

1. Planning Board Regular Webex Meeting Agenda (PDF)

Documents:

[20200604 NCPB AGENDA.PDF](#)

2. Planning Board Staff Reports And Plans

Documents:

[20200604 122 MANCHESTER STREET SITE PLAN STAFF REPORT.PDF](#)
[20200604 122 MANCHESTER STREET SITE PLAN.PDF](#)



City of Nashua
Planning Department
229 Main Street
Nashua, New Hampshire 03061-2019

Planning & Zoning 589-3090
Fax 589-3119
WEB www.nashuanh.gov

May 21, 2020

AGENDA

To: NCPB Members

From: Planning Staff

Re: Regular Meeting and Public Hearing, June 4, 2020

Notice is hereby given that a Public hearing of the City of Nashua Planning Board will meet on Thursday, June 4, 2020 at 7:00 PM via a Webex Meeting. Real-time public comment can be addressed to the Board utilizing Webex virtual meeting software for remote access. This application will allow users to view the meeting and ask questions to the Board via the chat function. The public is also encouraged to submit their comments via email planningdepartment@nashuanh.gov to the Department email or by mail (please make sure to include your name/address and comments) by 5pm on June 4, 2020 and read into the record at the appropriate time. Letters should be addressed to City of Nashua, Planning Department, P.O. Box 2019, Nashua, NH 03061. Plans can be viewed online starting May 29, 2020 at www.nashuanh.gov in the Calendar or Agendas and Minutes.

To access Webex: <https://nashuanh.webex.com/nashuanh/j.php?MTID=mec4b7fced59fac8fa9724043292c6be4>
Meeting number/access code: 716 195 485 – Password: w49uAEJmUg8

To join by phone: 1-(408)-418-9388 - Meeting number/access code: 716 195 485

If for some reason you can't connect to Webex, please contact us at (603) 589-3115.

- A. Call to Order
- B. Roll Call
- C. Approval of Minutes – May 21, 2020
- D. Communications
- E. Report of Chairman, Committee, & Liaison
- F. Executive Session

OLD BUSINESS – CONDITIONAL / SPECIAL USE PERMITS

None

OLD BUSINESS - SUBDIVISION PLANS

None

OLD BUSINESS – SITE PLANS

None

NEW BUSINESS – CONDITIONAL / SPICAL USE PERMITS

None

NEW BUSINESS – SUBDIVISION PLANS

None

NEW BUSINESS – SITE PLANS

1. Paragon Properties, LLC (Owner) - Application and acceptance of proposed site plan to construct a four unit condominium development with associated site improvements. Property is located at 122 Manchester Street. Sheet 59 - Lot 135. Zoned "RA" Urban Residence. Ward 2.

OTHER BUSINESS

1. Review of tentative agenda to determine proposals of regional impact.

DISCUSSION ITEM

None

NONPUBLIC SESSION

The Planning Board will need to make a motion to enter into a Nonpublic Session under RSA 91-A:3, II (e) for consideration or negotiation of pending claims or litigation which has been threatened in writing or filed against the public body.

NEXT MEETING

June 18, 2020

ADJOURN

WORKSHOP

ACCOMMODATIONS FOR THE SENSORY IMPAIRED

**"SUITABLE ACCOMMODATIONS FOR THE SENSORY IMPAIRED
WILL BE PROVIDED UPON ADEQUATE ADVANCE NOTICE."**

CONDUCT AT PLANNING BOARD MEETING

When the meeting is called to order, the only talking allowed in the Auditorium will be remarks addressed to the Chairman. Except for the original presentation of the subject or application, each person speaking for or against shall be limited to five (5) minutes until all have been given an opportunity to be heard, at which time each person may be allowed additional time if deemed necessary by the Board or the Chairman. When you are recognized by the Chairman, proceed to the podium, using the microphone, state your name and address and then make your comments. Courtesy is shown when you reserve your comments for the proper time.

PLEASE BE COURTEOUS

By Order of the Chair

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda McGhee Deputy Planning Manager
FOR: June 4, 2020
RE: **New Business #1 - Site Plan**

I. Project Statistics:

Owner: Paragon Properties, LLC
Proposal: Site plan to construct a 4 unit condominium development
Location: 122 Manchester Street
Total Site Area: 2.36 acres
Existing Zoning: RA-Urban Residence
Surrounding Uses: Residential and church

II. Background Information:

According to Assessing records, the existing house was built in the 1920's. Over time a garage and some sheds were also constructed. The parcel is a long narrow lot which tapers in the rear. Approximately one third of the lot is developed and the remainder is wooded with steep slopes to the south.

On November 21, 2013 the planning board disapproved a request for a seven lot subdivision based on it was not compliant with Section 190-165(B) (double frontage lots) of the Nashua Revised Ordinances.

On September 27, 2016 the Zoning Board of Adjustment granted a variance to exceed the maximum principal structures permitted on one lot for a proposed 18 unit age restricted condominium site plan. Due to a procedural abutter notification error, the case was reheard on December 13, 2016 and the ZBA granted the variance with one stipulation that a minimum of a 20 foot setback from the property lines to the rear of the structures, so in effect, the side yard setback is 20 feet instead of 10 feet. In 2017 the abutters appealed the decision of the administrative officer that a proposed housing development located at 122 Manchester Street would provide significant facilities and services designed to meet the physical and social needs of older persons. The ZBA agreed with the abutters that the proposal did not meet the sufficient criteria to qualify as elderly housing. The applicant's attorney filed a rehearing request however it was denied on May 23, 2017. The proposal for an 18 unit age restricted housing condominium site plan development was heard by the planning board, however on December 19, 2018 the applicant's attorney withdrew their pending application.

Copies of the staff report, letters and minutes are attached.

III. Project Description:

The applicant is proposing to construct a private street (Paddington Place) that will access 4 single family residential condominium style homes. The condominiums will be serviced by municipal sewer, Pennichuck Water and underground utilities. A no cut/slope protection area will be protected in perpetuity; however, dead or diseased vegetation may be removed as per the ZBA stipulation. Building elevations have been provided to show potential units. A Traffic Impact Report Worksheet has been submitted and the project does not necessitate a full traffic study. There is an existing sidewalk located along the frontage of the lot on the opposite side of Manchester Street. The applicant is not proposing any internal sidewalks as they believe that this project does not warrant them and the proposed 20' roadway will be adequate for the pedestrian and vehicular traffic.

Two waivers are being requested for this project. The first is from design standards for private streets. The design standards and construction specifications of private streets shall be the same as for public streets. The applicant is proposing a 20' wide street rather than the 28' wide specifications for public streets. The second waiver is from the requirement for site lighting as the proposed four unit condominium development does not propose any formal lighting.

According to the applicant's engineer the property is situated in two watersheds that drain from south to north. The proposed private road will intercept the runoff flowing south to north across the property. A swale is proposed along the toe of the slope along the southerly property line. This swale will direct stormwater runoff to the proposed infiltration basin located at the front of the property. On the north side of the proposed development, a diversion swale will convey the stormwater the infiltration basin as well, and then discharge to the Manchester Street closed drainage system by way of a 12" RCP culvert. A copy of the stormwater report is attached.

City staff reviewed the plans; comments are attached.

IV. Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

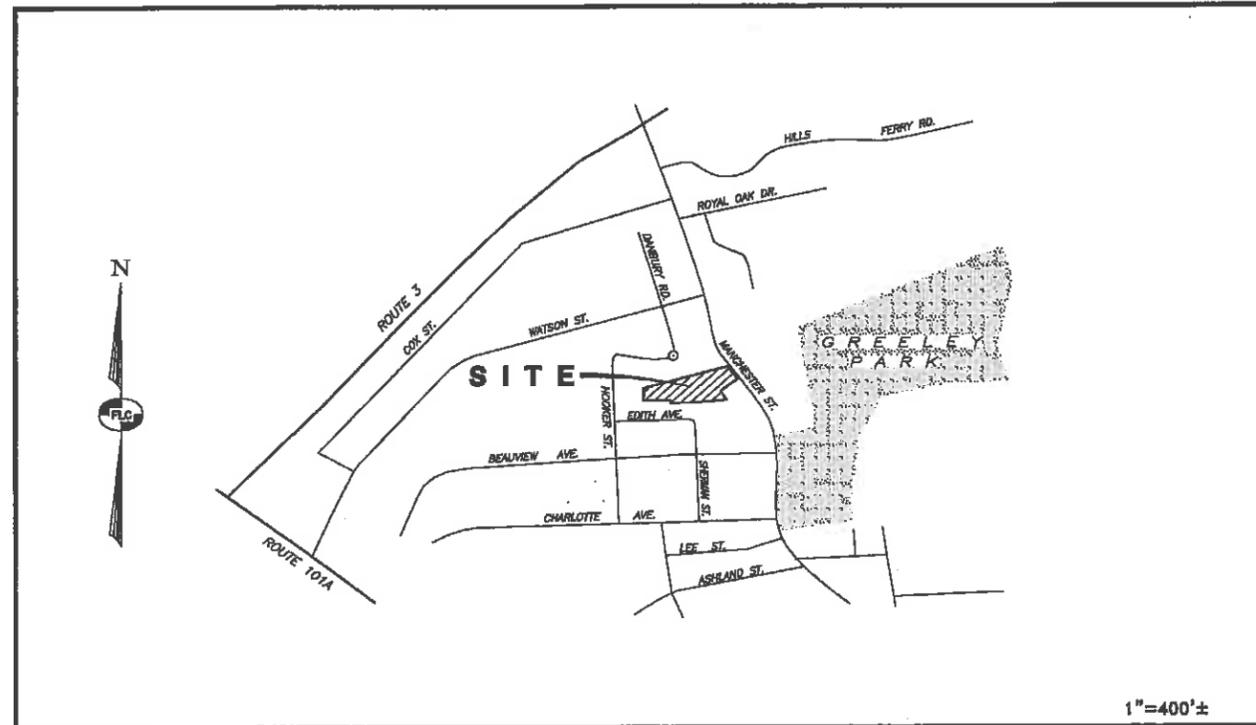
1. The request for a waiver of § 190-211(B), which sets minimum design standards for private streets width, **is/is not granted**, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. The request for a waiver of NRO § 190-88, which requires a light plan, **is/is not granted**, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
3. Prior to the Chair signing the plan, minor drafting corrections will be made.

4. Prior to the Chair signing the plan, all comments in an e-mail from Joe Mendola, Street Construction Engineer, and dated May 22, 2020 shall be addressed to the satisfaction of the Engineering Department.
5. Prior to the Chair signing the plan, all conditions from the Planning Board approval letter will be added to the cover page of the final mylar and paper copies submitted to the City.
6. Prior to the issuance of a building permit, all comments in an e-mail from Rapaglia dated April 22, 2020 shall be addressed to the satisfaction of the Fire Marshal.
7. Prior to the issuance of a building permit, the electronic file of the plan will be submitted to the City of Nashua.
8. Prior to the issuance of a building permit, condominium documents will be submitted to City Staff and Corporation Counsel for review and approval.
9. Road and driveway construction shall be to base course, with final course pavement remaining bonded until completion. Upon completion of construction, the applicant shall provide the City Engineer with written certification signed by a licensed professional engineer certifying the private street and driveways were designed and installed as required by a third party engineer selected by City Engineering at the applicant's expense. Inspection reports shall be filed with the City Engineer's Office and the Planning Department.
10. Prior to the issuance of the first Certificate of Occupancy, "No Parking" signs shall be posted as per the Fire Marshal's e-mail dated April 22, 2020.
11. To issuance of the final Certificate of Occupancy for the development, an as-built plan locating all roads, driveways, units, other buildings, utilities and site landscaping shall be completed by a professional engineer and submitted to the Planning Department. The as-built plan shall include a statement that all construction was generally completed in accordance with the approved plan and applicable local regulations.
12. Prior to the issuance of the last Certificate of Occupancy, all site improvements will be completed.
13. All stipulations of the Zoning Board of Adjustment dated February 12, 2020 are incorporated herein.

CONDOMINIUM SITE PLAN PADDINGTON PLACE

- LOT 135 MAP 59 -
122 MANCHESTER STREET
NASHUA, NEW HAMPSHIRE

APRIL 9, 2020
LAST REVISED: MAY 27, 2020



SHEET INDEX		
PAGE	SHEET	TITLE
1	CV-1	COVER SHEET
2	CD-1	CONDOMINIUM SITE LAYOUT PLAN
3	EX-1	EXISTING CONDITIONS PLAN
4	GR-1	SITE LAYOUT, GRADING & EROSION CONTROL PLAN
5	PP-1	UTILITY PLAN AND ROADWAY PROFILE
6	LS-1	LANDSCAPE PLAN
7	DT-1	CONSTRUCTION DETAILS
8	DT-2	LANDSCAPING DETAILS
9	DT-3	DRAINAGE DETAILS
10	DT-4	EROSION & SEDIMENTATION CONTROL DETAILS
11	DT-5	SEWER DETAILS
12	DT-6	WATER DETAILS

PREPARED FOR AND LAND OF:
PARAGON PROPERTIES, LLC
c/o ERIC PEARSON
P.O. BOX 3691, NASHUA, NH 03061
PH (603) 661-0717

Eric Pearson 5/27/2020
OWNERS SIGNATURE DATE

"THE UNDER-SIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY."

DATE: 5/27/2020 OWNER/APPLICANT SIGNATURE: *Eric Pearson*

REV.	DATE	DESCRIPTION	C/D	DR	CK
A	5/27/20	REVISIONS PER FIRE, ENGINEERING, AND CITY COMMENTS		CLR	CEB
FILE: 489CV02.dwg PROJ. NO. 488.02 SHEET: CV-1 PAGE NO. 1 OF 12					

1. THE LOCATION OF THE UTILITIES SHOWN ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PRESERVE ALL UTILITY SERVICES.

2. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL UTILITY COMPANIES AND JURISDICTIONAL AGENCIES PRIOR TO AND DURING CONSTRUCTION.

3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND PROPOSED WORK PRIOR TO CONSTRUCTION.

CONTACT DIG SAFE
72 HOURS PRIOR
TO CONSTRUCTION
DIGSAFE.COM
OR DIAL 888
CALL BEFORE YOU DIG
ITS THE LAW

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

206 Elm Street, Milford, NH 03055
Phone: (603)-672-5456 Fax: (603)-413-5456
www.FieldstoneLandConsultants.com

Nathan B. Chamberlain
5/27/20

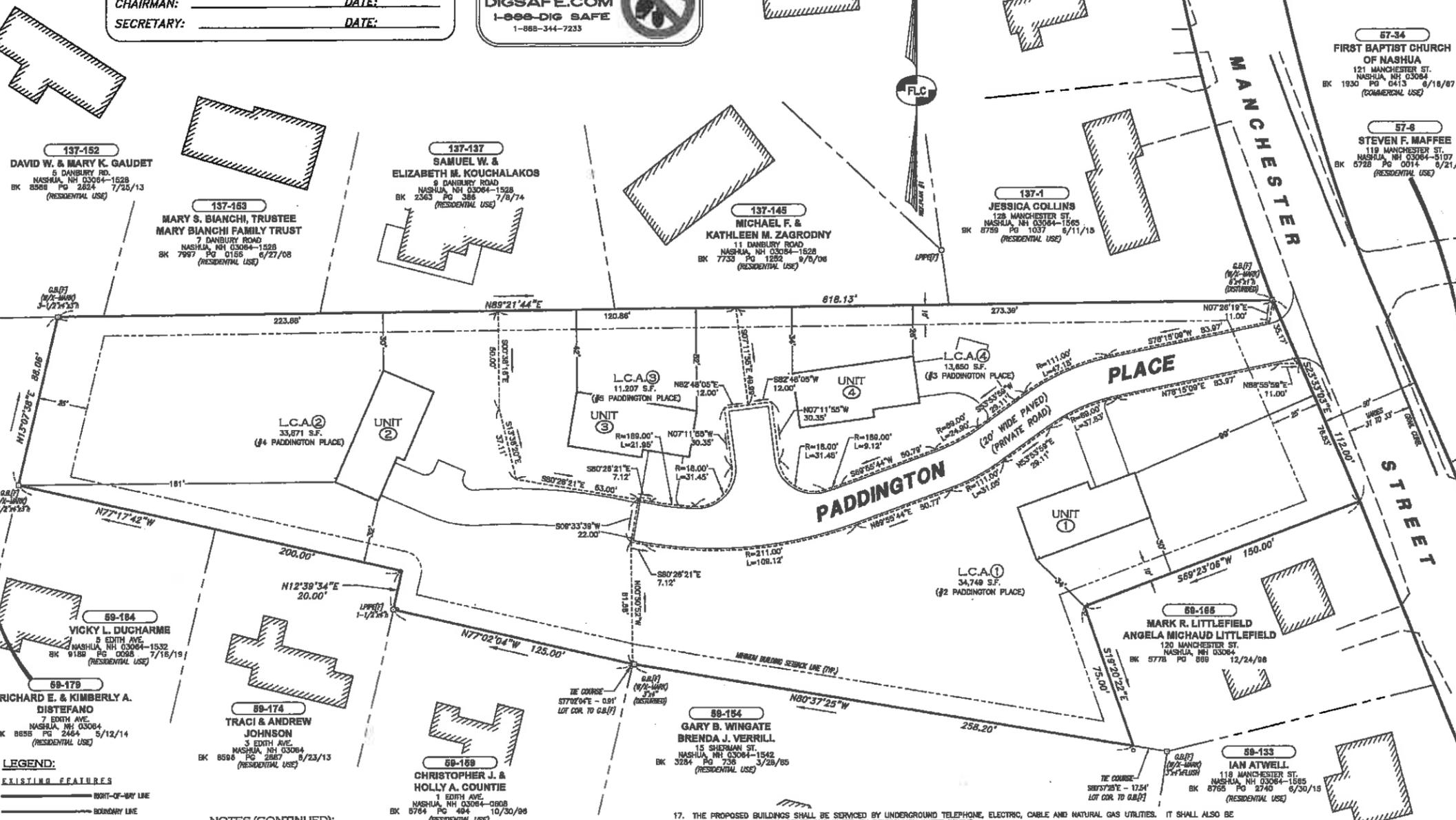
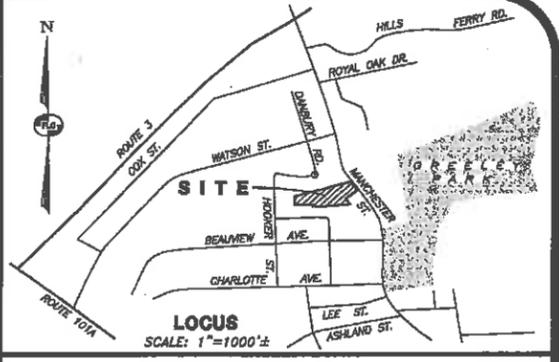
APPROVED BY NASHUA PLANNING BOARD

CHAIRMAN: _____ DATE: _____

SECRETARY: _____ DATE: _____

CONTACT DIG SAFE
72 HOURS PRIOR
TO CONSTRUCTION

DIGSAFE.COM
1-888-DIG SAFE
1-888-344-7233



137-152
DAVID W. & MARY K. GAUDET
5 DANBURY RD.
NASHUA, NH 03084-1528
BK 8598 PG 2824 7/25/13
(RESIDENTIAL USE)

137-153
MARY S. BIANCHI, TRUSTEE
MARY BIANCHI FAMILY TRUST
7 DANBURY ROAD
NASHUA, NH 03084-1528
BK 7997 PG 0156 6/27/08
(RESIDENTIAL USE)

137-137
SAMUEL W. &
ELIZABETH M. KOUCHALAKOS
9 DANBURY ROAD
NASHUA, NH 03084-1528
BK 2363 PG 386 7/8/74
(RESIDENTIAL USE)

137-145
MICHAEL F. &
KATHLEEN M. ZAGRODNY
11 DANBURY ROAD
NASHUA, NH 03084-1528
BK 7739 PG 1282 9/8/06
(RESIDENTIAL USE)

137-1
JESSICA COLLINS
128 MANCHESTER ST.
NASHUA, NH 03084-1565
BK 8789 PG 1037 6/11/15
(RESIDENTIAL USE)

57-34
FIRST BAPTIST CHURCH
OF NASHUA
121 MANCHESTER ST.
NASHUA, NH 03084
BK 1930 PG 0413 6/18/87
(COMMERCIAL USE)

57-8
STEVEN F. MAFFEE
119 MANCHESTER ST.
NASHUA, NH 03084-5107
BK 6728 PG 0014 6/21/86
(RESIDENTIAL USE)

89-184
VICKY L. DUCHARME
5 EDITH AVE.
NASHUA, NH 03084-1532
BK 9189 PG 0088 7/16/19
(RESIDENTIAL USE)

89-178
RICHARD E. & KIMBERLY A.
DISTERFANO
7 EDITH AVE.
NASHUA, NH 03084
BK 8685 PG 2464 5/12/14
(RESIDENTIAL USE)

89-174
TRACI & ANDREW
JOHNSON
3 EDITH AVE.
NASHUA, NH 03084
BK 8598 PG 0587 9/23/13
(RESIDENTIAL USE)

89-189
CHRISTOPHER J. &
HOLLY A. COUNTE
1 EDITH AVE.
NASHUA, NH 03084-0808
BK 8764 PG 484 10/30/95
(RESIDENTIAL USE)

89-184
GARY B. WINGATE
BRENDA J. VERRILL
15 SHERMAN ST.
NASHUA, NH 03084-1542
BK 3284 PG 738 3/28/85
(RESIDENTIAL USE)

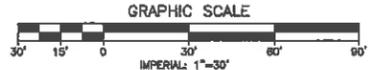
89-186
MARK R. LITTLEFIELD
ANGELA MICHAUD LITTLEFIELD
120 MANCHESTER ST.
NASHUA, NH 03084
BK 5778 PG 888 12/24/98
(RESIDENTIAL USE)

89-133
IAN ATWELL
118 MANCHESTER ST.
NASHUA, NH 03084-1585
BK 8765 PG 2740 6/30/15
(RESIDENTIAL USE)

- REFERENCE PLANS:**
- *SUBDIVISION & CONSOLIDATION PLAN (MAP 59, LOT 133 & 155) - MANCHESTER ST. - NASHUA, NEW HAMPSHIRE - PREPARED FOR - FRANK JAMES LUDANI JR., SCALE: 1"=30', DATED: AUGUST 27, 1988 BY CUDCO & CORNER, INC. (RECORDED AT THE H.C.R.D. AS PLAN #18347).
 - *SUBDIVISION PLAN - WELLINGTON FARMS - MANCHESTER STREET - NASHUA, N.H. - SURVEYED FOR TERRAFIELD CORPORATION, SCALE: 1"=50', DATED: APRIL 1989 BY W. ROBERT NOLTE & ASSOCIATES (RECORDED AT THE H.C.R.D. AS PLAN #4114).
 - *LAND OF - ELLA F. WARREN - MANCHESTER STREET - NASHUA, N.H., SCALE: 1"=40', DATED: FEB. 25, 1958 SURVEYOR UNKNOWN (RECORDED AT THE H.C.R.D. AS PLAN #183).
 - *PLAN SHOWING LOTS OWNED BY - HIGHLAND SPRINGS SANATORIUM - MANCHESTER STREET - NASHUA, N.H., SCALE: 1"=60', DATED: JULY 30, 1936 SURVEYOR UNKNOWN (RECORDED AT THE H.C.R.D. AS PLAN #151 SHEET 5)
 - *LAND - OF - E.L. COPP - IN - NASHUA, N.H., SCALE: 1"=100', DATED: 1893 BY A.H. DEAN, C.E. (RECORDED AT THE H.C.R.D. AS PLAN #300 PLATE NO. 2)

- NOTES:**
- OWNER OF RECORD: PARAGON PROPERTIES, LLC - C/O ERIC PEARSON. P.O. BOX 8881 NASHUA, NH 03081 BK. 8282 PG. 1120 IN THE H.C.R.D.
 - THE PURPOSE OF THIS PLAN IS TO DEPICT A 4 UNIT CONDOMINIUM SITE PLAN ON TAX MAP PARCEL 59-135.
 - THE TOTAL AREA OF TAX MAP PARCEL 59-135 IS 2,356 ACRES OR 102,884 SQ. FT.
 - LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAPS 57, 59 & 137.
 - ZONING FOR ENTIRE PARCEL IS R-A (URBAN RESIDENCE) DISTRICT.

R-A ZONE CONDOMINIUM	REMOVED	EXISTING	PROPOSED
MIN. LOT AREA	7,500 SF	102,884 SF	102,884 SF (MIN)
MIN. LOT WIDTH	75 FT	112 FT	112 FT (MIN)
MIN. LOT FRONTAGE	60 FT	112 FT	112 FT (MIN)
MIN. LOT DEPTH	90 FT	850 FT	850 FT (MIN)
MIN. FRONT BLDG. SETBACK	25 FT	25 FT	25 FT (MIN)
MIN. SIDE BLDG. SETBACK	10 FT	10 FT	25 FT
MIN. REAR BLDG. SETBACK	25 FT	25 FT	181 FT
MAX. BUILDING HEIGHT	35 FT	20± FT	35 FT (MAX)
MAX. STORIES	2	2	2.5 (MAX)
OPEN SPACE	50%	93.88%	80.12%



- LEGEND:**
- EXISTING FEATURES**
- BOUNDARY LINE
 - ADJUTING LOT LINE
 - BUILDING SETBACK LINE
 - EDGE OF PAVED ROAD
 - EDGE OF GRAVEL ROAD
- PROPOSED FEATURES**
- EDGE OF PRESENT
 - LIMITED CONOR AREA
 - LIMITED CONOR AREA NUMBER
 - UNIT NUMBER
 - PROPOSED BUILDING
- 59-184**
- G.B.F. GRINTE BOUND FOUND
 - C.B.F. CONCRETE BOUND FOUND
 - C.A.P. CONCRETE BOUND PER REF. PLAN
 - U.P.W. IRON PIN FOUND
- UNIT 4**

- NOTES (CONTINUED):**
- THE SURFACE FEATURES AND BOUNDARY INFORMATION SHOWN WERE DEVELOPED FROM THE REFERENCE PLANS CITED AND A PRECISE FIELD SURVEY BY THIS OFFICE DURING THE MONTH OF MARCH 2013. THE NASHUA CITY DATUM HAS BEEN USED ON THIS PROJECT. NASHUA CITY DATUM TO NGVD 1929 DATUM = + 90.47'. HORIZONTAL ORIENTATION IS BASED ON REFERENCE PLAN #1.
 - JURISDICTIONAL WETLANDS WERE NOT FOUND ON THE SUBJECT PARCEL PER AN ON SITE FIELD INVESTIGATION BY CHRISTOPHER A. GUIDA, C.E.S., IN MARCH 2013 IN ACCORDANCE WITH THE "CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, DATED JANUARY 1987".
 - THE SITE IS NOT LOCATED WITHIN THE WATER SUPPLY PROTECTION DISTRICT.
 - THE SITE IS CURRENTLY SERVICED BY OVERHEAD UTILITIES, MUNICIPAL SEWER, NATURAL GAS, AND PENNICHUCK WATER WORKS.
 - PERMANENT MARKERS ARE TO BE SET AT ALL LOT CORNERS AND STONE BOUNDS AT ALL POINTS OF CURVATURE AND TANGENCY ALONG THE RIGHT-OF-WAY BY A LICENSED LAND SURVEYOR.
 - THE SUBJECT PARCEL IS NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY NO. 330097, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER 3301100513D, DATED: SEPTEMBER 25, 2009.
 - SOIL TYPES FOR THE SITE IS C₀C - CANTON URBAN COMPLEX, WITH MODERATELY RAPID PERMEABILITY AND H₈8 - HINGOLEY LOAMY SAND, DEEP, WELL DRAINED SAND.
 - TO THE BEST OF MY KNOWLEDGE AND BELIEF, THERE ARE NO KNOWN EASEMENTS, RESTRICTIONS OR ENCUMBRANCES ON THE PROPERTY OTHER THAN THAT SHOWN.
 - THE SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION, GRADE AND PARKING.
 - PROPOSED BUILDING CONSTRUCTION SHALL INCORPORATE A FOUNDATION DRAINAGE SYSTEM, EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT THE SPECIFIC BUILDING SITE IS LOCATED IN WELL DRAINED SOILS AND THAT SUCH A SYSTEM IS NOT REQUIRED.
 - PRIOR TO A BUILDING PERMIT BEING ISSUED, DOCUMENTS PERTAINING TO THE STORM WATER OPERATION AND MAINTENANCE AND ANY EASEMENTS SHALL BE RECORDED.

- THE PROPOSED BUILDINGS SHALL BE SERVICED BY UNDERGROUND TELEPHONE, ELECTRIC, CABLE AND NATURAL GAS UTILITIES. IT SHALL ALSO BE SERVICED BY MUNICIPAL SEWER AND WATER BY PENNICHUCK WATER WORKS.
- STREET AND UTILITY IMPROVEMENTS SHALL COMPLY WITH ALL APPLICABLE SECTIONS OF THE CITY OF NASHUA REVISED ORDINANCES (N.R.O.).
- PUBLIC STREET RESTORATION WORK, IF ANY, SHALL BE IN ACCORDANCE WITH N.R.O. SECTION 285-13.
- THIS DEVELOPMENT WILL BE SERVICED BY A PRIVATE ROAD AND THERE SHALL BE NO ON-STREET PARKING PERMITTED. SIGNAGE WILL BE INSTALLED STATING NO ON-STREET PARKING.
- THE HOMEOWNER'S ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF DRAINAGE AND THE ROAD.
- THE UNITS DEPICTED ON THIS PLAN ARE INTENDED TO SHOW A POTENTIAL LAYOUT MEETING LOCAL REGULATIONS. FINAL HOUSE PLACEMENT AND DIMENSIONS ARE SUBJECT TO INDIVIDUAL PREFERENCES.
- THE ZONING BOARD OF ADJUSTMENT APPROVED A VARIANCE ON FEBRUARY 12, 2020 TO PERMIT MORE THAN ONE PRINCIPAL STRUCTURE ON THE LOT.
- ALL LANDSCAPING SHALL BE AS SHOWN ON THE PLAN AND CONFORM TO THE APPLICABLE CITY OF NASHUA ZONING REGULATIONS.
- ALL SITE LIGHTING SHALL BE AS SHOWN ON THE PLAN, DIRECTED ONTO SITE AND CONFORM TO THE APPLICABLE CITY OF NASHUA ZONING REGULATIONS.
- ALL SIGNAGE SHALL CONFORM TO APPLICABLE CITY OF NASHUA ZONING REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN IN ANY WAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
- PRIOR TO ANY WORK BEING CONDUCTED A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PLANNING STAFF AND OTHER CITY DEPARTMENTS AS NECESSARY TO REVIEW WORK PROPOSED AND A FINANCIAL GUARANTEE SHALL BE APPROVED.
- PROPOSED BUILDINGS SHALL BE 1-2 STORES WITH BASEMENTS.
- PARKING CALCULATION:**
CONDOMINIUM DEVELOPMENT (SINGLE FAMILY DWELLING): MINIMUM = 2 SPACES / UNIT
4 UNITS X 2 SPACES = 8 REQUIRED SPACES
8 SPACES ARE PROVIDED WITH EACH UNIT CONTAINING A 2 CAR GARAGE
- TO THE BEST OF MY KNOWLEDGE, THIS PLAN COMPLIES WITH ALL LOCAL AND STATE REQUIREMENTS.

CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN COMPLIES WITH RSA 308-B:20 AND THAT ALL PROPOSED IMPROVEMENTS ARE NOT YET BEGUN.

DATE: 5/28/20



CONDOMINIUM SITE LAYOUT PLAN

PADDINGTON PLACE

TAX MAP PARCEL 59-135 - 122 MANCHESTER STREET
NASHUA, NEW HAMPSHIRE

PREPARED FOR AND LAND OF:
PARAGON PROPERTIES, LLC
c/o ERIC PEARSON

P.O. BOX 8881 NASHUA, NH 03081 (603) 661-0717

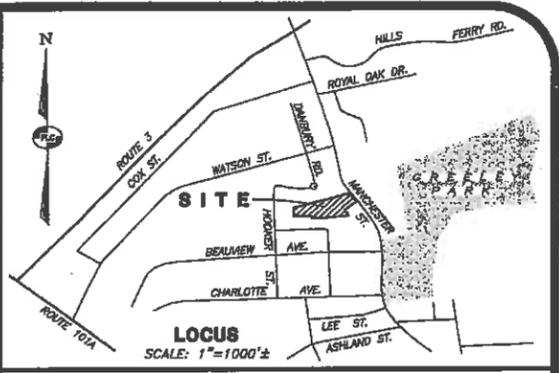
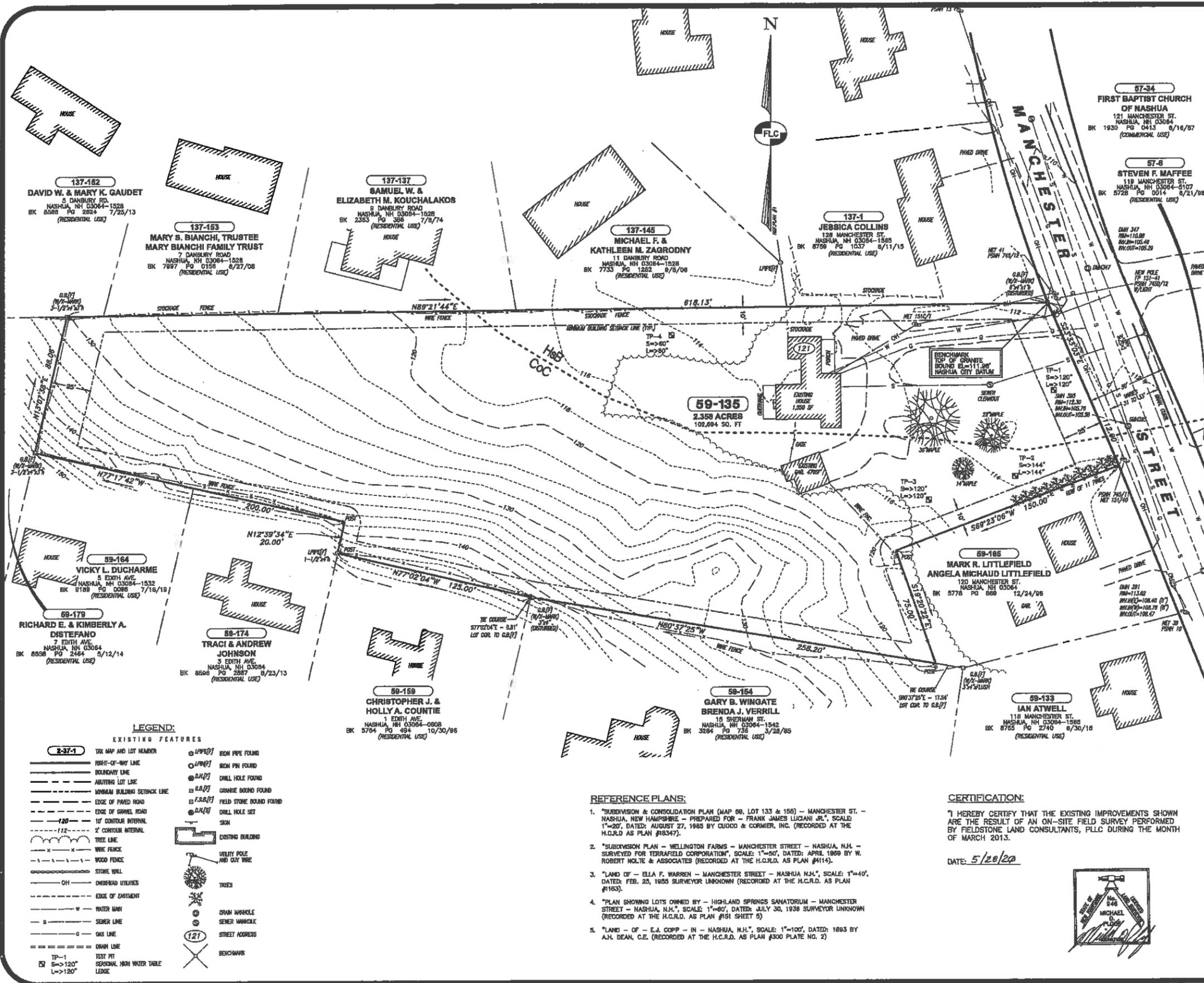
SCALE: 1" = 30' APRIL 9, 2020

Surveying + Engineering + Land Planning + Permitting + Septic Designs

FIELDSTONE
LAND CONSULTANTS, PLLC

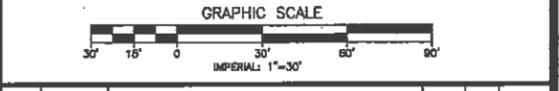
206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

FILE: 48BC02A.dwg PROJ. NO. 498.02 SHEET: CD-1 PAGE NO. 2 OF 12



- NOTES:**
- OWNER OF RECORD: PARAGON PROPERTIES, LLC - C/O ERIC PEARSON. P.O. BOX 3891 NASHUA, NH 03061 BK. 9262 PG. 1120 IN THE H.C.R.D. THE APPLICANT IS ERIC PEARSON.
 - THE PURPOSE OF THIS PLAN IS TO SHOW EXISTING CONDITIONS OF TAX MAP PARCEL 59-135.
 - THE TOTAL AREA OF TAX MAP PARCEL 59-135 IS 2.358 ACRES OR 102,694 SQ. FT.
 - LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAPS 57, 59 & 137.
 - ZONING FOR ENTIRE PARCEL IS R-A (URBAN RESIDENCE) DISTRICT.

R-A ZONE CONDOMINIUM	REQUIRED	EXISTING
MIN LOT AREA	7,500 SF	102,694 SF
MIN LOT WIDTH	75 FT	112 FT
MIN LOT FRONTAGE	60 FT	112 FT
MIN LOT DEPTH	80 FT	650 FT
MIN FRONT SETBACK	25 FT	25 FT
MIN SIDE SETBACK	10 FT	10 FT
MIN REAR SETBACK	25 FT	25 FT
MAX BUILDING HEIGHT	35 FT	25 FT
MAX STORES	2	2
 - THE SITE IS NOT LOCATED WITHIN THE WATER SUPPLY PROTECTION DISTRICT.
 - THE SURFACE FEATURES AND BOUNDARY INFORMATION SHOWN WERE DEVELOPED FROM THE REFERENCE PLANS CITED AND A PRECISE FIELD SURVEY BY THIS OFFICE DURING THE MONTH OF MARCH 2013. THE NASHUA CITY DATUM HAS BEEN USED ON THIS PROJECT. NASHUA CITY DATUM TO NAD 1928 DATUM = + 90.47'. HORIZONTAL ORIENTATION IS BASED ON REFERENCE PLAN #1.
 - JURISDICTIONAL WETLANDS WERE NOT FOUND ON THE SUBJECT PARCEL PER AN ON SITE FIELD INVESTIGATION BY CHRISTOPHER A. GUIDA, C.W.S. IN MARCH 2013 IN ACCORDANCE WITH THE "CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, DATED JANUARY 1987".
 - THE SITE IS CURRENTLY SERVICED BY OVERHEAD UTILITIES, MUNICIPAL SEWER AND WATER.
 - THE SUBJECT PARCEL IS NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY NO. 330097, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 3301005130, DATED: SEPTEMBER 25, 2006.
 - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED IN PART FROM PLANS OF RECORD AND FIELD LOCATION. THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITIES.
 - SOIL TYPES FOR THE SITE IS C₀C - CANTON URBAN COMPLEX, WITH MODERATELY RAPID PERMEABILITY AND H₈S - HINGOLEY LOAMY SAND, WITH DEEP, WELL DRAINED SAND.
 - EXISTING BUILDINGS AND SITE IMPROVEMENTS ARE TO BE REMOVED.



REV.	DATE	REVISIONS PER CITY ENGINEERING COMMENTS	DESCRIPTION	C/O	DR	MDP	CK
A	5/27/20						

EXISTING CONDITIONS PLAN
PADDINGTON PLACE

TAX MAP PARCEL 59-135 - 122 MANCHESTER STREET
 NASHUA, NEW HAMPSHIRE

PREPARED FOR AND LAND OF,
PARAGON PROPERTIES, LLC
 c/o ERIC PEARSON
 P.O. BOX 3891 NASHUA, NH 03061 (603) 861-0717

SCALE: 1" = 30' APRIL 9, 2020

Surveying + Engineering + Land Planning + Permitting + Septic Designs

FIELDSTONE
 LAND CONSULTANTS, PLLC

208 Elm Street, Milford, NH 03055
 Phone: (603) 672-5456 Fax: (603) 413-5456
 www.FieldstoneLandConsultants.com

137-182
 DAVID W. & MARY K. GAUDET
 5 DANBURY RD.
 NASHUA, NH 03064-1528
 BK 6588 PG 2624 7/25/13
 (RESIDENTIAL USE)

137-183
 MARY S. BIANCHI, TRUSTEE
 MARY BIANCHI FAMILY TRUST
 7 DANBURY ROAD
 NASHUA, NH 03064-1528
 BK 7897 PG 0158 8/27/08
 (RESIDENTIAL USE)

137-137
 SAMUEL W. &
 ELIZABETH M. KOUCHALAKOS
 8 DANBURY ROAD
 NASHUA, NH 03064-1528
 BK 2363 PG 968 7/8/74
 (RESIDENTIAL USE)

137-145
 MICHAEL F. &
 KATHLEEN M. ZAGRODNY
 11 DANBURY ROAD
 NASHUA, NH 03064-1538
 BK 7733 PG 1282 9/6/08
 (RESIDENTIAL USE)

137-1
 JESSICA COLLINS
 128 MANCHESTER ST.
 NASHUA, NH 03064-1565
 BK 8798 PG 1037 8/11/15
 (RESIDENTIAL USE)

87-34
 FIRST BAPTIST CHURCH
 OF NASHUA
 121 MANCHESTER ST.
 NASHUA, NH 03064
 BK 1930 PG 0413 6/18/87
 (COMMERCIAL USE)

87-8
 STEVEN F. MAFFEE
 118 MANCHESTER ST.
 NASHUA, NH 03064-8107
 BK 5728 PG 0014 8/21/85
 (RESIDENTIAL USE)

59-135
 2.358 ACRES
 102,694 SQ. FT.

59-164
 VICKY L. DUCHARME
 5 EDITH AVE.
 NASHUA, NH 03064-1532
 BK 9188 PG 0086 7/16/19
 (RESIDENTIAL USE)

59-179
 RICHARD E. & KIMBERLY A.
 DISTEFANO
 7 EDITH AVE.
 NASHUA, NH 03064
 BK 8658 PG 2464 5/12/14
 (RESIDENTIAL USE)

59-174
 TRACI & ANDREW
 JOHNSON
 3 EDITH AVE.
 NASHUA, NH 03064
 BK 8598 PG 2387 3/23/13
 (RESIDENTIAL USE)

59-159
 CHRISTOPHER J. &
 HOLLY A. COUNTEE
 1 EDITH AVE.
 NASHUA, NH 03064-0908
 BK 5794 PG 494 10/30/96
 (RESIDENTIAL USE)

59-154
 GARY B. WINGATE
 BRENDA J. VERRILL
 15 SHERMAN ST.
 NASHUA, NH 03064-1542
 BK 3284 PG 736 3/28/85
 (RESIDENTIAL USE)

59-133
 IAN ATWELL
 118 MANCHESTER ST.
 NASHUA, NH 03064-1588
 BK 8765 PG 2740 8/30/16
 (RESIDENTIAL USE)

- LEGEND:**
- EXISTING FEATURES**
- 2-37-1 TAX MAP AND LOT NUMBER
 - RIGHT-OF-WAY LINE
 - BOUNDARY LINE
 - ACUTTING LOT LINE
 - MINIMUM BUILDING SETBACK LINE
 - EDGE OF PAVED ROAD
 - EDGE OF GRAVEL ROAD
 - 10' CONTOUR INTERVAL
 - 2' CONTOUR INTERVAL
 - TREE LINE
 - WIRE FENCE
 - WOOD FENCE
 - STONE WALL
 - OH OVERHEAD UTILITIES
 - EDGE OF EASEMENT
 - WATER MAIN
 - SEWER LINE
 - GAS LINE
 - OWN LINE
 - TEST PIT
 - SEASONAL HIGH WATER TABLE
 - LEDE
- LPP[] IRON PIPE FOUND
 - LPP[] IRON PIN FOUND
 - D.H.[] DRILL HOLE FOUND
 - G.B.[] GRANITE BOUND FOUND
 - F.S.B.[] FIELD STONE BOUND FOUND
 - D.H.[] DRILL HOLE SET
 - D.H.[] SKIN
 - EXISTING BUILDING
 - U.P. UTILITY POLE AND CUT WIRE
 - TREES
 - GRAY MARKER
 - SEWER MARKER
 - STREET ADDRESS
 - BENCHMARK

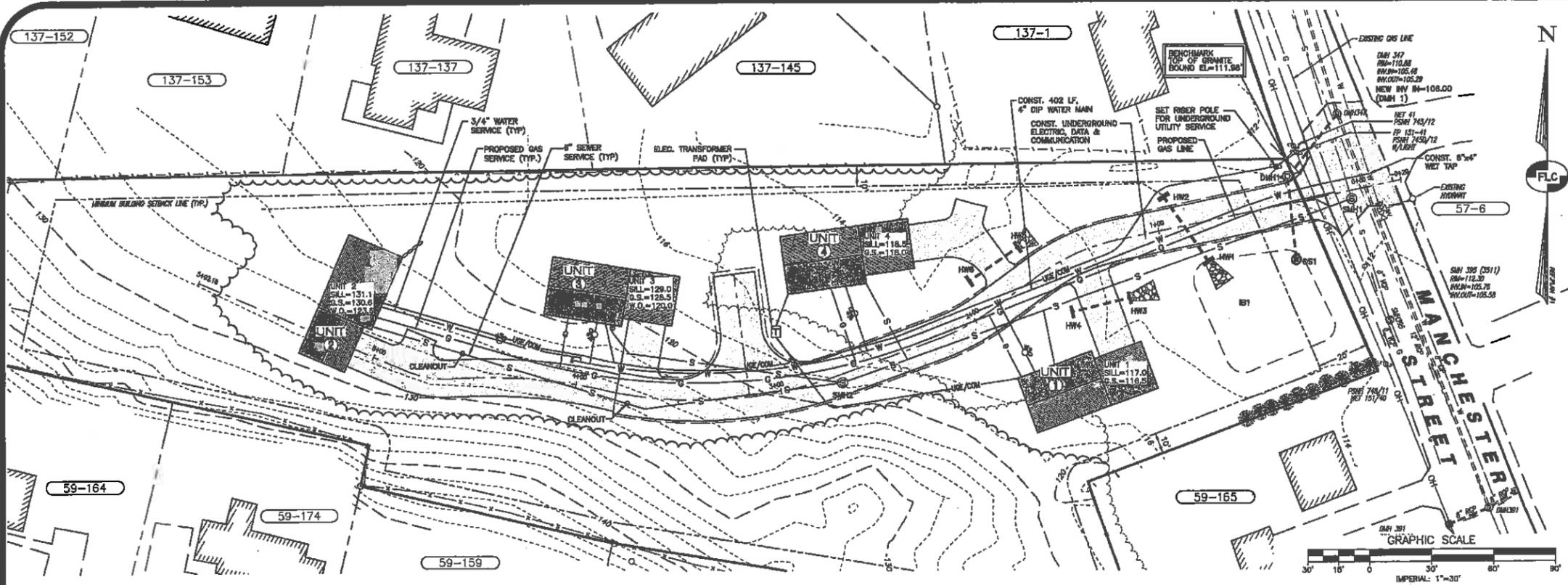
- REFERENCE PLANS:**
- "SUBDIVISION & CONSOLIDATION PLAN (MAP 66, LOT 133 & 156) - MANCHESTER ST. - NASHUA, NEW HAMPSHIRE - PREPARED FOR - FRANK JAMES LUCIANI JR., SCALE: 1"=50', DATED: AUGUST 27, 1985 BY QUOCO & CORNIER, INC. (RECORDED AT THE H.C.R.D. AS PLAN #1114).
 - "SUBDIVISION PLAN - WELLINGTON FARMS - MANCHESTER STREET - NASHUA, N.H. - SURVEYED FOR TERRAFIELD CORPORATION, SCALE: 1"=50', DATED: APRIL 1989 BY W. ROBERT HOLTE & ASSOCIATES (RECORDED AT THE H.C.R.D. AS PLAN #1114).
 - "LAND OF - ELLA F. WARREN - MANCHESTER STREET - NASHUA, N.H., SCALE: 1"=40', DATED: FEB. 25, 1985 SURVEYOR UNKNOWN (RECORDED AT THE H.C.R.D. AS PLAN #1163).
 - "PLAN SHOWING LOTS OWNED BY - HIGHLAND SPRINGS SANATORIUM - MANCHESTER STREET - NASHUA, N.H., SCALE: 1"=80', DATED: JULY 30, 1936 SURVEYOR UNKNOWN (RECORDED AT THE H.C.R.D. AS PLAN #181 SHEET 5)
 - "LAND - OF - E.J. COPP - IN - NASHUA, N.H., SCALE: 1"=100', DATED: 1883 BY A.H. DEAN, C.E. (RECORDED AT THE H.C.R.D. AS PLAN #300 PLATE NO. 2)

CERTIFICATION:

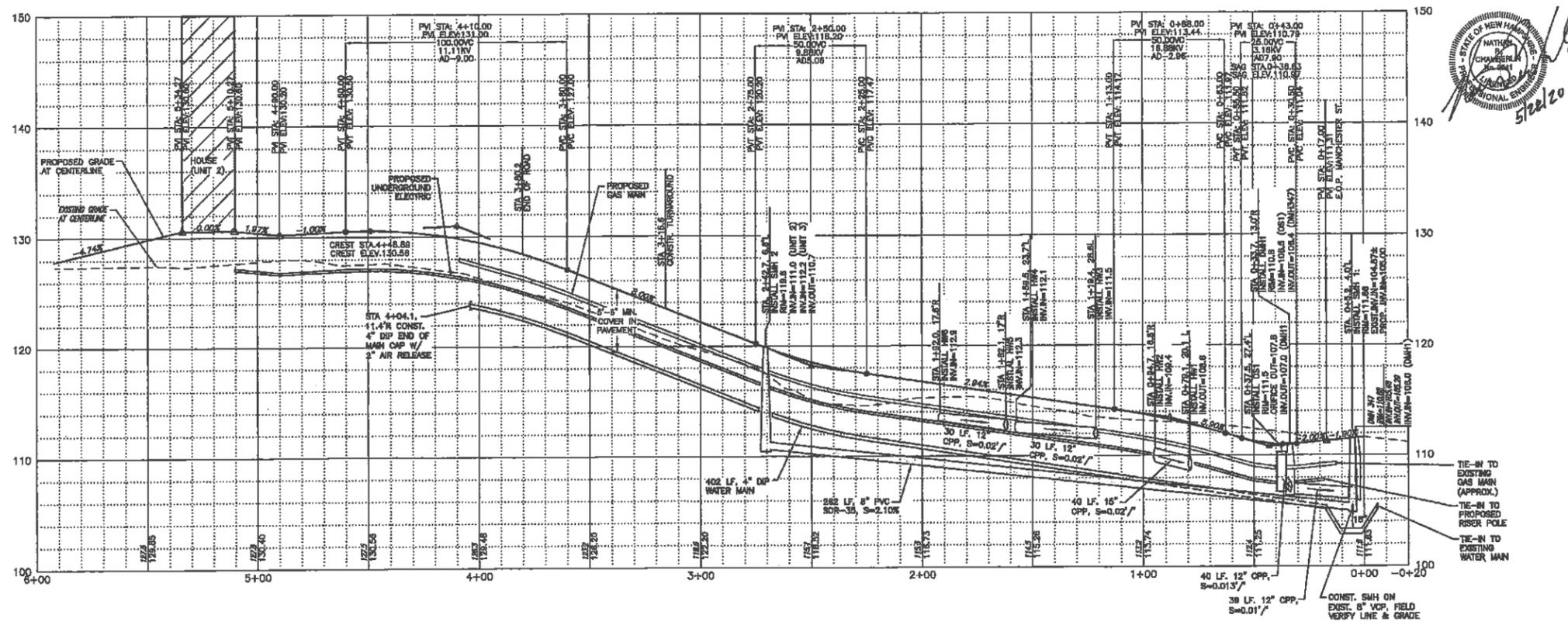
"I HEREBY CERTIFY THAT THE EXISTING IMPROVEMENTS SHOWN ARE THE RESULT OF AN ON-SITE FIELD SURVEY PERFORMED BY FIELDSTONE LAND CONSULTANTS, PLLC DURING THE MONTH OF MARCH 2013.

DATE: 5/28/20





- CONSTRUCTION & UTILITY NOTES:**
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF NASHUA AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE CITY OF NASHUA DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINS AND THE HURD STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2014 ARE HEREBY INCORPORATED BY REFERENCE.
 2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND THE SPECIFICATIONS NOTED ABOVE. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CORRECT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED FROM TO AND/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACT "DOWNS" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-888-344-7233).
 5. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE CITY DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
 6. BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF NASHUA FIRE DEPARTMENT REGULATIONS.
 7. ALL DISTURBED NON-PAVED AREAS SHALL BE LOADED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED.
 8. THE RETAINING WALLS SHOWN SHALL BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED.
 9. ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
 10. EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
 11. ALL POWER WORK SHALL CONFORM TO PUBLIC SERVICE OF NEW HAMPSHIRE STANDARDS.
 12. ALL TELEPHONE WORK SHALL CONFORM TO FIBERPOINT COMMUNICATIONS SPECIFICATIONS.
 13. STREET RESTORATION, IF ANY, SHALL BE IN ACCORDANCE WITH NHD-285-13.
 14. ALL DRAINAGE PIPE SHALL BE FURNISHED AND INSTALLED WITH FLEXIBLE GASKETS. JOINTS SHALL BE MADE WITH OR RESISTANT COMPRESSION RINGS OF AN ELASTOMERIC MATERIAL CONFORMING TO ASTM C-443. MANUFACTURERS INSTALLATION INSTRUCTIONS SHALL BE FOLLOWED.
 15. ALL DRAINAGE PIPES SHALL BE CLASS IV 3000 D (RCP) UNLESS OTHERWISE NOTED. DITCH GRABBS SHALL BE TYPE B, AND HAVE 3 FOOT SLUICES.
 16. SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH PLANS AND SPECIFICATIONS AND WITH THE REQUIREMENTS OF THE DEPT. OF ENVIRONMENTAL SERVICES NS & POC AND ANY OTHER REQUIREMENTS OF DIVISION 3 - SEWAGE SERVICES OF THE STANDARD SPECIFICATIONS OF SEWERS AND DRAINS BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, LATEST EDITION.
 17. ALL UNDER LINE, HYDRANT, VALVES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE TECHNICAL SPECIFICATIONS FOR THE INSTALLATION OF MATERIALS, MAIN PIPING, SERVICE CONNECTIONS IN THE PENNSACUCK WATER WORKS FRANCHISED AREAS OF NASHUA AND MERRIMACK NEW HAMPSHIRE.
 18. SEWER SHALL BE SOLID WALL PVC UNLESS OTHERWISE REQUIRED BY THESE SPECIFICATIONS. SEWER SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY AND 18 INCHES VERTICALLY FROM WATER LINES WHEREVER SEWER MUST CROSS WATER MAINS. SEWER SHALL BE CONSTRUCTED AS FOLLOWS:
(A) SEWER PIPE SHALL BE CLASS 52 DUCTILE IRON FOR A MINIMUM OF 9 FEET EACH SIDE OF THE CROSSING.
(B) JOINTS SHALL BE MECHANICAL TYPE WATER PRESSURE RATED WITH ZERO LEAKAGE WHEN TESTED AT 25 POUNDS PER SQUARE INCH FOR 2 HOURS. JOINTS SHALL NOT BE LOCATED WITHIN 5 FEET OF THE CROSSING.
 19. GAS LINES SHOWN SHALL BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL COORDINATE THE SIZE AND LOCATION OF THE PROPOSED GAS LINES WITH THE OWNER AND UTILITY COMPANY PRIOR TO CONSTRUCTION.
 20. THE CONTRACTOR SHALL COORDINATE THE SIZE, LOCATION AND ELEVATION OF ALL ROOF DRAINS AND SEWER SERVICE CONNECTIONS WITH THE OWNER AND ARCHITECT PRIOR TO CONSTRUCTION.
 21. THE CONTRACTOR SHALL COORDINATE THE FINAL LOCATION OF THE UNDERGROUND TELEPHONE AND ELECTRICAL SERVICES WITH THE OWNER PRIOR TO CONSTRUCTION.
 22. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
 23. STRUCTURE OFFSETS FROM CENTERLINE ARE TO THE CENTERLINE OF THE GRATE.



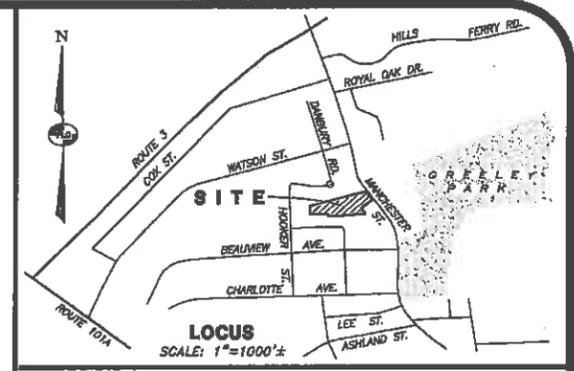
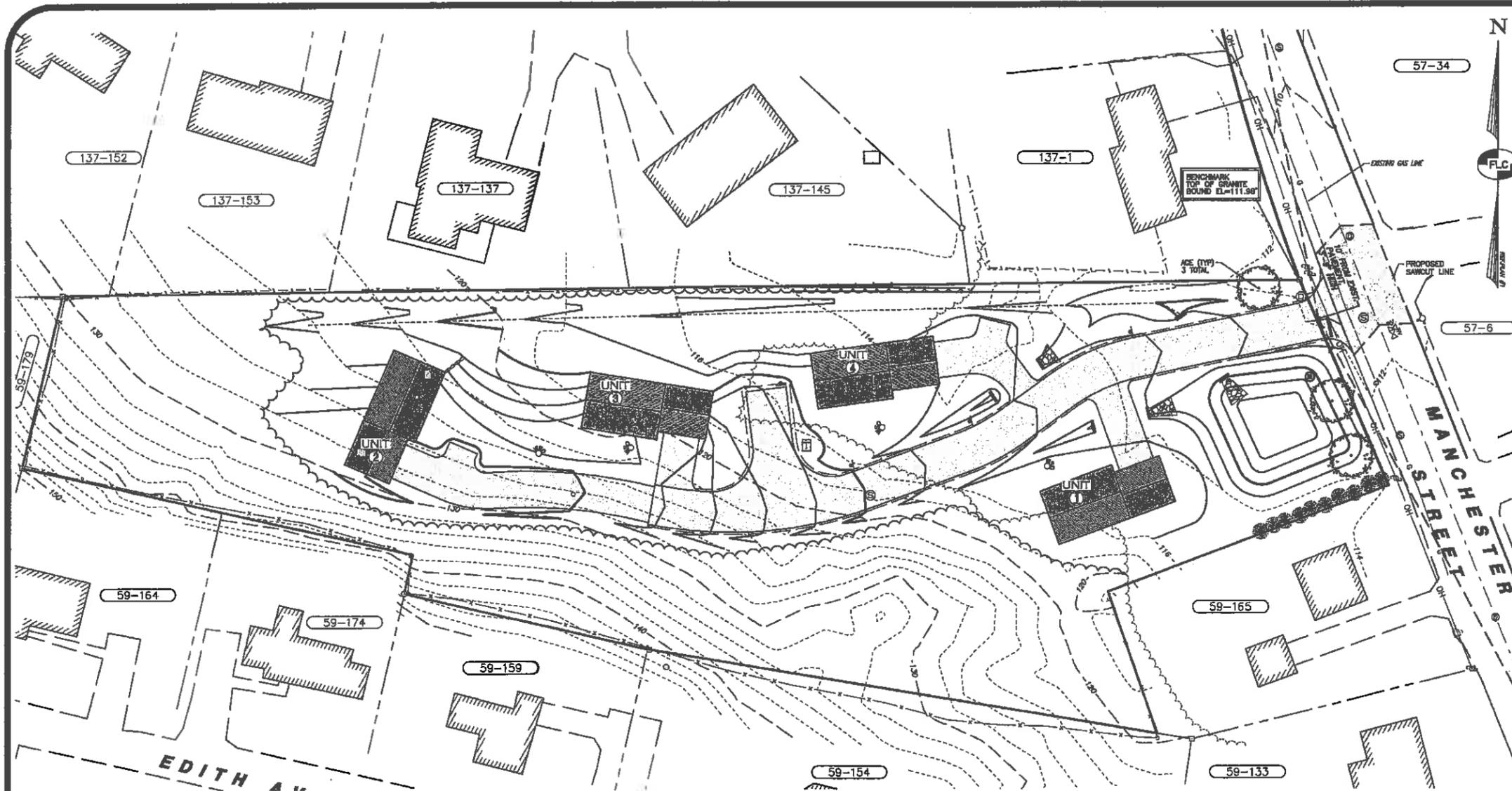
REV.	DATE	DESCRIPTION	C/O	DR	CK
A	5/27/20	REVISIONS PER PERE, ENGINEERING, AND TOWN COMMENTS		CLR	CER

UTILITY PLAN AND ROADWAY PROFILE
PADDINGTON PLACE
 TAX MAP PARCEL 59-135 - 122 MANCHESTER STREET
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR AND LAND OF:
PARAGON PROPERTIES, LLC
 c/o ERIC PEARSON
 P.O. BOX 3891 NASHUA, NH 03061 (603) 661-0717

SCALE: 1" = 30' HORIZ., 6" VERT. APRIL 9, 2020
 Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

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LEGEND:

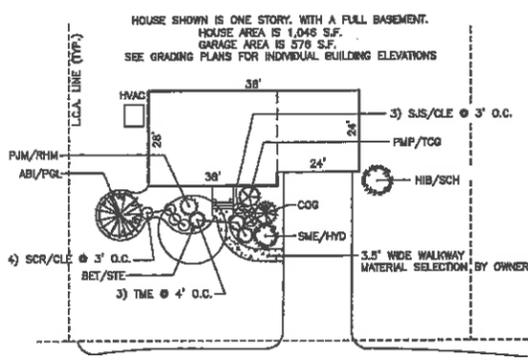
EXISTING FEATURES	
(2-37-1)	TAX MAP AND LOT NUMBER
---	RIGHT-OF-WAY LINE
---	BOUNDARY LINE
---	ADJOINING LOT LINE
---	MINIMUM BUILDING SETBACK LINE
---	EDGE OF PAVED ROAD
---	EDGE OF GRAVEL ROAD
---	10' CONTOUR INTERNAL
---	2' CONTOUR INTERNAL
---	TREE LINE
---	WIRE FENCE
---	WOOD FENCE
---	CHAIN LINK FENCE
---	STONE WALL
---	OVERHEAD UTILITIES
---	EDGE OF EASEMENT
○	IRON PIN
○	IRON PIPE
○	CONCRETE OR GRANITE BOUND
○	DRILL HOLE
○	EXISTING BUILDING
○	UTILITY POLE AND GUY WIRE
○	WELL
○	DRIVE MANHOLE
○	SEWER MANHOLE
PROPOSED FEATURES	
---	2 FT. CONTOUR
---	10 FT. CONTOUR
---	EDGE OF PAVEMENT
---	SLOPED GRANITE CURB
○	CATCH BASIN
○	UNDERGROUND UTILITY LINES AND UTILITY BOXES LOCATION
○	SURFACE WATER FLOW
○	WATER HYDRANT
○	WATER GATE VALVE
○	WATER SERVICE SHUT-OFF
○	POLE MOUNTED LIGHT
---	SHADE
---	TEMPORARY SET FENCE
---	PAVED AREA
---	LIMITS OF CLEARING
(59-180)	TAX MAP AND LOT NUMBER
RT-1	STOP SIGN & STREET ID SIGN
○	STREET TREE

SEE DETAIL SHEET DT-2 FOR LANDSCAPE DETAILS

- HOUSE PLANT LEGEND**
- ABI ABIES CONCOLOR (WHITE FIR)
 - BET BETULA NIGRA (HERITAGE RIVER BIRCH MULTI-STEM)
 - OLE CLETHRA COMPACTA (COMPACT SUMMERSWEET)
 - COG CHAMAECYPARISS OBTUSA (GRACIOUS HONCH FALSEDYPRESS)
 - HIB HIBISCUS SYRACUS (ROSE OF SHARON)
 - HYD HYDRANGEA PANCULATA (COMPACT P.F., LIMELIGHT HYDRANGEA)
 - POL POLICE GLAUCA (WHITE SPRUCE)
 - PJM RHODODENDRON SPECIES (PJM HYBRIDS)
 - PMP PINUS MUGO PLUMBLD (DWARF MUGO PINE)
 - PRM RHODODENDRON MEDIUM TALL (CUNNINGHAM BOULE DE NEIGE, BOURSALUT)
 - SCR SYRINGA CHINENSIS (CHINESE LILAC)
 - SPR SPIRAEA X. B. (CRISP LEAF SPIRAEA)
 - SJS SPIRAEA JAPONICA (SHIBUKI SPIRAEA)
 - SME SYRINGA PATULA (VISS SUSIE LILAC)
 - STE STEWARTIA PSEUDOCAMELLIA (JAPANESE STEWARTIA)
 - TCG TAXUS CURSPONATA (GREENWAVE YEW)
 - TME TAXUS MEDIA (EVER-LOW YEW)
- NOTES:**
- ALL SHRUBS ARE TO BE 24" HIGH WHEN PLANTED. ALL TREES ARE TO BE 2 TO 2-1/2 INCHES CAL WHEN PLANTED.
 - ALL NORTH & EAST ORIENTED UNITS SHALL BE PLANTED WITH THESE NOTED SHADE/SCREEN-SHADE PLANT SELECTIONS.
 - THE OWNER RESERVES THE RIGHT TO CHANGE THE HOUSE STYLE TO MEET MARKET DEMANDS, WHICH MAY INCLUDE A SINGLE STORY OPTION, PROVIDED CITY AND STATE REGULATIONS ARE MET.
 - THE OWNER RESERVES THE RIGHT TO CHANGE LANDSCAPING DESIGN BASED ON PREFERENCES AND SUPPLY.
 - ALL TREES SHALL BE PLANTED TO MEET THE CURRENT CITY REGULATORS.

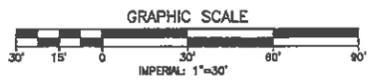
NOTES:

- THERE SHALL BE ONE SHADE TREE PER 40 LINEAR FEET OF ROAD FRONTAGE. ROAD FRONTAGE IS 112 LINEAR FEET. 112/40 = 2.80 TREES REQUIRED. PRIVATE ROAD TREES PROPOSED = 3 TREES. STREET TREE QUANTITY AND TYPES: 3 ACER RUBRUM (ACE) RED SUNSET MAPLE. 2.0' - 2.5' CAL.



PROPOSED PRIVATE ROAD

RESIDENTIAL STRUCTURE & LOT LANDSCAPING (TYPICAL) SCALE: N.T.S. 1 LS-1



REV.	DATE	DESCRIPTION	C/O	DR	CK
A	5/27/20	REVISIONS PER FIRE, ENGINEERING, AND TOWN COMMENTS		CLR	CEB

LANDSCAPE PLAN

PADDINGTON PLACE

TAX MAP PARCEL 59-135 - 122 MANCHESTER STREET
NASHUA, NEW HAMPSHIRE

PREPARED FOR AND LAND OF:
PARAGON PROPERTIES, LLC
c/o ERIC PEARSON
P.O. BOX 3801 NASHUA, NH 03001 (603) 661-0717

SCALE: 1" = 30' APRIL 9, 2020

Surveying + Engineering + Land Planning + Permitting + Septic Designs



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FILE: 48BPP02A.dwg PROJ. NO. 488.02 SHEET: LS-1 PAGE NO. 6 OF 12

GENERAL SPECIFICATIONS

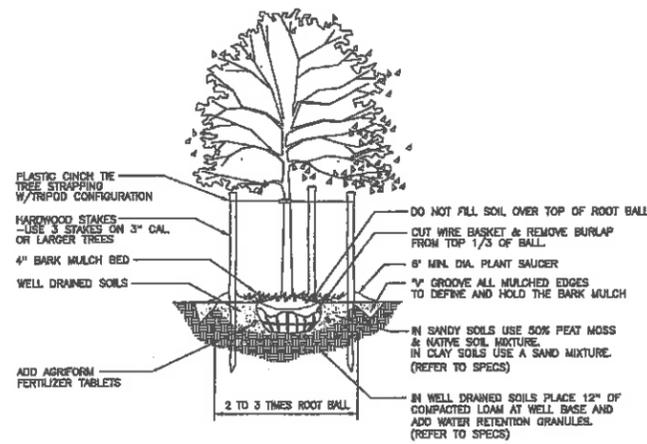
1. THE CONTRACTOR SHALL AT HIS EXPENSE FURNISH ALL THE MATERIALS, SUPPLIES, MACHINERY, EQUIPMENT, TOOL, SUPERINTENDENT, LABOR, INSURANCE & OTHER ACCESSORIES AND SERVICES NECESSARY TO COMPLETE THE SHD PROJECT WITHIN THE UNIT COSTS STATED WITHIN THE BID PRICE.
2. THE WORK TO BE DONE UNDER THIS CONTRACT IS AS SHOWN AND DESCRIBED ON THE DRAWINGS. EACH BIDDER SHALL MAKE A CAREFUL EXAMINATION OF THE PLANS AND SPECIFICATIONS (THE PLAN SHALL INDICATE QUANTITIES) AND ACCOUNT THEMSELVES WITH ALL CONDITIONS BEFORE MAKING THEIR PROPOSAL. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ERRORS IN THEIR PROPOSAL RESULTING FROM HIS FAILURE TO MAKE SUCH AN EXAMINATION. ALL BIDDERS SHALL VISIT THE SITE AND INFORM THEMSELVES OF ALL CONDITIONS.
3. THE BIDS SHALL BE BASED ON MATERIALS AND EQUIPMENT COMPLYING WITH THE DRAWINGS AND THE SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE UNDER THIS CONTRACT PRICE FOR FURNISHING AND INSTALLING MATERIALS CONFORMING TO THE BID ITEMS UNDER NO CIRCUMSTANCES MAY A SPECIES "TYPICAL" BE SUBSTITUTED OR SIZE CHANGED WITHOUT WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF SUCH EXISTING UTILITIES AS WATER MAINS, SEWER SYSTEMS, GAS LINES, ELECTRICAL CONDUITS, TELEPHONE LINES AND ANY OTHER UTILITIES AND IF ANY DAMAGE OR DESTRUCTION MAY OCCUR TO THESE UTILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR REPLACEMENT AT HIS EXPENSE.
5. THE CONTRACTOR SHALL MAKE PAYMENT FOR ALL DAMAGES TO BUILDINGS, STRUCTURES, TREES, SHRUBS AND/OR ANY OTHER PROPERTY OUTSIDE THE CONSTRUCTION AREA OR LOCATED WITHIN THESE LIMITS BUT NOT DESTROYED FOR REPAIRS, OR RECONSTRUCTED PROVIDED SUCH DAMAGE SHALL RESULT FROM ACCIDENT CAUSED BY NEGLIGENCE FOR WHICH THE CONTRACTOR SHALL BE LEGALLY LIABLE.
6. IF ADDITIONAL LABOR AND/OR MATERIALS IS REQUESTED OR REQUIRED, THE CONTRACTOR SHALL SUBMIT A PRICE TO THE OWNER. IF THE OWNER APPROVES THE PRICE THE CONTRACTOR SHALL PREPARE A CHANGE ORDER FOR APPROVAL AND SIGNATURE. THE CONTRACTOR SHALL NOT PROCEED WITHOUT A WRITTEN AUTHORIZATION FROM THE OWNER FOR THE ADDITIONAL WORK. IF THE CONTRACTOR PROCEEDS WITH THE ADDITIONAL WORK WITHOUT AUTHORIZATION THEY SHALL FORFEIT ANY CLAIM FOR ADDITIONAL COMPENSATION.
7. THE LANDSCAPE ARCHITECT (L.A.) SHALL RESERVE THE RIGHT TO INSPECT THE PROJECT WORK AT ANY TIME DEEMED NECESSARY TO INSURE THAT THE SPECIFICATIONS AND PLANS AND ANY OTHER CONTRACT DOCUMENTS ARE BEING FOLLOWED.
8. THE L.A. SHALL HAVE THE RIGHT TO REJECT ANY PLANT ON-SITE BASED UPON CONDITION, SIZE, OR INAPPROPRIATE SPECIES OR VARIETY. THE L.A. MUST BE CONTACTED PRIOR TO INSTALL TO INSPECT MATERIALS DELIVERED TO THE SITE AND TO INSURE THAT SOIL AMENDMENTS, BARK MULCH, ROOF BALLAST, ETC. ARE TO THE WRITTEN SPECIFICATIONS.
9. ALL SEEDING AREAS SHALL RECEIVE A MINIMUM 4" TOPSOIL BLANKET (BY SITE CONTRACTOR) 1/2" PREPARATION, RAKING AND GENERAL CLEAN UP PRIOR TO APPLICATION. OPERATIONS SHALL INCLUDE A TREE-EMERGENCE TYPE HERBICIDE, 12-36-12 GRANULAR FERTILIZER @ 10 LBS./1000 SF, AND FELLETTIZED LIMESTONE @25 LBS./1000 SF POWER RAKED INTO THE TOP 2" OF SOIL PRIOR TO HYDRO-SEEDING. RATES & APPLICATION RATES MAY CHANGE BASED UPON THE REQUIRED SOIL ANALYSIS.
10. THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING A THICK NEED FREE LAWN SEED SHALL BE SPREAD ON LBS./1000 SF. LAWN GERMINATION SHALL BE 85% FREE OF NOODS NEEDS FOR ACCEPTANCE. DEFIVE DIFFERENCES IN SEED MIXES (IF APPLICABLE) WITH PROBATION FLAGGING UNTIL 2ND MORNING. SITE REVIEW BY L.A. IS REQUIRED.
11. REVIEW OF THE INSTALLED IRRIGATION SYSTEM BY THE DESIGNER IS REQUIRED PRIOR TO RELEASE OF FINAL PAYMENT.
12. HYDROSEEDING OPERATIONS SHALL BE A ONE PART PROCESS WITH A PAPER FIBER MULCH; A TACKIFIER SHALL BE APPLIED ON ALL SLOPES GREATER THAN 3:1, EXCEPT DOWNHILL BUT SHALL BE APPLIED TO ALL 2:1 SLOPES AND DRAINAGE SWALES PER PLAN.
13. THE CONTRACTOR SHALL MAINTAIN FROM ACCEPTANCE DATE, THE LAWN AREAS THROUGH THE FIRST MORNING. THE CONTRACTOR IS NOT RESPONSIBLE FOR THE FIRST MORNING.
14. ALL PLANT MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH A.L.C.C. SPECIFICATIONS AND PER PLAN DETAILS. PER DETAILS DECIDUOUS TREES SHALL BE CAGED IN A TRIPPO FASHION USING PLASTIC CINCH TIES & 2" X 2" X 8' HARDWOOD STAKES; TREES AND SHRUBS SHALL HAVE APPROPRIATE SOIL MIXTURES, FERTILIZER AND SOIL RETENTION GRANULES.
15. IF THE SOIL CONDITIONS ARE EXTREMELY SANDY, ALL TREES SHALL HAVE A 6" LAYER OF COMPACTED TOPSOIL (VERIFY WITH LANDSCAPE ARCHITECT) PLACED AT THE BASE OF THE PLANT PIT AS A MOISTURE RETENTION LAYER. THE PLANT PIT SIDEWALLS SHALL BE OVER EXCAVATED BY AN ADDITIONAL 12" BEYOND THE NORMAL OUTSIDE RADIUS OF THE HOLE. A TOPSOIL PLANTING MIXTURE SHALL BE USED TO BACKFILL AS PER SPEC # 22.
16. THE LANDSCAPE ARCHITECT SHALL HAVE THE RIGHT TO REJECT AND HAVE GROUND REMOVED ANY PLANT MATERIAL NOT OF PROPER SIZE OR OF WEAK QUALITY, I.E. THIN, NO LOWER BRANCHING, ETC. CONTRACTOR MUST SUBMIT SHIPPING LISTS (BILLING INVOICES) FOR VERIFICATION, PRIOR TO INSTALLATION.

17. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INSTALLATION. ANY MATERIAL WHICH DOES NOT SHOW A HEALTHY APPEARANCE WITHIN THIS TIME SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. WITH SAME WARRANTY REQUIREMENTS AS THE ORIGINAL. WARRANTY DOES NOT COVER LOSS DUE MECHANICAL DAMAGE, I.E. SNOW STORAGE. CONTRACTOR SHOULD PROTECT SUSCEPTIBLE SPECIES FROM INSECT INFESTATION. USE A LIQUID SYSTEMIC APPLICATION ON BIRCH, ETC.
18. PLANT BEDS AND SAUCERS VARY IN DIA. (REFER TO DWG). TREES AND SHRUBS SHALL RECEIVE A 4" COVERING OF PINE/HEMLOCK BARK MULCH; SAUCER DIAMETERS PER DRAWING & DETAILS. DECIDUOUS TREES SHALL HAVE A 6" DIA. SAUCER (TOP). EVERGREEN TREES SHALL HAVE A SAUCER 2" MIN. BEYOND IT'S OUTER BRANCHES. ALL EDGES SHALL HAVE A "V" GROOVE.
20. ALL BAG MATERIAL WHICH ARE ENCASED IN WIRE BASKETS SHALL HAVE THE WIRES CUT LOOSE AND THE TOP THIRD REMOVED PRIOR TO BACKFILL OPERATION.
21. IF ROAD BASE IS ENCOUNTERED IN ANY PLANT BED AREAS, I.E. PARKING ISLANDS, IT SHALL BE REMOVED AND SUITABLE AMENDED SOIL INSTALLED PER DRAWINGS AND SPECIFICATIONS.
22. SOIL PLANTING MIXTURE SHALL BE A 80-20 100% ORGANIC TOPSOIL, AMENDED WITH 10% WOOD ASH, 10% MANURE, & 30% PEATMOS (OR INCORPORATE ALL-GRO OR A SIMILAR DEHYDRATED COMPOST MATERIAL). IF PLANTING IN SAND, GRAVEL OR OTHER WELL DRAINED SOILS, A SOIL PERMIXED TO EXCAVATED SOIL. OTHER SOIL AMENDMENTS SHALL INCLUDE AGRIFORM TABLETS, HYDROGEL OR SEAL, AND ROOTS GROWTH ENHANCER TO ALL TREES AND SHRUBS LISTED PER MANUFACTURER'S SPECIFICATIONS. ALL PLANT MATERIAL PITS WILL RECEIVE A MIN. 20% IN VOLUME MIX OF ALL-GRO SOIL AMENDMENT. SUBMITTAL REQUIRED. "TODAY'S STEP 1" CAN BE SUBSTITUTED FOR THE INDIVIDUAL SUPPLEMENTS. INSTALL PER MANUFACTURER'S SPECS.
23. THE LANDSCAPE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR TOPSOIL SPREADING BUT SHALL COORDINATE WITH THE SITE CONTRACTOR ADHERENCE TO THE MOULD GRADES, PLANT BED DEPTHS AND SOIL TYPE PER DWGS & SPEC. LANDSCAPE CONTRACTOR SHALL POWER RAKE-OUT FOR SEED.
24. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A SOIL ANALYSIS OF THE TOPSOIL PLANTING MIXTURE. ANALYSIS TO SHOW SOIL CLASSIFICATION (MIN. SANDY LOAM) AND NUTRIENTS.
25. THE CONTRACTOR SHALL PROTECT ALL BAG MATERIALS LEFT ABOVE GRADE PRIOR TO INSTALLATION FROM DRYING OUT. ALL PLANTS SHALL BE STORED, COVERED IN MULCH, AND IRRIGATED UNTIL PLANTED. ANY PLANT LEFT ON THE GROUND AND WHOSE OUTER BALL SURFACE DRIES OUT, SHALL BE REJECTED BY THE LANDSCAPE ARCHITECT. PLANTS SHOULD BE STORED IN SHADE AND OFF FRESHMENT.
26. THE CONTRACTOR SHALL ALERT LANDSCAPE ARCHITECT IF ANY DISCREPANCIES EXIST BETWEEN THE PLAN, THE MATERIAL LIST, AND AS-BUILT SITE CONDITIONS.
27. INSTALLER SHALL NOTIFY LANDSCAPE ARCHITECT PRIOR TO PLANTING, TO REVIEW PLANT LOCATIONS AND BEDLINE CONFIGURATIONS. IF CONTRACTOR INSTALLS WITHOUT THE PLACEMENT APPROVAL OF THE L.A., SAID ARCHITECT SHALL HAVE THE RIGHT TO RELOCATE ANY INSTALLED PLANTS AT THE CONTRACTOR'S EXPENSE.
28. THE INSTALLER SHALL NOTIFY LANDSCAPE ARCHITECT PRIOR TO PLANT INSTALLATION TO REVIEW ALL MATERIALS. ANY PLANTS OF POOR CONDITION, IMPROPER SIZE, OR SPECIES WILL BE REJECTED.
29. UPON ONE YEAR REVIEW, CONTRACTOR SHALL REMOVE ALL GUYS & STAKES AND/OR STRAIGHTEN ANY TREES THAT HAVE SWAYED. ANY WEAK OR BARE SPOTS IN LAWN SHALL BE RESEEDING.
31. ALL BEDLINES SHALL HAVE A DEEP "V" GROOVE TO DEFINE LAWN TO MULCH EDGE. NO "BEDDING" MOUNDINGS OF MULCH IS ALLOWED. ALSO KEEP MULCH AWAY FROM BASE OF PERENNIALS.
32. DO NOT PLANT MATERIALS TOO CLOSE TO THE EDGES OF BEDLINES. REFER TO DRAWINGS FOR CENTER OF PLANT TO BEDLINE. AT A MINIMUM NO OUTER BRANCHING OF A SHRUB OR PERENNIAL SHALL BE CLOSER THAN TWO FEET FROM THE BEDLINE. IF THE AS-BUILT DOES NOT COMPLY CONTRACTOR SHALL ADJUST THE PLANT LOCATION OR BEDLINE AT HIS EXPENSE.
33. SEED MIXES INCLUDE: SANDY SOIL LAWN MIX BY www.nhseedmix.com OR BLUE SEED 11-A CONSERVATION SEED MIX BY NEW ENGLAND WETLAND PLANTS, AMHERST, MA. (DRY SITE EROSION CONTROL MIX) REFER TO THE WETLAND PLANNING PLAN FOR REQUIRED CONSERVATION SEED MIXTURES.
34. ANY ITEMS NOT COMPLETED TO THE SPECIFICATIONS WILL BE REQUIRED AT CONTRACTOR'S EXPENSE PRIOR TO FINAL APPROVALS AND PAYMENT. THE CONTRACTOR IS TO BID THE WORK ACCORDING TO THE SPECIFICATIONS AND NOT TO WHAT THEY MAY DO UNDER THEIR STANDARD PRACTICES. SPECIAL ATTENTION WILL BE PAID TO SOILS, AMENDMENTS, GUY STAKES, BEDLINE & SAUCER CONFIGURATIONS, SEED MIXTURES, ETC.

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DT-2

GENERAL PLANTING NOTES

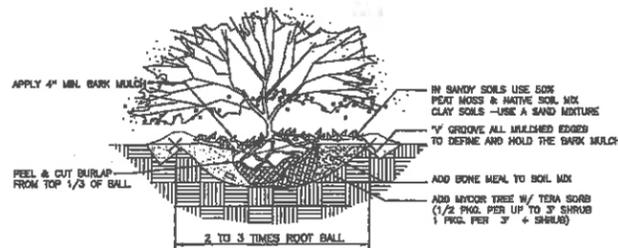


NOTES:
ALL PYRAMIDAL EVERGREENS & DECIDUOUS TREES SHALL BE PLANTED W/ ROOTS HORMONE ENHANCER. DO NOT INSTALL BEEHIVE MULCH BEDS AROUND ANY OF THE PLANT MATERIAL.

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DECIDUOUS TREE PLANTING DETAIL

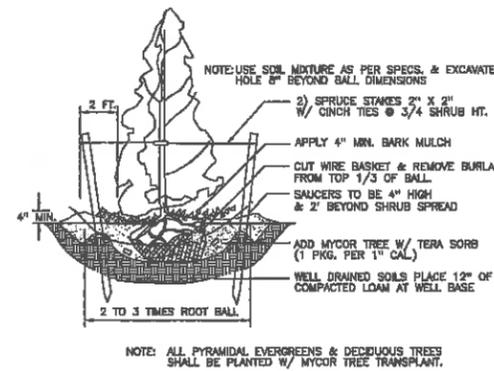
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SCALE: N.T.S.

B & B SHRUB PLANTING DETAIL

3
DT-2



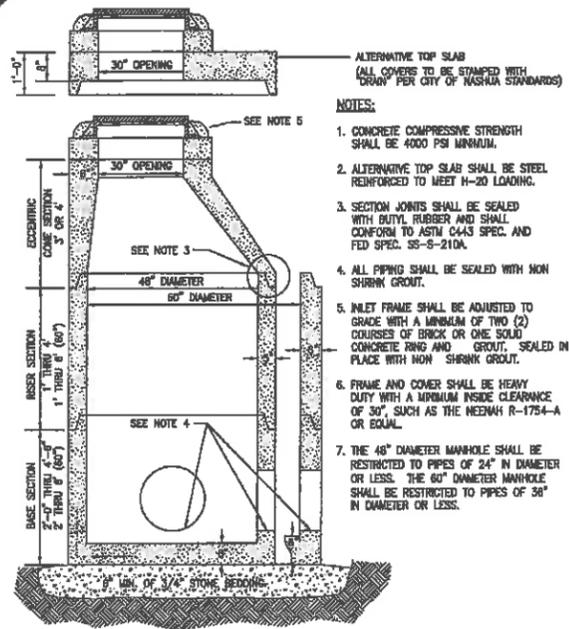
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EVERGREEN TREE PLANTING DETAIL

4
DT-2

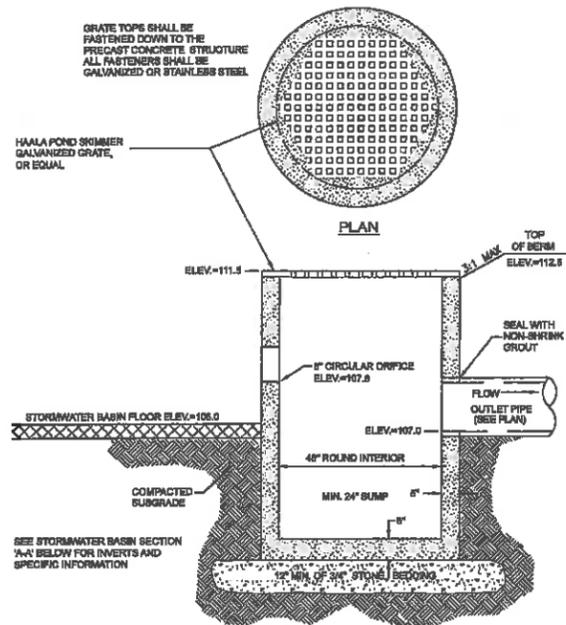


REV.	DATE	DESCRIPTION	C/O	DR	CK
LANDSCAPING DETAILS PADDINGTON PLACE TAX MAP PARCEL 59-135 - 122 MANCHESTER STREET NASHUA, NEW HAMPSHIRE PREPARED FOR AND LAND OF: PARAGON PROPERTIES, LLC c/o ERIC PEARSON P.O. BOX 3661 NASHUA, NH 03061 (603) 661-0717					
SCALE: NOT TO SCALE					
APRIL 9, 2020					
Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs  206 Elm Street, Milford, NH 03055 Phone: (603) 672-5456 Fax: (603) 413-5456 www.FieldstoneLandConsultants.com					
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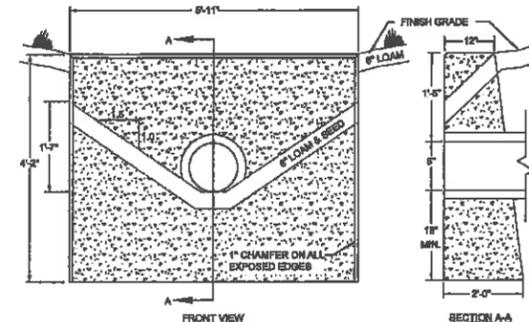


- ALTERNATIVE TOP SLAB (ALL COVERS TO BE STAMPED WITH DRAWING PER CITY OF NASHUA STANDARDS)
- NOTES:
1. CONCRETE COMPRESSIVE STRENGTH SHALL BE 4000 PSI MINIMUM.
 2. ALTERNATIVE TOP SLAB SHALL BE STEEL REINFORCED TO MEET H-20 LOADING.
 3. SECTION JOINTS SHALL BE SEALED WITH BUTYL RUBBER AND SHALL CONFORM TO ASTM C943 SPEC. AND FED SPEC. SS-9-21DA.
 4. ALL PIPING SHALL BE SEALED WITH NON-SHRINK GROUT.
 5. INLET FRAME SHALL BE ADJUSTED TO GRADE WITH A MINIMUM OF TWO (2) COURSES OF BRICK OR ONE SOLID CONCRETE RING AND GROUT, SEALED IN PLACE WITH NON-SHRINK GROUT.
 6. FRAME AND COVER SHALL BE HEAVY DUTY WITH A MINIMUM INSIDE CLEARANCE OF 30", SUCH AS THE HENAH R-1754-A OR EQUAL.
 7. THE 48" DIAMETER MANHOLE SHALL BE RESTRICTED TO PIPES OF 24" IN DIAMETER OR LESS. THE 60" DIAMETER MANHOLE SHALL BE RESTRICTED TO PIPES OF 36" IN DIAMETER OR LESS.

SCALE: N.T.S. **1** DT-3



SCALE: N.T.S. **3** DT-3

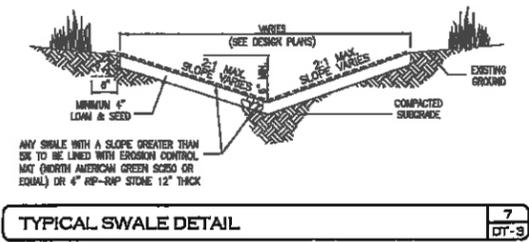


"HEADWALL SHALL BE STEEL REINFORCED. DESIGN TO BE DETERMINED BY MANUFACTURER."

CULVERT DIAM. D	HEADWALL LENGTH L	HEADWALL HEIGHT H	FILL HEIGHT FH	TOP HEIGHT h	HEADWALL BOTTOM WIDTH W
INCHES					
FEET & INCHES					
12	4'-3"	3'-0"	1'-1"	1'-3"	1'-11.25"
15	5'-0"	4'-3"	1'-7"	1'-8"	2'-0.75"
18	7'-0"	4'-8"	1'-10"	1'-8"	2'-1.50"
24	8'-0"	5'-0"	2'-4"	1'-8"	2'-3.00"

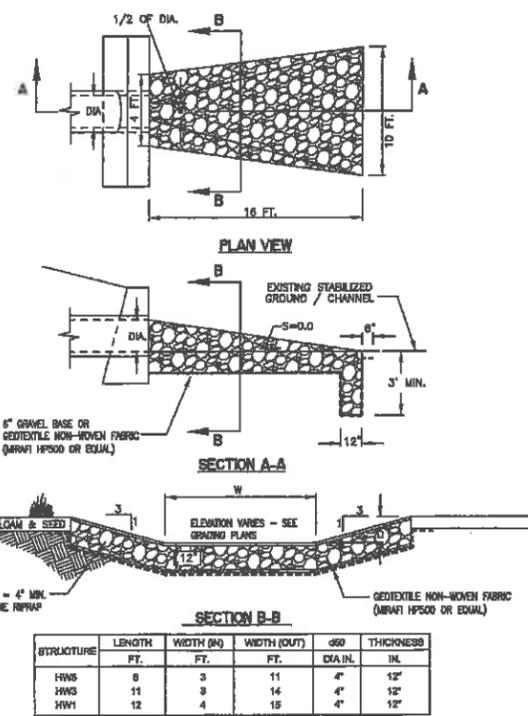
HEADWALL SHALL BE STEEL REINFORCED AND CONFORM TO NHDOT STANDARD PLAN HW-2, LAST REVISED JUNE 16, 2016.

SCALE: N.T.S. **5** DT-3



ANY SWALE WITH A SLOPE GREATER THAN SIX TO BE LINED WITH EROSION CONTROL MAT (NORTH AMERICAN GREEN SC250 OR EQUAL) OR 4" #4-RIP STONE 12" THICK

7 DT-3

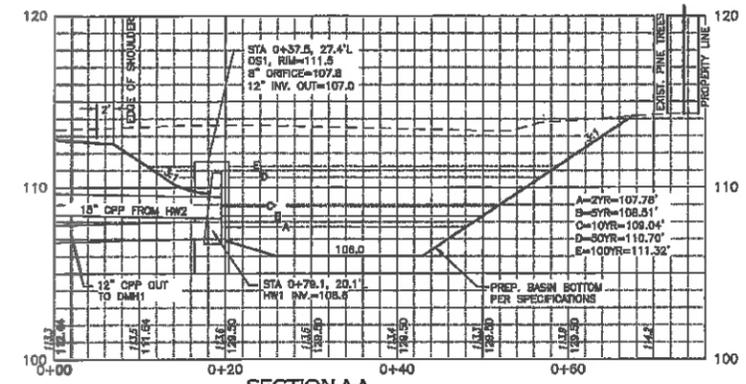


STRUCTURE	LENGTH FT.	WIDTH (IN) FT.	WIDTH (OUT) FT.	Ø60 DIA IN.	THICKNESS IN.
HWS	8	3	11	4"	12"
HWS	11	3	14	4"	12"
HW1	12	4	15	4"	12"

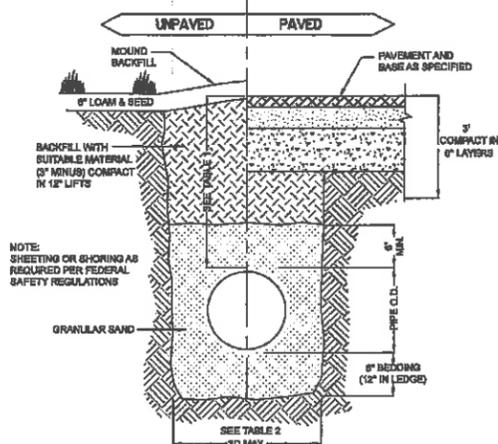
SCALE: N.T.S. **2** DT-3

INFILTRATION BASIN CONSTRUCTION NOTES:

1. REMOVE ALL ORGANIC MATERIAL FROM AREA BELOW PROPOSED INFILTRATION BASINS AND GALLEY FIELDS TO EXPOSE UNDERLYING SOILS.
2. CARE SHALL BE TAKEN TO PROTECT THE UNDERLYING SOILS FROM CONSTRUCTION TRAFFIC AND THE DISCHARGE OF SEDIMENT LADEN RUNOFF.
3. ONCE EXCAVATED AND PRIOR TO FILLING, THE UNDERLYING SOILS SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH LEVELING DRAW.
4. FILL BELOW THE BASIN AND/OR GALLEY FLOOR SHALL CONFORM TO THE SPECIFICATIONS FOR NHDOT ITEM 200.1, "GRANULAR BACKFILL".
5. THE BASIN FLOOR OF THE INFILTRATION BASINS SHALL BE PREPARED USING ONE OF THE FOLLOWING METHODS:
 - 6" LAYER OF COURSE SAND OR 3" PEA GRAVEL.
 - GRASS TURF WITH A HIGH INFILTRATION RATE (HIGH SAND CONTENT) THAT CAN BE INDIKATED FOR OVER 72 HOURS.
 - COARSE ORGANIC MATERIAL SUCH AS AN EROSION CONTROL MIX OR COMPOSTED MULCH THAT IS TILLED INTO THE SOIL, SOAKED, AND ALLOWED TO DRY.
6. DO NOT PLACE INFILTRATION BASINS INTO SERVICE UNTIL ALL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.



SCALE: 1"=10' HORIZ. 1"=5' VERT. **4** DT-3



LOCATION	PIPE MATERIAL	MINIMUM COVER
PAVED ROADS	ALL	4 FT.
UNPAVED ROADS	ALL	2 FT.
DRIVEWAYS	ALL	1 FT.
UNPAVED AREAS	ALL	2 FT.

INSIDE DIAMETER	TOTAL WIDTH
12" TO 24"	LD. + 24"
OVER 24"	2 x LD.

SCALE: N.T.S. **6** DT-3



DRAINAGE DETAILS

PADDINGTON PLACE

TAX MAP PARCEL 59-135 - 122 MANCHESTER STREET
NASHUA, NEW HAMPSHIRE

PREPARED FOR AND LAND OF:
PARAGON PROPERTIES, LLC
c/o ERIC PEARSON

P.O. BOX 3691 NASHUA, NH 03061 (603) 661-0717

SCALE: AS SHOWN APRIL 9, 2020

Surveying + Engineering + Land Planning + Permitting + Septic Designs

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LAND CONSULTANTS, PLLC

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EROSION CONTROL (GENERAL CONSTRUCTION)

1. PRIOR TO STARTING ANY WORK ON THE SITE THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES.
2. EROSION CONTROL MEASURES SHALL BE INSTALLED PER PLANS AND DETAILS. PERIMETER CONTROLS SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF EARTH DISTURBING ACTIVITIES.
3. EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEN POSSIBLE.
4. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE KEPT CLEAN DURING CONSTRUCTION. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AT THE END OF EACH DISTURBANCE PERIOD. SEDIMENTATION SHALL BE INSPECTED OF AN UPLAND AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND BE PERMANENTLY STABILIZED.
5. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION. AT NO TIME SHALL THE TOTAL UNSTABILIZED DISTURBED AREA, INCLUDING LOT DISTURBANCES, BE GREATER THAN FIVE (5) ACRES.
6. THE LAND AREA EXPOSED SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME. ALL NON-ACTIVE DISTURBED AREAS SHALL BE STABILIZED WITHIN 90 DAYS OF THE DISTURBANCE. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF FINAL GRADING.
7. DITCHES, SWALES AND DRAINAGE BASINS SHALL BE CONSTRUCTED DURING THE INITIAL PHASE OF CONSTRUCTION AND STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
8. AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
 - A. BARE COURSES (GRAVELS) HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - B. A MINIMUM OF 8% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - C. A MINIMUM OF 3-INCHES OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RIPRAP, HAS BEEN INSTALLED; OR
 - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
9. EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL SLOPES THAT ARE STEEPER THAN 1:1 (HORIZONTAL/VERTICAL), UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL USE NORTH AMERICAN GREEN SC180, OR APPROVED EQUAL.
10. ALL AREAS RECEIVING EROSION CONTROL STONE OR RIPRAP SHALL HAVE A GEOTEXTILE MATERIAL INSTALLED BELOW THE STONE (SEE APPROPRIATE DETAILS).
11. ALL DISTURBED AREAS TO BE TURF FINISHED SHALL BE COVERED WITH A MINIMUM THICKNESS OF 6 INCHES OF COMPLETED LEAF LUMP SHALL BE COVERED WITH THE APPROPRIATE SEED MIXTURE AS INDICATED BELOW:

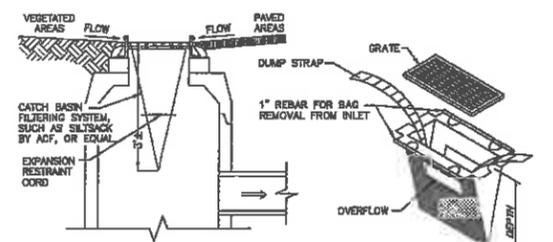
PERMANENT SEED (LAWN AREAS) LBS / 1,000 SQ. FT.	PERMANENT SLOPE SEED MIX LBS / 1,000 SQ. FT.	LBS / 1,000 SQ. FT.
CRISPING RED PERCIE	0.85 LBS	CRISPING RED PERCIE
PERENNIAL RYEGRASS	1.15 LBS	PERENNIAL RYEGRASS
KENTUCKY BLUEGRASS	0.85 LBS	RYEGRASS
RESTIUM	0.15 LBS	ALBUCA CLOVER
		BIRDPOOD TREFOIL
**APPLICATION RATE TOTALS	2.1 LBS PER 1,000 SQ. FT.	**APPLICATION RATE TOTALS
		1.5 LBS PER 1,000 SQ. FT.
12. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE (CATCH BASIN FRAMES OR VARIABLE SITES) THEN APPLY FERTILIZER AT A RATE OF 15 POUNDS PER 1,000 SQ. FT. AND LIME AT A RATE OF 50 POUNDS PER 1,000 SQ. FT. FERTILIZER SHALL BE LOW PHOSPHORUS LESS THAN 5% PHOSPHORUS.

CAUTION SHOULD BE TAKEN WHEN THE PROPERTY IS LOCATED WITHIN 200 FEET OF A WATER BODY. IN THIS CASE ALL FERTILIZERS SHALL BE RESTRICTED TO A LOW PHOSPHORUS, SLOW RELEASE NITROGEN FERTILIZER. SLOW RELEASE FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE WITH NO DOMINANT COMPONENT. NO FERTILIZER EXCEPT LIME SHALL BE APPLIED WITHIN 5 FEET OF THE SURFACE WATER. THERE ARE REGULATED LIMITATIONS.
13. PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON BEGINS (SEE WINTER CONSTRUCTION NOTES). NO DISTURBED AREAS SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.
14. A WINDROW DUST CONTROL PROGRAM SHALL BE APPLIED BY THE SITE CONTRACTOR. DUST SHALL BE MANAGED THROUGH THE USE OF WATER AND/OR CALCIUM CHLORIDE.
15. IN NO WAY ARE THE MEASURES INDICATED ON THE PLANS OR IN THESE NOTES TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGEMENT TO INSTALL ADDITIONAL EROSION CONTROL MEASURES AS SITE CONDITIONS, WEATHER OR CONSTRUCTION METHODS WARRANT.
16. FOLLOWING PERMANENT STABILIZATION, TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND ACCUMULATED SEDIMENTATION IS TO BE DISPOSED OF IN AN APPROVED LOCATION, OUTSIDE OF JURISDICTIONAL WILDLAND.
17. IN AN EFFORT TO RESTORE ADEQUATE INFILTRATION RATES OF THE BARRIERS PRIOR TO USE, THE BASES OF THE INFILTRATION BARRIERS SHALL BE DEEPLY TILLED AND THEN FOLLOWED BY A PASS WITH A LEVELING DISK. STORMWATER FLOWS ARE NOT TO BE RESTRICTED INTO THE INFILTRATION BARRIERS UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
18. LOT DISTURBANCES OTHER THAN SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.
19. THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR OBSERVING AND MANAGING THE PROJECT PER RSA 436:89 AND ADR 380 REGARDING INVASIVE SPECIES (PLANTS AND INSECTS). NO INVASIVE SPECIES PLANT OR INSECT SHALL BE INTRODUCED ONTO THE SITE.

EROSION CONTROL (WINTER CONSTRUCTION)

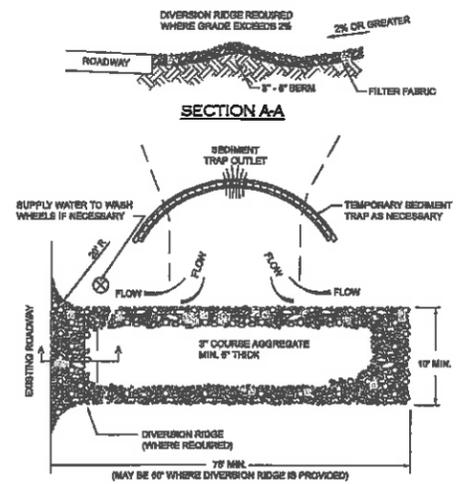
1. ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 8% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED. STABILIZATION METHODS SHALL INCLUDE SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 1:1 AND RESTRICTION AND PLACING 2 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND RESTRICTION SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF TROW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 8% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL OR PROPERLY INSTALLED EROSION CONTROL BLANKETS COVERED WITH HAY. OTHER STABILIZATION OPTIONS ARE TO BE APPROVED BY THE APPROPRIATE AGENCIES AND THE DESIGN ENGINEER. IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER MONTHS THEN THE ROAD SHOULD BE CLEARED OF ACCUMULATED SNOW AFTER EACH STORM EVENT.

EROSION CONTROL NOTES



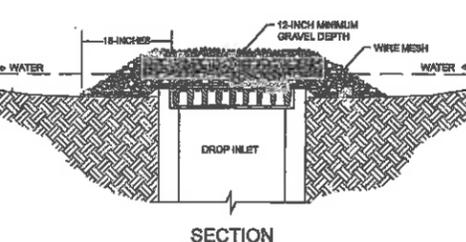
- NOTE:
1. INSTALL AND MAINTAIN BAGS IN ALL CATCH BASINS.
 2. TO INSTALL BAG, REMOVE CATCH BASIN GRATE AND PLACE BAG IN OPENING. HOLD OUT APPROXIMATELY SIX INCHES OF THE BAG OUTSIDE THE FRAME FOR THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE BAG IN PLACE.
 3. THE BAG SHOULD BE INSPECTED AFTER EVERY STORM, OR ONCE EVERY TWO WEEKS, WHICH EVER OCCURS FIRST.
 4. THE RESTRAINT CORD SHOULD BE VISIBLE AT ALL TIMES. IF THE CORD IS COVERED WITH SEDIMENT, THE BAG SHOULD BE EMPTIED. EMPTY THE SACK AWAY FROM THE CATCH BASIN TO PREVENT SEDIMENT FROM RE-ENTERING THE CATCH BASIN. EMPTY THE SACK PER THE MANUFACTURER'S RECOMMENDATIONS.
 5. REPLACE THE BAG IN THE CATCH BASIN AFTER THE SACK HAS BEEN EMPTIED. ONCE CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN STABILIZED BY PAVING OR A HEALTHY VEGETATIVE COVER, REMOVE THE BAG FROM THE CATCH BASIN.

SILT SACK SEDIMENT FILTER



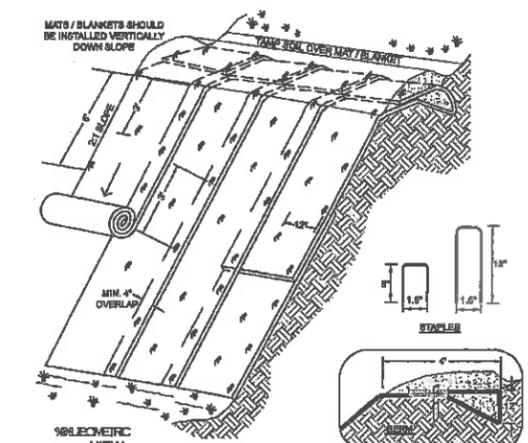
- NOTE:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANUP OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. THE MINIMUM STONE USED SHOULD BE 3-INCH CRUSHED STONE.
 3. THE MINIMUM LENGTH OF THE PAD SHOULD BE 78 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 36 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PRODUCT SITE.
 4. THE PAD SHOULD EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR TO FREE, WHICHEVER IS GREATER.
 5. THE PAD SHOULD SLOPE AWAY FROM THE EXISTING ROADWAY.
 6. THE PAD SHOULD BE AT LEAST 6-INCHES THICK.
 7. THE GEOTEXTILE FILTER FABRIC SHOULD BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD.
 8. THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-ROAD.
 9. NATURAL DRAINAGE THAT CROSSSES THE LOCATION OF THE STONE PAD SHOULD BE INTERCEPTED AND PIPED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.
 10. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 11. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

GRAVEL CONSTRUCTION EXIT



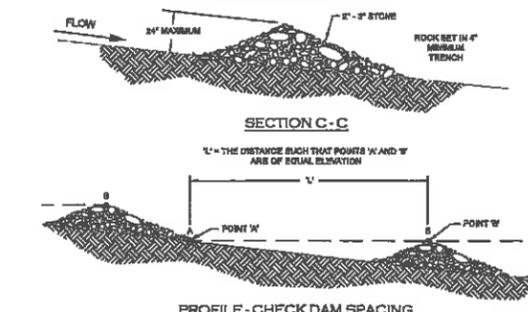
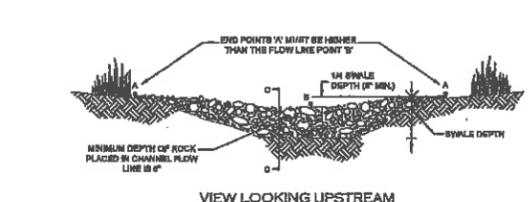
- NOTE:
1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS (LESS THAN 5%).
 2. THIS TYPE OF BARRIER HAS NO OVERFLOW PROVISION. WILL RESULT IN PONDING IF THE SEDIMENT IS NOT REMOVED REGULARLY AND SHOULD THEREFORE NOT BE USED WHEN OVERFLOW MAY ENDANGER DOWN SLOPE AREAS.
 3. THE WIRE MESH SHOULD BE PLACED OVER THE DROP INLET SO THAT THE ENTIRE OPENING AND A MINIMUM OF 12-INCHES AROUND THE OPENING ARE COVERED BY THE MESH.
 4. THE WIRE MESH SHOULD BE HARDWARE CLOTH OR WIRE WITH OPENINGS UP TO ONE HALF INCH.
 5. THE GRAVEL FILTER SHOULD BE CLEAN COARSE AGGREGATE.
 6. THE GRAVEL SHOULD EXTEND AT LEAST 18-INCHES ON ALL SIDES OF THE DRAIN OPENING AND SHALL BE AT LEAST 18-INCHES IN DEPTH.
 7. IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONES MUST BE PULLED AWAY FROM THE STRUCTURE, CLEANED AND REPLACED.

GRAVEL & WIRE MESH SEDIMENT BARRIER



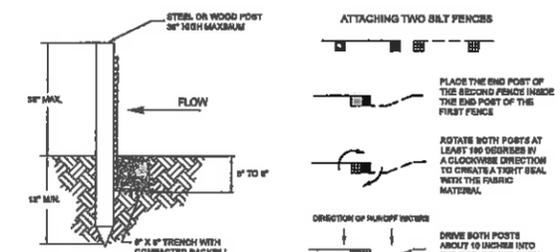
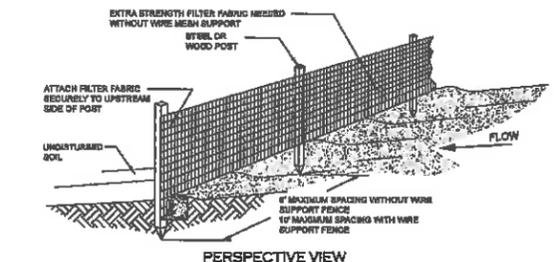
- NOTE:
1. DIMENSIONS GIVEN IN THIS DETAIL ARE EXAMPLES. DEVICE SHOULD BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 2. INSTALL STRAWWOODCOCONUT FIBER EROSION CONTROL MAT SUCH AS NORTH AMERICAN GREEN SC180 OR EQUAL ON ALL SLOPES EXCEEDING 1:1 HORIZ: 1 VERT.
 3. THE EROSION CONTROL MATERIAL(S) SHALL BE ANCHORED WITH "U" SHAPED 11 GAUGE WIRE STAPLES OR WOODEN STAKES WITH A MINIMUM TOP WIDTH OF 1 INCH AND LENGTH OF 8 INCH.
 4. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS / BLANKETS SHALL HAVE GOOD SOIL CONTACT.
 5. APPLY LIME, FERTILIZER AND PERMANENT SEEDING BEFORE PLACING BLANKETS.
 6. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET AS SHOWN. ROLL THE BLANKETS DOWN THE SLOPE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES OR STAKES IN APPROPRIATE LOCATIONS. REFER TO MANUFACTURER'S STAPLE GUIDE FOR CORRECT STAPLE PATTERN.
 7. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
 8. IN LOOSE SOIL CONDITIONS THE USE OF STAPLES OR STAKE LENGTHS GREATER THAN 8 INCHES MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
 9. THE CONTRACTOR SHALL MAINTAIN THE BLANKET UNTIL ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DAMAGED BY ANY CAUSE. ALL DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITIONS AND GRADE OF THE SOIL PRIOR TO APPLICATION OF THE COVERING AND SHALL BE RE-FERTILIZED, RESEEDED AND REMULCHED AS DIRECTED.

EROSION BLANKETS - SLOPE INSTALLATION



- NOTE:
1. STONE CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
 2. THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE CHECK DAM SHOULD BE LESS THAN ONE ACRE.
 3. STONE CHECK DAMS SHOULD NOT BE USED IN A FLOWING STREAM.
 4. STONE CHECK DAMS SHOULD BE CONSTRUCTED OF WELL-GRADED ANGULAR 2 TO 3 INCH STONE. THE INSTALLATION OF 3/4-INCH STONE ON THE UPGRADIENT FACE IS RECOMMENDED FOR BETTER FILTERING.
 5. WHEN INSTALLING STONE CHECK DAMS THE CONTRACTOR SHALL KEY THE STONE INTO THE CHANNEL. STAKES AND EXTEND THE STONE BEYOND THE ADJUTMENTS A MINIMUM OF 18-INCHES TO PREVENT FLOW AROUND THE DAM.
 6. STONE CHECK DAMS SHOULD BE REMOVED ONCE THE SWALE OR DITCH HAS BEEN STABILIZED UNLESS OTHERWISE SPECIFIED.

STONE CHECK DAM



- NOTE:
1. SILT FENCES SHOULD NOT BE USED ACROSS STREAMS, CHANNELS, SWALES, DITCHES OR OTHER DRAINAGE WAYS.
 2. SILT FENCE SHOULD BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE AND THE ENDS OF THE SILT FENCE SHOULD BE FLARED UP-SLOPE.
 3. IF THE SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE OR THE PRESENCE OF HEAVY ROOTS THE BASE OF THE FABRIC SHOULD BE EMBEDDED WITH A MINIMUM THICKNESS OF 6 INCHES OF 3/4-INCH STONE.
 4. SILT FENCE PLACED AT THE TOE OF SLOPES SHOULD BE INSTALLED AT LEAST 8 FEET FROM THE TOE TO ALLOW SPACE FOR SHALLOW PONDING AND ACCESS FOR MAINTENANCE.
 5. THE MAXIMUM SLOPE ABOVE THE FENCE SHOULD BE 2:1 AND THE MAXIMUM LENGTH OF SLOPE ABOVE THE FENCE SHOULD BE 100 FEET.
 6. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 7. SILT FENCES SHOULD BE REMOVED WHEN THE UP-SLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.

SILT FENCE

CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION
DIGSAFE.COM
 1-888-DIG SAFE
 1-888-344-7233

REV. DATE DESCRIPTION C/O DR CK

EROSION & SEDIMENTATION CONTROL DETAILS

PADDINGTON PLACE

TAX MAP PARCEL 59-135 - 122 MANCHESTER STREET
 NASHUA, NEW HAMPSHIRE

PREPARED FOR AND LAND OF:
PARAGON PROPERTIES, LLC
 c/o ERIC PEARSON
 P.O. BOX 3691 NASHUA, NH 03061 (603) 861-0717

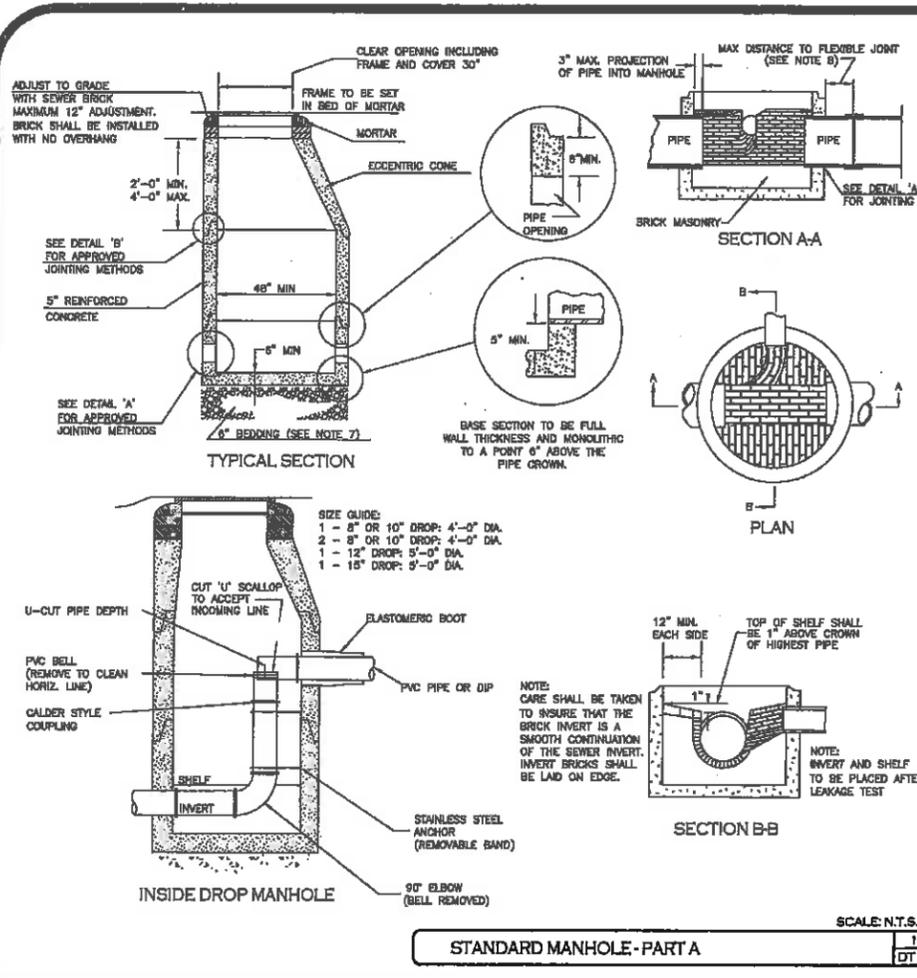
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Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE LAND CONSULTANTS, PLLC

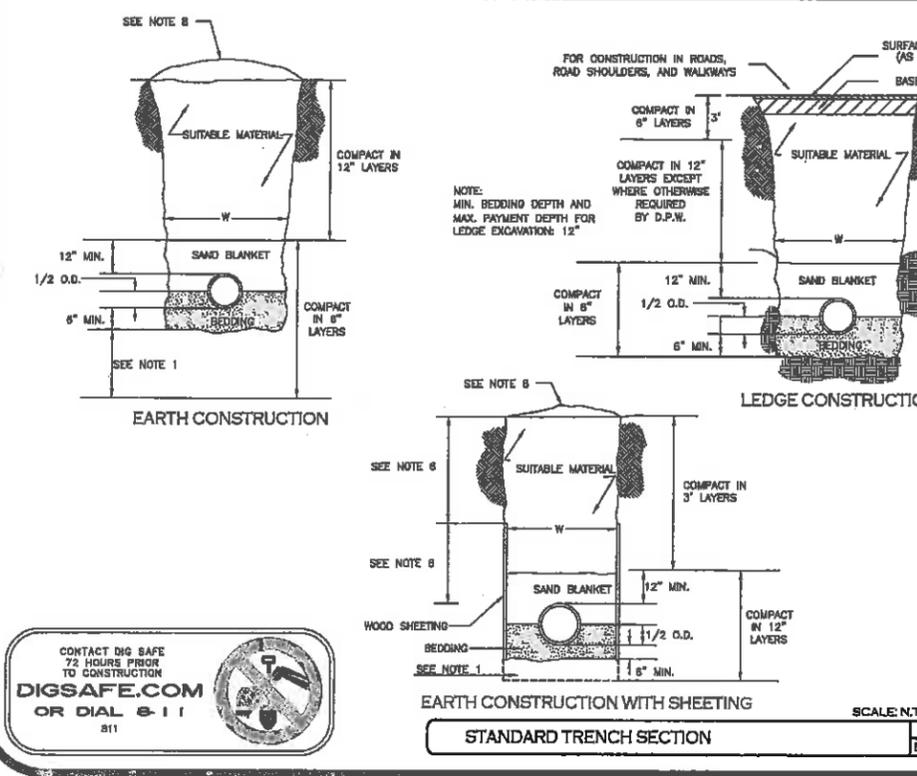
206 Elm Street, Milford, NH 03055
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 www.FieldstoneLandConsultants.com

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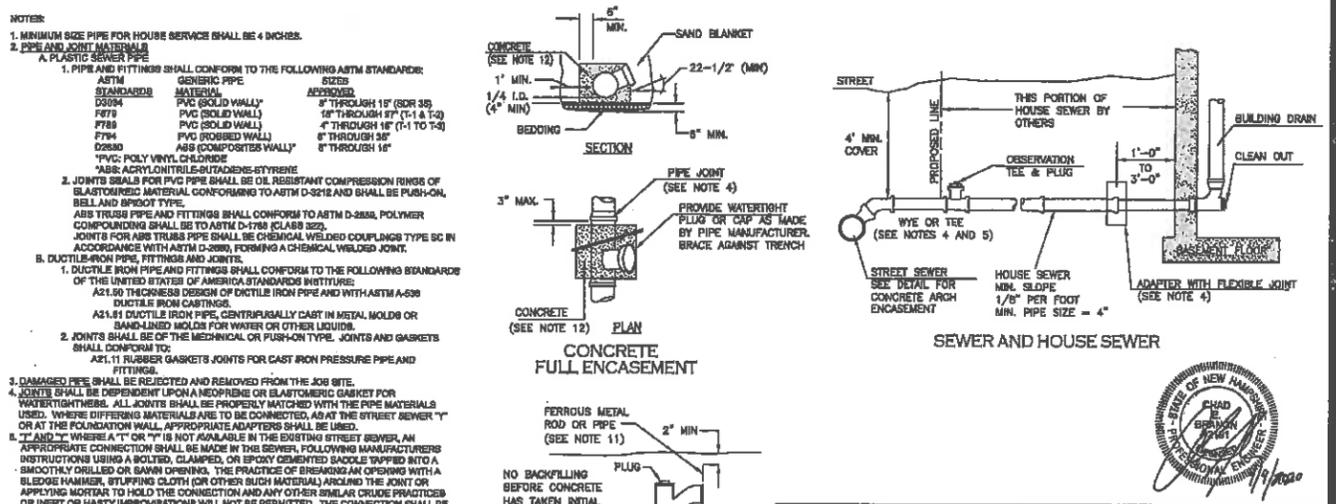
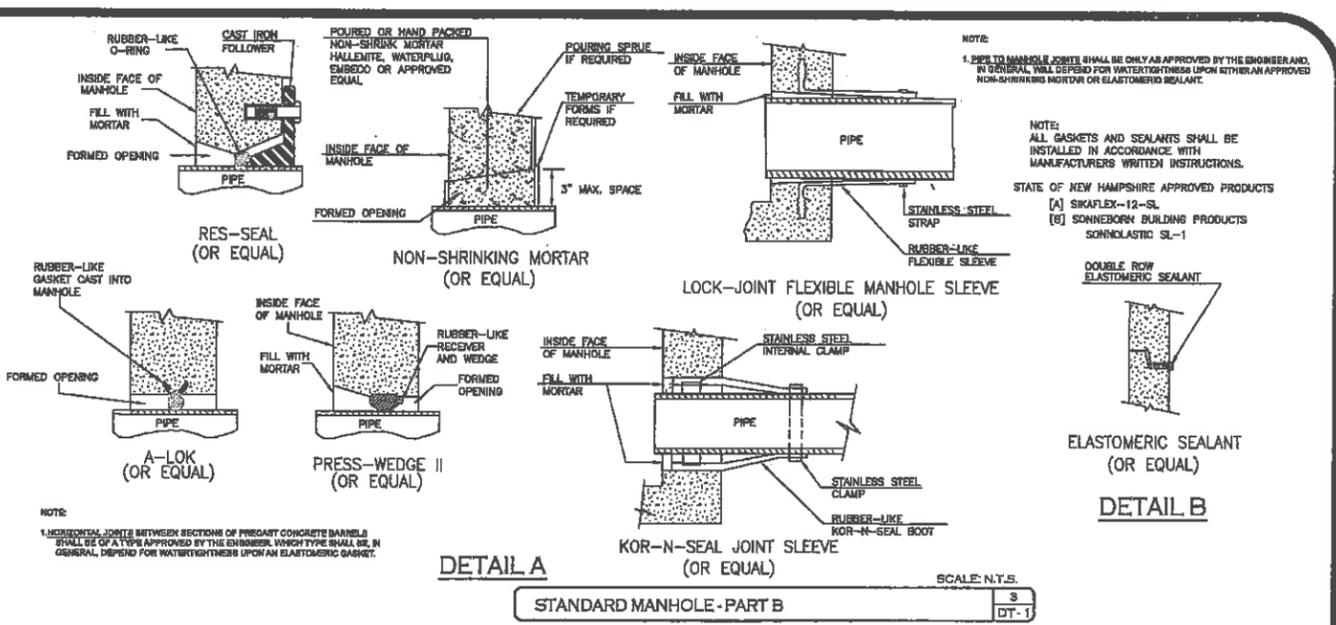
NOTES:

- IT IS INTENSED THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE SPACE REQUIREMENTS AND CONFIGURATIONS SHALL BE AS SHOWN ON THE DRAWING. MANHOLES MAY BE AN ASSEMBLY OF PRECAST SECTIONS WITH STEEL REINFORCEMENT, WITH ADEQUATE JOINTING PER EN-104 (A). IN ANY APPROVED MANHOLE, THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (240 LBS) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE CONTIGUOUSLY FOR THE LIFE OF THE STRUCTURE. A PERIOD GENERALLY IN EXCESS OF 5 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.
- BARRELS AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE.
- PRECAST CONCRETE BARREL SECTIONS, CONES, AND BASES SHALL CONFORM TO ASTM C 478.
- BASE SECTIONS SHALL BE MONOLITHIC TO A POINT 6" ABOVE THE CROWN OF THE INCOMING PIPE, AND SHALL BE PRE-CAST REINFORCED CONCRETE.
- INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT CONSTRUCTED TO CONFORM TO THE DIRECTION OF FLOW. THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPE. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE. CROWN AND SLOPE TO DRAIN TOWARD THE FLOW THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.
- FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN EQUAL TO CLASS 30, CONFORMING TO ASTM A44 AND PROVIDE A 30 INCH CLEAR OPENING. THE COVERS SHALL BE THE WORD "SEWER" IN 1/2 INCH HIGH LETTERS SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
- BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33 SIZE #67. 100% PASSING 1 INCH SCREEN 90-100% PASSING 3/4 INCH SCREEN 20-60% PASSING 3/8 INCH SCREEN 0-10% PASSING #4 SIEVE 0-5% PASSING #8 SIEVE. WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE, SCREENED GRAVEL OR CRUSHED STONE 1/2 TO 1/4 INCH SHALL BE USED.
- FLEXIBLE JOINT: A FLEXIBLE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES: RCP & CI PIPE - ALL SIZES - 4' PVC PIPE - UP THROUGH 18" DIAMETER - NO FLEXIBLE JOINT REQUIRED
- SHALLOW MANHOLE IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED. IT MUST HAVE AN ECCENTRIC ENTRANCE OPENING AND BE CAPABLE OF SUPPORTING H-20 LOADING.
- HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE SEALED WITH A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE SEALANT IN ACCORDANCE WITH EN-104 (B). A TYPE APPROVED BY THE ENGINEER, WHICH TYPE SHALL, IN GENERAL, DEPEND FOR WATER-TIGHTNESS UPON AN MASTIC-LIKE OR ELASTOMERIC SEALANT.
- PIPE TO MANHOLE JOINTS SHALL BE ONLY AS APPROVED BY THE ENGINEER AND, IN GENERAL, WILL DEPEND FOR WATER-TIGHTNESS UPON EITHER AN APPROVED NON-SHRINKING MORTAR OR ELASTOMERIC SEALANT.
- MATERIAL REQUIREMENTS FOR BRICK AND MORTAR SHALL CONFORM TO EN-104 704.10 (4) (9) THROUGH (14).
- ALL SEWER CONSTRUCTION SHALL CONFORM TO SPECIFICATIONS DEFINED BY TOWN OF MILTON STANDARD SPECIFICATIONS FOR ROAD CONSTRUCTION. THESE STANDARD MANHOLE DRAWINGS ARE NOT COMPLETE WITHOUT THESE SPECIFICATIONS.



NOTES:

- ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE, REFILL WITH BEDDING MATERIAL. (SEE ALSO NOTE 7).
- BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33, STONE SIZE #67. 100% PASSING 1 INCH SCREEN 90-100% PASSING 3/4 INCH SCREEN 20-60% PASSING 3/8 INCH SCREEN 0-10% PASSING #4 SIEVE 0-5% PASSING #8 SIEVE.
- SAND BLANKET: CLEAN SAND, FREE FROM ORGANIC MATTER, SO GRADED THAT 80-100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 10% WILL ACCUMULATE WITHIN 1/2 INCH. SAND MAY BE OMITTED FOR DUCTILE IRON AND REINFORCED CONCRETE PIPE PROVIDED THAT NO STONE LARGER THAN 2" IS IN CONTACT WITH THE PIPE.
- SUITABLE MATERIAL IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS. SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOPSOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER 6 INCHES, IN LARGEST DIMENSION OR ANY MATERIAL WHICH AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT TO MAINTAIN THE COMPLETED CONSTRUCTION. SUITABLE MATERIAL SHALL BE DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP-BOIL, LOAM, MUCK OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT BABY ACCESS TO THE SEWER FOR MAINTENANCE (AND POSSIBLY RECONSTRUCTION, WHEN NECESSARY) WILL BE PRESERVED.
- BASE COURSE: IF ORDERED BY THE ENGINEER, SHALL MEET THE REQUIREMENTS OF DIVISION 300 OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF N.H. DEPT. OF TRANSPORTATION.
- WOOD SHEETING: IF REQUIRED, BE PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER. IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE. WHERE THE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISH GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
- W = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 96 INCHES. FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D., W SHALL ALSO BE THE TRENCH WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
- FOR CROSS COUNTRY CONSTRUCTION, BACKFILL OR FILL SHALL BE MONOLITHIC TO A HEIGHT OF 3 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- CONCRETE: FOR ENCASEMENT SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3000 PSI) CONCRETE OF THE N.H. DEPT. OF TRANSPORTATION STANDARD SPECIFICATIONS AS FOLLOWS: CEMENT: 6.5 BAGS PER CUBIC YARD WATER: 6.75 GALLONS PER BAG OF CEMENT MAXIMUM AGGREGATE SIZE: 1 INCH 0-4% PASSING #8 SIEVE 0-5% PASSING #16 SIEVE 0-8% PASSING #30 SIEVE 0-10% PASSING #60 SIEVE 0-15% PASSING #100 SIEVE 0-20% PASSING #200 SIEVE 0-30% PASSING #425 SIEVE 0-40% PASSING #850 SIEVE 0-50% PASSING #1650 SIEVE 0-60% PASSING #3000 SIEVE 0-70% PASSING #6000 SIEVE 0-80% PASSING #12000 SIEVE 0-90% PASSING #24000 SIEVE 0-100% PASSING #48000 SIEVE
- WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, SCREENED GRAVEL OR CRUSHED STONE 1/2 TO 1/4 INCH SHALL BE USED.
- LOCATION OF THE LOCATION OF THE "T" OR "Y" SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERRULOUS METAL ROD OR PIPE SHALL BE PLACED OVER THE "T" OR "Y" AS DESCRIBED IN THE TYPICAL "CHIMNEY" DETAIL, TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPE-FINDER.
- CONCRETE: FOR ENCASEMENT SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3000 PSI) CONCRETE OF THE N.H. DEPT. OF TRANSPORTATION STANDARD SPECIFICATIONS AS FOLLOWS: CEMENT: 6.0 BAGS PER CUBIC YARD WATER: 6.75 GALLONS PER BAG OF CEMENT MAXIMUM AGGREGATE: 1 INCH MAX
- CHIMNEYS: IF VERTICAL DROP INTO THE SEWER IS GREATER THAN 4 FEET, A CHIMNEY SHALL BE CONSTRUCTED FOR THE HOUSE CONNECTION. CHIMNEY INSTALLATION AS RECOMMENDED BY THE PIPE MANUFACTURER MAY BE USED IF APPROVED BY THE ENGINEER.



SEWER DETAILS

PADDINGTON PLACE

TAX MAP PARCEL 59-136 - 122 MANCHESTER STREET
NASHUA, NEW HAMPSHIRE

PREPARED FOR AND LAND OF:
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P.O. BOX 3691 NASHUA, NH 03081 (603) 661-0777

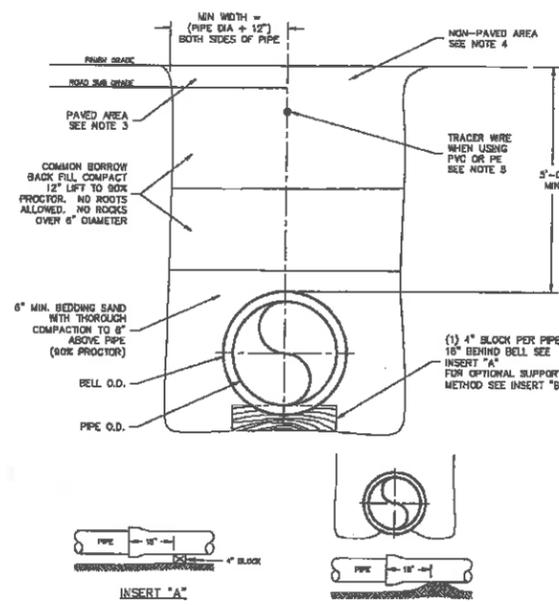
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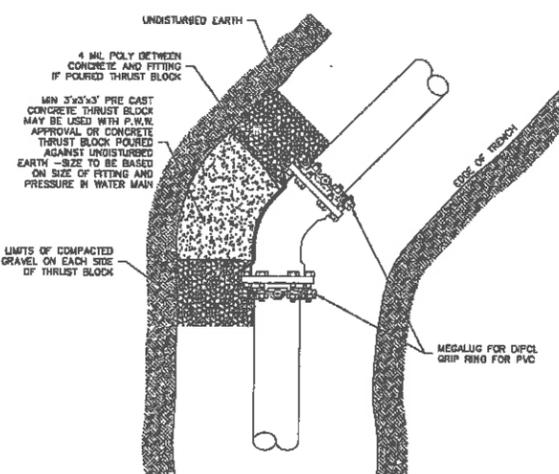
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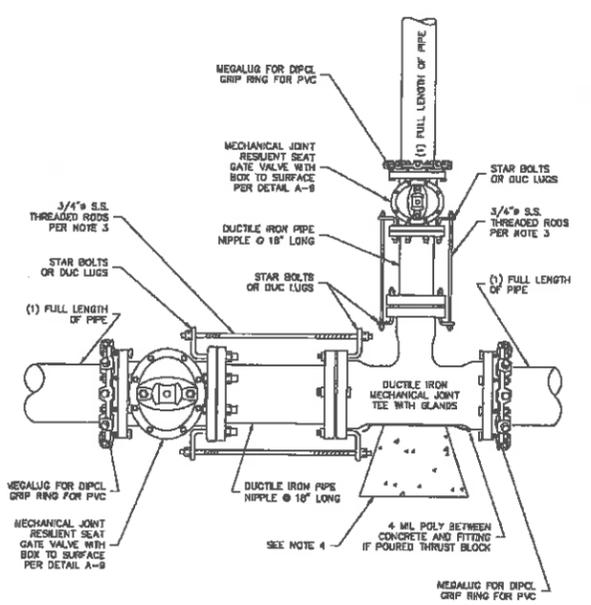
NOTE:
 1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO P.W.W. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 3. REQUIREMENTS FOR SIZES AND BASE MATERIAL TYPE ARE TO BE IN ACCORDANCE WITH LOCAL, AIRPORT HAVING LOCAL JURISDICTION IN PAVED AREAS.
 4. REQUIREMENTS FOR GRAVEL, LEAK AND/OR SEED ARE TO BE IN ACCORDANCE WITH LOCAL, AIRPORT HAVING LOCAL JURISDICTION IN NON-PAVED AREAS.
 5. NO GAUGE TRACER WIRE AS MANUFACTURED BY GNS, DIVISION OF ALBERTA CORR., AVAIL. MA OR EQUIVALENT.

TYPICAL TRENCH DETAIL SCALE: N.T.S. 1 DT-6



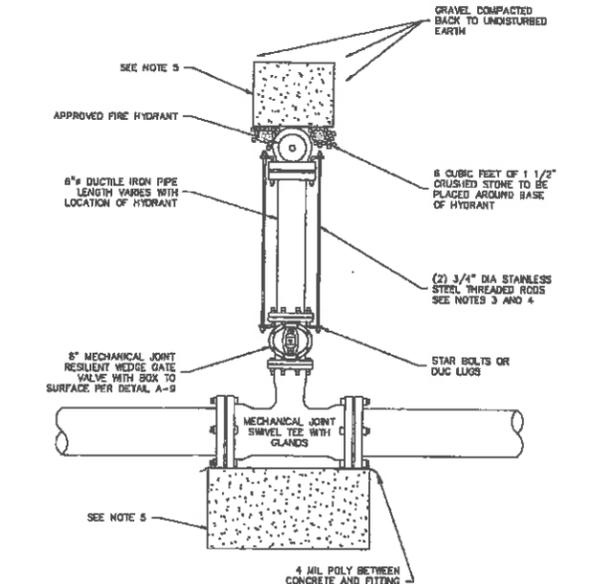
NOTE:
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 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 3. 3/4" S.S. RODS SHALL BE USED IN CONNECTION WITH REQUIRED S.S. WIRE. RODS ARE TO BE ATTACHED TO FITTINGS WITH OTHER STAR BOLTS OR DUG LUGS.
 4. WHEN DISTANCE FROM WATER MAIN TO FITTING IS MORE THAN 10' SUBSTITUTED MEGALUGS (OR GRIP RINGS) IN LIEU OF THREADED RODS.
 5. MIN 3/4"x3" PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH P.W.W. APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN.

TYPICAL THRUST BLOCK BEHIND FITTINGS SCALE: N.T.S. 2 DT-6



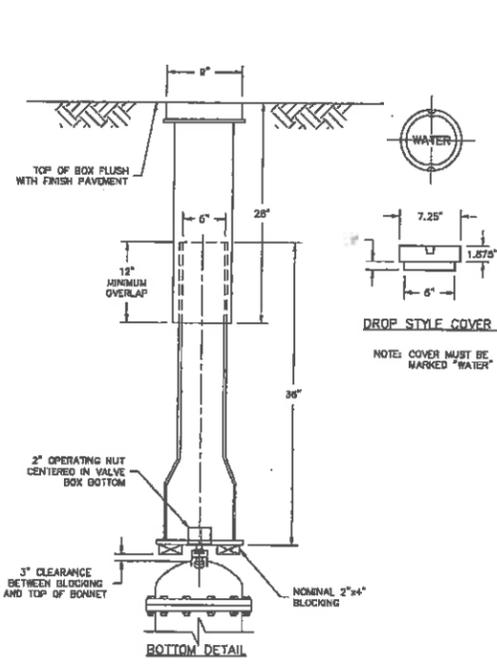
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TYPICAL TEE INSTALLATION SCALE: N.T.S. 3 DT-6



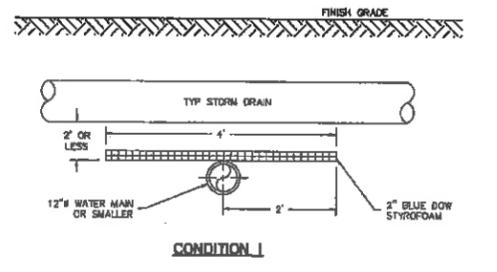
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TYPICAL HYDRANT INSTALLATION SCALE: N.T.S. 4 DT-6



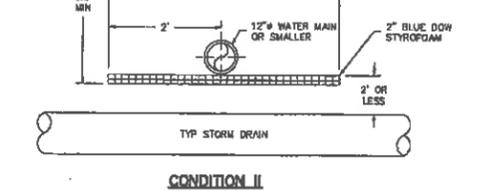
NOTE:
 1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO P.W.W. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.

TYPICAL VALVE BOX SCALE: N.T.S. 5 DT-6



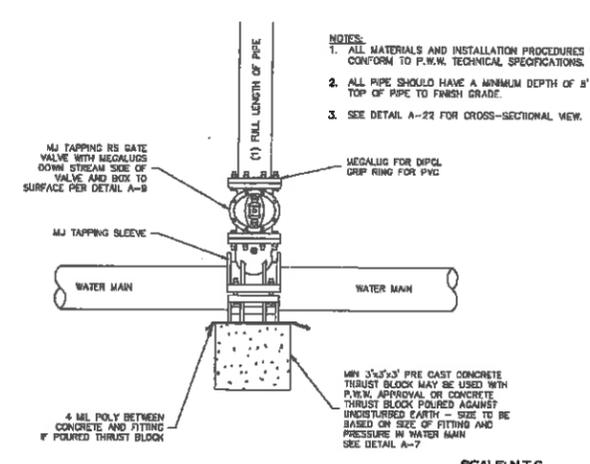
NOTE:
 1. PENNICHUCK WATER WORKS, INC. RESERVES THE RIGHT TO MODIFY INSULATION REQUIREMENTS AS NECESSARY BASED ON FIELD CONDITIONS, ETC.
 2. THE LENGTH OR WIDTH OF INSULATION SHALL EXTEND 1' STORM DRAIN DIAMETER BEYOND THE EDGE OF STORM DRAIN PIPE IN EACH DIRECTION OR A MINIMUM OF 2' BEYOND THE CENTERLINE OF THE STORM DRAIN PIPE, WHICHEVER IS GREATER.
 3. ALL JOINT SEAMS TO BE OVERLAPPED WITH A 1' PIECE OF INSULATION CENTERED OVER SEAM.

STORM DRAIN / WATER MAIN INTERSECTING RUNS SCALE: N.T.S. 6 DT-6



NOTE:
 1. PENNICHUCK WATER WORKS, INC. RESERVES THE RIGHT TO MODIFY INSULATION REQUIREMENTS AS NECESSARY BASED ON FIELD CONDITIONS, ETC.
 2. THE LENGTH OR WIDTH OF INSULATION SHALL EXTEND 1' STORM DRAIN DIAMETER BEYOND THE EDGE OF STORM DRAIN PIPE IN EACH DIRECTION OR A MINIMUM OF 2' BEYOND THE CENTERLINE OF THE STORM DRAIN PIPE, WHICHEVER IS GREATER.
 3. ALL JOINT SEAMS TO BE OVERLAPPED WITH A 1' PIECE OF INSULATION CENTERED OVER SEAM.

STORM DRAIN / WATER MAIN INTERSECTING RUNS SCALE: N.T.S. 6 DT-6



TYPICAL LARGE SERVICE AND/OR TAPPING SLEEVE SCALE: N.T.S. 7 DT-6

- REFERENCE PENNICHUCK WATER WORKS SPECIFICATIONS FOR INSTALLATION OF ALL WATER LINES.
- ALL SPRINKLER AND DOMESTIC LEADS TO BUILDING SHALL END 8 FEET OUTSIDE THE FACE OF THE BUILDING WALL, UNLESS NOTED, AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT THE END (FOR OWNERS TO REMOVE AND EXTEND THE LINE AS NECESSARY).
- THRUST BLOCKS AND MEGALUG RESTRAINTS SHALL BE PROVIDED AT ALL HORIZONTAL BENDS, TEES, AND FIRE HYDRANTS. SEE DETAIL.
- MINIMUM COVER ON ALL WATER LINES IS 5'-0".
- CONTRACTOR SHALL MAINTAIN A 5'-0" HORIZONTAL (UNLESS OTHERWISE NOTED) AND 12" VERTICAL SEPARATION BETWEEN WATER SERVICE AND UTILITIES OTHER THAN SANITARY SEWER.
- INSPECTIONS ON WATER SERVICE INSTALLATION DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE SITE CONTRACTOR AND SHALL BE COORDINATED WITH PENNICHUCK WATER WORKS. ALL INSPECTION FEES SHALL BE PAID FOR BY THE CONTRACTOR.
- CONTRACTOR SHALL HAVE BACTERIOLOGICAL AND PRESSURE TESTING PERFORMED. CONTRACTOR SHALL GIVE PENNICHUCK WATER WORKS A COPY OF THE RESULTS. PENNICHUCK WATER WORKS SHALL BE ON-SITE TO WITNESS TEST.
- ALL PIPE, VALVES, MISCELLANEOUS MATERIALS AND INSTALLATION SHALL CONFORM TO PENNICHUCK WATER WORKS SPECIFICATIONS AND REQUIREMENTS.
- ALL FIRE HYDRANTS, VALVES, FITTINGS, PIPES, ETC. SHALL BE IN ACCORDANCE WITH PENNICHUCK WATER WORKS SPECIFICATIONS.
- METALLIC TAPE OR DETECTOR WIRE SHALL BE INSTALLED IN THE SAME TRENCH WITH ALL NONMETALLIC PIPE SUCH THAT THE PIPE MAY BE LOCATED WITH ELECTRONIC LOCATING EQUIPMENT. METALLIC TAPE OR DETECTOR WIRE SHALL BE INSTALLED APPROXIMATELY 12" TO 18" BELOW GRADE DIRECTLY ABOVE THE TOP OF THE PIPE. DETECTOR WIRE SHALL BE 14 GAUGE SOLID COPPER, SIMPLEX BR3001 OR EQUAL. METALLIC TAPE SHALL BE 2" MINIMUM METALLIZED TAPE, GREGGOLYN COMPANY, INC., TERHADAPE OR EQUAL.
- CONTRACTOR SHALL ENSURE ALL WATER VALVES ARE IN A FULLY OPEN POSITION UPON COMPLETION OF PROJECT.
- CONTRACTOR SHALL COORDINATE ALL WATER INTERUPTIONS WITH PENNICHUCK WATER WORKS AND AFFECTED PROPERTY OWNERS.

WATER SYSTEM CONSTRUCTION NOTES 8 DT-6



REV.	DATE	DESCRIPTION	C/O	DR	CK
WATER DETAILS					
PADDINGTON PLACE					
TAX MAP PARCEL 59-135 - 122 MANCHESTER STREET NASHUA, NEW HAMPSHIRE					
PREPARED FOR AND LAND OF: PARAGON PROPERTIES, LLC c/o ERIC PEARSON P.O. BOX 3681 NASHUA, NH 03081 (603) 881-0777					
SCALE: NOT TO SCALE			APRIL 9, 2020		
Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs					
FIELDSTONE LAND CONSULTANTS, PLLC					
208 Elm Street, Milford, NH 03055 Phone: (603) 672-5456 Fax: (603) 413-5456 www.FieldstoneLandConsultants.com					
FILE: 488DT02.dwg PROJ. NO. 498.02 SHEET: DT-6 PAGE NO. 12 OF 12					