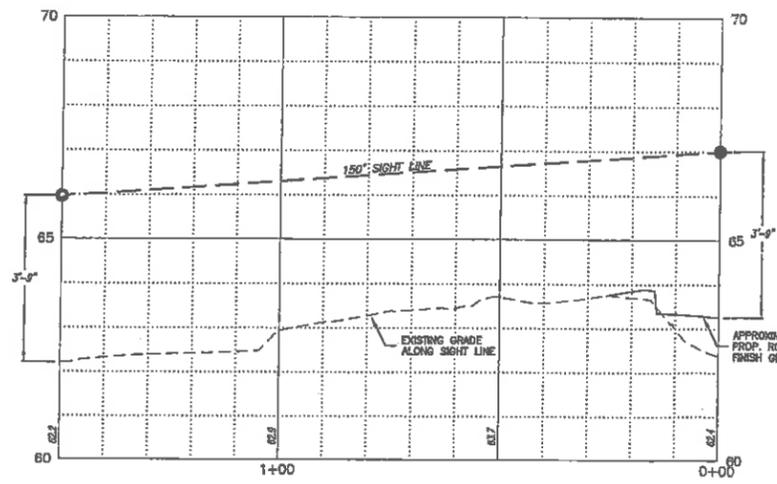


- NOTES:**
1. THE APPLICANT AND THE OWNER OF RECORD FOR TAX MAP 97 LOT 13 IS 267 MAIN STREET REALTY, LLC, 13 CUMMINGS LANE, HOLLIS, NH 03049. THE DEED REFERENCE FOR THE PARCEL IS VOL. 6065 PG. 1972 DATED APRIL 20, 2018 IN THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS.
 2. THE TOTAL AREA OF EXISTING TAX MAP PARCEL 97-13 IS 0.430 ACRES OR 18,712 SQ. FT. PER REFERENCE PLAN #1 CITED HEREON.
 3. THE PURPOSE OF THIS PLAN IS TO DEPICT A PROPOSED COFFEE SHOP WITH DRIVE THROUGH SERVICE AND ASSOCIATED SITE IMPROVEMENTS ON TAX MAP LOT 97-13.
 4. LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAP 97 AND 31.
 5. ZONING FOR THE PARCEL IS THE DOWNTOWN 1 DISTRICT (MIXED USE) (D1MU).
- | D-1 ZONE: CONVENTIONAL | REQUIRED | EXIST. 97-13 |
|-------------------------|----------|--------------|
| MIN LOT AREA | NONE SF | 18,712 SF |
| MIN LOT WIDTH | NONE FT | 140.43 FT |
| MIN LOT FRONTAGE | NONE FT | 280.00 FT |
| MIN LOT DEPTH | NONE FT | 134.4 FT |
| MIN FRONT SETBACK | 0 FT | 42.8 FT |
| MIN SIDE SETBACK | 0 FT | 45.8 FT |
| MIN REAR SETBACK | 10 FT | 78.3 FT |
| MAX. BUILDING HEIGHT | 90 FT | 10 FT |
| MAX. STORIES | 6 | 1.0 |
| CONSERVATION AREA | NONE | NA |
| OPEN SPACE FOR EACH LOT | NONE | 75% |
6. THE SURFACE FEATURES AND BOUNDARY INFORMATION SHOWN WERE DEVELOPED FROM THE REFERENCE PLAN CITED AND A PRECISE FIELD TIE-IN SURVEY BY THIS OFFICE DURING THE MONTH OF APRIL 2018. HORIZONTAL ORIENTATION IS BASED ON THE REFERENCE PLAN. VERTICAL DATUM IS NASHUA CITY DATUM. REFERENCE BENCHMARK IS STANDARD USGS SURVEY DISK STAMPED "168 CONCORD USGS", LOCATED IN THE SOUTH SIDE OF THE BASE OF THE WAR MONUMENT ON THE SQUARE AT THE INTERSECTION OF MAIN STREET AND AVENUE STREET. THE NASHUA CITY DATUM ELEV=78.43 CONVERTED FROM NAVD83 (168.20 (NAVD83)-89.77=78.43(NASHUA CITY)).
 7. JURISDICTIONAL WETLANDS WERE NOT FOUND ON THE SUBJECT PARCEL PER AN ON SITE FIELD INVESTIGATION BY CHRISTOPHER A. GUIDA, C.W.S. IN APRIL 2018 IN ACCORDANCE WITH THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, DATED JANUARY 1987.
 8. THE SITE IS NOT LOCATED WITHIN THE WATER SUPPLY PROTECTION DISTRICT.
 9. THE SITE IS CURRENTLY SERVICED BY OVERHEAD UTILITIES AND BY MUNICIPAL SEWER AND WATER.
 10. THE SUBJECT PARCEL IS NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY NO. 3301005147, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33011005147, EFFECTIVE DATE APRIL 15, 2011.
 11. SOIL TYPE FOR THE ENTIRE SITE IS U₁ - URBAN LAND.
 12. THIS SITE PROVIDES FOR 13 PARKING SPACES INCLUDING 1 HANDICAP.
 13. ALL LANDSCAPING SHALL BE SHOWN ON THE PLANS AND CONFORM TO THE APPLICABLE CITY OF NASHUA LAND USE CODE UNDER ARTICLE XXVII.
 14. ALL SIGNAGE SHALL CONFORM TO THE APPLICABLE CITY OF NASHUA REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.

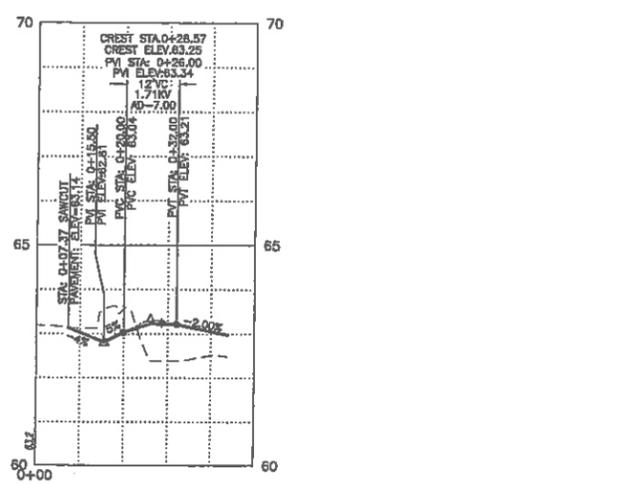
ZONING NOTE
 DEPICTION OF THE ZONING/BUILDING SETBACKS SHOWN WERE INTERPRETED AND DEVELOPED BY FIELDSTONE LAND CONSULTANTS, PLLC PER THE CURRENT ZONING ORDINANCE. FINAL DETERMINATIONS SHOULD BE MADE BY THE PROPER ZONING AUTHORITY.

- LEGEND:**
- EXISTING FEATURES**
- RIGHT-OF-WAY LINE
 - BOUNDARY LINE
 - HEAVING LOT LINE
 - BUILDING SETBACK LINE
 - EDGE OF PAVED ROAD
 - EDGE OF GRAVEL ROAD
 - EDGE OF TREE LINE
 - 5' CONTOUR INTERVAL
 - 1' CONTOUR INTERVAL
 - STOCKADE FENCE
 - OVERHEAD UTILITY LINE
 - GAS LINE
 - WATER LINE
 - SEWER LINE
 - DRAIN LINE

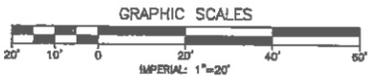
- PROPOSED FEATURES**
- EDGE OF PAVEMENT
 - SLOPED GRANITE CURB (SGC)
 - VERTICAL GRANITE CURB (VGC)
 - INTERVAL CONCRETE CURB (ICC)
 - 4" DOUBLE SOLID YELLOW LINE
 - 4" SINGLE SOLID WHITE LINE
 - 4" SINGLE BROKEN WHITE LINE
 - TRAFFIC FLOW (NOT PAINTED ARROWS)
 - NUMBER OF PARKING SPACES
 - HANDICAP PARKING STALL
 - CONC. SIDEWALK/PAVEMENT
 - BIT. CONC. PAVEMENT
- TRAFFIC SIGNS**
- R1-1 STOP SIGN
 - R2-2 NO LEFT TURN
 - R5-1 DO NOT ENTER
 - D5-1 DIRECTION SIGN (DRIVE THRU)
 - BT, SB EXIST. SIGNS (SEE DEMOLITION PLAN)
 - PM POLICE MOUNTED LIGHT
 - BUILDING MOUNTED LIGHT



SIGHT DISTANCE PROFILE



SITE DRIVE PROFILE



REV.	DATE	DESCRIPTION	DP/W	NRC	CEB
A	5/01/19	ADDRESS 4/28/19 ENGINEERING EMAIL			

SIGHT DISTANCE EXHIBIT PLAN
TAX MAP 97 LOT 13
267 MAIN STREET
NASHUA, NEW HAMPSHIRE
 PREPARED FOR,
JOE CARVALHO
 42 MAIN STREET, NASHUA, NH 03064
 LAND OF,
267 MAIN STREET REALTY, LLC
 13 CUMMINGS LANE, HOLLIS, NH 03049

SCALE: 1" = 20' HORZ., 2' VERT. MARCH 7, 2019

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

206 Elm Street, Milford, NH 03055
 Phone: (603) 672-5456 Fax: (603) 413-5456
 www.FieldstoneLandConsultants.com

FILE: 1825SP00A.dwg PROJ. NO. 1825.00 SHEET: EH-1 PAGE NO. 1 OF 1