

COMMITTEE ON INFRASTRUCTURE

SEPTEMBER 19, 2016

A meeting of the Committee on Infrastructure was held Monday, September 19, 2016, at 8:52 p.m. in the Aldermanic Chamber.

Alderman-at-Large Mark S. Cookson, Chair, presided.

Members of Committee present: Alderman David Schoneman, Vice Chair
Alderman Sean M. McGuinness
Alderman Richard A. Dowd
Alderman Tom Lopez

Also in Attendance: Mayor Jim Donchess
Alderman-at-Large David W. Deane
Alderman Don LeBrun
Ms. Lisa Fauteux, Director of Public Works Division

PUBLIC COMMENT

Mr. James B. Cutter, 86 Palm Street

At the last Aldermanic meeting of 9/14/16 I quoted from a textbook on selling commercial real estate, "it is a fact and common sense there are business people who want their business in a city or town that is good to their citizens. The way we are being treated is a good example of poor treatment by avoiding the city building inspector mistakes of approving permits without actual dimensions. See my letter dated 8/31/16 to Alderman Lopez on the other side. We have asked our Alderman Lopez to sponsor a resolution to have the Gilbertson's return our driveway and clothesline area taken in error due to the approval of building permits by city building inspectors. We feel the violations of RSA 627:9(I), Curtilage and RSA 635:2 Criminal Trespass found in paragraph 8 are extremely important and emphasis should be place on them. The fence is also in violation of RSA 627:9 (I), Curtilage that is protected by the 4th Amendment is part of the house and because the fence was installed beyond the boundary line RSA 635:2 states he is guilty of criminal trespass. The laws have been ignored and we would like the above corrected so our driveway and clothesline area are returned. Sincerely, Jim.

COMMUNICATIONS

MOTION BY ALDERMAN COOKSON TO SUSPEND THE RULES TO ACCEPT AND PLACE ON FILE A COMMUNICATION RECEIVED AFTER THE AGENDA WAS PREPARED

From: James B. Cutter and Mary E. Cutter
Re: 1949 Plat Plan Error at 88 Palm Street, Violations of RSA 627:9 (I), Curtilage & RSA 635:2, Criminal Trespass

ON THE QUESTION

Alderman Lopez

Just a clarification, Mr. Cutter was one of the first constituents that approached me when I was newly elected as Alderman and I have been very impressed with the amount of research that he has done and the tenacity that he has demonstrated as well as his persistence. I understand that his objective is simply to identify what land is his and ensure that he is giving the proper recognition of it. I spoke to the city attorney

very early on regarding this matter and it was his position that this is more of a civil case and I don't have any kind of authority to sponsor some of the legislation that has been proposed. I respect Mr. Cutter's efforts and forbearance and I also respect the Gilbertson's who have been mentioned in every single Aldermanic meeting this year and have been commented on at length publicly. It's a difficult situation. It was my understanding coming into this that a strong fence builds good neighbors but it doesn't seem like it has worked out that way. I don't have any intention to sponsor because it's my understanding I would have that kind of authority.

MOTION CARRIED

DISCUSSION

City Hall Plaza

Mayor Donchess

Thank you for allowing us to come in. The way we've gotten here is we had the landscape architect Ann Cruise look at the design in some detail. We had a meeting where we accepted public input regarding the design a few months ago and then based on that and based upon some practical considerations that came up a group of people inside, including Director Fauteux and Director Marchant and others sort of have used the Ann Cruise model and come up with the following design.

Director Fauteux

TF Moran did a design for City Hall Plaza about two years. It was originally put out to bid by former Mayor Lozeau and the Community Development Director, Sarah Marchant and the bids came in too high so public works was asked to get involved. Last year we removed the two planting beds, we dropped the granite flush with the rest of the plaza, we moved JFK, we relocated the bell, we installed the flag poles in their existing location and we did some brick work inside of the planting beds. Mayor Donchess had asked us to get some additional public input because there hadn't been a lot of public input. We had a meeting on April 14, 2016, for public input and TF Moran made some changes. We, in turn, looked at TF Moran's plan and we had to make some additional changes because of obstructions in the sidewalk. There was conduit and things that just would allow us to do some of the things. That's why we came up with the current plan that you are looking at. If you are looking at the plan, I'll go from right to left. If you look here at the rail trail you will see where it looks like there is tracks and then it goes to the paved surface. Right where the tracks end and the paved surface begins there is an archway that is being proposed. That has not gone out to bid yet but if you go to the third page you will see what is proposed. We are also going to be...originally there were a couple of planting beds that were proposed behind JFK and behind the bell but we found that we couldn't put those in because of issues with conduit underneath so that will just be bricked in and that hasn't been done yet. You will notice behind JFK that there are bricks missing so we will fix that. We are going to relocate the flag pole that's the war monument; that will be refurbished and relocated. I don't think a firm decision has been made exactly where to put it at this time but that is the plan for that. There will be a fence and plantings around the JFK Memorial. It will be about 18" above the current granite that exists now. We are going to add some bench. The city seal that you see in the middle will be added and that's a feature that Gate City Monument would create for us. You will note that out front there are three trees that will be planted. As far as the flag poles go, we can leave them where they are currently located or there is also the possibility of locating them in a raised granite planting bed up front but that wouldn't be something that would be done this year but that was something that the landscape architect had proposed. We also are proposing to put four large planters on either end of the frame that exists right now around where the city seal would go in the front of the plaza. I think the only other addition that we would make is we would put some ground cover and perhaps some vine along where Persian Rug is and the fence. We wanted to plant larger shrubs and trees but we have conduit that runs tight to the building so we won't be able to do that but we will plant whatever we can with the depth that we have there. Those are the proposed changes.

Mayor Donchess

Just to supplement that, the four planters that Director Fauteux is referring to on the four corners of the square are the type of urn like planter that you can see on the second page. Those aren't in the ground but would be placed there. I would also add that this can all be done we think by the end of this year except for moving the flag poles which we would not attempt to do this year. We thought we would leave them where they are and do the rest of the improvements and then evaluate the situation once we have seen the nearly finished product and then decide whether the flag poles should be moved up into the position closer to the front where you see them now or where the alternative is presented.

Alderman Dowd

There was a lot of discussion as we were going through this about facing Kennedy towards the street, are we doing that?

Director Fauteux

No, we didn't plan on doing that for a number of reasons. It would be a tremendous amount of work to do that and we also had a number of landscape architects approach us and say...when people are in City Hall Plaza how are they really going to be enjoying that monument. People are not going to enjoy it while they are driving by. They are going to enjoy it while they are in the plaza. Other landscape architects including the one that did this felt like it should remain facing the way it is.

Mayor Donchess

When we took public comment and as we have gotten comments over time on that particular subject, the opinion was divided. Even though traditionally JFK has faced the street, in a way if he is where he is proposed here and he faces the street in a way we are creating a car-orientated situation. If we leave it as is proposed here facing towards the plaza in a way we are addressing the pedestrians and the people who might gather in the plaza. We are trying to make it more of a pedestrian friendly design.

Alderman Deane

I was pleasantly surprised, Mayor, to hear you say that you are going to leave the flag poles where they are. Quite frankly I would leave them where they are. If you look at the activities you have out there during the stroll and all of the ice sculptures, you have that whole open area in the plaza that is utilized for other purposes. Those flag poles would be too close to the roadway and it seems like a hazard. I think having them offset and the area wide open would make the plaza look bigger and utilized for other purposes. It would be really nice to just get this wrapped up and completed. I guess we will see what happens in the spring when the project is done and how the flag poles look in their current position. Everything else looks great.

Mayor Donchess

There are ideas to kind of do it and take a look. We don't mind coming back to the committee. If we think they should be moved at that point there are pros and cons. One of the negatives is it would kind of get in the way pedestrian traffic but we would be glad to come back to the committee and get your thoughts on it at that time.

Alderman Schoneman

I presume the benches will be benches without backs?

Director Fauteux

I think we are proposing backs on the benches.

Alderman Schoneman

Which way do you want to have the benches face, towards the seal or out towards the bell and the monument?

Director Fauteux

Probably one facing each way. One facing the monument and one facing the seal. We could use benches without backs; it's not a bad idea.

Alderman Schoneman

That way you could sit either way.

Alderman LeBrun

Mr. Mayor, you mentioned the old flag pole and that's on hold at the present time? Does that include the refurbishing of it before it is moved or would that take place after it is moved? I intend to install a plaque on that base and it depends on where it's located and what it looks like when it's done.

Director Fauteux

I think that should be done at the same time. I don't think there has been a final decision on just where that should be located.

Mayor Donchess

Definitely refurbishing but as far as relocating, we are not trying to determine right at this moment where that should be exactly but we would be interested in your input on the subject.

Alderman LeBrun

Keep me in the loop.

Alderman Lopez

If some thought in the future could be given to making sure that the front of City Hall is handicapped accessible. I wish we could solve that problem. I also wanted to ask if the existing landscaping on the left side of the building, where the Risk Departments office is, it's a series of low bushes right now. Is there any way that could be a taller planter? If you put planters there then you might be able to put something that seasonally adds to the appeal of the frontage.

Director Fauteux

We did discuss that. Part of the problem is that there are some very mature plants so if you pull some of them out...but we will look at that. On the right side it would be tough but on the other side there might be something that we can do. You are right, it's a lot of green and it doesn't look all that attractive.

Alderman LeBrun

Can I make a statement on another subject?

Chairman Cookson

Sure, why not.

Alderman LeBrun

Not being one to pass up a chance to compliment someone, we had a lot of controversy about West Hollis Street, the traffic pattern and whatnot, and I just want to commend you for taking heat for some of my recommendations and getting it set up so that it's workable at this time. It still needs a little tweaking here and there but thank you.

Director Fauteux

Thank you.

Mayor Donchess

We did definitely take into account what you were saying there and we've tried to make it better. Of course, there seems to be a division as to some people liking it one way and others like it another way. In response to the changes, we have gotten a few negative comment but we think overall we think we pleased more people than we've displeased and we've made the traffic situation better.

Alderman Lopez

I express thanks to Director Fauteux for the speed at which I am seeing the mid-point crossings going downtown and different repairs being done all around the downtown neighborhood. I've received a lot of positive feedback from people who are excited about the improvements that are being made to their neighborhood and it's starting to look good in a lot of areas.

Alderman Dowd

Thank you for fixing Tinker Road. I know they are getting ready to put the second coat on the top but even the first coat was 200% better than what it was. I just wish we could have done the drainage underneath because I hope come winter it doesn't start cracking up again.

Chairman Cookson

Mayor Donchess, is there anything else that you need us to do as a committee before you move forward with this plan?

Mayor Donchess

No, we just wanted to show it to you and see if you had any particular thoughts or comments.

Chairman Cookson

We appreciate it, thank you and we will see you in the spring.

PETITIONS

Street Acceptance Petitions: Annabelle Court, a portion of Cherrywood Drive, Moonstone Court & Tamora Court

- Public Hearings scheduled for 10/12/16 at 7 PM in the Aldermanic Chamber

UNFINISHED BUSINESS – None

NEW BUSINESS – RESOLUTIONS

NEW BUSINESS - ORDINANCES

O-16-016

Endorsers: Alderman David Schoneman
Alderswoman Mary Ann Melizzi-Golja
Alderman Don LeBrun

AUTHORIZING STOP SIGNS AT THE INTERSECTION OF LOCK STREET AND CROSS STREET

MOTION BY ALDERMAN SCHONEMAN TO RECOMMEND FINAL PASSAGE

ON THE QUESTION

Alderman Schoneman

There has been a lot of talk about the issues with the speeds on Lock Street and the crossing. There have been complaints from concerned citizens who have concerns with the safety of school children walking back and forth. The road was dug up for a period of time last year and then once the road was done it was restriped and we waited to see how well that worked and some of the problems were addressed but some were not so we put forth legislation to actually do the next level fix which is to put stop signs in here.

I passed out a memo from Lisa Fauteux, Director of Public Works Division to Tracy Pappas, Commissioner, Board of Public Works which explains that sight lines are the issue. We can't just put a stop sign anywhere that we want, there has to be a reason for it. We don't use a stop sign for traffic calming. It looks like it could be helpful for that but we can't do that. What we can do is take a look and see what the sight lines are like. In this case the sight lines were not long enough for traffic that was just flowing through there. There are things that cannot be moved, utility poles or the sidewalk is too narrow. The street is just narrow and the sidewalks are narrow. Because of the sight distance problem, Director Fauteux has recommended to us and the legislation supports it that we install stop signs there to try to improve safety.

Alderman Lopez

I have heard a lot of support for this.

MOTION CARRIED

MOTION BY ALDERMAN SCHONEMAN TO SUSPEND THE RULES TO ACCEPT AND PLACE ON FILE A COMMUNICATION RECEIVED AFTER THE AGENDA WAS PREPARED

MOTION CARRIED

From: Lisa Fauteux, Director, Public Works Division to Tracy Pappas, Commissioner BPW
Re: Intersection of Lock Street and Cross Street

TABLED IN COMMITTEE

R-16-060

Endorsers: Mayor Jim Donchess
Alderman-at-Large David W. Deane
Alderman Tom Lopez

**AUTHORIZING AN AMENDMENT TO DEED COVENANTS RELATIVE TO LAND SOLD
TO PROPERTY OWNERS ALONG RADCLIFF DRIVE AND SHORE DRIVE**

- Tabled 8/24/16

Alderman Lopez

I missed the opportunity for Alderman Deane to explain this. My understanding is that they are just going to build sheds on it. I don't know if that's enough for the Board or if we should continue to table it.

Chairman Cookson

I had asked Alderman Deane prior to the meeting and he said yes but I assumed he meant this meeting.

Alderman Dowd

Is there any urgency?

Chairman Cookson

Not that I have heard.

Alderman Dowd

I think we should leave it tabled until the next meeting.

GENERAL DISCUSSION - None

PUBLIC COMMENT - None

REMARKS BY THE ALDERMEN

On Wednesday, September 21st we are having a job fair at St. Patrick's gym across from City Hall. It's going from 11:00 a.m. to 1:00 p.m. and it's sponsored by the Greater Nashua Continuum of Care and it's meant so that anybody applying for a job can directly interface with people who are going to be hiring instead of getting lost in HR process. On Friday I will be sleeping in a box to support the United Way's United we Sleep Project along with a great number of other leaders around Nashua just to raise awareness of what the homeless are going through as it starts to get colder.

POSSIBLE NON-PUBLIC SESSION

ADJOURNMENT

**MOTION BY ALDERMAN DOWD TO ADJOURN
MOTION CARRIED**

The meeting was declared closed at 9:23 p.m.

Alderman Sean M. McGuinness
Committee Clerk

From: James B. and Mary E. Cutter 889-4246
86 Palm St., P.O. Box 69-Nashua, NH 03061.
Date: September 19, 2016
To: Alderman-At-Large Mark Cookson, Chair
Cc: Infrastructure Committee, Jim Donchess, Mayor and
Steve Bolton, Corporation Counsel.
Subject: 1949 Plat Plan error at 88 Palm St., violations of RSA
627:9(I), Curtilage and RSA 635:2, Criminal Trespass.

Dear Alderman Cookson,

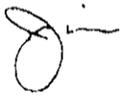
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The way we are being treated is a good example of poor treatment by avoiding the city building inspector mistakes of approving permits without actual dimensions. See my letter dated 8/31/16 to Alderman Lopez on other side.

We have asked our Alderman Lopez to sponsor a resolution to have the Gilbertsons return our driveway and clothesline area taken in error due to the approval of building permits by city building inspectors.

We feel the violations of RSA 627:9(I), Curtilage and RSA 635:2 Criminal Trespass found in paragraph 8 are extremely important and emphasis should be placed on them.

Sincerely,

A handwritten signature in black ink, appearing to be the initials 'JB' or similar, written in a cursive style.

From: James B. and Mary E. Cutter 889-4246
86 Palm St., P.O. Box 69-Nashua, NH 03061.
Date: August 31, 2016
To: Thomas Lopez, Alderman Ward 4
68 East Pearl Street, Apt. 27
Nashua, NH 03060
Subject: Your help.

Dear Alderman Lopez,

We would like you to sponsor a resolution to have the Gilbertsons return our driveway and clothesline area taken in error due to the approval of building permits by city building inspectors.

On 11/23/49, Article IX-Admin., Section 36. Plats Ord. was passed with, 'All applications for building permits shall be accompanied by a plat in dupl., drawn to scale, show'g the actual dimensions, etc.'. The actual dimension is the boundary line in the deed.

On 5/13/71, a building permit issued to Jim Gilbertson of 88 Palm St. was added to the 1950 permit for Leo Caron. Both, were in violation of the 1949 Plats ordinance for not having the actual dimension on the plat.

The actual dimension(confirmed by land survey) for 88 Palm St. along Palm St. has been 51' since 5/14/1886 when property lines on Palm St. were made perpendicular to Ash St. property lines. Leo Caron ignored it on the 1950 bldg. permit with 53.57' on the plat.

When, widow Genevieve Caron sold 88 Palm St. to the Gilbertsons in 1968 she showed them the 1950 building permit with 53.57' along Palm St. approved by the city building inspector to help her sales pitch look good.

Our lot at 86 Palm St. was established in 12/3/1888 with a 3' gap in the north of the last dimension of the deed along Palm Street. On 2/17/62, the Desrosiers Family had lived in our house 20 years eliminating the 3' gap to make the last dimension 33' long.

In March 1973, when our property was vacant due to Joe Desrosiers' passing. Jim Gilbertson who had violated the 1949 Plat ordinance installed a fence in our driveway to match the false actual dim. in violation of RSA 31:102, Obstructing Access to Highways.

The fence is also, in violation of RSA 627:9(1), Curtilage that is protected by the 4th Amendment is part of the house and because the fence was installed beyond the boundary line RSA 635:2 states he is guilty of criminal trespass.

The laws have been ignored and we would like the above corrected so our driveway and clothesline area are returned.

Sincerely,

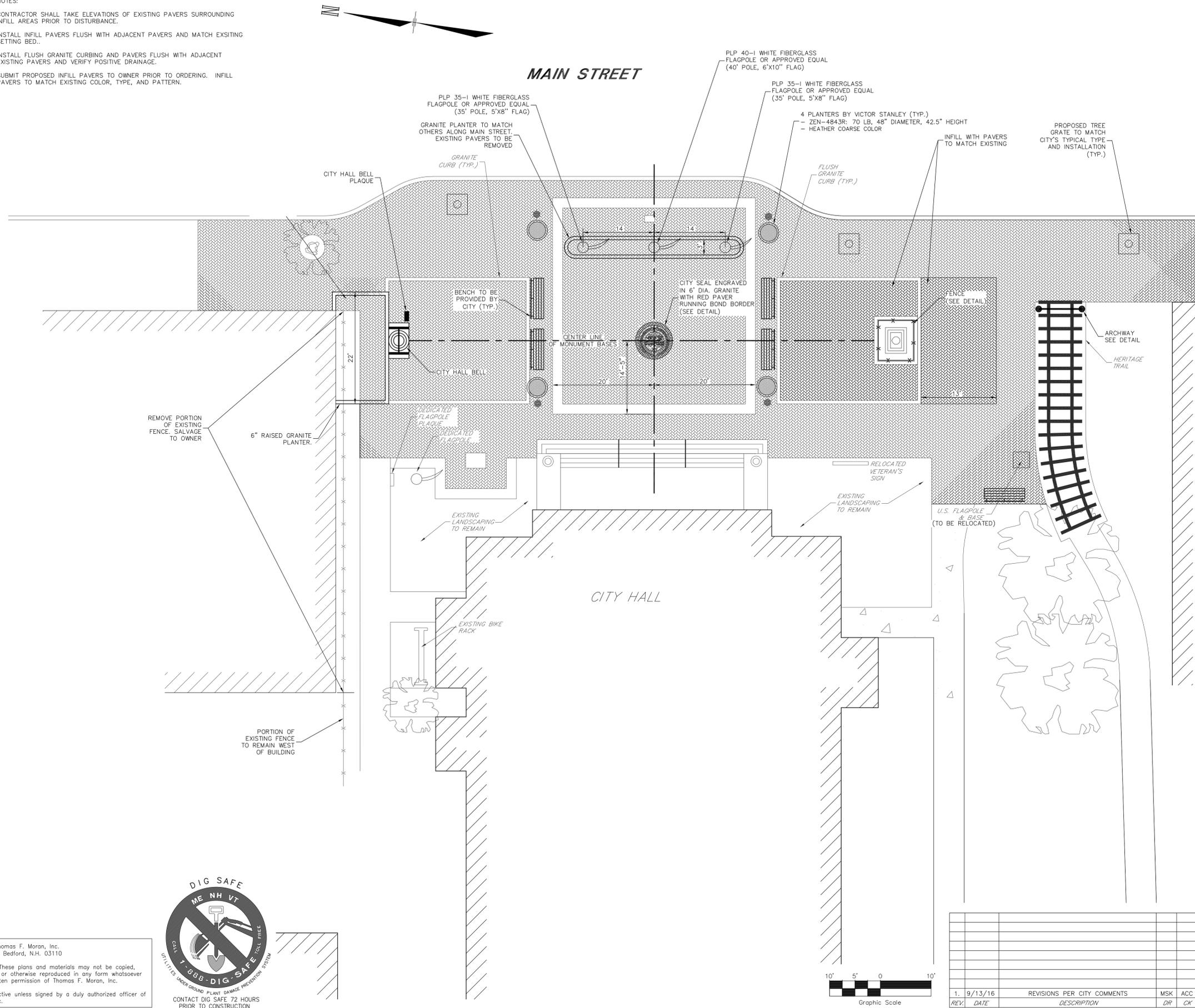


NOTES:

- CONTRACTOR SHALL TAKE ELEVATIONS OF EXISTING PAVERS SURROUNDING INFILL AREAS PRIOR TO DISTURBANCE.
- INSTALL INFILL PAVERS FLUSH WITH ADJACENT PAVERS AND MATCH EXISTING SETTING BED.
- INSTALL FLUSH GRANITE CURBING AND PAVERS FLUSH WITH ADJACENT EXISTING PAVERS AND VERIFY POSITIVE DRAINAGE.
- SUBMIT PROPOSED INFILL PAVERS TO OWNER PRIOR TO ORDERING. INFILL PAVERS TO MATCH EXISTING COLOR, TYPE, AND PATTERN.

NOTES

- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF NASHUA, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- NO UTILITY RESEARCH HAS BEEN PERFORMED BY THIS OFFICE. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY LOCATIONS OF EXISTING UTILITIES.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE SITE AND ALL SURROUNDING CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
- ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- IN ACCORDANCE WITH RSA 430:53 AND Agr 3800, THE CONTRACTOR SHALL NOT TRANSPORT INVASIVE SPECIES OFF THE PROPERTY, AND SHALL DISPOSE OF INVASIVE SPECIES ON-SITE IN A LEGAL MANNER.
- THE SITE CONTRACTOR SHALL PREPARE, MAINTAIN, AND EXECUTE A S.W.P.P.P. IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT.
- THE SITE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN eNOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE.
- THE EROSION CONTROL PRACTICES SHALL BE SUPPLEMENTED BY THE SITE CONTRACTOR AS NEEDED.
- THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS AND ALIGNMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE CONDITIONS AT THE SITE. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ENGINEER.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE SITE AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.
- IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
- THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. TFMORAN INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
- TFMORAN INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.



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AMENDED SITE LAYOUT PLAN
CITY HALL PLAZA
NASHUA, NH
 PREPARED FOR
THE CITY OF NASHUA

SCALE: 1"=10' JULY 26, 2016

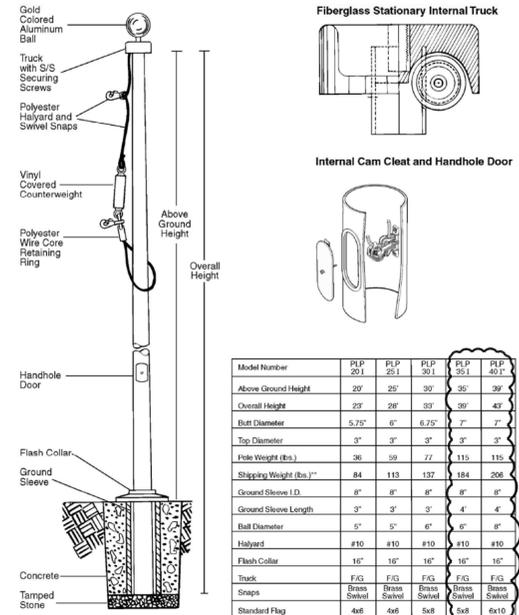
REV.	DATE	DESCRIPTION	DR	CK	MSK	ACC
1.	9/13/16	REVISIONS PER CITY COMMENTS			MSK	ACC

TFM Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists

48 Constitution Drive, Bedford, NH 03110
 Phone (603) 472-4488
 Fax (603) 472-9747
 www.tfmoran.com

FILE: 17458.04
 DR: MSK
 CK: ACC
 FB: FB
 CADFILE: 17458.04 SITE

SHEET 1 OF 4



Model Number	PLP 20 I	PLP 25 I	PLP 30 I	PLP 35 I	PLP 40 I
Above Ground Height	20'	25'	30'	35'	39'
Overall Height	22'	28'	33'	39'	43'
Butt Diameter	5.75"	6"	6.75"	7"	7"
Top Diameter	3"	3"	3"	3"	3"
Pole Weight (lbs.)	36	59	77	115	115
Shipping Weight (lbs.)**	84	113	137	184	206
Ground Sleeve I.D.	8"	8"	8"	8"	8"
Ground Sleeve Length	3"	3"	3"	4"	4"
Ball Diameter	5"	5"	6"	6"	8"
Halyard	#10	#10	#10	#10	#10
Flash Collar	16"	16"	16"	16"	16"
Truck	P.G.	P.G.	P.G.	P.G.	P.G.
Snaps	Brass Swivel				
Standard Flag	4x6	4x6	5x8	5x8	6x10

*This pole is equipped with a ground set extension which fits into the ball of the pole. The entire assembly then slides into the ground sleeve. Detailed instructions come with each pole.
**Shipping weight includes weight of packaging and fittings.

GENERAL INSTALLATION INSTRUCTIONS FOR FIBERGLASS GROUND SET INTERNAL HALYARD FLAGPOLE 20' - 40'

- FLAGPOLE AND FITTINGS ASSEMBLY - (continued)**
- Slip the flash collar over the pole, if supplied.
 - Slip the retaining ring over the pole.
 - Thread the halyard (sticking out from the top of the pole) inside the truck and out over the sheave (pulley). **[If using revolving truck adapter, thread the halyard inside the revolving truck adapter, then inside the truck and out over the sheave (pulley).]** Using a bowline knot, tie the halyard to the counterweight which is attached to the retaining ring. (see illus.)
 - Attach snaps to the halyard (see illus.) and adjust the spacing between the two snaps to match the flag grommets.
 - Apply Loctite to the threads of the gold ball and screw into the truck. **DO NOT** apply turning force on the ball. Use pliers on the spigote to tighten. Tighten the lock nut. **[For revolving truck adapters, apply Loctite to the revolving adapter threads and screw the ball, truck, and adapter assembly into the top of the pole.]**
 - Place the ball truck assembly into the top of the pole. Drill 3 holes with a 1/8" bit, 120 degrees apart, through the shaft and truck stem about 1.5" from the top of the pole. Secure the truck to the pole with the self-tapping screws provided.

- FLAGPOLE INSTALLATION**
- When the cement is firmly set, remove the upper 2/3 of the plastic wrap from the pole, raise the pole upright, and lower into the sleeve. Rotate the pole so the pulley faces a direction away from the prevailing wind.
 - Cut strips lengthwise from a cedar shingle (wedges) and push them part way down between the pole and sleeve in 3 or 4 places. Double the shims, if necessary, to keep them from dropping in the space. The shims can be used to plumb the pole by sliding opposite shims up or down as necessary. Use a level to plumb the pole. Be aware, the pole is tapered and the bubble will not indicate on center but should remain in the same relative position as it's placed against the pole on all sides.
 - When the plumb is established, pack the area between the pole and the sleeve with dry sand and tamp it firmly. Break off the shims level with the sleeve.
 - Remove the rest of the plastic wrap.

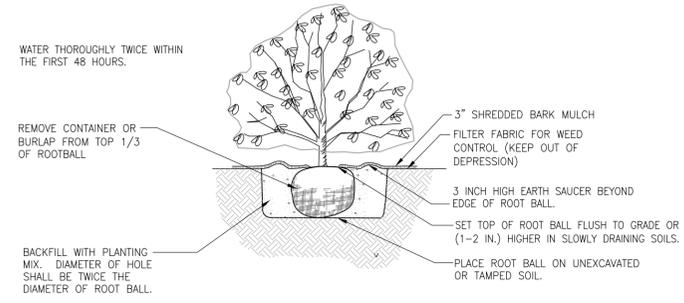
- CARING FOR YOUR FIBERGLASS FLAGPOLE**
- To operate the cam cleat, pull downward on the halyard and move to the sheave to release and opposite to secure. Always be aware of the counterweight above and be sure the halyard is safely secured in the cam before releasing.
 - Dirt on the pole comes mostly from a dirty halyard. The polyester halyard is machine washable. Replace the halyard often.
 - Wipe off dirt marks with soap and water using a sponge. With white poles, stains or old dirt can often be removed with a mild bleach solution. **DO NOT** use sandpaper or any abrasive material on the surface. The pole can be polished with a non-abrasive cleaning compound recommended for fiberglass surfaces.
 - Proper flag etiquette precludes flying the flag in inclement weather. Furthermore, the flag should not be flown in high winds. It can damage the pole and place unnecessary wear on the flag.

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LANDSCAPE SPECIFICATIONS

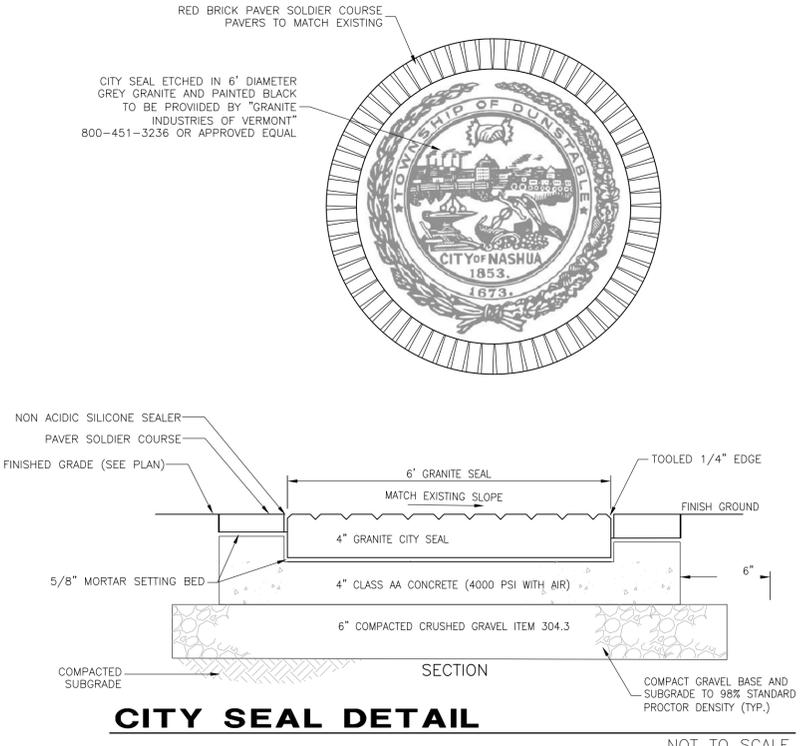
- SITE AND SOIL PREPARATION**
- WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, ADVERSE DRAINAGE CONDITIONS, OR LEDGE, NOTIFY LANDSCAPE ARCHITECT/ENGINEER BEFORE PLANTING.
 - LOAM SHALL CONSIST OF LOOSE, FRIABLE TOPSOIL WITH NO ADMIXTURE OF REFUSE OR MATERIAL TOXIC TO PLANT GROWTH. LOAM SHALL BE FREE FROM STONES, LUMPS, STUMPS, OR SIMILAR OBJECTS LARGER THAN TWO INCHES (2") IN GREATEST DIAMETER, SUBSOIL, ROOTS, AND WEEDS. THE MINIMUM AND MAXIMUM PH VALUE SHALL BE FROM 5.5 TO 7.6. LOAM SHALL CONTAIN A MINIMUM OF THREE PERCENT (3%) AND A MAXIMUM OF TWENTY PERCENT (20%) ORGANIC MATTER AS DETERMINED BY LOSS BY IGNITION. NOT MORE THAN SIXTY-FIVE PERCENT (65%) SHALL PASS A NO. 200 SIEVE AS DETERMINED BY THE WASH TEST IN ACCORDANCE WITH ASTM D1140. IN NO INSTANCE SHALL MORE THAN 20% OF THAT MATERIAL PASSING THE #4 SIEVE CONSIST OF CLAY SIZE PARTICLES.

- PLANTING**
- MULCH TREES, SHRUBS, PLANTERS AND BEDS. PROVIDE NOT LESS THAN 3" THICKNESS OF BARK MULCH, 3/8"-2" OF WIDTH, AND WORK INTO TOP OF BACKFILL. FINISH LEVEL WITH ADJACENT FINISH GRADES AS DIRECTED IN THE FIELD.
 - STAKE AND GUY TREES IMMEDIATELY AFTER PLANTING (TREE SUPPORT STAKES SHALL BE 2" X 3" X 8", WOOD STAKES, GUYING WIRE SHALL BE NO. 12 GAUGE GALVANIZED SOFT STEEL WIRE. HOSE FOR COVERING WIRE SHALL BE NEW OR USED TWO PLY RUBBER HOSE NOT LESS THAN 1/2 INCH INSIDE DIAMETER. (PLASTIC "CINCH-TIES" OR EQUIVALENT FASTENING DEVICE MAY BE AN ACCEPTABLE GUY WIRE AND HOSE PROTECTOR SUBSTITUTE.)
 - ALL PLANT MATERIALS SHALL HAVE DEAD OR DAMAGED BRANCHES REMOVED AT TIME OF PLANTING. ALL TAGS AND RIBBONS SHALL BE REMOVED AT THIS TIME.
 - TREES TO REMAIN STAKED FOR 1 FULL GROWING SEASON.



SHRUB PLANTING

NOT TO SCALE



CITY SEAL DETAIL

NOT TO SCALE

GENERAL INSTALLATION INSTRUCTIONS FOR FIBERGLASS GROUND SET INTERNAL HALYARD FLAGPOLE 20' - 40'

IMPORTANT

- Please read and understand these instructions before installing your flagpole.
- It is important to select a location for your pole where it cannot be struck by automobiles, bicycles, lawn mowers, or any object that can damage it. It is most important to avoid any overhead obstructions. AVOID ANY LOCATION IN THE VICINITY OF POWER LINES.
- It is most important that you are aware of any gas or power lines or any type of obstruction below ground. Always contact your local "Dig Safe" service before digging or excavating the area.
- Do not allow the pole to lie around a job site. Keep the pole straight and dry during storage and erect as soon as possible after delivery.
- DO NOT allow children to operate a flagpole unattended.
- DO NOT climb flagpoles and DO NOT lean ladders against flagpoles.

PARTS LIST

- Flagpole Shaft with Halyard (rope) and Internal Cam Cleat inside
- Ground Sleeve
- 7' Butt Extension (for 40' pole only)
- FLAGPOLE FITTINGS:
 - Gold Ball (1)
 - Door and Keys (attached to pole)
 - Flag Snaps (2)
 - Truck (pulley assembly) with Self-tapping screws
 - Tube of Loctite (1)
 - Decorative Flash Collar
 - Polyester Retaining Ring
 - Vinyl-covered Counterweight

TOOLS & ACCESSORIES REQUIRED (Items not supplied by manufacturer).

- Level
- Pliers
- Screwdriver
- Cedar Wedges
- Dry Sand
- Cement
- Drill and Drill Bit
- Sledgehammer
- Shovel/Excavating Tools
- Crushed Stone

FOUNDATION

The foundation requirements depend on the height of the pole, the butt diameter, and most importantly the type of ground content, i.e., gravel, dirt, sand, etc.

- Dig a hole 3 to 4 times the diameter of the pole and deep enough for the ground sleeve to be flush with the surface. (If the ground is soft or sandy, increase the diameter of the hole.)
- Center the ground sleeve in the hole and fill about 2" of crushed stone in and around the ground sleeve for drainage.
- Fill around the ground sleeve with cement. When the hole is about 1/2 full, plumb the sleeve by placing a level into the sleeve at 2 points 90 degrees apart. As you continue adding cement, be sure the sleeve remains plumb.

FLAGPOLE AND FITTINGS ASSEMBLY

- Leave the plastic wrap on the pole for protection.
- Skip to step 4 if butt extension is pre-installed.
- If installing a 40' pole, the extension is to be installed at this time. It is designed to predrill 3.5" - 4" from the end of the pole. It becomes the part of the pole that goes into the sleeve so the entire finished part of the pole shows above grade. Insert the extension into the butt end of the pole, making sure both the inside and outside of the pole are free of sand/debris. The extension is marked, showing which end goes in the pole. Using a 2 X 4 as a buffer on the bottom of the extension, strike the board with a sledgehammer, to ensure a snug fit. The extension should NOT show above grade. If the extension is too long, cut off the excess amount with a hacksaw. DO NOT force inside pole.

Page 1 of 2



ZEN

Fiberglass planters feature a classic vase silhouette with a flared rim, tapered body and narrow base. Drain holes.

- Dimensions (approximate):
- Zen-2418R: 40 lb (18 kg), 24 in (610 mm) diameter, 18.75 in (476 mm) height.
 - Zen-3026R: 50 lb (23 kg), 30 in (762 mm) diameter, 26.25 in (667 mm) height.
 - Zen-3831R: 60 lb (27 kg), 38.5 in (978 mm) diameter, 31.5 in (800 mm) height.
 - Zen-4843R: 70 lb (32 kg), 48 in (1219 mm) diameter, 42.5 in (1080 mm) height. (OR APPROVED EQUAL)

STANDARD

Handmade using applied layers of glass-fiber reinforced thermosetting resin. Seamless construction. Drain holes standard

RETURN TO STANDARD VIEW

FEATURES

- False Bottom
- Fire-Retardant Resin

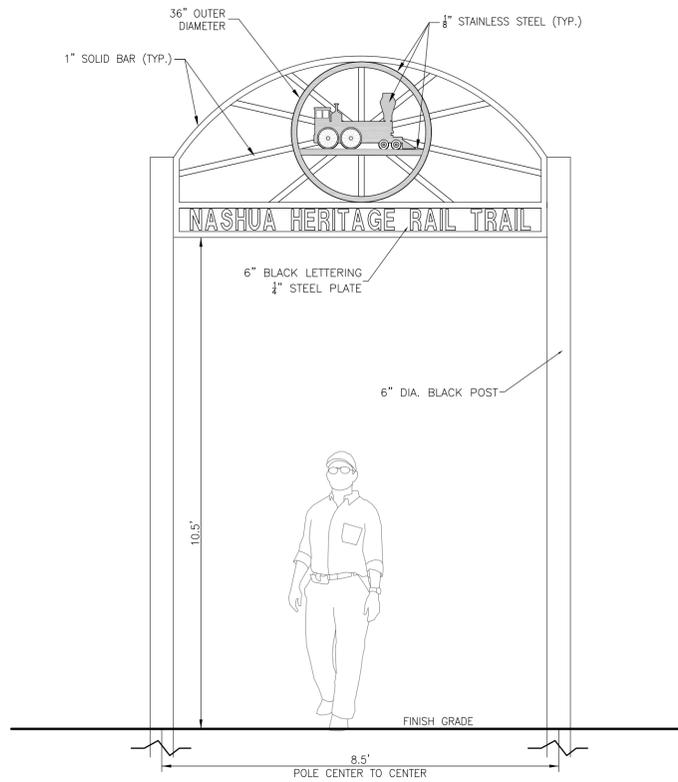


REV.	DATE	DESCRIPTION	MSK	ACC
1.	9/13/16	REVISIONS PER CITY COMMENTS	MSK	ACC
			DR	CK

AMENDED DETAIL SHEET
CITY HALL PLAZA
NASHUA, NH
PREPARED FOR
THE CITY OF NASHUA
SCALE: AS NOTED **JULY 26, 2016**

TFM Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists
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Phone (603) 472-4488
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www.tfmoran.com

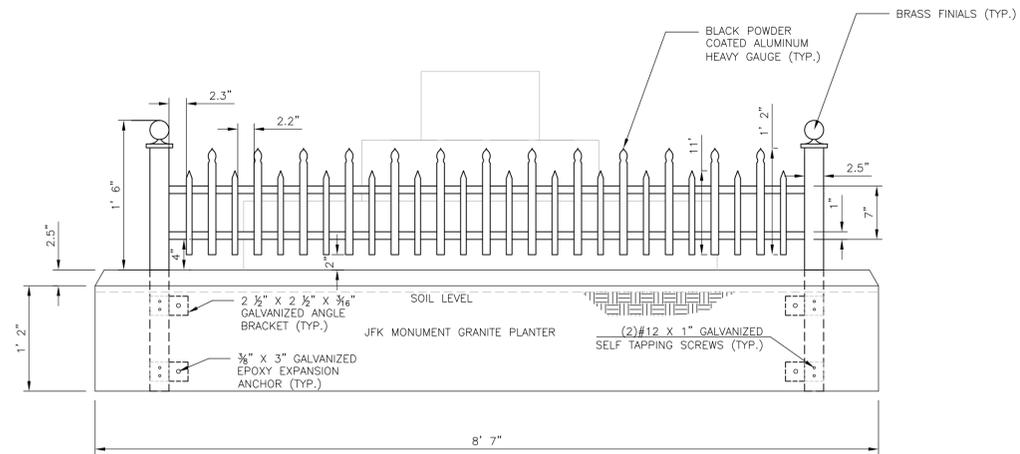
17458.04 DR MSK FB 17458.03 DETAILS SHEET 3 OF 4



NOTES:
 1. DETAILED SHOP DRAWING OF SUPERSTRUCTURE AND FOUNDATION SHOWING FABRICATION AND DESIGN LAYOUT TO BE PROVIDED BY CONTRACTOR.
 2. MINIMUM DESIGN WIND LOAD 90 MPH PER ASCE 7.
 3. SUBMIT DESIGN CALCULATIONS OF SUPERSTRUCTURE AND FOUNDATION FOR APPROVAL PRIOR TO CONSTRUCTION.
 4. COATING SYSTEM TO INCLUDE ZINC-RICH PRIMER, 6 MIL EPOXY BUILD COATS, AND 3 MIL URETHANE TOPCOAT.

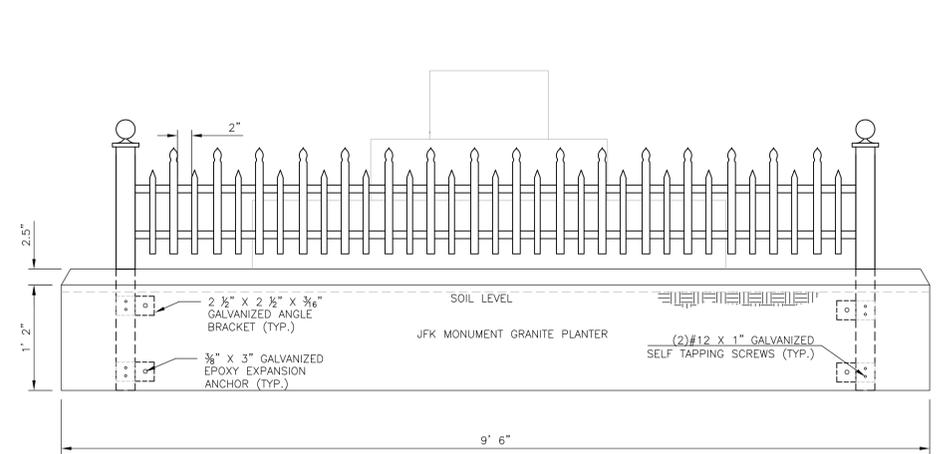
ARCHWAY DETAIL

NOT TO SCALE



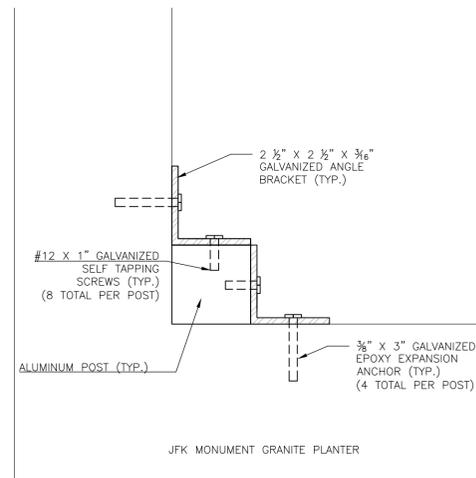
FENCE PARALLEL TO ROAD

NOT TO SCALE



FENCE PERPENDICULAR TO ROAD

NOT TO SCALE



END POST ANCHORING

NOT TO SCALE

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AMENDED DETAIL SHEET
CITY HALL PLAZA
NASHUA, NH
 PREPARED FOR
THE CITY OF NASHUA

SCALE: AS NOTED JULY 26, 2016

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	Traffic Engineers	Phone (603) 472-4488
	Land Surveyors	Fax (603) 472-9747
	Landscape Architects	www.tfmoran.com
	Scientists	

FILE	17458.04	DR	AJ	FB	—	CK	RED	CADFILE	17458.03 DETAILS	SHEET 4 OF 4
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THE CITY OF NASHUA

Division of Public Works

Administration

"The Gate City"

MEMORANDUM

Date: August 19, 2016

To: Tracy Pappas, Commissioner
Board of Public Works

From: Lisa Fauteux, Director
Division of Public Works

Re: Intersection of Lock and Cross

The American Association of State Highway and Transportation Officials has published standards for minimum sight distances recommended on roadways. The minimum sight distance for a collector road such as Lock Street would typically be about 200 feet (30 miles per hour-mph). The measured available sight distances on Lock Street are as follows:

Lock Street eastbound – 200 feet
Lock Street westbound – 150 feet

The sight distance is obstructed by a utility pole, fences and vegetation. There is not sufficient sight distance available for westbound motorists on Lock Street to detect a vehicle waiting on the side streets at Cross Street.

Although the Division does not have any current turning movement counts to conduct a warrant analysis, the Manual on Uniform Traffic Control devices does recognize an all way stop as a measure to address roadway safety when the available sight distance is less than adequate.

There is a lot of vehicular and pedestrian traffic in this area (there is a convenience store on the northwest corner). An all way stop at the intersection is recommended based on the lack of available sight distance at the intersection. There are already stop signs located at the Cross Street approaches. Stop signs should be added on the Lock Street approaches once approved by the Board of Alderman. To enhance this change, Stop Bars and the word "stop" should be painted on all four approaches to the intersection.