

1. Planning Board Regular Meeting Agenda - Amended (PDF)

Documents:

[20161117 NCPB AGENDA AMENDED1.PDF](#)

2. Planning Board Staff Reports And Plans

Documents:

[20161117 200 AND 275 INNOVATIVE WAY SUBDIVISION PLAN.PDF](#)
[20161117 200 AND 275 INNOVATIVE WAY SUBDIVISION STAFF REPORT.PDF](#)
[20161117 539 AMHERST ST SUBDIVISION STAFF REPORT.PDF](#)
[20161117 539 AMHERST ST SUBDIVISION PLAN.PDF](#)
[20161117 537 AND 539 AMHERST ST SITE PLAN STAFF REPORT.PDF](#)
[20161117 537 AND 539 AMHERST ST SITE PLAN.PDF](#)
[20161117 122 MANCHESTER ST SITE PLAN STAFF REPORT REVISED.PDF](#)
[20161117 122 MANCHESTER ST SITE PLAN.PDF](#)



City of Nashua
Planning Department
229 Main Street
Nashua, New Hampshire 03061-2019

Planning & Zoning 589-3090
Fax 589-3119
WEB www.nashuanh.gov

November 17, 2016

AMENDED AGENDA

To: NCPB Members

From: Planning Staff

Re: Meeting, November 17, 2016

A regular meeting of the Nashua City Planning Board will be held on Thursday, at 7:00 p.m. in the City Hall Auditorium, 3rd floor, 229 Main Street. The Planning Staff will be available at 6:30 p.m. to answer any questions the Board or Public might have concerning the following proposed agenda.

- A. Call to Order
- B. Roll Call
- C. Approval of Minutes – November 3, 2016
- D. Communications
- E. Report of Chairman, Committee, & Liaison
- F. Executive Session

OLD BUSINESS – CONDITIONAL / SPECIAL USE PERMITS

None

OLD BUSINESS - SUBDIVISION PLANS

None

OLD BUSINESS – SITE PLANS

None

NEW BUSINESS – CONDITIONAL / SPECIAL USE PERMITS

None

NEW BUSINESS – SUBDIVISION PLANS

1. John J. Flatley Company (Owner). Proposed subdivision of the restaurant development and consolidation of two lots. Property is located at 200 & 275 Innovative Way. Sheet A, Lots 798 & 1012. Zoned PI-Park Industrial and RC-Urban Residence. Ward 8. **(Postponed to the December 1, 2016 Meeting.)**

NEW BUSINESS – SUBDIVISION PLANS

2. Walter W. Anderson (Owner) Holland Hampshire, LLC (Applicant) - Application and acceptance of proposed two lot subdivision. Property is located at 539 Amherst Street. Sheet H - Lot 88. Zoned "HB" Highway Business. Ward 2. **(Postponed from the November 3, 2016 Meeting)**

NEW BUSINESS – SITE PLANS

3. Walter W. Anderson (Owner) Holland Hampshire, LLC (Applicant) - Application and acceptance of proposed site plan to demolish the existing building and construct a proposed 6,750 sf vehicle repair/service building along with associated site improvements. 4 Property is located at 539 Amherst Street. Sheet H - Lot 88. Zoned "HB" Highway Business. Ward 2. **(Postponed from the November 3, 2016 Meeting)**
4. Raisanen Homes, Elite, LLC (Applicant) Henry P. and Mary E. Castonguay Rev Trust (Owner) - Application and acceptance of proposed 10 lot condominium site plan. Property is located at 738 West Hollis Street. Sheet D - Lot 75. Zoned "R9" Suburban Residence. Ward 5. **(Postponed to the December 1, 2016 Meeting.)**
5. Diane E. Gimber and Bishop Real Estate Management, Inc. (Owners) Granite Green Investment Partners (Applicant) Application and acceptance of proposed 18-Unit Age Restricted Housing Condominium Site Plan development. Property is located at 122 Manchester Street. Sheet 59 - Lot 135. Zoned "RA" Urban Residence. Ward 2. **(Postponed to the December 1, 2016 Meeting.)**

OTHER BUSINESS

1. Review of tentative agenda to determine proposals of regional impact.
2. Referral from the Board of Aldermen on proposed, O-16-020, clarifying and updating the elderly housing supplemental use regulations. **(Tabled from the November 3, 2016 Meeting)**

DISCUSSION ITEM

None

NONPUBLIC SESSION

The Planning Board will need to make a motion to enter into a Nonpublic Session under RSA 91-A:3, II (e) for consideration or negotiation of pending claims or litigation which has been threatened in writing or filed against the public body.

NEXT MEETING

December 1, 2016

ADJOURN

WORKSHOP

ACCOMMODATIONS FOR THE SENSORY IMPAIRED

**"SUITABLE ACCOMMODATIONS FOR THE SENSORY IMPAIRED
WILL BE PROVIDED UPON ADEQUATE ADVANCE NOTICE."**

CONDUCT AT PLANNING BOARD MEETING

When the meeting is called to order, the only talking allowed in the Auditorium will be remarks addressed to the Chairman. Except for the original presentation of the subject or application, each person speaking for or against shall be limited to five (5) minutes until all have been given an opportunity to be heard, at which time each person may be allowed additional time if deemed necessary by the Board or the Chairman. When you are recognized by the Chairman, proceed to the podium, using the microphone, state your name and address and then make your comments. Courtesy is shown when you reserve your comments for the proper time.

PLEASE BE COURTEOUS

By Order of the Chair

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Scott McPhie, Planner 1
FOR: November 17, 2016
RE: **New Business # 1 – Subdivision**

I. Project Statistics:

Owner: John J. Flatly Company
Proposal: Subdivision and lot consolidation plan
Location: 200 & 275 Innovative Way
Total Site Area: 127.963 Acres
Existing Zoning: PI- Park Industrial Highway Business
Surrounding Uses: Commercial & Industrial

II. Background Information:

This site is part of the larger Gateway Hills development, formerly known as Nashua Technology Park. The Flatley Company has assembled a number of parcels over the years, which now encompass approximately 400-acres of contiguous land. The proposed restaurant is bordered by Innovative Way and will become lot A-1013, containing 2.637 acres. Lot A-1012, containing 4.404 acres, will be consolidated into lot A-798. Lot A-798 will increase in size to 129.729 acres. The Planning Board approved the proposal to amend NR 2165 to construct a 7,500 sf restaurant on August 4, 2016 (enclosed).

III. Project Description:

The purpose of the plan is to subdivide out the restaurant development and consolidate tax map parcel A-1012 with Tax map parcel A-798. Each lot will be serviced by Pennichuck Water Works and the City sewer. The new lot will access onto Innovative Way and have respective addresses of 200 & 275 Innovative Way. The site plan will be required to be updated reflecting all changes to the various plans within the Flatley property complex.

City staff has reviewed this proposal and have no additional comments at this time.

Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-138(G). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board of that approval:

1. Prior to the Chair signing the plan, minor drafting corrections will be made.

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Scott McPhie, Planner 1
FOR: November 03, 2016
RE: **New Business # 5 - Subdivision Plan**

I. Project Statistics:

Owner: Walter W. Anderson
Applicant: Holland Hampshire, LLC
Proposal: Subdivide one lot into two
Location: 535 & 537 Amherst Street
Total Site Area: 57,911 sf
Existing Zoning: HB- Highway Business
Surrounding Uses: Commercial & Residential

II. Background Information:

The original building on the site was constructed before 1953 and enlarged over time evolving into various commercial uses. The most recent use was a restaurant and consignment store. A lot line relocation plan between lots 129 & 88 was approved in 1975. The Nashua Conservation Commission provided a positive recommendation for the project on July 6, 2016. The Zoning Board granted a special exception on August 9, 2016 for parking within the 150-water quality protection district and a variance for parking in the front yard setback.

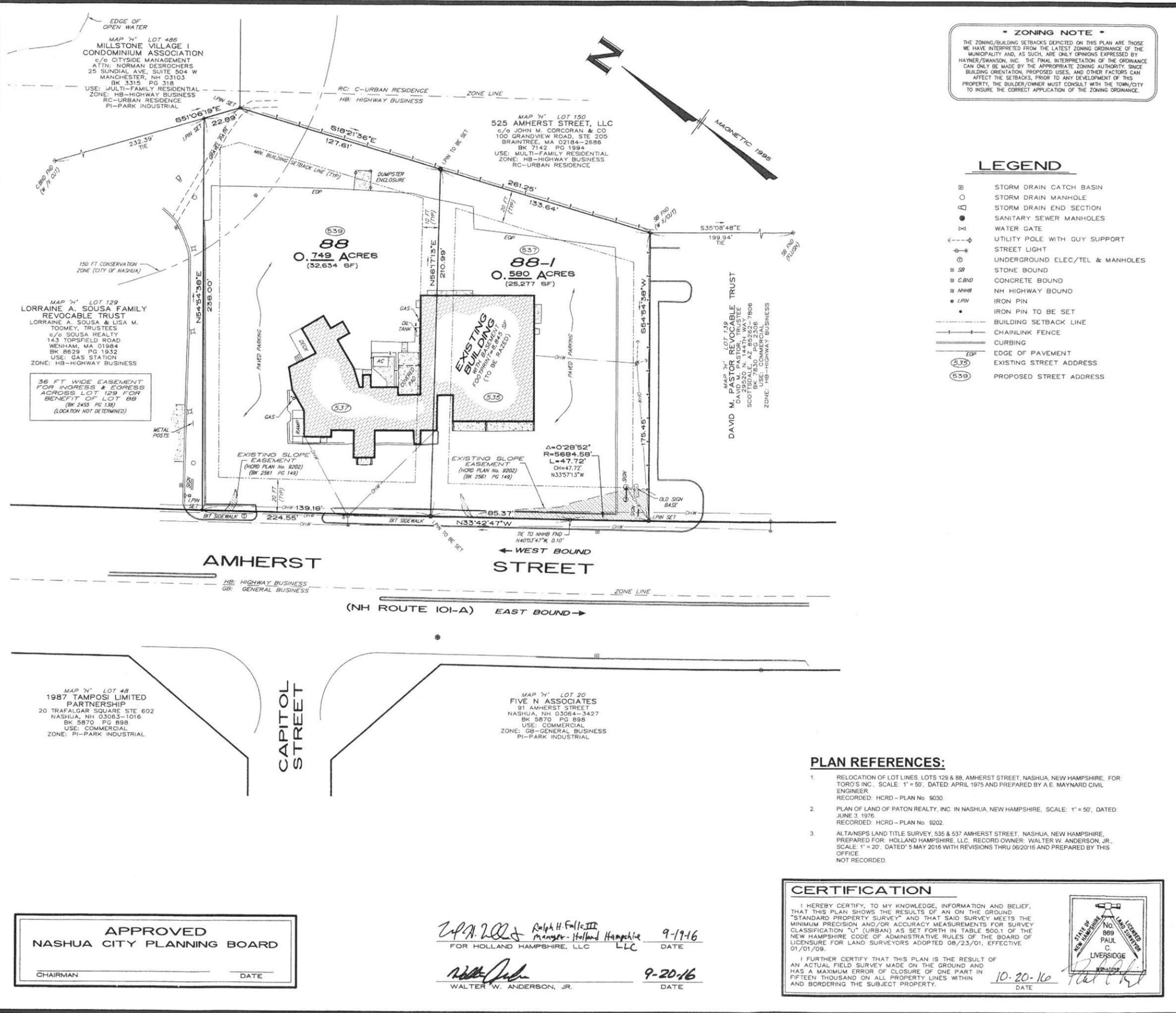
III. Project Description:

The purpose of the plan is to show the proposed subdivision of lot 88 into two new lots, being lots 88 and 652. Lot 88-1 will be corrected on the final plan set to read lot 652. The existing structures on both new lots will be razed. Each lot will be serviced by Pennichuck Water Works and the City sewer. The two new lots will access onto Amherst Street by the existing curb cut and have respective addresses of 537 & 539 Amherst Street. New lot 652 will be seeded and stabilized.

Staff Recommendations and Findings:

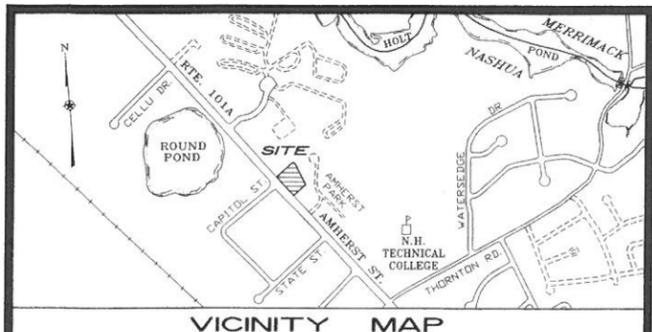
The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-138(G). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board of that approval:

1. Prior to the Chair signing the plan, minor drafting corrections will be made.



*** ZONING NOTE ***
 THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

- LEGEND**
- STORM DRAIN CATCH BASIN
 - STORM DRAIN MANHOLE
 - △ STORM DRAIN END SECTION
 - SANITARY SEWER MANHOLES
 - ⊠ WATER GATE
 - ⊕ UTILITY POLE WITH GUY SUPPORT
 - ⊙ STREET LIGHT
 - ⊖ UNDERGROUND ELEC/TEL & MANHOLES
 - ▭ STONE BOUND
 - ▭ C.BND CONCRETE BOUND
 - ▭ NHNB NH HIGHWAY BOUND
 - IRON PIN
 - IRON PIN TO BE SET
 - BUILDING SETBACK LINE
 - CHAINLINK FENCE
 - CURBING
 - EOP EDGE OF PAVEMENT
 - ⑤③③ EXISTING STREET ADDRESS
 - ⑤③③ PROPOSED STREET ADDRESS



NOTES:

- SITE AREA:

	ORIGINAL	FINAL
LOT 88	57,911 SF	32,634 SF
LOT 88-1		25,277 SF
TOTAL:	57,911 SF	57,911 SF
- PRESENT ZONING: HB; HIGHWAY BUSINESS

MINIMUM LOT REQUIREMENTS:

 - LOT AREA: 20,000 SF
 - LOT FRONTAGE: 80 FT
 - LOT WIDTH: 100 FT
 - LOT DEPTH: 80 FT

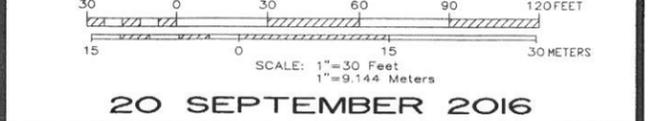
MINIMUM YARD SETBACKS:

 - FRONT YARD: 20 FT
 - SIDE YARD: 10 FT
 - REAR YARD: 20 FT
 - MAX BUILDING HEIGHT: 60 FT
 - MAX STORIES: 5
 - OPEN SPACE (%): 20
 - MAX FLOOR RATIO: 0.75
- LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAP 'H'.
- PURPOSE OF PLAN: TO SHOW THE PROPOSED SUBDIVISION OF LOT 88 INTO TWO NEW LOTS, BEING NEW LOTS 88 & 88-1.
- SITE IS SERVICED BY MUNICIPAL SEWER AND WATER BY PENNICKUCK WATER WORKS.
- MONUMENTS, WHERE REQUIRED, TO BE SET PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY BY A LICENSED LAND SURVEYOR AS FOLLOWS: IRON PINS AT LOT CORNERS.
- THIS PLAN SET CONTAINS A TOTAL OF TWO (2) SHEETS. SHEET 1 SHALL BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. THE REMAINING SHEET IS ON FILE AT THE CITY OF NASHUA PLANNING DEPARTMENT.
- THE STREET ADDRESS WILL BE POSTED ON SITE PRIOR TO THE OCCUPANCY OF A BUILDING.
- THE PARCEL IS LOCATED WITHIN ZONE X AND IS NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE RATE MAP(FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NH. COMMUNITY NO. 330097, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33011C0492D, DATED: SEPTEMBER 25, 2009.
- THE APPLICANT SHALL SUBMIT AN ELECTRONIC FILE OF THE SUBDIVISION PLAN (PLOT) PRIOR TO RECORDING OF THE PLAN.
- THE SUBJECT SITE WAS INSPECTED BY A CERTIFIED WETLAND SCIENTIST ON SEPTEMBER 13, 2016. AT THE DATE OF THE INSPECTION, IT WAS DETERMINED THAT THERE ARE NO WETLANDS OR ASSOCIATED BUFFERS AFFECTING THE PROPERTY.
- PROPERTY MAY BE SUBJECT TO WELL RIGHTS AS DESCRIBED AT HCRD BOOK 1883, PG 151. NO WELL WAS OBSERVED AT THE TIME OF SURVEY. EXISTING WELLS, IF FOUND, SHALL BE ABANDONED IN ACCORDANCE WITH NHDES REGULATIONS.
- PRESENT OWNER OF RECORD:
 MAP 'H', LOT 88
 WALTER W. ANDERSON, JR.
 537 AMHERST STREET
 NASHUA, NH 03063
 BK 8584, PG 809

No.	DATE	REVISION	BY
1	10/18/16	ADDRESS STAFF REVIEW COMMENTS	TEZ

SUBDIVISION PLAN
 (MAP 'H', LOT 88)
535 & 537 AMHERST STREET
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR:
HOLLAND HAMPSHIRE, LLC
 1310 SOUTH TRYON ST., SUITE 104 CHARLOTTE, NC 28203 (704) 333-4244

RECORD OWNER:
WALTER W. ANDERSON, JR.
 537 AMHERST STREET NASHUA, NEW HAMPSHIRE 03063



HSI Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors
 Three Congress Street Nashua, New Hampshire 03062-3301
 Tel (603) 883-2057 Fax (603) 883-5057
 www.hayner-swanson.com

- PLAN REFERENCES:**
- RELOCATION OF LOT LINES, LOTS 129 & 88, AMHERST STREET, NASHUA, NEW HAMPSHIRE, FOR TORO'S INC., SCALE: 1" = 50', DATED APRIL 1975 AND PREPARED BY A. E. MAYNARD CIVIL ENGINEER. RECORDED: HCRD - PLAN No. 6030.
 - PLAN OF LAND OF PATON REALTY, INC. IN NASHUA, NEW HAMPSHIRE, SCALE: 1" = 50', DATED JUNE 3, 1976. RECORDED: HCRD - PLAN No. 9202.
 - ALTA/NSPS LAND TITLE SURVEY, 535 & 537 AMHERST STREET, NASHUA, NEW HAMPSHIRE, PREPARED FOR: HOLLAND HAMPSHIRE, LLC, RECORD OWNER: WALTER W. ANDERSON, JR., SCALE: 1" = 20', DATED: 5 MAY 2016 WITH REVISIONS THRU 08/20/16 AND PREPARED BY THIS OFFICE. NOT RECORDED.

CERTIFICATION

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/09.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

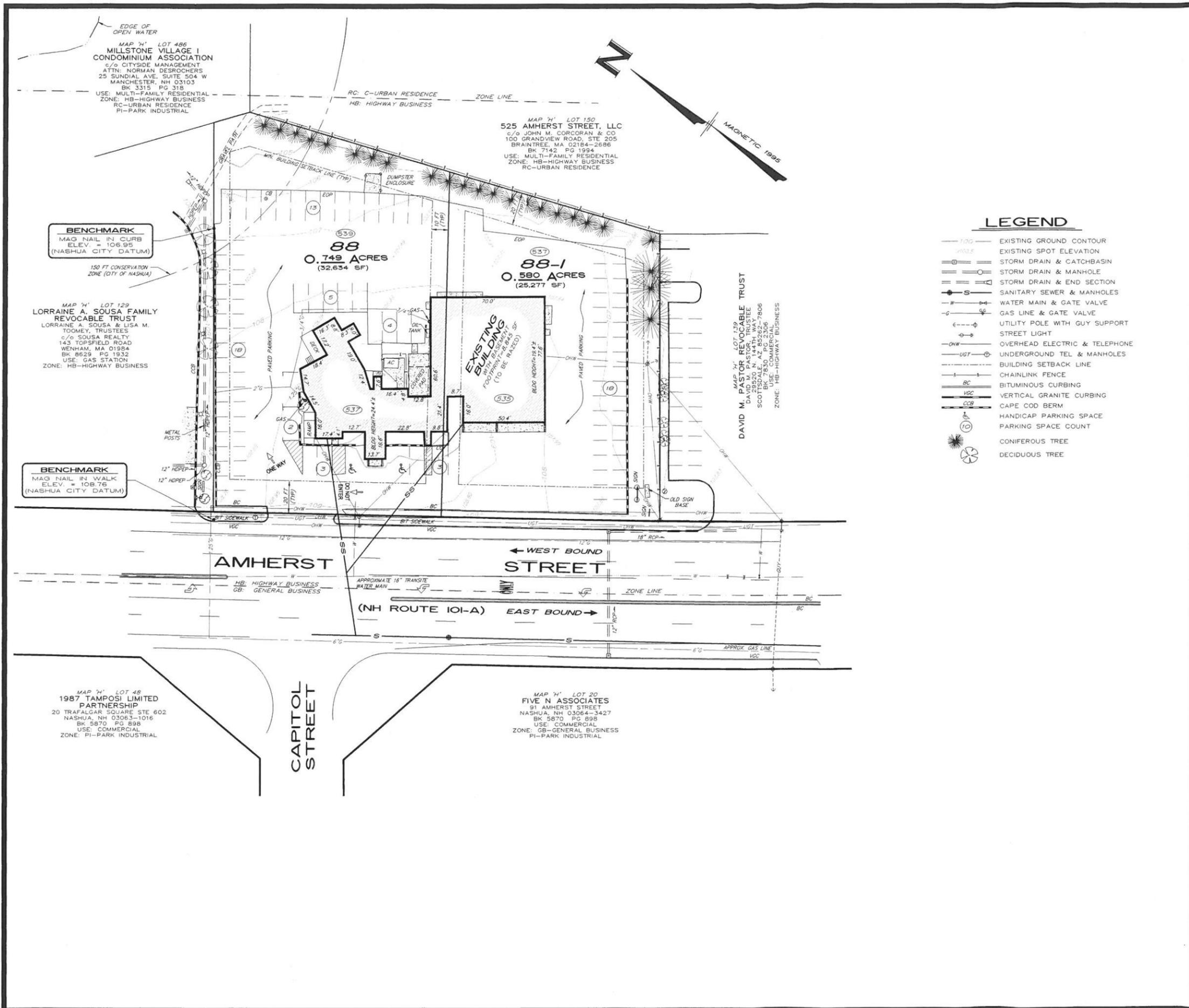
10-20-16 DATE

APPROVED
 NASHUA CITY PLANNING BOARD

CHAIRMAN _____ DATE _____

Ralph H. Follen III
 Manager - Holland Hampshire LLC
 9-19-16 DATE

Walter W. Anderson, Jr.
 9-20-16 DATE



GENERAL NOTES:

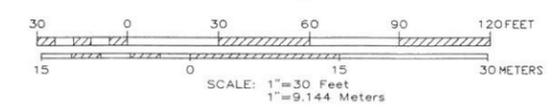
- 1 THE EXISTING TOPOGRAPHY, AS SHOWN ON THIS PLAN, IS BASED ON AN ACTUAL GROUND SURVEY MADE DURING APRIL AND MAY 2016.
- 2 THE NASHUA CITY DATUM HAS BEEN USED ON THIS PROJECT. (NASHUA CITY DATUM TO NAVD 1988 = + 89.77)
- 3 UNDERGROUND UTILITY INFORMATION SUMMARY
 - GAS LOCATIONS SHOWN PER PHYSICAL EVIDENCE, DIGSAFE MARKINGS (REQUESTED BY OTHERS) AND PLANS PROVIDED BY LIBERTY UTILITIES.
 - WATER LOCATIONS PER PHYSICAL EVIDENCE AND PLANS PROVIDED BY PENNICHUCK WATER WORKS.
 - UNDERGROUND TELEPHONE SHOWN PER PHYSICAL EVIDENCE, DIGSAFE MARKINGS (REQUESTED BY OTHERS). PLANS HAVE BEEN REQUESTED FROM FAIRPOINT COMMUNICATIONS BUT HAVE NOT YET BEEN RECEIVED.
 - SEWER SERVICE LOCATIONS SHOWN PER SITE PLANS AND SEWER SERVICE PERMIT PROVIDED BY CITY OF NASHUA.

LEGEND

- 100 — EXISTING GROUND CONTOUR
- 103.5 — EXISTING SPOT ELEVATION
- [Symbol] — STORM DRAIN & CATCHBASIN
- [Symbol] — STORM DRAIN & MANHOLE
- [Symbol] — STORM DRAIN & END SECTION
- [Symbol] — SANITARY SEWER & MANHOLES
- [Symbol] — WATER MAIN & GATE VALVE
- [Symbol] — GAS LINE & GATE VALVE
- [Symbol] — UTILITY POLE WITH GUY SUPPORT
- [Symbol] — STREET LIGHT
- [Symbol] — OVERHEAD ELECTRIC & TELEPHONE
- [Symbol] — UNDERGROUND TEL & MANHOLES
- [Symbol] — BUILDING SETBACK LINE
- [Symbol] — CHAINLINK FENCE
- [Symbol] — BITUMINOUS CURBING
- [Symbol] — VERTICAL GRANITE CURBING
- [Symbol] — CAPE COD BERM
- [Symbol] — HANDICAP PARKING SPACE
- [Symbol] — PARKING SPACE COUNT
- [Symbol] — CONIFEROUS TREE
- [Symbol] — DECIDUOUS TREE

No.	DATE	REVISION	BY
1	10/18/16	ADDRESS STAFF REVIEW COMMENTS	TEZ

TOPOGRAPHIC SUBDIVISION PLAN
 (MAP 'H', LOT 88)
535 & 537 AMHERST STREET
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR:
HOLLAND HAMPSHIRE, LLC
 1310 SOUTH TRYON ST., SUITE 104 CHARLOTTE, NC 28203 (704) 333-4244
 RECORD OWNER:
WALTER W. ANDERSON, JR.
 537 AMHERST STREET NASHUA, NEW HAMPSHIRE 03063



20 SEPTEMBER 2016

HSI Hayner/Swanson, Inc.
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 Tel (603) 883-2057 Fax (603) 883-5057
 www.hayner-swanson.com

FIELD BOOK: 1208	DRAWING NAME: 5413SUB FS31	5413	2 OF 2
DRAWING LOCATION: 0\5413\DWG\5413 SUB		File Number	Sheet

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Scott McPhie, Planner 1
FOR: November 03, 2016
RE: **New Business # 6 - Site Plan**

I. Project Statistics:

Owner: Walter W. Anderson
Applicant: Holland Hampshire, LLC
Proposal: Construct a one-story vehicle repair & service center
Location: 535 & 537 Amherst Street
Total Site Area: 57,911 sf
Existing Zoning: HB- Highway Business
Surrounding Uses: Commercial & Residential

II. Background Information:

The original structure was built before 1953 and enlarged over time evolving into various commercial uses. The most recent use was a restaurant and consignment store. A lot line relocation plan between lots 129 & 88 was approved in 1975. The Nashua Conservation Commission provided a positive recommendation for the project on July 6, 2016. The Zoning Board granted a special exception on August 9, 2016 for parking within the 150-water quality protection district and a variance for parking in the front yard setback (See attached approval letter).

III. Project Description:

The purpose of the plan is to show a proposed 1-story 6,750 SF vehicle repair and service building upon lot 88 along with site improvements upon both lots 88 and 652 (currently shown on the plan as lot 88-1). The existing structures located on both new lots will be razed. The new lots will be serviced by Pennichuck Water Works and City sewer with access onto Amherst Street and respective addresses of 537 & 539 Amherst Street.

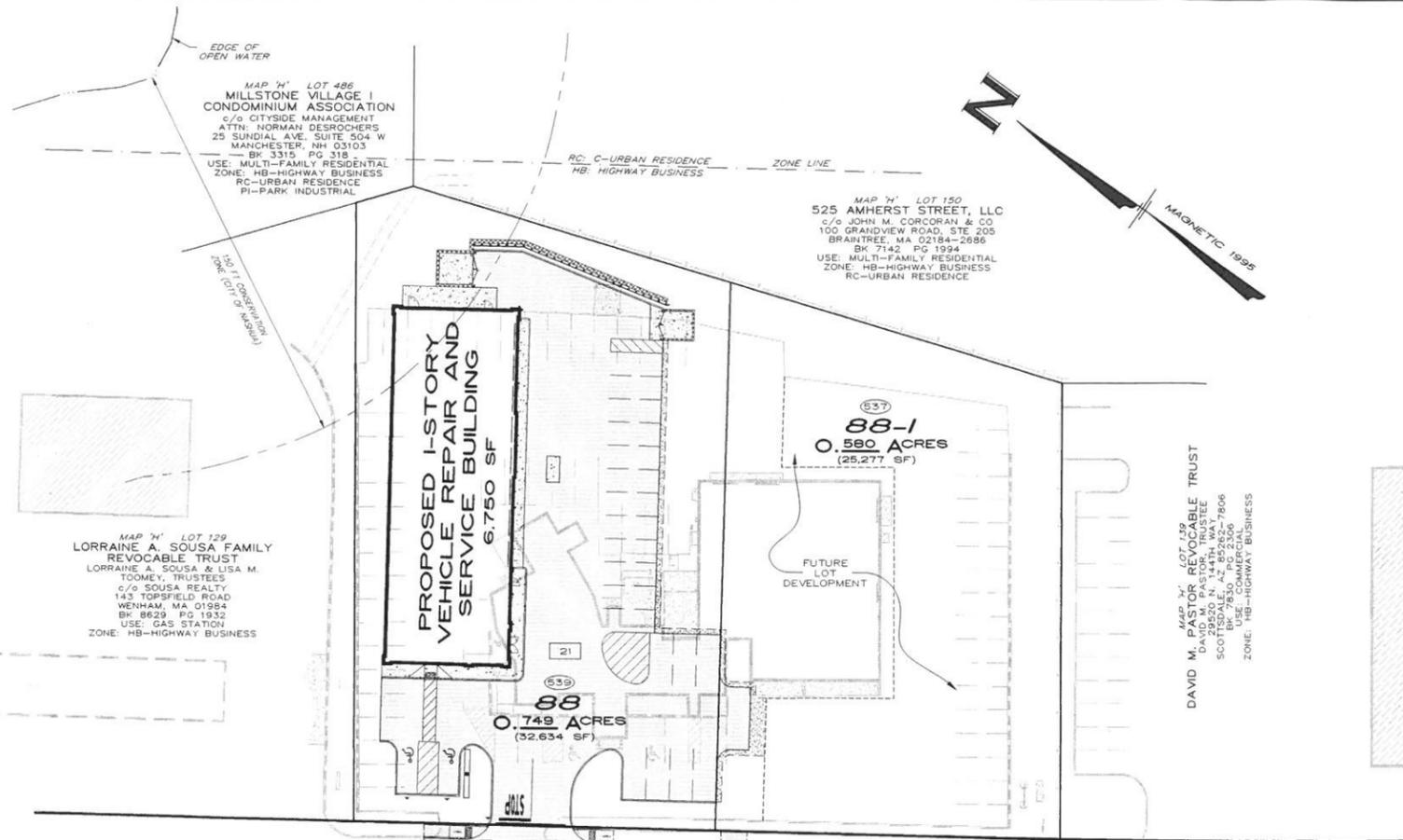
The applicant's engineer provided a complete stormwater management study and maintenance plan with the enclosed narrative for your review. A traffic study has also been provided. The applicant is not offering to make a contribution in lieu of sidewalk construction because an existing asphalt sidewalk is in place across the entire frontage of the proposed two properties. The following waiver requests were made for 190-172(C) to foster roofline variations and 190-198 to allow additional parking on site.

City staff reviewed the plans. There are minor comments from the Engineering staff that still need to be addressed (see attached correspondence).

Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146 (D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board of that approval:

1. The request for a waiver of § 190-172 (C), which requires variations in rooflines **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. The request for a waiver of § 190-198, which requires a minimum and maximum number of spaces allowed **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
3. Prior to recording the plan, all comments in a letter from Jeanne Walker dated____, 2016 will be addressed to the satisfaction of the Engineering Department.
4. Stormwater documents and easements will be submitted to City staff for review and recorded with the subdivision plan.
5. Any work within the right-of-way shall require a financial guarantee.
6. Prior to the Chair signing the plan, minor drafting corrections will be made.



LEGEND

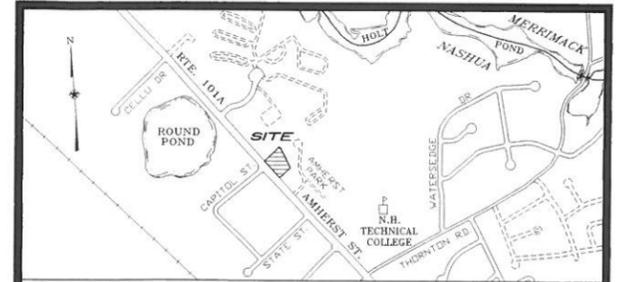
- EXISTING GROUND CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED GRADE
- PROPOSED SPOT GRADE
- STORM DRAIN & CATCH BASIN
- STORM DRAIN & MANHOLE
- STORM DRAIN & END SECTION
- SANITARY SEWER & MANHOLE
- WATER MAIN & GATE VALVE
- GAS LINE & GATE VALVE
- UTILITY POLE WITH GUY SUPPORT
- STREET LIGHT
- OVERHEAD ELECTRIC & TELEPHONE
- UNDERGROUND ELEC./TEL & MANHOLES
- SIGN
- N.H. HIGHWAY BOUND
- STONE BOUND
- IRON PIN
- IRON PIN TO BE SET
- BUILDING SETBACK LINE
- WIRE FENCE
- CHAINLINK FENCE
- CURBING
- VERTICAL GRANITE CURBING
- SLOPE GRANITE CURBING
- STORMWATER RUNOFF DIRECTION
- HANDICAP PARKING SPACE
- HANDICAP SIDEWALK RAMP
- PARKING SPACE COUNT
- STREET ADDRESS
- PAVEMENT SAWCUT
- REINFORCED CONCRETE
- PROPOSED FULL-DEPTH PAVEMENT
- RIPRAP / STONE
- CONIFEROUS TREE
- DECIDUOUS TREE
- SHRUBS
- BORING LOCATION & IDENTIFIER
- LIMIT OF WORK

NOTES - CONT'D:

12. IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
13. PUBLIC STREET RESTORATION WORK SHALL BE IN ACCORDANCE WITH N.R.O. SECTION 285-13, LATEST EDITION.
14. ALL LIGHTING SHALL BE AS SHOWN ON THE PLANS, DIRECTED ONTO THE SITE AND CONFORM TO APPLICABLE CITY OF NASHUA LAND USE CODE REGULATIONS.
15. HOURS OF OPERATION:
MONDAY THRU FRIDAY 7:30 AM TO 5 PM
SATURDAY 7:30 AM TO 7 PM
SUNDAY 9 AM TO 5 PM
16. THE APPLICANT SHALL SUBMIT AN ELECTRONIC FILE OF THE SITE PLAN (PLOT) PRIOR TO ISSUANCE OF A BUILDING PERMIT.
17. THIS PARCEL IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE RATE MAP (FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY NO. 330097, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33011C0492D, DATED: SEPTEMBER 25, 2006.
18. ROOF DRAIN TIE-INS AND DRAIN LINES SHALL BE INSPECTED PRIOR TO BACKFILLING AND PAVING.
19. MECHANICAL APPURTENANCES, IF ANY, SHALL BE SCREED AND FINISHED TO MATCH THE BUILDING EXTERIOR. MECHANICAL APPURTENANCES SHALL NOT EXCEED 50 DECIBELS BETWEEN 7 AM - 9 PM AND 45 DECIBELS AT NIGHT 9 PM - 7 AM ALONG RESIDENTIAL ZONING DISTRICTS.
20. FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED. DRAINS SHALL NOT OUTLET OR FLOW OVERLAND ONTO A CITY STREET.
21. PRESENT OWNER OF RECORD:
MAP 'H', LOT 88
WALTER W. ANDERSON, JR.
537 AMHERST STREET
NASHUA, NH 03063
BK 8584, PG 809

WAIVERS REQUESTED:

1. NASHUA LAND USE CODE SECTION 190-172(C): NON-RESIDENTIAL BUILDING DESIGN STANDARDS
2. NASHUA LAND USE CODE SECTION 150-198: OFF-STREET PARKING SPACES



PLAN REFERENCES:

1. SUBDIVISION PLAN (MAP 'H', LOT 88), 535 & 537 AMHERST STREET, NASHUA, NEW HAMPSHIRE, PREPARED FOR HOLLAND HAMPSHIRE, LLC, RECORD OWNER, WALTER W. ANDERSON, JR., SCALE: 1" = 30', DATED: 20 SEPTEMBER 2016 AND PREPARED BY THIS OFFICE. NOT YET RECORDED.

NOTES:

1. SITE AREA:
LOT 88 0.749 ACRES (32,634 SF)
LOT 88-1 0.580 ACRES (25,277 SF)
2. PRESENT ZONING: HB, HIGHWAY BUSINESS

MINIMUM LOT REQUIREMENTS	REQUIRED	LOT 88	LOT 88-1
- LOT AREA	20,000 SF	32,634 SF	25,277 SF
- LOT FRONTAGE	80 FT	136.18 FT	85.37 FT
- LOT WIDTH	100 FT	139.66 FT	132.60 FT
- LOT DEPTH	80 FT	230.9 FT	193.3 FT
MINIMUM YARD SETBACKS			
- FRONT YARD	20 FT	56.4 FT	N/A
- SIDE YARD	10 FT	10.6 FT	N/A
- REAR YARD	20 FT	32.8 FT	N/A
- MAX BUILDING HEIGHT	63 FT	24 FT	N/A
- MAX STORIES	5	1	N/A
- OPEN SPACE (%)	20%	28.4%	54.2%
- MAX FLOOR RATIO	0.75	0.21	N/A

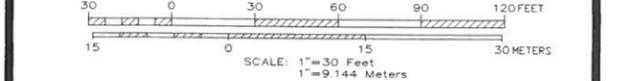
AT THE AUGUST 9, 2016 MEETING THE CITY OF NASHUA ZONING BOARD OF ADJUSTMENT APPROVED THE FOLLOWING:

 - A. A VARIANCE TO ALLOW PROPOSED PARKING SPACES TO BE CONSTRUCTED WITHIN THE 10 FT FRONT YARD SETBACK, AND
 - B. A SPECIAL EXCEPTION TO MAKE PROPOSED IMPROVEMENTS WITHIN THE 150 FT CONSERVATION ZONE ASSOCIATED WITH THE CITY OF NASHUA WATER SUPPLY PROTECTION DISTRICT.

3. LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAP 'H'
4. SITE SHALL BE SERVICED BY MUNICIPAL SEWER WATER BY PENNICHUCK WATER WORKS AND UNDERGROUND TELEPHONE, ELECTRIC, AND GAS UTILITIES.
5. PURPOSE OF PLAN:
TO SHOW A PROPOSED 1-STORY 6,750 SF VEHICLE REPAIR AND SERVICE BUILDING UPON LOT 88 ALONG WITH SITE IMPROVEMENTS UPON BOTH LOTS 88 AND 88-1.
6. PARKING (LOT 88):
REQUIRED: VEHICLE REPAIR AND SERVICE:
MINIMUM 1 SPACE: 500 SF X 6,750 SF = 14 SPACES
MAXIMUM 1 SPACE: 375 SF X 6,750 SF = 18 SPACES
PROVIDED: (INCLUDING 2 HANDICAP SPACES) 21 SPACES
7. THE SUBJECT SITE WAS INSPECTED BY A CERTIFIED WETLAND SCIENTIST ON SEPTEMBER 13, 2016, AT THE DATE OF THE INSPECTION IT WAS DETERMINED THAT THERE ARE NO WETLANDS OR ASSOCIATED BUFFERS AFFECTING THE PROPERTY.
8. A PORTION OF THIS SITE IS LOCATED WITHIN THE CITY OF NASHUA WATER SUPPLY PROTECTION DISTRICT.
9. ALL LANDSCAPING SHALL BE AS SHOWN ON THE PLANS AND CONFORM TO THE APPLICABLE CITY OF NASHUA LAND USE CODE UNDER ARTICLE XXVII.
10. ALL SIGNAGE SHALL CONFORM TO THE APPLICABLE CITY OF NASHUA REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
11. SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE 81 OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION, GRADE AND NUMBER OF PARKING SPACES.

No.	DATE	REVISION	BY
1	10/18/16	ADDRESS STAFF REVIEW COMMENTS	TEZ

MASTER SITE PLAN
(MAP 'H', LOTS 88 & 88-1)
Proposed NTB Tire & Service Center
537 & 539 AMHERST STREET
NASHUA, NEW HAMPSHIRE
PREPARED FOR:
HOLLAND HAMPSHIRE, LLC
1310 SOUTH TRYON ST., SUITE 104 CHARLOTTE, NC 28203 (704) 333-4244
RECORD OWNER:
WALTER W. ANDERSON, JR.
537 AMHERST STREET NASHUA, NEW HAMPSHIRE 03063



20 SEPTEMBER 2016

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Civil Engineers/Land Surveyors
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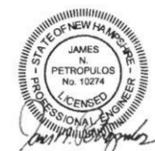
FIELD BOOK: 1208	DRAWING NAME: 5413SITE-F031	5413	1 OF 14
DRAWING LOCATION: 0:\5413\DWG\5413 SITE		File Number	Sheet

*** ZONING NOTE ***
THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

APPROVED
NASHUA CITY PLANNING BOARD
CHAIRMAN _____ DATE _____

Walter W. Anderson, Jr.
WALTER W. ANDERSON, JR. 9-20-16 DATE

THE UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE SITE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
Ralph H. Fullin
Ralph H. Fullin III 9-17-16 DATE
Manager - Holland Hampshire LLC

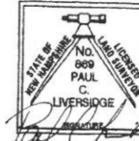


CERTIFICATION

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/09.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

10-20-16
DATE



ZONING NOTE

THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.



SURVEY NOTES:

- THE EXISTING CONDITIONS, AS SHOWN ON THIS PLAN, ARE BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND DURING APRIL AND MAY 2016.
- THE NASHUA CITY DATUM HAS BEEN USED ON THIS PROJECT. (NASHUA CITY DATUM TO NAVD 1988 = +89.77)
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
- THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.
- UNDERGROUND UTILITY INFORMATION SUMMARY:
 - GAS LOCATIONS SHOWN PER PHYSICAL EVIDENCE, DIGSAFE MARKINGS (REQUESTED BY OTHERS) AND PLANS PROVIDED BY LIBERTY UTILITIES.
 - WATER LOCATIONS PER PHYSICAL EVIDENCE AND PLANS PROVIDED BY PENNICHUCK WATER WORKS.
 - UNDERGROUND TELEPHONE SHOWN PER PHYSICAL EVIDENCE, DIGSAFE MARKINGS (REQUESTED BY OTHERS). PLANS HAVE BEEN RECEIVED FROM FAIRPOINT COMMUNICATIONS BUT HAVE NOT YET BEEN RECEIVED.
 - SEWER SERVICE LOCATIONS SHOWN PER SITE PLANS AND SEWER SERVICE PERMIT PROVIDED BY CITY OF NASHUA.
- BORING LOCATIONS ARE APPROXIMATE. BORINGS WERE PERFORMED IN APRIL 2016 UNDER THE SUPERVISION OF TERRACON CONSULTANTS, INC. OF MANCHESTER, NH.

CITY OF NASHUA

PLANNING DEPARTMENT
COMMUNITY DEVELOPMENT DIVISION
229 MAIN STREET
NASHUA, NH 03060
ATT: LINDA PANNY
(603) 589-3110

ENGINEERING DEPARTMENT
NASHUA DEPT. OF PUBLIC WORKS / ENGINEERING
8 RIVERSIDE STREET
NASHUA, NH 03062
ATT: JEANNE WALKER, P.E.
(603) 589-3147

FIRE DEPARTMENT
NASHUA FIRE DEPARTMENT
171 EAST HOLLIS STREET
NASHUA, NH 03060
(603) 589-3460

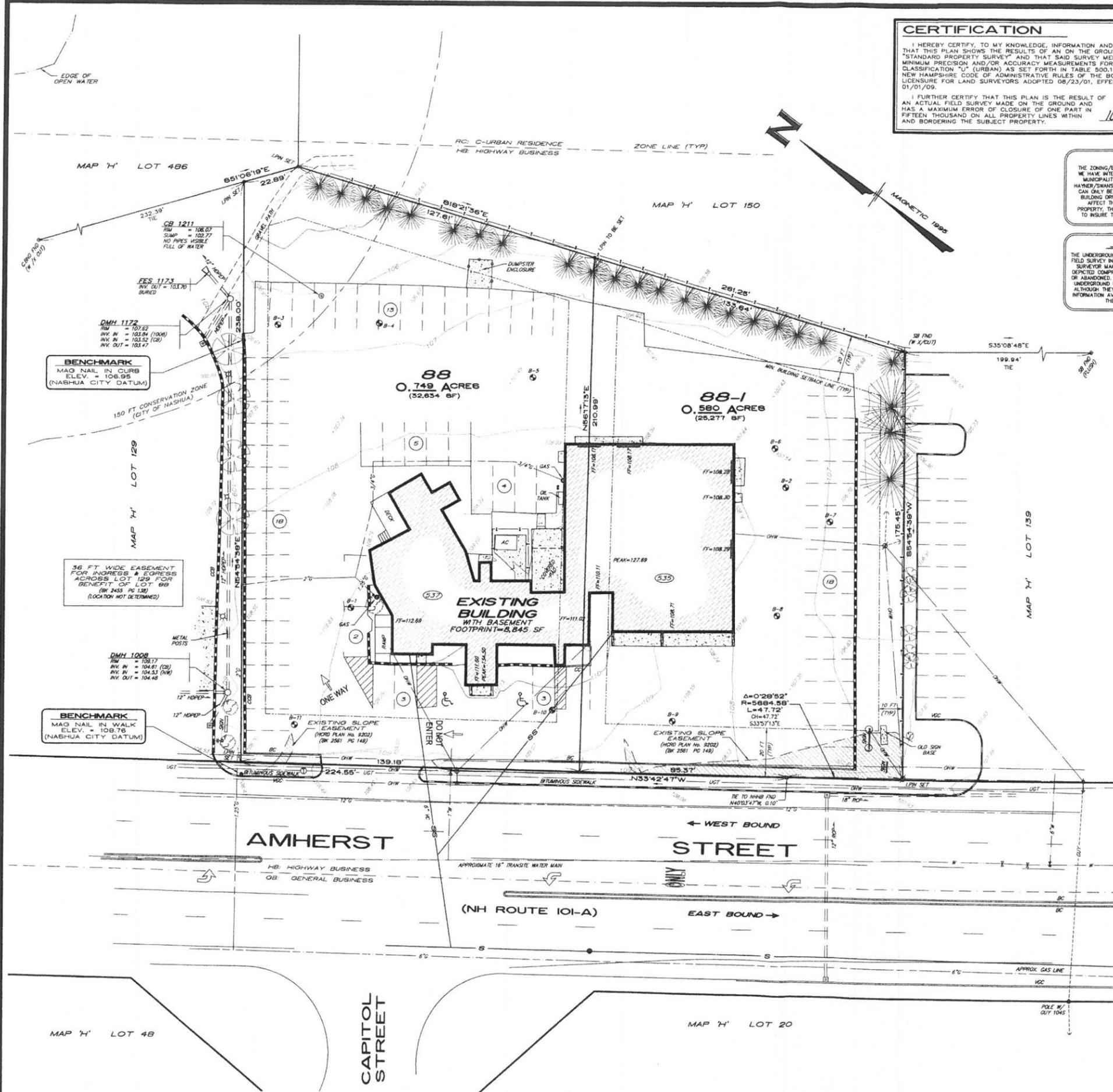
UTILITY CONTACTS

WATER:
PENNICHUCK WATER WORKS
25 MANCHESTER STREET
MERRIMACK, NH 03054
ATT: JOHN BOISVERT, PE
(603) 913-2300

GAS:
LIBERTY UTILITIES
130 ELM STREET
MANCHESTER, NH 03103
ATT: RYAN LAGASSE
(603) 327-7151

TELEPHONE:
FAIRPOINT COMMUNICATIONS
10 GAY STREET
MANCHESTER, NH 03103
ATT: ROBERTO DIAZ
(603) 645-2705

POWER:
EVERSOURCE
370 AMHERST STREET
NASHUA, NH 03060
ATT: LINDA FARRAR
(603) 882-5894



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EXISTING CONDITIONS PLAN (MAP 'H', LOTS 88 & 88-1)

Proposed NTB Tire & Service Center

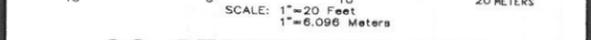
537 & 539 AMHERST STREET
NASHUA, NEW HAMPSHIRE

PREPARED FOR:
HOLLAND HAMPSHIRE, LLC

1310 SOUTH TRYON ST., SUITE 104 CHARLOTTE, NC 28203 (704) 333-4244

RECORD OWNER:
WALTER W. ANDERSON, JR.

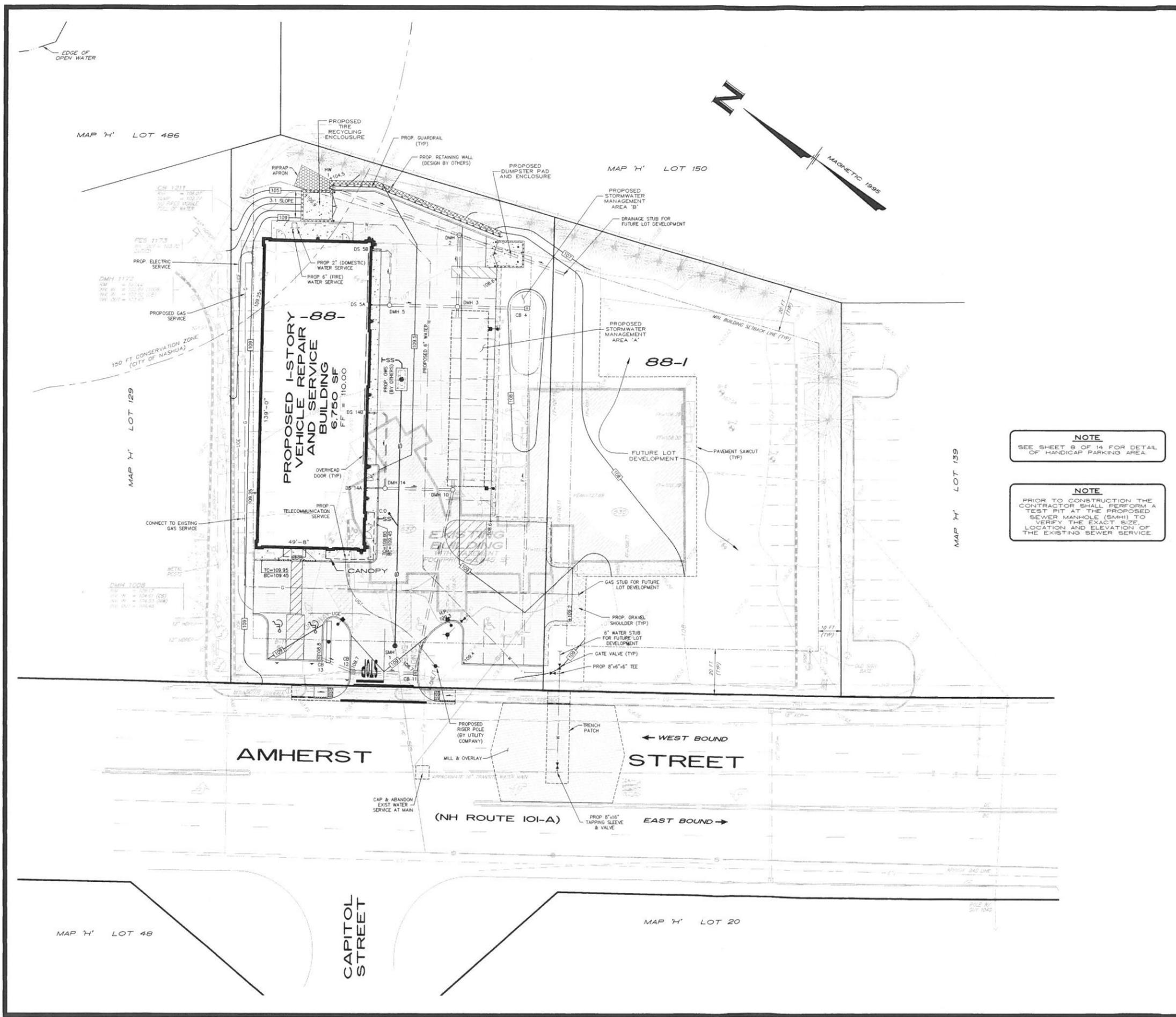
537 AMHERST STREET NASHUA, NEW HAMPSHIRE 03063



SCALE: 1"=20 Feet
1"=6.096 Meters

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NOTE
SEE SHEET 8 OF 14 FOR DETAIL OF HANDICAP PARKING AREA.

NOTE
PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PERFORM A TEST PIT AT THE PROPOSED SEWER MANHOLE (SMH1) TO VERIFY THE EXACT SIZE, LOCATION AND ELEVATION OF THE EXISTING SEWER SERVICE.

CONSTRUCTION NOTES:

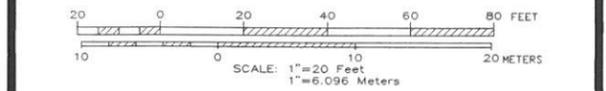
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF NASHUA AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, LATEST EDITION ARE HEREBY INCORPORATED BY REFERENCE.
2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES. SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
4. BLASTING, IF NEEDED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF NASHUA FIRE DEPARTMENT REGULATIONS.
5. ALL STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
6. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED.
7. PRIOR TO ANY WORK BEING STARTED, THE APPLICANT AND THEIR CONTRACTORS SHALL HOLD A PRE-CONSTRUCTION CONFERENCE WITH PLANNING STAFF TO REVIEW SCHEDULING, EROSION AND TRAFFIC CONTROL, AND TREE PROTECTION.
8. FOUNDATION DRAINS, IF NECESSARY, SHALL BE COORDINATED WITH THE ARCHITECT AND ENGINEER PRIOR TO CONSTRUCTION.
9. DIMENSIONS TO CURB AND OUTTERS INDICATE EDGE OF PAVING UNLESS OTHERWISE NOTED.
10. EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. CONTRACTOR SHALL ENSURE SMOOTH TRANSITION BETWEEN NEW AND EXISTING PAVEMENT.
11. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND DETAILS.

UTILITY NOTES:

1. ALL DRAINAGE PIPE SHALL BE FURNISHED AND INSTALLED WITH FLEXIBLE GASKETS. JOINTS SHALL BE MADE WITH OIL RESISTANT COMPRESSION RINGS OF AN ELASTOMERIC MATERIAL CONFORMING TO ASTM C-443. MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE FOLLOWED.
2. ALL DRAINAGE PIPES SHALL BE CLASS IV 3000 D (RCP) UNLESS OTHERWISE NOTED. CATCH BASINS SHALL BE TYPE B AND HAVE 4 FT SUMPS UNLESS OTHERWISE NOTED.
3. SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH PLANS AND SPECIFICATIONS AND WITH THE REQUIREMENTS OF THE DEPARTMENT OF ENVIRONMENTAL SERVICES, WS & PCC AND ANY STRICTER REQUIREMENTS OF DIVISION 3 - SANITARY SEWERS OF THE STANDARD SPECIFICATIONS OF SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, LATEST EDITION.
4. SEWER SHALL BE SOLID WALL PVC UNLESS OTHERWISE REQUIRED BY THESE SPECIFICATIONS. SEWER SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY AND 18 INCHES VERTICALLY FROM WATER LINES. WHENEVER SEWER MUST CROSS WATER MAINS, SEWER SHALL BE CONSTRUCTED AS FOLLOWS:
 - (A) SEWER PIPE SHALL BE CLASS 52 DUCTILE IRON FOR A MINIMUM DISTANCE OF 9 FEET EACH SIDE OF THE CROSSING.
 - (B) JOINTS SHALL BE MECHANICAL TYPE WATER PRESSURE RATED WITH ZERO LEAKAGE WHEN TESTED AT 25 POUNDS PER SQUARE INCH FOR GRAVITY SEWERS AND 1-1/2 TIMES WORKING PRESSURE FOR FORCE MAINS. JOINTS SHALL NOT BE LOCATED WITHIN 9 FEET OF THE CROSSING.
5. A LICENSED DRAIN LAYER SHALL INSTALL THE PROPOSED SEWER UP TO AND INCLUDING THE LAST MANHOLE (NOT INCLUDING SEWER SERVICES).
6. ALL WATER LINE, HYDRANT VALVES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE TECHNICAL SPECIFICATIONS FOR THE INSTALLATION OF MATERIALS, MAIN PIPING, SERVICE CONNECTIONS IN THE FENNICLUCK WATER WORKS FRANCHISED AREAS OF NASHUA AND WARRICK, NEW HAMPSHIRE.
7. ALL POWER WORK SHALL CONFORM TO EVERSOURCE SPECIFICATIONS.
8. ALL TELEPHONE WORK SHALL CONFORM TO FAIRPOINT COMMUNICATIONS SPECIFICATIONS.
9. THE CONTRACTOR SHALL COORDINATE THE SIZE AND LOCATION OF THE PROPOSED GAS SERVICE WITH LIBERTY UTILITIES PRIOR TO CONSTRUCTION.
10. THE CONTRACTOR SHALL COORDINATE THE EXACT SIZE, LOCATION AND ELEVATION OF ALL ROOF DRAINS AND SEWER SERVICE CONNECTIONS PRIOR TO THE CONSTRUCTION OF THE BUILDING.
11. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION OF SITE UTILITIES TO WITHIN 5 FEET OF THE PROPOSED BUILDINGS. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING THE FINAL UTILITY SERVICE CONNECTIONS.
12. ROOF DRAIN TIE-INS AND DRAIN LINES WILL BE INSPECTED PRIOR TO BACKFILLING AND PAVING.
13. ALL PIPE WORK WITHIN THE CITY OF NASHUA RIGHT-OF-WAY SHALL BE PERFORMED BY A LICENSED DRAIN LAYER.

NO.	DATE	REVISION	BY
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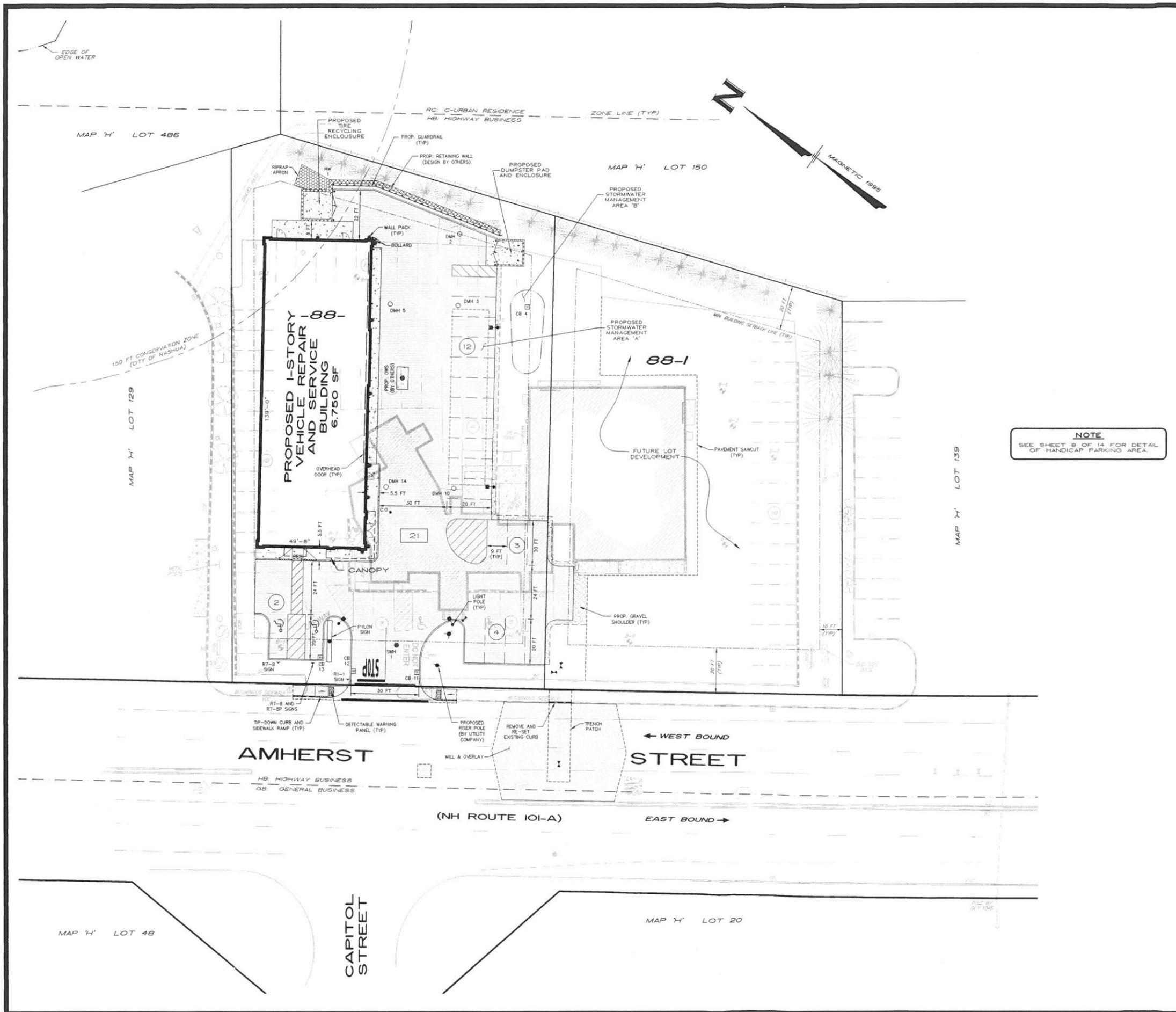
SITE GRADING AND UTILITY PLAN
(MAP 'H', LOTS 88 & 88-1)
Proposed NTB Tire & Service Center
537 & 539 AMHERST STREET
NASHUA, NEW HAMPSHIRE
PREPARED FOR:
HOLLAND HAMPSHIRE, LLC
1310 SOUTH TRYON ST., SUITE 104 CHARLOTTE, NC 28203 (704) 333-4244
RECORD OWNER:
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FIELD BOOK: 1208	DRAWING NAME: 5413SITE-FG21	5413	4 OF 14
DRAWING LOCATION: Q:\5413\DWG\5413 SITE		File Number	Sheet



NOTE
SEE SHEET 8 OF 14 FOR DETAIL OF HANDICAP PARKING AREA.

SITE LAYOUT NOTES:

- PRIOR TO COMMENCEMENT OF MAJOR CONSTRUCTION ACTIVITIES, THE ENGINEER SHALL PROVIDE THE CONTRACTOR WITH LAYOUT PLANS AND COORDINATE VALUES FOR STRATEGIC ELEMENTS OF THE SITE INCLUDING THE FOLLOWING:
 (A) BASE LINE CONTROLS FOR THE BUILDING AREA
 (B) PARKING LOT CORNERS AND MAJOR RADIUS POINTS
 (C) CATCH BASINS AND MANHOLE CENTERLINE POINTS.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT BUILDING DIMENSIONS AND DETAILS.
- ALL DIMENSIONS ARE FROM FACE OF CURB OR OUTSIDE FACE OF BUILDING UNLESS NOTED OTHERWISE.
- BUILDING AND DOORWAY LOCATIONS AS SHOWN ARE FOR REFERENCE ONLY REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS.
- ALL PAVEMENT MARKINGS SHALL BE 4 INCH WHITE PAINT UNLESS NOTED OTHERWISE. 4 INCH YELLOW PAINT SHALL BE USED FOR ROADWAY CENTERLINES AND HANDICAP PARKING SPACES.
- ALL TRAFFIC SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.

SIGN LEGEND

TEXT	IDENTIFICATION NUMBER	SIZE WIDTH/HEIGHT
SEE MUTCD FOR TEXT DIMENSIONS	REFERENCE	
	R1-1	30"/30"
	SEE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS	
	R7-8	12"/18"
	SEE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS	
	R7-8P	18"/9"
	SEE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS	

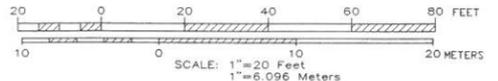
CURB/SIDEWALK LEGEND

- SLOPE GRANITE CURB
- VERTICAL GRANITE CURB & BITUMINOUS SIDEWALK
- REINFORCED CONCRETE CURB & SIDEWALK
- CURB TIP DOWN

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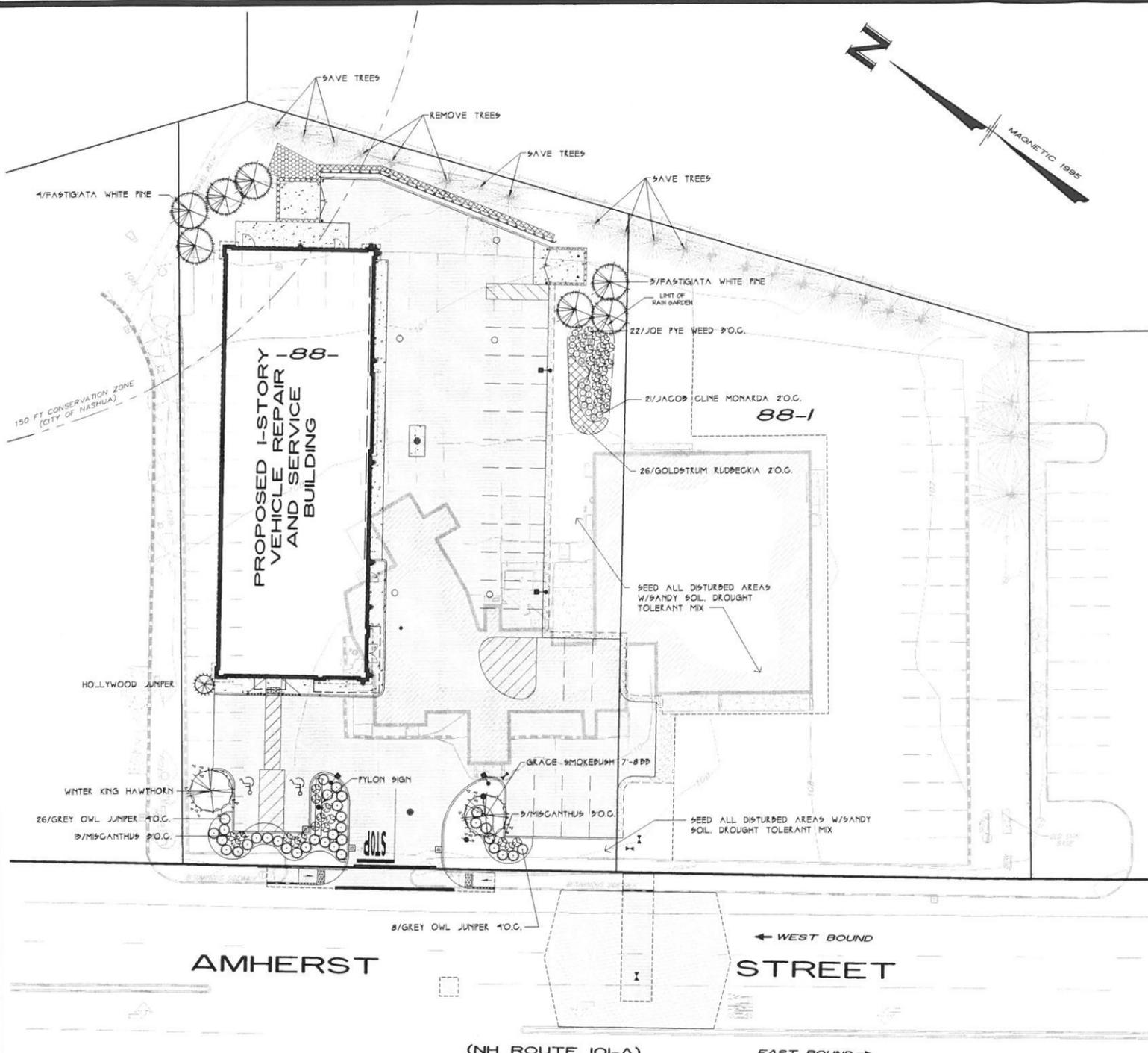
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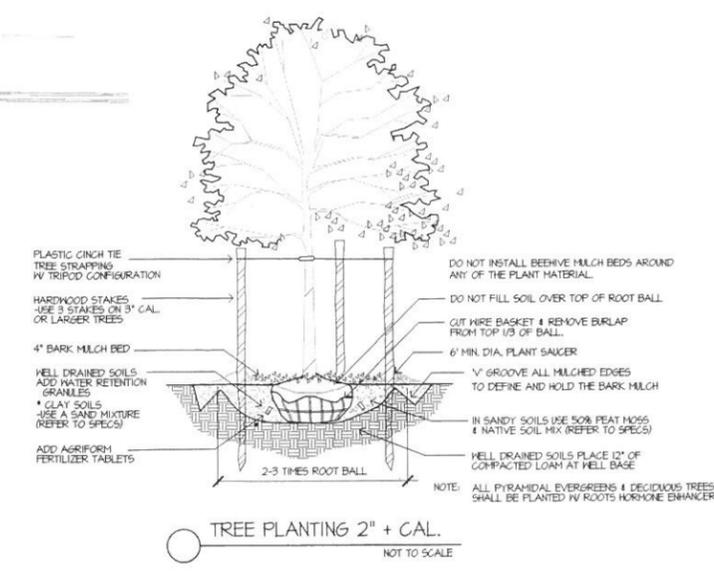
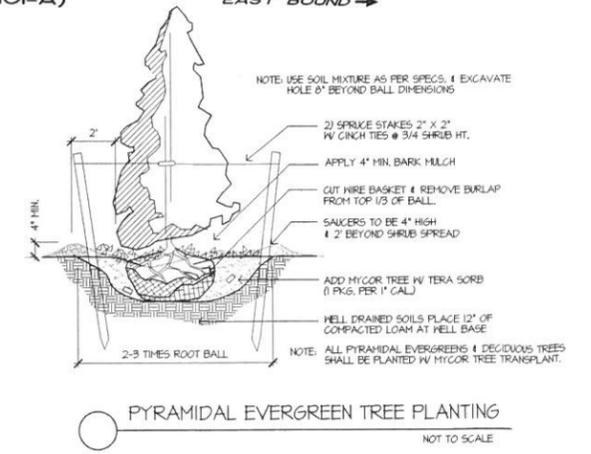
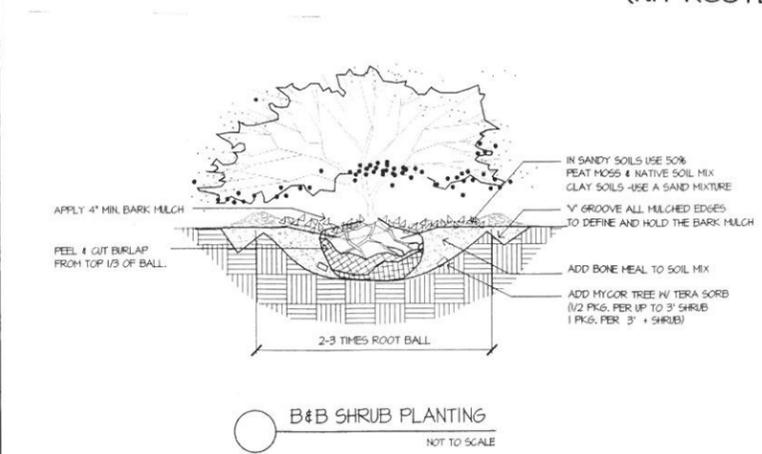
LANDSCAPING NOTES

- The contractor shall at his expense furnish all the materials, supplies, machinery, equipment, tool, superintendent, labor, insurance, & other accessories and services necessary to complete the said project within the unit costs stated within the bid price.
- The work to be done under this contract is as shown and described on the drawings. Each bidder shall make a careful examination of the plans and specifications (the plan shall dictate quantities) and acquaint himself with all conditions before making his proposal. He will be held responsible for errors in his proposal resulting from his failure to make such an examination. All bidders shall visit the site and inform themselves of all conditions.
- The bids shall be based on materials and equipment complying with the drawings and the specifications. The contractor shall be responsible under this contract price, for furnishing and installing materials conforming to the bid items. Under no circumstances may a species 'hybrid' be substituted or size changed without written consent of the landscape architect.
- The contractor shall be responsible for the protection of such existing utilities as water mains, sewer systems, gas mains, electrical conduits, telephone lines and any other utilities and if any damage or destruction may occur to these utilities, he shall be responsible for their repair and/or replacement at his expense.
- The contractor shall make payment for all damages to buildings, structures, trees, shrubs and/or any other property outside the construction area or located within those limits but not designated for removal or reconstructed providing such damage shall result from accident caused by negligence for which the contractor shall be legally liable.
- If additional labor and/or materials is requested or required, the contractor shall submit a price to the owner. If the owner approves the price he shall prepare a change order for approval and signature. The contractor shall not proceed without a written authorization from the owner for the additional work. If the contractor proceeds with the additional work without this authorization he shall forfeit any claim for additional compensation.
- The landscape architect shall reserve the right to inspect the project work at any time deemed necessary to insure that the specifications and plans and any other contract documents are being followed.
- The L.A. shall have the right to reject any plant on-site based upon condition, size, or incorrect species or hybrid. L.A. must be contacted prior to install, to inspect materials delivered to the site, and to insure that soil amendments, bark mulch, roof ballast, etc. are to the written specifications.
- All seeded areas shall receive a minimum 6" topsoil blanket (by site contractor) w/ site preparation, raking and general clean up prior to application. Operations shall include a pre-emergence type herbicide, 12-25 -12 granular fertilizer @ 10 lbs./1000 sf, and pelletized limestone @ 25 lbs./1000 sf power raked into the top 2" of soil prior to hydro-seeding. Ratios & application rates may change based upon the required soil analysis.
- Contractor is responsible for establishing a thick, weed free lawn. Seed shall be spread @ 4lbs./1000. Lawn germination shall be 95% free of noxious weeds for acceptance. Define differences in seed mixes (if applicable) with irrigation flagging until 2nd mowing. Site review by LA is required.
- Review of the installed irrigation system by the designer is required prior to release of final payment.
- Hydroseeding operations shall be a one part process with a paper fiber mulch; a tackifier shall be applied on all slopes greater than 3:1, Excelsior Drainage mat shall be applied to all 2:1 slopes and drainage swales per plan.
- Contractor shall maintain, from acceptance date, the lawn areas through the first mowing. Contractor is not responsible for the first mowing.
- All plant materials shall be installed in accordance with A.L.C.C. Trees and shrubs shall have appropriate soil mixtures, fertilizer and soil retention granules.
- If the soil conditions are extremely sandy, all trees shall have a 6" layer of compacted topsoil (verify with Landscape Architect) placed in the base of the plant pit as a moisture retention layer. The plant pit sidewalls shall be over excavated by an additional 12" beyond the normal outside radius of the hole. A topsoil planting mixture shall be used to backfill as per spec # 22.
- Landscape architect shall have the right to reject and have ground removed any plant material not of proper size or of weak quality, i.e. thin, no lower branching, etc. Contractor must submit shipping lists (billing invoices) for verification, prior to installation.

MATERIAL LIST

1/GRATAEGUS VIBS (WINTER KING HAWTHORN)	23'-3" CAL.
1/GRATAEGUS VIBS (WINTER KING HAWTHORN)	23'-3" CAL.
1/GRATAEGUS VIBS (WINTER KING HAWTHORN)	23'-3" CAL.
22/EUPATORIUM MACULATUM (JOE PYE WEED)	#2 GAL.
1/JUNPERUS CHENSIS (TORULOSA HOLLYWOOD JUNPER)	7-8DB
34/JUNPERUS VIRGINIANA (GREY OWL JUNPER)	#9 GAL.
16/MISCANTHUS SINENSIS (GRAZIELLA SILVER MADEN GRASS)	#9 GAL.
21/MONARDA SPECIES (JACOB CLINE DEEPALM)	#2 GAL.
7/PINUS STROBUS FASTIGIATA (COLUMBIAN WHITE PINE)	7-8DB
26/RUDBECKIA FULGIDA (GOLDSTRUM BLACK-EYED SUSAN)	#2 GAL.
PREMIUM BLEND PINE BARK MULCH	ALL BEDS
SANDY SOIL/DROUGHT TOLERANT SEED MIX BY DEERCREEKSEED.COM	

- All plant material shall be guaranteed for a period of one (1) year from date of installation. Any material which dies or does not show a healthy appearance within this time shall be replaced at the contractors expense; with same warranty requirements as the original. Warranty does not cover loss due mechanical damage, i.e. snow storage. Contractor should protect susceptible species from insect infestation. Use a liquid systemic application on birch, etc.
- Plant beds and saucers vary in dia. (refer to dwg). Trees and shrubs shall receive a 4" (settled) covering of pine/hemlock bark mulch; saucer diameters per drawing & details. Deciduous trees shall have a 6" dia. saucer (typ.), evergreen trees shall have a saucer 2' min. beyond it's outer branches. All edges shall have a "V" groove.
- All B&B material which are encased in wire baskets shall have the wires cut loose and the top third removed prior to backfill operation.
- If road base is encountered in any plant bed areas, i.e. parking islands, it shall be removed and suitable amended soil installed per drawings and specifications.
- Soil planting mixture shall be a 6%-10% organic topsoil, amended with 10% wood ash, 10% manure, & 30% peatmoss or incorporate a dehydrated compost material. If planting in sand, gravel or other well drained soils, a 50% peatmoss to excavated soil. Other soil amendments shall include; Agriform tablets, Hydro-Gel or equal, and Roots growth enhancer to all trees and shrubs listed, per manufacturers specifications. All plant material pits will receive a min. 20% in volume mix of a compost soil amendment. Submittal required. "Roots" STEP 1 can be substituted for the individual supplements. Install per manufacturer's specs.
- Landscape contractor shall not be responsible for topsoil spreading but shall coordinate with the site contractor adherence to the mound grades, plant bed soil depths and soil type per dwg & spec. Landscape contractor shall power rake-out for seed.
- Landscape contractor shall provide a soil analysis of the topsoil planting mixture. Analysis to show soil classification (min. sandy loam) and nutrients.
- Contractor shall protect all B&B materials left above grade prior to installation from drying out. All plants shall be stored, covered in mulch, and irrigated until planted. Any plant left on the ground and whose outer ball surface dries out, shall be rejected by the landscape architect. Plants stored in shade and off pavement.
- Plan dictates, contractor shall alert Landscape Architect if any discrepancies exist between the plan, the material list, and as-built site conditions.
- Installer shall notify landscape architect prior to planting, to review plant locations and bedline configurations. If contractor installs without the placement approval of the L.A., said architect shall have the right to relocate any installed plants at the contractor's expense.
- Installer shall notify landscape architect prior to plant installation to review all materials. Any plants of poor condition, improper size, or species will be rejected.
- Upon one year review, contractor shall straighten any trees that have shifted. Any weak or bare spots in lawn shall be reseeded.
- All bedlines shall have a deep "V" groove to define lawn to mulch edge. No "Beehive" mounding of mulch is allowed, also keep mulch away from base of perennials.
- Do not plant materials too close to the edge of bedlines. Refer to drawings for center of plant to bedline. At a minimum no outer branching of a shrub or perennial shall be closer than two feet from the bedlines. If the as-built does not comply contractor shall adjust the plant location or bedline at his expense.
- Seed mixes include: Sandy Soil Lawn Mix by deercreekseed.com; New England Wetland Plants, Amherst, Ma. refer to planting plan for designations.
- Any items not completed to the specifications will be required at contractors expense prior to final approvals. Contractor is to bid the work according to the specifications and not to what they may do under their standard practices. Special attention will be paid to soils, amendments, guy stakes, bedline & saucer configurations, seed mixtures, etc.
- Certain designated foundation edging is rood ballast (washed rounds, non-crushed, natural) Size of stone is a range of 3/4"-1.5" dia. placed to a depth of 3", upon placement apply a coating of granular Preen (pre-emergent).
- Any questions concerning this drawing shall be directed to Joseph Hochrein c/o Blackwater Design, 85 Frost Lane, Webster, NH 03303, 603-648-2541.



LANDSCAPE PLAN
(MAP 'H', LOTS 88 & 88-1)

Proposed NTB Tire & Service Center
537 & 539 AMHERST STREET
NASHUA, NEW HAMPSHIRE

PREPARED FOR:
HOLLAND HAMPSHIRE, LLC
1310 SOUTH TRYON ST., SUITE 104 CHARLOTTE, NC 28203 (704) 333-4244

RECORD OWNER:
WALTER W. ANDERSON, JR.
537 AMHERST STREET NASHUA, NEW HAMPSHIRE 03083

20 SEPTEMBER 2016

PREPARED BY:
BLACKWATER DESIGN
PHONE (603) 648-6500 FAX (603) 648-6506
Land Planning - Landscape Architecture
85 Frost Lane - Webster, NH 03303

FIELD BOOK: 1208 DRAWING NAME: 5413/TE-LS21 5413 14 OF 14
DRAWING LOCATION: Q:\5413\DWG\5413 SITE

EF-4	KILIM BEIGE / SW 6106 / Semi Gloss
EF-5	HARDWARE / 6172 / Semi Gloss
EF-6	CYBERSPACE / SW 7076 / Semi Gloss
EF-7	SAFETY YELLOW / 4084 / Semi Gloss
	CULTURED STONE VEENER: CLIFFSTONE - CAMBRIA EL DORADO STONE

TBC CORPORATION

TBC CORPORATION
4300 TBC Way
Palm Beach Gardens
Florida 33410

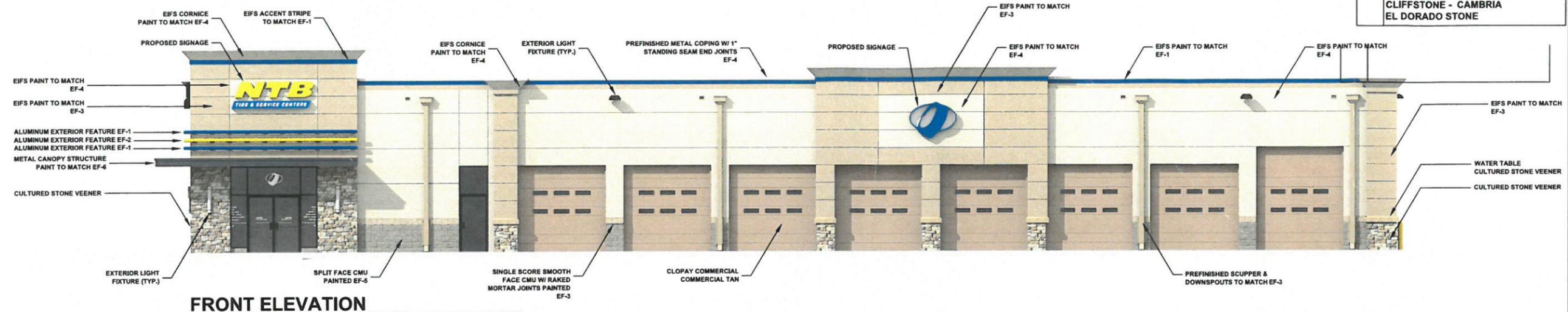
DEVELOPER

GENERAL NOTES

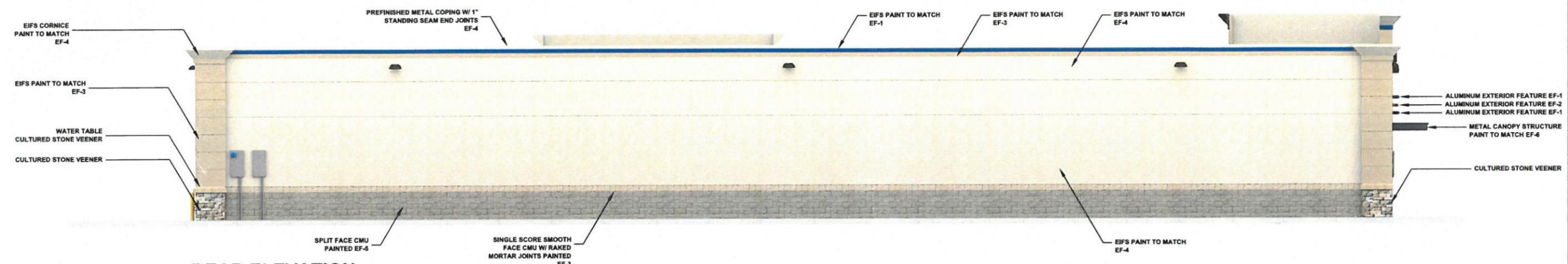
NAME & LOCATION

REVISIONS ARCHITECT

SHEET PROJECT INFO



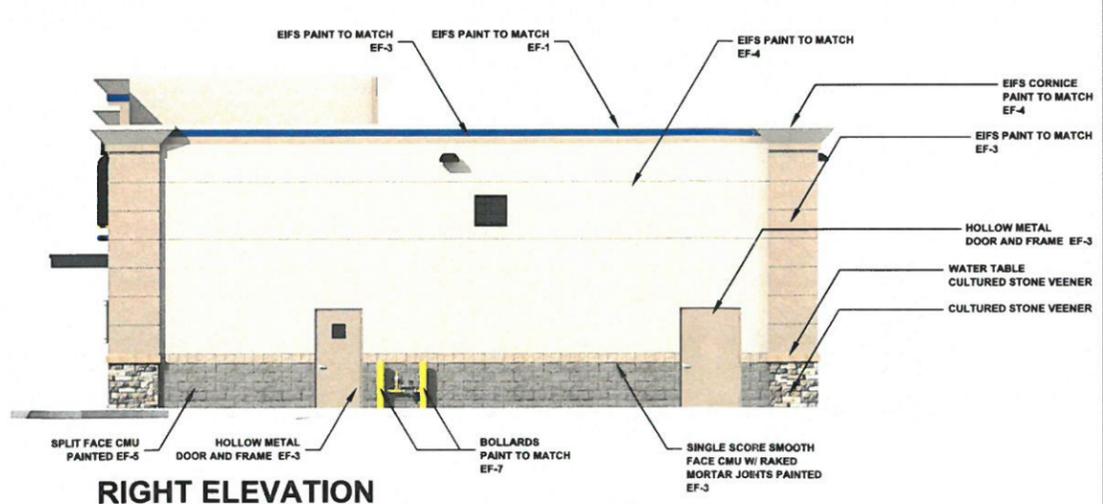
FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

NTB
NTB PROTOTYPE



No.	REVISION/ISSUE	Date

DWG BY:
JO
DATE STARTED:
2/16/16
PROJECT MANAGER:
C. POWELL
SCALE:
AS NOTED
LAST SAVED:
2/16/16 3:59 PM
PAPER SIZE: 24" X 36"

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda Panny, Planner I
FOR: November 17, 2016
RE: **New Business #6 - Site Plan**

I. Project Statistics:

Owner: Diane E. Gimber and Bishop Real Estate Management, Inc.
Applicant: Granite Green Investment Partners, LLC
Proposal: 18 unit age-restricted condominium site plan
Location: 122 Manchester Street
Total Site Area: 2.358 acres
Existing Zoning: RA-Urban Residence
Surrounding Uses: Residential, single family homes and a church

II. Background Information:

According to Assessing records, a single family home was built at 122 Manchester Street in 1921. On November 21, 2013 the Planning Board disapproved a request for a seven lot subdivision based on that it was not compliant with Section 190-165(B) of the Nashua Revised Ordinances (see attached disapproval letter and minutes).

The parcel is a long and narrow lot which tapers in the rear. Approximately one third of the parcel is developed for an existing house and garage. The remainder is heavily wooded with steep slopes to the south. Although the board disapproved the plan in 2013 because of double frontage lots, the steep slope (approximately a 40 foot drop) and drainage was a cause of concern for the abutters. At the initial hearing on October 3, 2013 the board tabled the project to allow the engineer time to redesign the double frontage lot and also have a geotechnical engineer review the slope as some of the board members had concerns.

Documentation dated November 18, 2016 was recently submitted. Staff has reviewed the proposed programs and services and it agrees that it satisfies the ordinance. It is no longer necessary for the applicant to appear before the Zoning Board of Adjustment (see attached).

III. Project Description:

The proposal is to remove the existing home and garage and construct an 18 unit condominium development in five buildings. An 800 sf community center with five parking spaces is being proposed. Each unit will have two parking spaces, one in the garage and one on the driveway. The development will be serviced by Pennichuck Water Works, municipal sewer, and underground utilities.

The applicant is proposing a new private 24' wide street, approximately 660 feet, ending in a hammerhead turnaround to access the dwellings. The Fire Marshal has concerns about the width of the street and is requesting that the street be posted as "no parking fire lane" (see attached). A 5 foot wide sidewalk is being proposed.

This is a condominium site plan and it will continue to be just one lot. While it does meet the setbacks in the RA zone, the buildings on the north side of the property will be just over 10' away from the side property line. There will be 3 buildings, each 145 feet long on the north side each containing 4 units. Front elevations are included in the plan set, however none were included showing the rear of the buildings. On the south side, the buildings will be set further back and also include an 800 sf community center attached to 2 units and another building 145 foot long containing 4 units.

Existing stormwater runoff on the site flows from the south to the north and eventually ends up in the Manchester Street closed drainage system. According to the drainage report submitted by the applicant, the proposed road will intercept the runoff flowing from south to north across the property. A swale is proposed along the toe of the cut slope along the southerly property line. This swale will direct stormwater runoff to the proposed infiltration basin located at the front of the property and then discharge into a basin in the northeastern corner, which will in turn discharge to the Manchester Street closed drainage system by way of a 12' culvert. The westerly portion of the property will be directed to a series of leaching catch basins or drywells interconnected with leaching trenches. The net result is that new paved areas will receive qualitative treatment and that due to the detention capabilities of the basin there will be no increase in the peak rates of runoff leaving the site and significant groundwater recharge will be achieved.

City staff reviewed the plans and there are still outstanding comments that still need to be addressed as revised plans were recently submitted (see attached correspondence).

IV. Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

1. The request for a waiver of § 190-211(B), which sets minimum design standards for private streets, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. Prior to the Chair signing the plan, all minor drafting corrections will be made.

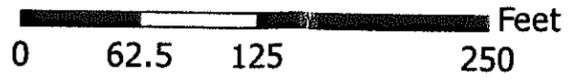
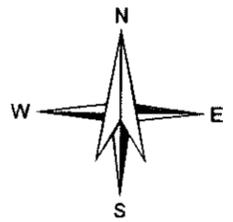
3. Prior to the issuance of a building permit, all comments in a letter from Jeanne Walker, PE., dated November 4, 2016 shall be addressed to the satisfaction of the Engineering Department.
4. Prior to the issuance of a building permit, all comments in the e-mails from Adam Pouliot dated October 20, 2016 shall be addressed to the satisfaction of the Fire Marshal's Office.
5. Prior to the issuance of a building permit, stormwater documents will be submitted to City staff for review and approval and recorded at the Registry of Deeds at the applicant's expense.
6. Prior to the issuance of a building permit, condominium documents will be submitted to City Staff and Corporation Counsel for review, approval and modified, if required.
7. Prior to issuance of a building permit, the applicant shall provide a guarantee for improvements, including pavement, drainage infrastructure, site landscaping (not including individual unit landscaping), and lighting. The applicant's professional engineer shall provide an estimate of the costs of the improvements for review by the City Engineer who shall determine the guarantee amount. The guarantee shall be in a form acceptable to the City's Corporation Counsel. Reductions in the guarantee (bond, letter of credit or other form of guarantee) shall be processed, from time to time, in the customary manner.
8. Prior to issuance of the final certificate of occupancy for the development, an as-built plan locating all roads, driveways, units, other buildings, utilities and site landscaping shall be stamped and certified by a professional engineer and submitted to the Planning Department. The as-built plan shall include a statement that all construction was completed in accordance with the approved site plan and applicable local regulations.
9. Road, sidewalk, and driveway construction shall be to base course, with final course pavement remaining bonded until completion. Upon completion of construction the applicant shall provide the City Engineer with written certification signed by a licensed professional engineer certifying that the private streets, sidewalks, and driveways were designed and installed as required by a third party engineer selected by City Engineering at the applicant's expense. Inspection reports shall be filed with the City Engineer's Office and Planning Department.
10. Prior to the issuance of a certificate of occupancy, all on-site and off-site improvements will be completed or a financial guarantee shall be posted.
11. No patios and/or decks shall be constructed in drainage areas.
12. Trees shall be flagged prior to removal.

13. There shall be no finished basements.

14. Any work within the Manchester Street right-of-way shall require a financial guarantee.



122 Manchester Street - aerial photo 2015



1 inch = 94 feet



ELDERLY HOUSING CONDOMINIUM DEVELOPMENT

- LOT 135 MAP 59 -

GREELEY POINTE

122 MANCHESTER STREET
NASHUA, NEW HAMPSHIRE

AUGUST 23, 2016

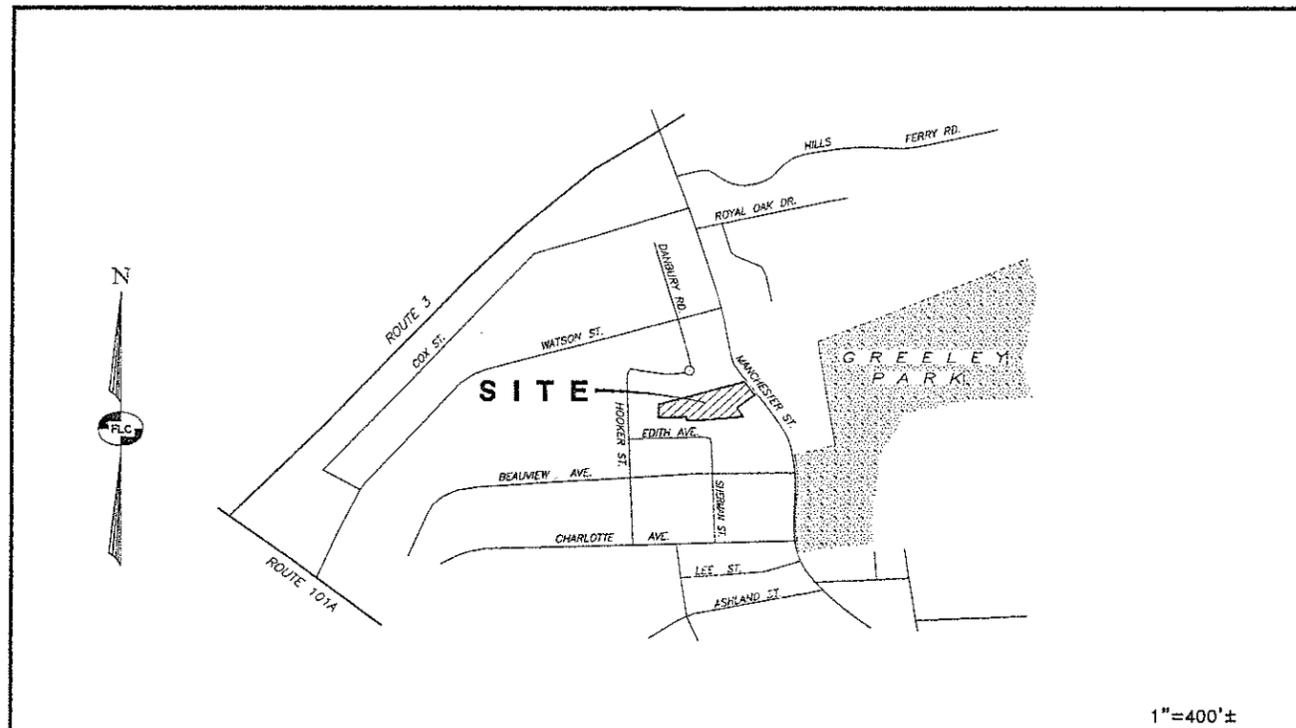
LAST REVISED: NOVEMBER 14, 2016

CITY OF NASHUA CONTACTS:

- PLANNING DEPARTMENT:**
COMMUNITY DEVELOPMENT DIVISION
228 MAIN STREET
NASHUA, NH 03060
ATT: LINDA PANNY
(603) 589-3110
- ENGINEERING DEPARTMENT:**
NASHUA DEPT. OF PUBLIC WORKS
6 RIVERSIDE STREET
NASHUA, NH 03062
ATT: JEANNE WALKER
(603) 589-3147
- FIRE DEPARTMENT:**
NASHUA FIRE DEPARTMENT
171 EAST HOLLIS STREET
NASHUA, NH 03060
ATT: ADAM POULIOT
(603) 589-3465

UTILITY CONTACTS:

- WATER:**
PENNICHTUCK WATER WORKS
25 MANCHESTER STREET
MERRIMACK, NH 03054
ATT: JOHN BOISVERT, PE
(603) 913-2300
- GAS:**
LIBERTY UTILITIES
130 ELM STREET
MANCHESTER, NH 03101
ATT: RYAN LAGASSE
(603) 327-7151
- TELEPHONE:**
FAIRPOINT COMMUNICATIONS
237 DANIEL WEBSTER HWY.
MERRIMACK, NH 03054
ATT: ROBERTO DIAZ
(603) 595-1150
- POWER:**
EVERSOURCE
370 AMHERST STREET
NASHUA, NH 03060
ATT: THOMAS VALITON
(603) 862-5894, ext. 5208



SHEET INDEX		
PAGE	SHEET	TITLE
1	CV-1	COVER SHEET
2	CD-1	CONDOMINIUM SITE PLAN
3	CD-2	CONDOMINIUM FLOOR PLAN
4	EX-1	EXISTING CONDITIONS PLAN
5	SP-1	SITE LAYOUT PLAN
6	GR-1	GRADING & EROSION CONTROL PLAN
7	PP-1	ROADWAY PLAN AND PROFILE
8	LS-1	LANDSCAPING PLAN
9	LT-1	LIGHTING PLAN
10	DT-1	CONSTRUCTION DETAILS
11	DT-2	CONSTRUCTION DETAILS
12	DT-3	DRAINAGE DETAILS
13	DT-4	EROSION CONTROL DETAILS
14	DT-5	SEWER DETAILS
15	DT-6	WATER DETAILS

PREPARED FOR:
GRANITE GREEN INVESTMENT PARTNERS, LLC
170 SOUTH RIVER ROAD, BLDG. 1, SUITE 102, BEDFORD, NH 03110
PH (603) 669-2770

LAND OF:
THE ELIZABETH S. GIMBER TRUST
6917 MADISON WAY CENTENNIAL, CO 80122
AND DIANE E. GIMBER
C/O BISHOP REAL ESTATE MANAGEMENT (603) 321-0070
P.O. BOX 446, NASHUA, NH 03061
PH (603) 321-0070

1. THE LOCATION OF THE UTILITIES SHOWN ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PRESERVE ALL UTILITY SERVICES.

2. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL UTILITY COMPANIES AND JURISDICTIONAL AGENCIES PRIOR TO AND DURING CONSTRUCTION.

3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND PROPOSED WORK PRIOR TO CONSTRUCTION.

CONTACT DIG SAFE
72 HOURS PRIOR
TO CONSTRUCTION
DIGSAFE.COM
OR DIAL 811
CALL BEFORE YOU DIG
ITS THE LAW

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE
LAND CONSULTANTS, PLLC

778 Elm Street Suite C, Milford, NH 03055
Phone: (603)-672-5456 Fax: (603)-413-5456
www.FieldstoneLandConsultants.com



REV.	DATE	DESCRIPTION	C/O	DR	CK
B	11/14/16	REVISIONS PER CITY ENGINEERING REVIEW		NRC	CEB
A	10/20/16	REVISIONS PER STAFF REPORT & CHECKLIST		PWH	CEB
FILE:	486CV048.dwg	PROJ. NO. 498.04	SHEET: CV-1	PAGE NO. 1 OF 15	

STREETS, RIGHTS-OF-WAY AND OTHER PUBLIC USE AREAS ARE HEREBY DEDICATED TO THE CITY OF NASHUA.

Granite Green Investment Partners, LLC
 GRANITE GREEN INVESTMENT PARTNERS, LLC DATE

THE UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE SITE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONTAINED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD.

Granite Green Investment Partners, LLC
 GRANITE GREEN INVESTMENT PARTNERS, LLC DATE

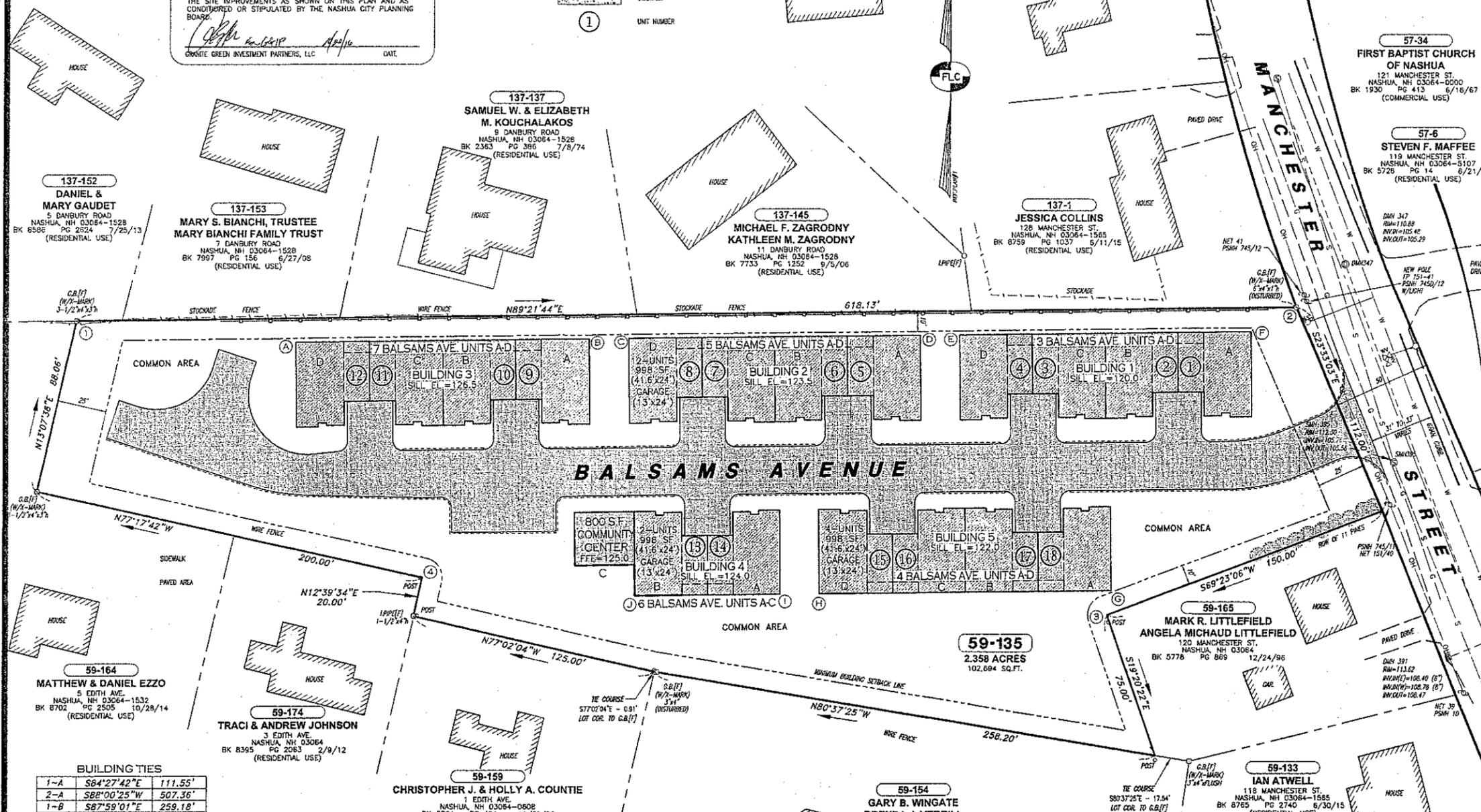
LEGEND:

- PROPOSED FEATURES**
- EDGE OF PAVEMENT
 - SLOPED GRANITE CURB
 - FENCE
 - ▨ PAVED AREA
 - ▨ SIDEWALK
 - ① UNIT NUMBER

NOTE: SEE SHEET 4 OF 15 (EXISTING CONDITIONS PLAN) FOR REF. PLANS, LEGEND & LOCUS

NOTES:

1. OWNER OF RECORDS ARE:
 THE ELIZABETH S. GIMBER TRUST (50% INTEREST), 6917 MADISON WAY, CENTENNIAL CO. 80122. THE DEED REFERENCE IS BK. 7631 PG. 2523 IN THE H.C.R.D.
 AND, DIANE E. GIMBER (50% INTEREST), C/O BISHOP REAL ESTATE MANAGEMENT, P.O. BOX 446, NASHUA, NH 03061. THE DEED REFERENCE IS BK. 6144 PG. 177 IN THE H.C.R.D.
 THE APPLICANT IS GRANITE GREEN INVESTMENT PARTNERS, LLC.
 2. THE PURPOSE OF THIS PLAN IS TO DEPICT AN 18 UNIT ELDERLY HOUSING CONDOMINIUM DEVELOPMENT ON TAX MAP PARCEL 59-135 WITH ASSOCIATED SITE IMPROVEMENTS.
 3. THE TOTAL AREA OF TAX MAP PARCEL 59-135 IS 2.358 ACRES OR 102,694 SQ. FT.
 4. LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAPS 57, 59 & 137.
 5. ZONING FOR ENTIRE PARCEL IS R-A DISTRICT
- | CITY DIMENSIONAL STANDARDS | REQUIRED | EXISTING | PROPOSED |
|----------------------------|----------|------------|------------|
| MIN LOT AREA | 7,500 SF | 102,694 SF | 102,694 SF |
| MIN LOT WIDTH | 75 FT | 112 FT | 112 FT |
| MIN LOT FRONTAGE | 60 FT | 112 FT | 112 FT |
| MIN LOT DEPTH | 90 FT | 650 FT | 650 FT |
| MIN FRONT SETBACK | 25 FT | 138± FT | 26.1 FT |
| MIN SIDE SETBACK | 10 FT | 19.3 FT | 10.9 FT |
| MIN REAR SETBACK | 25 FT | 449± FT | 111.6 FT |
| MAX. BUILDING HEIGHT | 35 FT | 20± FT | 23.5 FT |
| MAX. STORES | 2.5 | 2 | 2 |
| CONSERVATION AREA | NA | NA | NA |
| OPEN SPACE FOR EACH LOT | 50% | 94% | 51% |
- THE SITE IS NOT LOCATED WITHIN THE WATER SUPPLY PROTECTION DISTRICT.
6. THE SURFACE FEATURES AND BOUNDARY INFORMATION SHOWN WERE DEVELOPED FROM THE REFERENCE PLANS CITED AND A PRECISE FIELD SURVEY BY THIS OFFICE DURING THE MONTH OF MARCH 2013. THE NASHUA CITY DATUM HAS BEEN USED ON THIS PROJECT. NASHUA CITY DATUM TO NGVD 1929 DATUM = + 90.47'. HORIZONTAL ORIENTATION IS BASED ON REFERENCE PLAN #1.
 7. JURISDICTIONAL WETLANDS WERE NOT FOUND ON THE SUBJECT PARCEL PER AN ON SITE FIELD INVESTIGATION BY CHRISTOPHER A. GUIDA, C.W.S. IN MARCH 2013 IN ACCORDANCE WITH THE "CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, DATED JANUARY 1987".
 8. THE SITE IS CURRENTLY SERVICED BY OVERHEAD UTILITIES. THE PROPOSED DEVELOPMENT WILL BE SERVICED BY UNDERGROUND UTILITIES, MUNICIPAL SEWER AND WATER AND NATURAL GAS.
 9. THE SUBJECT PARCEL IS NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY NO. 330097, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 3301005130, DATED: SEPTEMBER 25, 2009.
 10. FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
 11. PARKING CALCULATION:
 18 UNIT ELDERLY HOUSING CONDOMINIUM DEVELOPMENT:
 REQUIRED: 1 SPACE / UNIT = 18 SPACES 1.9 SPACES / UNIT = 35 SPACES
 PROVIDED: 41 SPACES WHICH ACCOUNTS FOR VISITOR PARKING.
 12. ALL REQUIRED STREET AND UTILITY IMPROVEMENTS SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY ENGINEER.
 13. PUBLIC STREET RESTORATION WORK SHALL BE IN ACCORDANCE WITH N.R.O. SEC. 19-26.
 14. ALL UTILITIES AND SERVICE CONNECTIONS SHALL BE INSTALLED PRIOR TO BASE COAT PAVING. SERVICE CONNECTIONS SHALL BE EXTENDED TO THE R.O.W. MARKED AND CAPPED FOR FUTURE USE.
 15. LANDSCAPING SHALL CONFORM TO ARTICLE XXVII OF THE CITY OF NASHUA LAND USE CODE.
 16. PRIOR TO ANY WORK BEING CONDUCTED A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PLANNING STAFF AND OTHER CITY DEPARTMENTS AS NECESSARY TO REVIEW WORK PROPOSED.
 17. ALL SIGNAGE SHALL CONFORM TO THE APPLICABLE CITY OF NASHUA REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
 18. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED IN PART FROM PLANS OF RECORD AND FIELD LOCATION. THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITIES.
 19. TRASH PICKUP AND REMOVAL WILL BE PERFORMED BY A PRIVATE CONTRACTOR.



BUILDING TIES

1-A	S84°27'42"E	111.55'
2-A	S88°00'25"W	507.36'
1-B	S87°59'01"E	259.18'
2-B	S87°26'56"W	359.43'
1-C	S88°10'26"E	279.16'
2-C	S87°20'10"W	339.43'
1-D	N89°01'39"E	427.07'
2-D	S85°46'16"W	191.60'
1-E	S89°05'58"E	447.07'
2-E	S85°21'10"W	171.64'
1-F	S89°28'55"E	595.02'
2-F	S62°02'15"W	26.14'
3-G	N09°08'15"E	12.59'
4-G	S88°56'48"E	349.40'
3-H	N85°46'27"W	146.38'
4-H	N87°42'17"E	201.52'
3-I	N86°21'30"W	166.32'
4-I	S87°22'54"E	181.55'
3-J	N87°40'32"W	240.18'
4-J	N85°08'46"E	107.75'

- NOTES:**
 (NOTES CONTINUED)
20. THE USE OF FERTILIZERS AND PESTICIDES ON THIS PROJECT WILL FOLLOW NHDES PERMITTING REQUIREMENTS AND BEST MANAGEMENT PRACTICES.
 21. THE FOLLOWING PERMITS WILL BE REQUIRED FOR THIS PROJECT:
 - NHDES SEWER DISCHARGE PERMIT IS PENDING
 22. SOIL TYPES FOR THE SITE IS CoC - CANTON URBAN COMPLEX, WITH MODERATELY RAPID PERMEABILITY AND H&B - HINCKLEY LOAMY SAND
 23. THE PROPOSED UNITS WILL BE ONE STORY WITH A BASEMENT AND WILL MEET THE REQUIREMENTS IN SECTION 190-42 OF THE CITY LAND USE CODE.
 24. STREET SIGNAGE WILL BE ADDED TO THE SITE INDICATING NO ON-STREET PARKING.
 25. THE PROPOSED BUILDINGS WILL BE SPRINKLERED.

CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN COMPLIES WITH RSA 356-B:20 I, AND THAT ALL PROPOSED IMPROVEMENTS ARE NOT YET BEGUN

DATE: 10/20/16



REV.	DATE	DESCRIPTION	C/O	DR	CK
A	10/20/16	REVISIONS PER STAFF REPORT & CHECKLIST		PWH	CEB

CONDOMINIUM SITE PLAN
GREELEY POINTE
 TAX MAP PARCEL 59-135 - 122 MANCHESTER STREET
 NASHUA, NEW HAMPSHIRE

PREPARED FOR:
GRANITE GREEN INVESTMENT PARTNERS, LLC
 170 SOUTH RIVER ROAD, BUILDING 1, SUITE 102
 BEDFORD, NH 03110 (603) 669-2770

LAND OF:
THE ELIZABETH S. GIMBER TRUST
 6917 MADISON WAY, CENTENNIAL CO 80122
AND DIANE E. GIMBER
 C/O BISHOP REAL ESTATE MANAGEMENT
 P.O. BOX 446, NASHUA, NH 03061 (603) 321-0070

SCALE: 1" = 30' AUGUST 23, 2016

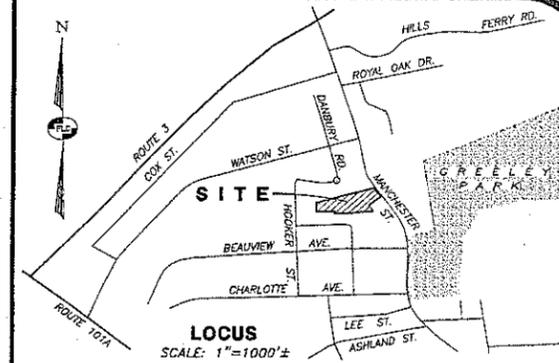
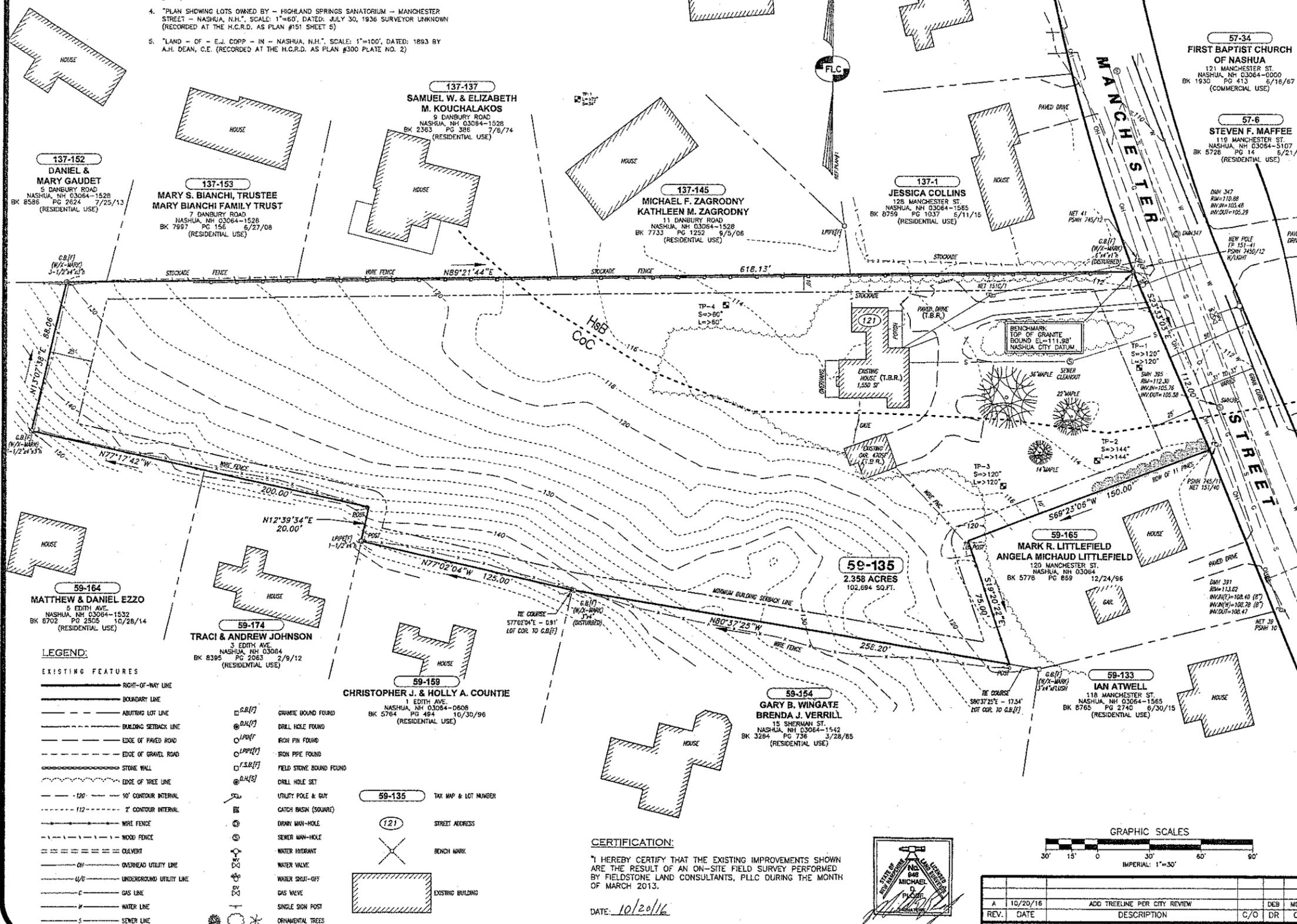
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206 Elm Street, Milford, NH 03055
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REFERENCE PLANS:

- "SUBDIVISION & CONSOLIDATION PLAN (MAP 59, LOT 133 & 155) - MANCHESTER ST. - NASHUA, NEW HAMPSHIRE - PREPARED FOR - FRANK JAMES LUCIANI JR., SCALE: 1"=20', DATED: AUGUST 27, 1985 BY CUOCO & CORMIER, INC. (RECORDED AT THE H.C.R.D. AS PLAN #16347).
- "SUBDIVISION PLAN - WELLINGTON FARMS - MANCHESTER STREET - NASHUA, N.H. - SURVEYED FOR TERRAFIELD CORPORATION, SCALE: 1"=50', DATED: APRIL 1969 BY W. ROBERT NOLTE & ASSOCIATES (RECORDED AT THE H.C.R.D. AS PLAN #4114).
- "LAND OF - ELLA F. WARREN - MANCHESTER STREET - NASHUA, N.H., SCALE: 1"=40', DATED: FEB. 25, 1955 SURVEYOR UNKNOWN (RECORDED AT THE H.C.R.D. AS PLAN #1163).
- "PLAN SHOWING LOTS OWNED BY - HIGHLAND SPRINGS SANATORIUM - MANCHESTER STREET - NASHUA, N.H., SCALE: 1"=60', DATED: JULY 30, 1936 SURVEYOR UNKNOWN (RECORDED AT THE H.C.R.D. AS PLAN #151 SHEET 5).
- "LAND - OF - E.J. COPP - IN - NASHUA, N.H., SCALE: 1"=100', DATED: 1893 BY A.H. DEAN, C.E. (RECORDED AT THE H.C.R.D. AS PLAN #300 PLATE NO. 2)



- NOTES:**
- OWNER OF RECORDS ARE:
THE ELIZABETH S. GIMBER TRUST, 6917 MADISON WAY, CENTENNIAL, CO. 80122. THE DEED REFERENCE IS BK. 7631 PG. 2523 IN THE H.C.R.D.
AND, DIANE E. GIMBER, C/O BISHOP REAL ESTATE MANAGEMENT, P.O. BOX 446, NASHUA, NH 03081. THE DEED REFERENCE IS BK. 6144 PG. 177 IN THE H.C.R.D.
THE APPLICANT IS GRANITE GREEN INVESTMENT PARTNERS, LLC.
 - THE PURPOSE OF THIS PLAN IS TO DEFINE THE PERIMETER OF TAX MAP PARCEL 59-135 AND DEPICT THE EXISTING IMPROVEMENTS AS SHOWN.
 - THE TOTAL AREA OF TAX MAP PARCEL 59-135 IS 2.358 ACRES OR 102,694 SQ. FT.
 - LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAPS 57, 59 & 137.
 - ZONING FOR ENTIRE PARCEL IS R-A DISTRICT
- | CITY DIMENSIONAL STANDARDS | REQUIRED | EXISTING |
|----------------------------|----------|------------|
| MIN LOT AREA | 7,500 SF | 102,694 SF |
| MIN LOT WIDTH | 75 FT | 112 FT |
| MIN LOT FRONTAGE | 90 FT | 112 FT |
| MIN LOT DEPTH | 90 FT | 650 FT |
| MIN FRONT SETBACK | 25 FT | 138± FT |
| MIN SIDE SETBACK | 10 FT | 19.3 FT |
| MIN REAR SETBACK | 25 FT | 449± FT |
| MAX. BUILDING HEIGHT | 35 FT | 20± FT |
| MAX. STORES | 2.5 | 2 |
| CONSERVATION AREA | NA | NA |
| OPEN SPACE FOR EACH LOT | 50% | 94% |
- THE SITE IS NOT LOCATED WITHIN THE WATER SUPPLY PROTECTION DISTRICT.
- THE SURFACE FEATURES AND BOUNDARY INFORMATION SHOWN WERE DEVELOPED FROM THE REFERENCE PLANS CITED AND A PRECISE FIELD SURVEY BY THIS OFFICE DURING THE MONTH OF MARCH 2013. THE NASHUA CITY DATUM HAS BEEN USED ON THIS PROJECT. NASHUA CITY DATUM TO NGVD 1929 DATUM = + 90.47'. HORIZONTAL ORIENTATION IS BASED ON REFERENCE PLAN #1.
 - JURISDICTIONAL WETLANDS WERE NOT FOUND ON THE SUBJECT PARCEL PER AN ON SITE FIELD INVESTIGATION BY CHRISTOPHER A. GUIDA, C.W.S. IN MARCH 2013 IN ACCORDANCE WITH THE "CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, DATED JANUARY 1987".
 - THE SITE IS CURRENTLY SERVICED BY OVERHEAD UTILITIES, MUNICIPAL SEWER AND WATER AND NATURAL GAS.
 - THE SUBJECT PARCEL IS NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM) HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY NO. 330097, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33011C0513D, DATED: SEPTEMBER 25, 2005.
 - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED IN PART FROM PLANS OF RECORD AND FIELD LOCATION. THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITIES.
 - SOIL TYPES FOR THE SITE IS CoC - CANTON URBAN COMPLEX, WITH MODERATELY RAPID PERMEABILITY AND H&B - HINCKLEY LOAMY SAND.

EXISTING CONDITIONS PLAN
GREELEY POINTE
 TAX MAP PARCEL 59-135 - 122 MANCHESTER STREET
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR:
GRANITE GREEN INVESTMENT PARTNERS, LLC
 170 SOUTH RIVER ROAD, BUILDING 1, SUITE 102
 BEDFORD, NH 03110 (603) 869-2770
 LAND OF:
THE ELIZABETH S. GIMBER TRUST
 6917 MADISON WAY, CENTENNIAL, CO 80122
AND DIANE E. GIMBER
 C/O BISHOP REAL ESTATE MANAGEMENT
 P.O. BOX 446, NASHUA, NH 03081 (603) 321-0070

SCALE: 1" = 30' AUGUST 23, 2016

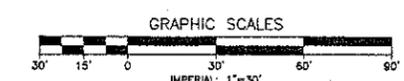
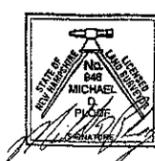
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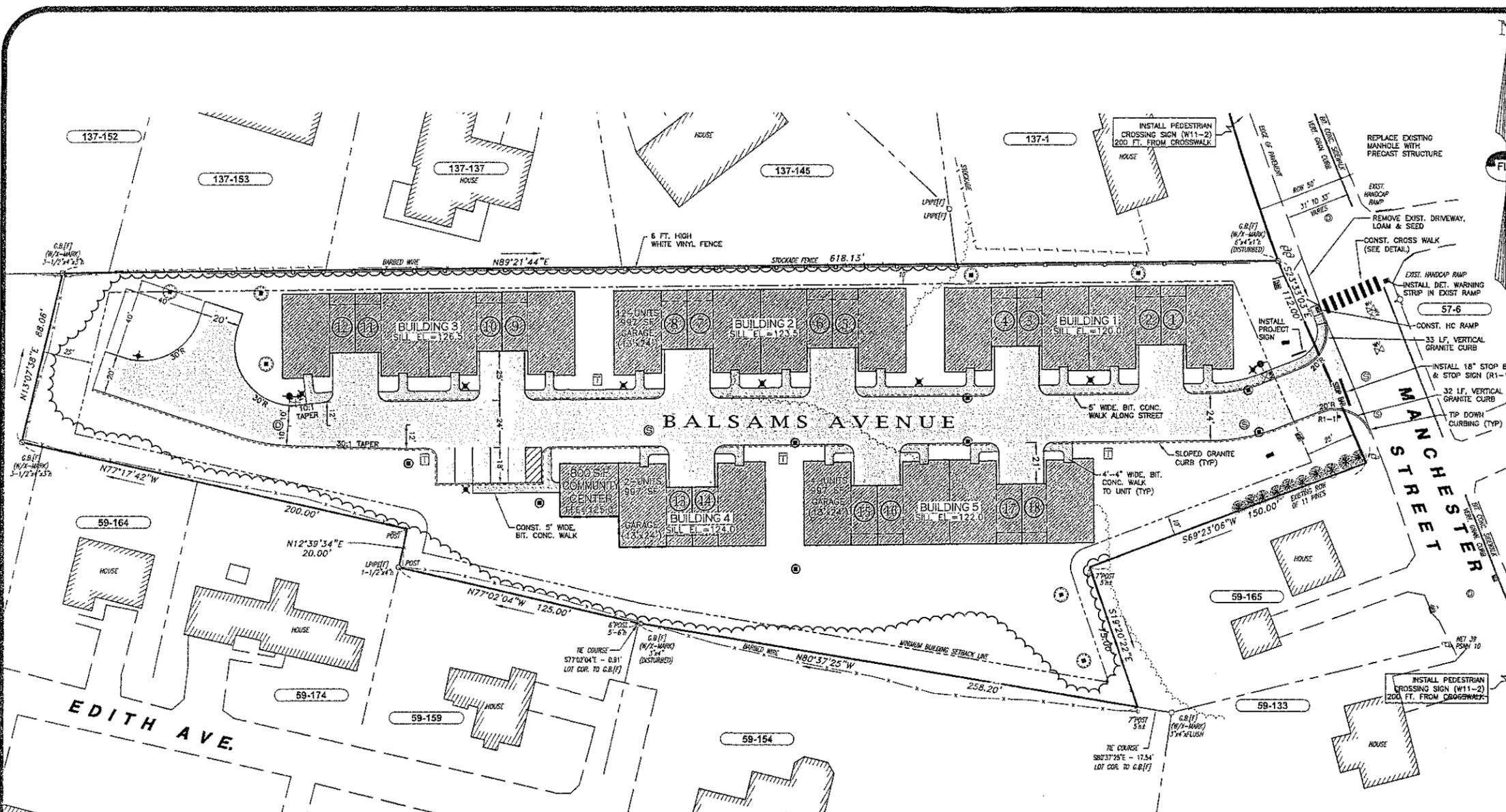
CERTIFICATION:
 I HEREBY CERTIFY THAT THE EXISTING IMPROVEMENTS SHOWN ARE THE RESULT OF AN ON-SITE FIELD SURVEY PERFORMED BY FIELDSTONE LAND CONSULTANTS, PLLC DURING THE MONTH OF MARCH 2013.
 DATE: 10/20/16



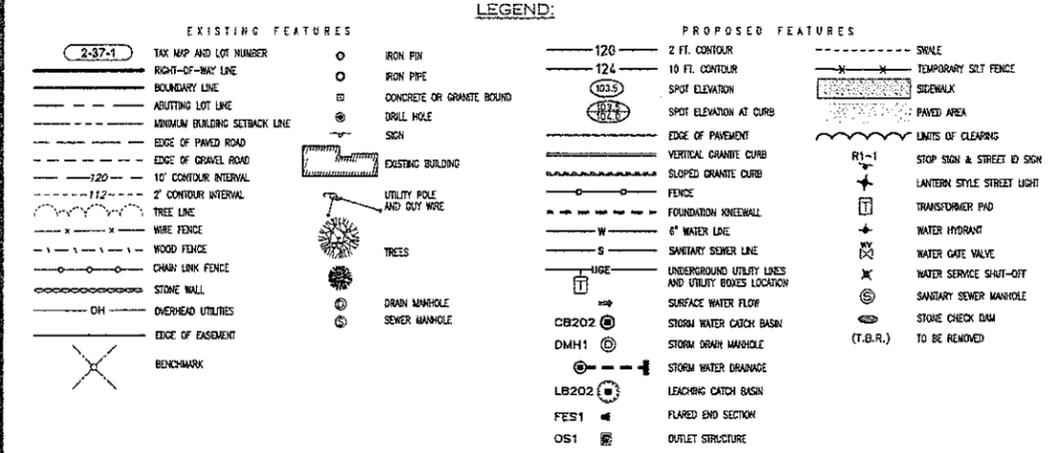
REV.	DATE	DESCRIPTION	C/O	DR	CK
A	10/20/16	ADD TREELINE PER CITY REVIEW		DEB	MDP

- LEGEND:**
- EXISTING FEATURES**
- RIGHT-OF-WAY LINE
 - BOUNDARY LINE
 - ABUTTING LOT LINE
 - BUILDING SETBACK LINE
 - EDGE OF PAVED ROAD
 - EDGE OF GRAVEL ROAD
 - STONE WALL
 - EDGE OF TREE LINE
 - 10' CONTOUR INTERVAL
 - 2' CONTOUR INTERVAL
 - WIRE FENCE
 - WOOD FENCE
 - CONCRETE
 - OVERHEAD UTILITY LINE
 - UNDERGROUND UTILITY LINE
 - GAS LINE
 - WATER LINE
 - SEWER LINE
- GRANITE BOUND FOUND
 - DRILL HOLE FOUND
 - RICH PIN FOUND
 - IRON PIPE FOUND
 - FIELD STONE BOUND FOUND
 - DRILL HOLE SET
 - UTILITY POLE & GUY
 - CATCH BASIN (SQUARE)
 - DRAIN MAN-HOLE
 - SEWER MAN-HOLE
 - WATER INTAKE
 - WATER VALVE
 - WATER SHUT-OFF
 - GAS VALVE
 - SINGLE SIGN POST
 - ORNAMENTAL TREES

- 59-135 TAX MAP & LOT NUMBER
- 121 STREET ADDRESS
- BENCH MARK
- EXISTING BUILDING



- NOTES:**
- OWNER OF RECORDS ARE:
THE ELIZABETH S. GIMBER TRUST (50% INTEREST), 6917 MADISON WAY, CENTENNIAL, CO. 80122. THE DEED REFERENCE IS BK. 7631 PG. 2523 IN THE H.C.R.D.
AND, DIANE E. GIMBER (50% INTEREST), C/O BISHOP REAL ESTATE MANAGEMENT, P.O. BOX 446, NASHUA, NH 03061. THE DEED REFERENCE IS BK. 8144 PG. 177 IN THE H.C.R.D.
THE APPLICANT IS GRANITE GREEN INVESTMENT PARTNERS, LLC.
 - PURPOSE OF THIS PLAN IS TO DEPICT AN 18 UNIT ELDERLY HOUSING CONDOMINIUM DEVELOPMENT ON TAX MAP PARCEL 59-135 WITH ASSOCIATED SITE IMPROVEMENTS.
 - TOTAL AREA OF TAX MAP PARCEL 59-135 IS 2.358 ACRES OR 102,694 SQ. FT.
 - LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAPS 57, 58 & 137.
 - ZONING FOR ENTIRE PARCEL IS R-A DISTRICT
- | CITY DIMENSIONAL STANDARDS | REQUIRED | EXISTING | PROPOSED |
|----------------------------|----------|------------|------------|
| MIN LOT AREA | 7,500 SF | 102,694 SF | 102,694 SF |
| MIN LOT WIDTH | 75 FT | 112 FT | 112 FT |
| MIN LOT DEPTH | 60 FT | 112 FT | 112 FT |
| MIN FRONT SETBACK | 30 FT | 650 FT | 650 FT |
| MIN SIDE SETBACK | 25 FT | 138± FT | 26.1 FT |
| MIN REAR SETBACK | 10 FT | 19.3 FT | 10.9 FT |
| MAX. BUILDING HEIGHT | 25 FT | 44± FT | 111.8 FT |
| MAX. STORIES | 2.5 | 2 | 2 |
| CONSERVATION AREA | NA | NA | NA |
| OPEN SPACE FOR EACH LOT | 50% | 94% | 51% |
- THE SITE IS NOT LOCATED WITHIN THE WATER SUPPLY PROTECTION DISTRICT.
 - SURFACE FEATURES AND BOUNDARY INFORMATION SHOWN WERE DEVELOPED FROM THE REFERENCE PLANS CITED AND A PRECISE FIELD SURVEY BY THIS OFFICE DURING THE MONTH OF MARCH 2013. THE NASHUA CITY DATUM HAS BEEN USED ON THIS PROJECT. NASHUA CITY DATUM TO NAD83 DATUM = + 90.47'. HORIZONTAL ORIENTATION IS BASED ON REFERENCE PLAN #1.
 - JURISDICTIONAL WETLANDS WERE NOT FOUND ON THE SUBJECT PARCEL PER AN ON SITE FIELD INVESTIGATION BY CHRISTOPHER A. GUIDA, C.W.S. IN MARCH 2013 IN ACCORDANCE WITH THE 2005 EDITION OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-67-1, DATED JANUARY 1987.
 - THE SITE IS CURRENTLY SERVICED BY OVERHEAD UTILITIES. THE PROPOSED DEVELOPMENT WILL BE SERVICED BY UNDERGROUND UTILITIES, MUNICIPAL SEWER AND WATER AND NATURAL GAS.
 - SUBJECT PARCEL IS NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE RATE STUDY (FIRM), HILLSBOROUGH COUNTY, NEW HAMPSHIRE, COMMUNITY NO. 330097, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33011C0513D, DATED: SEPTEMBER 25, 2009.
 - FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
 - PARKING CALCULATION:
18 UNIT ELDERLY HOUSING CONDOMINIUM DEVELOPMENT:
REQUIRED: 1 SPACE / UNIT = 18 SPACES
PROVIDED: 41 SPACES WHICH ACCOUNTS FOR VISITOR PARKING.
 - ALL REQUIRED STREET AND UTILITY IMPROVEMENTS SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY ENGINEER.
 - PUBLIC STREET RESTORATION WORK SHALL BE IN ACCORDANCE WITH N.H.R.O. SEC. 19-26.
 - ALL UTILITIES AND SERVICE CONNECTIONS SHALL BE INSTALLED PRIOR TO BASE COAT PAVING. SERVICE CONNECTIONS SHALL BE EXTENDED TO THE R.O.W. MARKED AND CAPPED FOR FUTURE USE.
 - LANDSCAPING SHALL CONFORM TO ARTICLE XXVII OF THE CITY OF NASHUA LAND USE CODE.
 - PRIOR TO ANY WORK BEING CONDUCTED A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PLANNING STAFF AND OTHER CITY DEPARTMENTS AS NECESSARY TO REVIEW WORK PROPOSED.
 - ALL SIGNAGE SHALL CONFORM TO THE APPLICABLE CITY OF NASHUA REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
 - UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED IN PART FROM PLANS OF RECORD AND FIELD LOCATION. THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITIES.

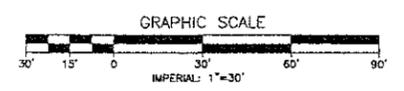


- NOTES CONTINUED:**
20. SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION, GRADE AND NUMBER OF PARKING SPACES.
 21. IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN IN ANY WAY WHATSOEVER, OR TO CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
 22. ALL LIGHTING SHALL BE AS SHOWN ON THE PLANS, DIRECTED ONTO THE SITE AND CONFORM TO APPLICABLE CITY OF NASHUA LAND USE CODE REGULATIONS.
 23. THE APPLICANT SHALL SUBMIT AN ELECTRONIC FILE OF THE SITE PLAN (PLOT) PRIOR TO ISSUANCE OF A BUILDING PERMIT.
 24. PRIOR TO A BUILDING PERMIT BEING ISSUED, BONDING FOR ALL PUBLIC IMPROVEMENTS SHALL BE SUBMITTED TO, AND APPROVED BY, THE ENGINEERING DEPARTMENT AND CORPORATION COUNSEL.
 25. PRIOR TO A BUILDING PERMIT BEING ISSUED, DOCUMENTS PERTAINING TO THE STORM WATER OPERATION AND MAINTENANCE SHALL BE RECORDED.
 26. ANY PIPE WORK WITHIN THE CITY'S RIGHT OF WAY SHALL BE PERFORMED BY A LICENSED CITY OF NASHUA DRAIN LAYER.
 27. UTILITIES INCLUDING ALL ELECTRIC, TELEPHONE, CABLE TELEVISION, AND OTHER COMMUNICATION LINES, BOTH MAIN AND SERVICE CONNECTIONS, SERVICING NEW DEVELOPMENTS SHALL BE PROVIDED BY UNDERGROUND WIRING WITHIN EASEMENTS OR DEDICATED PUBLIC RIGHT-OF-WAY, INSTALLED IN ACCORDANCE WITH THE BOARD OF PUBLIC WORKS SPECIFICATIONS.
 28. ALL PROPOSED PUBLIC IMPROVEMENTS OR UTILITY EXTENSIONS WILL REQUIRE BONDING.
 29. STREET SIGNAGE WILL BE ADDED TO THE SITE INDICATING NO ON-STREET PARKING.
 30. THE PROPOSED BUILDINGS WILL BE SPRINKLERED.
 31. A LETTER FROM A GEOTECHNICAL ENGINEER ADDRESSING THE DESIGN OF THE PROPOSED SLOPE TREATMENTS SHALL BE SUBMITTED TO THE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.



APPROVED BY NASHUA PLANNING BOARD

ON: _____ CERTIFIED BY _____
CHAIRMAN: _____ AND _____
SECRETARY: _____



SITE LAYOUT PLAN

GREELEY POINTE
TAX MAP PARCEL 59-135 - 122 MANCHESTER STREET
NASHUA, NEW HAMPSHIRE

PREPARED FOR:
GRANITE GREEN INVESTMENT PARTNERS, LLC
170 SOUTH RIVER ROAD, BUILDING 1, SUITE 102
BEDFORD, NH 03110 (603) 669-2770

LAND OF:
THE ELIZABETH S. GIMBER TRUST
6917 MADISON WAY, CENTENNIAL, CO 80122
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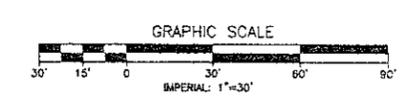
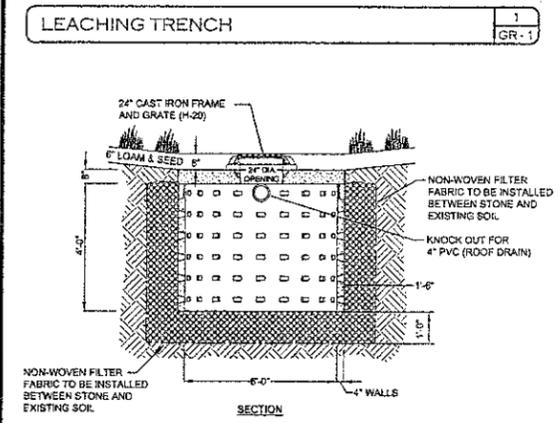
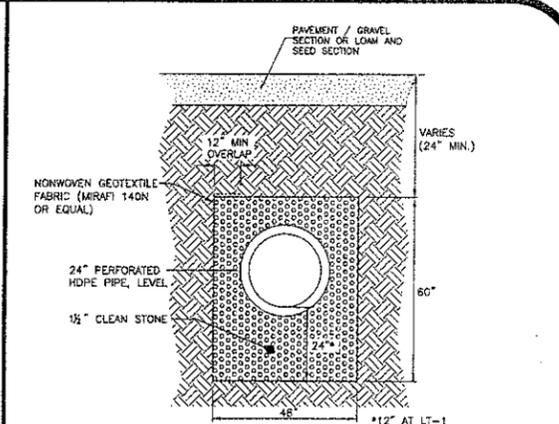
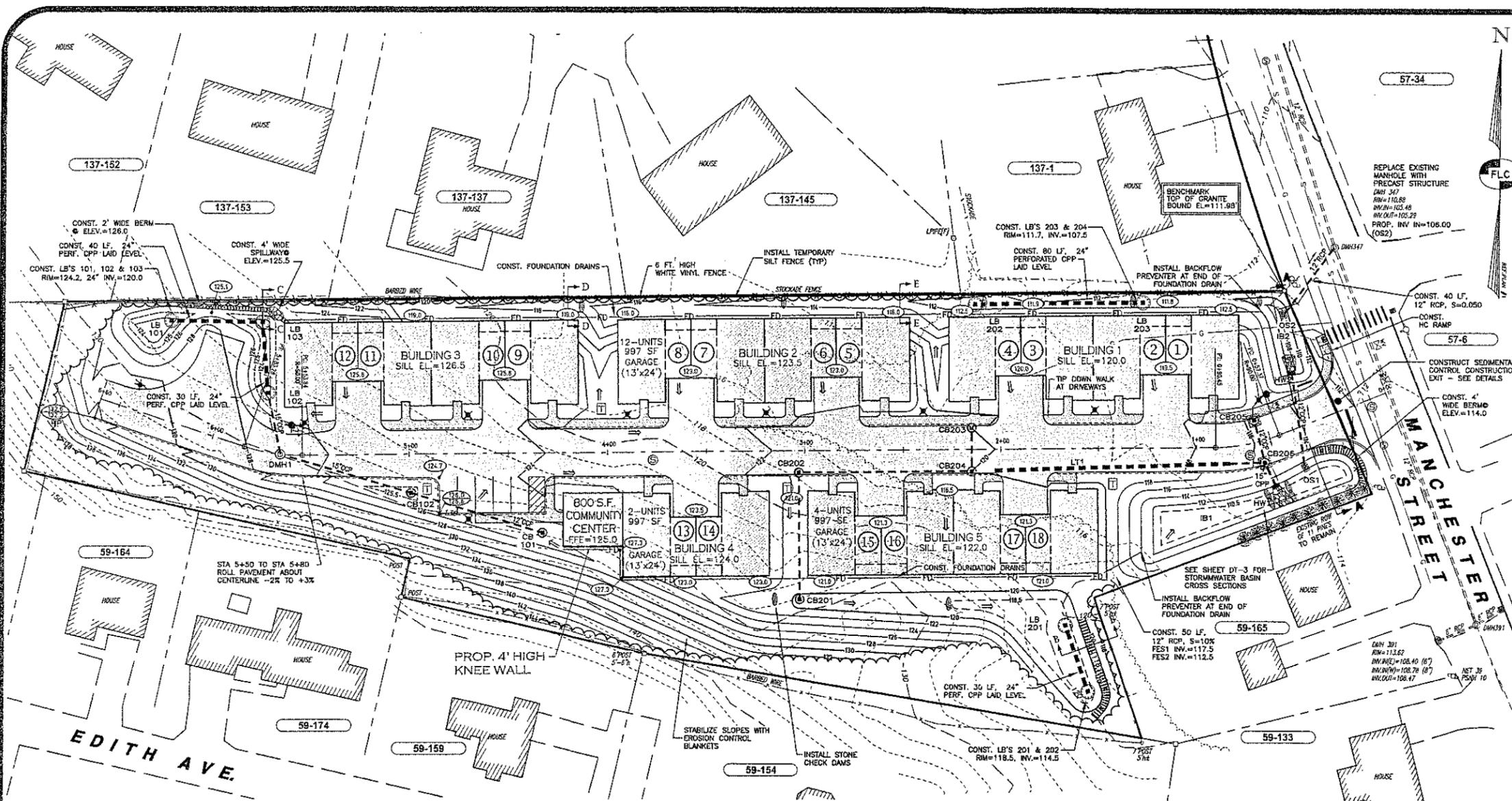
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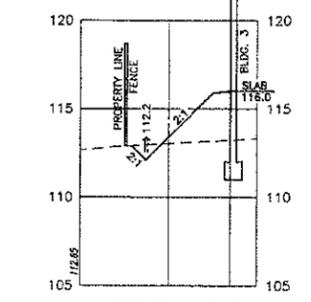
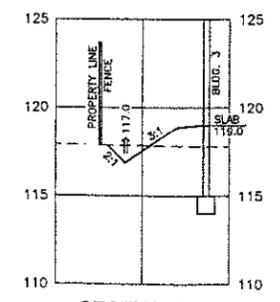
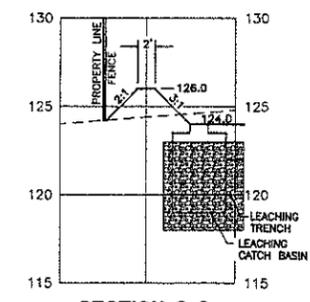
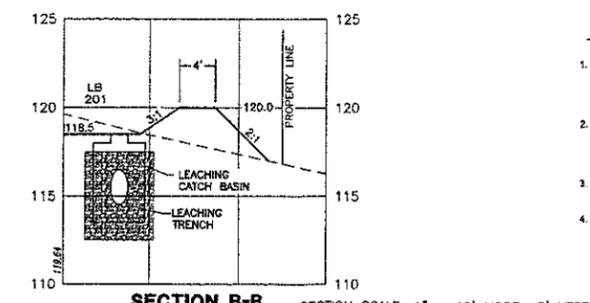
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EXISTING FEATURES		LEGEND:		PROPOSED FEATURES	
2-37-1	TAX MAP AND LOT NUMBER	○	IRON PIN	120	2 FT. CONTOUR
---	RIGHT-OF-WAY LINE	○	IRON PIPE	124	10 FT. CONTOUR
---	BOUNDARY LINE	○	CONCRETE OR GRANITE BOUND	125.5	SPOT ELEVATION
---	ADJOINING LOT LINE	⊙	DRILL HOLE	127.5	SPOT ELEVATION AT CURB
---	MINIMUM BUILDING SETBACK LINE	⊙	SIGN	---	EDGE OF PAVEMENT
---	EDGE OF PAVED ROAD	⊙	UTILITY POLE AND GUY WIRE	---	SLOPED GRANITE CURB
---	EDGE OF GRAVEL ROAD	⊙	TREES	---	FENCE
---	10' CONTOUR INTERVAL	⊙	DRAIN MANHOLE	---	FOUNDATION KNEEWALL
---	2' CONTOUR INTERVAL	⊙	SEWER MANHOLE	---	FOUNDATION DRAIN
---	TREE LINE	⊙		---	6" WATER LINE
---	WIRE FENCE	⊙		---	SANITARY SENSER LINE
---	WOOD FENCE	⊙		---	UNDERGROUND UTILITY LINES AND UTILITY BOXES LOCATION
---	CHAIN LINK FENCE	⊙		---	SURFACE WATER FLOW
---	STONE WALL	⊙		---	STORM WATER CATCH BASIN
---	OVERHEAD UTILITIES	⊙		---	STORM DRAIN MANHOLE
---	EDGE OF EASEMENT	⊙		---	STORM WATER DRAINAGE
---	BENCHMARK	⊙		---	LEACHING CATCH BASIN
		⊙		---	FLARED END SECTION
		⊙		---	OUTLET STRUCTURE



- GENERAL CONSTRUCTION NOTES:**
- THE CONTRACTOR SHALL REVIEW THE CONDITION OF THE EXISTING DRAIN MANHOLE (DMH 347) WITH THE NASHUA DEPARTMENT OF PUBLIC WORKS PRIOR TO CONSTRUCTION TO DETERMINE IF IT IS SUITABLE FOR THE PROPOSED CONSTRUCTION. IN THE EVENT THAT IT IS DETERMINED TO BE UNSUITABLE, THEN A NEW, PRECAST STRUCTURE SHALL BE INSTALLED.
 - THE CONTRACTOR SHALL PROVIDE A VIDEO OF THE EXISTING SEWER MAIN IN MANCHESTER STREET IN THE VICINITY OF THE PROPOSED SEWER CONNECTION (BM43) TO THE CITY OF NASHUA, DEPARTMENT OF PUBLIC WORKS PRIOR TO CONSTRUCTION TO DOCUMENT THE CONDITION OF THE EXISTING SEWER MAIN.
 - A PRE-CONSTRUCTION MEETING WITH THE CITY OF NASHUA ENGINEERING DEPARTMENT SHALL BE HELD PRIOR TO THE START OF CONSTRUCTION.
 - THE PROPOSED LOTS WILL BE DEVELOPED IN ACCORDANCE TO THE CITY OF NASHUA'S LAND USE ORDINANCES. THE PROPOSED BUILDINGS AND LOT GRADINGS SHOWN HEREON IS A REPRESENTATION OF HOW THE LOTS COULD BE DEVELOPED.



CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION
DIGSAFE.COM
 OR DIAL 8 1 1
 CALL 811 - KNOW WHAT'S BELOW

REV.	DATE	DESCRIPTION	C/O	DR	CK
B	11/14/16	REVISIONS PER CITY ENGINEERING REVIEW		NRC	CEB
A	10/20/16	REVISIONS PER STAFF REPORT & CHECKLIST		PWH	CEB

GRADING & EROSION CONTROL PLAN

GREELEY POINTE

TAX MAP PARCEL 59-135 - 122 MANCHESTER STREET
 NASHUA, NEW HAMPSHIRE

PREPARED FOR:
GRANITE GREEN INVESTMENT PARTNERS, LLC
 170 SOUTH RIVER ROAD, BUILDING 1, SUITE 102
 BEDFORD, NH 03110 (603) 669-2770

LAND OF:
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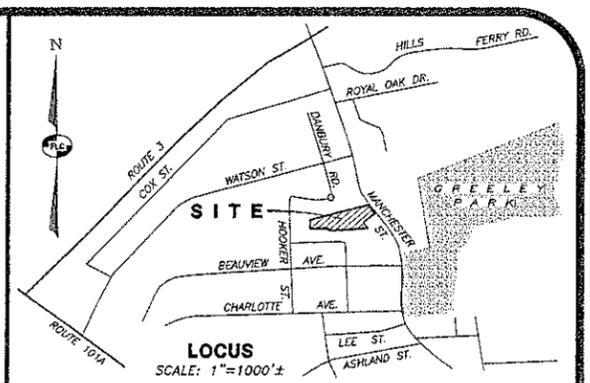
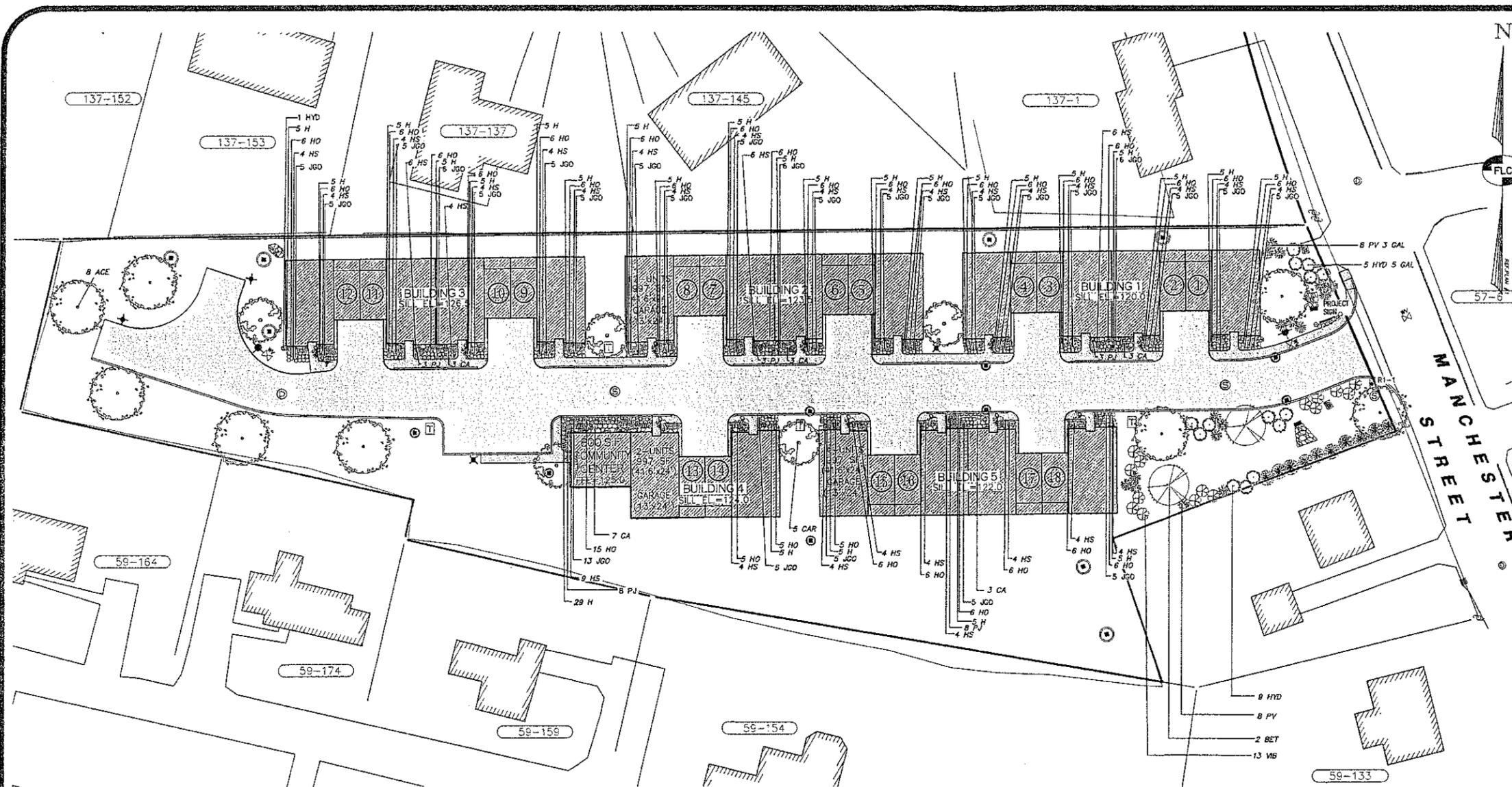
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FILE: 498PP046.dwg PROJ. NO. 498.04 SHEET: GR-1 PAGE NO. 6 OF 15



LEGEND:

EXISTING FEATURES

(2-37-1) TAX MAP AND LOT NUMBER	○ IRON PIN
RIGHT-OF-WAY LINE	○ IRON PIPE
BOUNDARY LINE	□ CONCRETE OR GRANITE BOUND
ADJOINING LOT LINE	⊙ DRILL HOLE
MINIMUM BUILDING SETBACK LINE	⊙ SIGN
EDGE OF PAVED ROAD	▭ EXISTING BUILDING
EDGE OF GRAVEL ROAD	⊙ UTILITY POLE AND GUY WIRE
10' CONTOUR INTERVAL	○ TREES
2' CONTOUR INTERVAL	⊙ DRAIN MANHOLE
TREE LINE	⊙ SENSER MANHOLE
WIRE FENCE	
WOOD FENCE	
CHAIN LINK FENCE	
STONE WALL	
OVERHEAD UTILITIES	
EDGE OF EASEMENT	

PROPOSED FEATURES

120 2 FT. CONTOUR	▭ SIDEWALK
114 10 FT. CONTOUR	▭ PAVED AREA
EDGE OF PAVEMENT	▭ UNITS OF CLEARING
SLOPED GRANITE CURB	(59-180) TAX MAP AND LOT NUMBER
FENCE	R1-1 STOP SIGN & STREET D SIGN
⊙ CATCH BASIN	
UNDERGROUND UTILITY LINES AND UTILITY BOXES LOCATION	
100 SURFACE WATER FLOW	
⊕ WATER HYDRANT	
⊕ WATER GATE VALVE	
⊕ WATER SERVICE SHUT-OFF	
⊕ POLE MOUNTED LIGHT	

PLANT SYMBOLS

○ CA	CLETHRA ALNIFOLIA (DWARF SUMMER SWEET)	16)3 GAL
○ JGO	JUNIPERUS CHINENSIS (GREY OVL. JUNIPER)	12)3)3GAL
○ PJ	PIERIS JAPONICA (DWARF ANDROMEDA)	14)3 GAL
⊕ HS	HELICTOTRICHON SEMPERVIRENS (BLUE OAT GRASS)	97)3 GAL
○ H	HEMEROCALLISSP. (DAYLILY)	14)1 GAL
○ HY	HYDRANGEA SP. (HYDRANGEA)	16) 5 GAL
⊕ VB	VBURNUM PRUNIFOLIUM (BLACKHAW VBURNUM)	15)4'-5'D&B
○ HO	HOSTA SP (HOSTA)	13)3 3 GAL

PLANTING LIST:

8)2'-2.5" CAL	
2)12'-14" CLUMP	
5)2'-2.5" CAL	
15)3 GAL	
16)3 GAL	
12)3)3GAL	
14)3 GAL	
97)3 GAL	
14)1 GAL	
16) 5 GAL	
15)4'-5'D&B	
13)3 3 GAL	

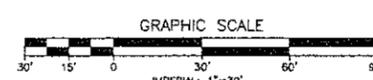
MISCELLANEOUS:

GENERAL LAWN SEED (BLUE SEAL LAWN MIX 11-A) OR EQUAL

RESTORATION SEED MIX: ROCKINGHAM SLOPE MIX OR NEW ENGLAND WARM SEASON MIX BY N.E. WETLAND PLANTS, INC.

DETENTION SEED MIXTURE: NEW ENGLAND WETLAND PLANTS, AMHERTS, MA. EROSION CONTROL/RESTORATION MIX FOR MOIST SITES.

PREMIUM BLEND PINE/HEMLOCK BARK MULCH



REV.	DATE	DESCRIPTION	C/O	DR	CK
B	11/14/16	REVISIONS PER CITY ENGINEERING REVIEW		NRC	CEB
A	10/20/16	REVISIONS PER STAFF REPORT & CHECKLIST		PWF	CEB

LANDSCAPING PLAN

GREELEY POINTE

TAX MAP PARCEL 59-135 - 122 MANCHESTER STREET
NASHUA, NEW HAMPSHIRE

PREPARED FOR:

GRANITE GREEN INVESTMENT PARTNERS, LLC
170 SOUTH RIVER ROAD, BUILDING 1, SUITE 102
BEDFORD, NH 03110 (603) 669-2770

LAND OF:

THE ELIZABETH S. GIMBER TRUST
6917 MADISON WAY, CENTENNIAL, CO 80122

AND DIANE E. GIMBER

C/O BISHOP REAL ESTATE MANAGEMENT (603) 321-0070
P.O. BOX 446, NASHUA, NH 03061

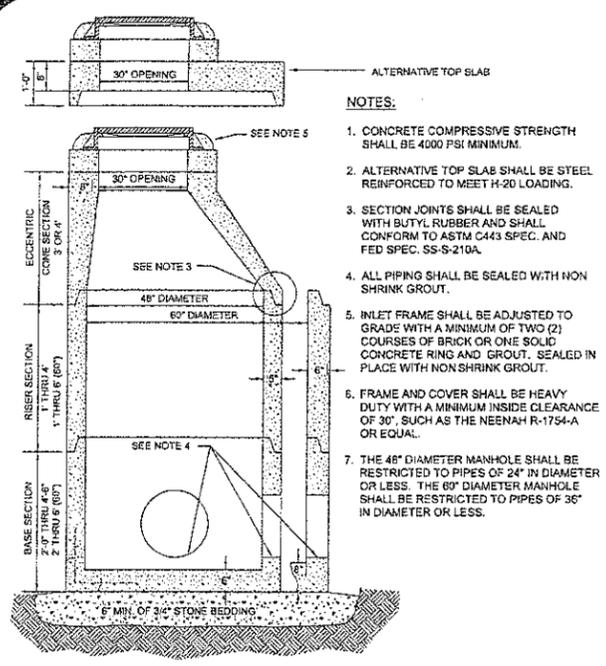
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Surveying + Engineering + Land Planning + Permitting + Septic Designs

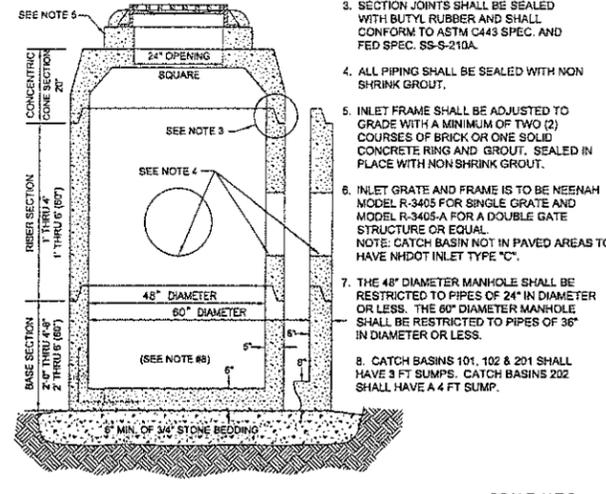
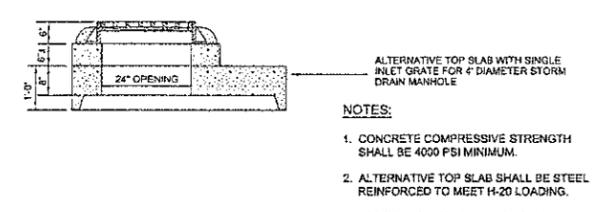
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776 Elm Street Suite C, Milford, NH 03055
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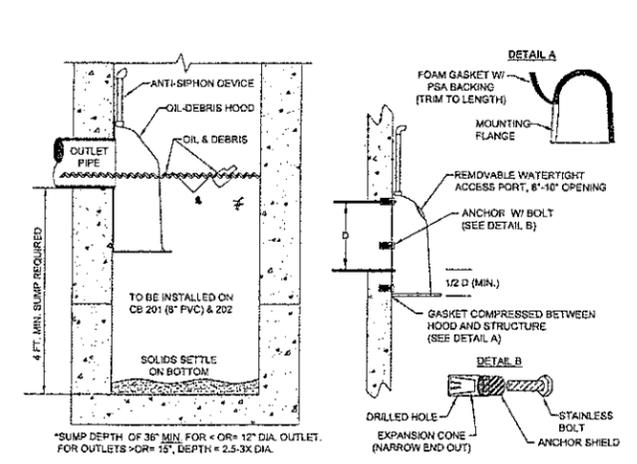
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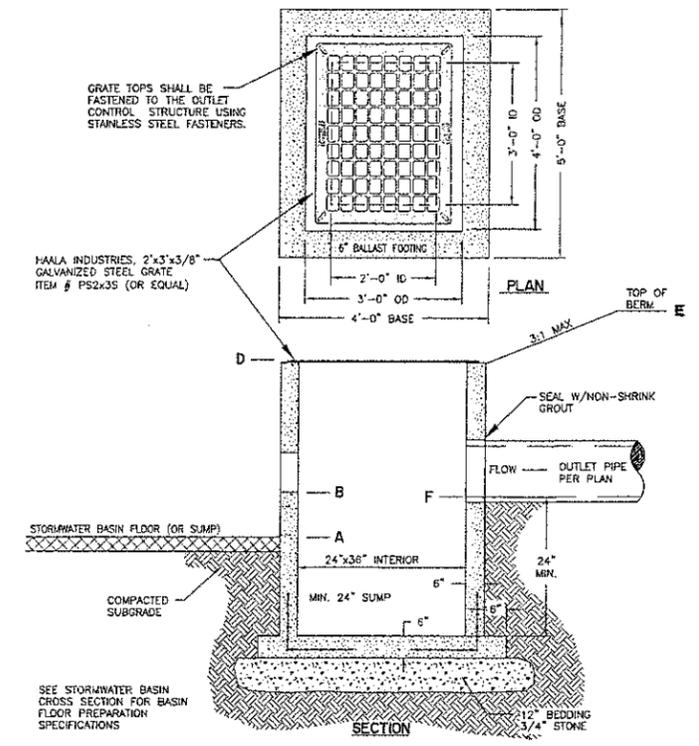
MANHOLE - STORM DRAIN DT-3



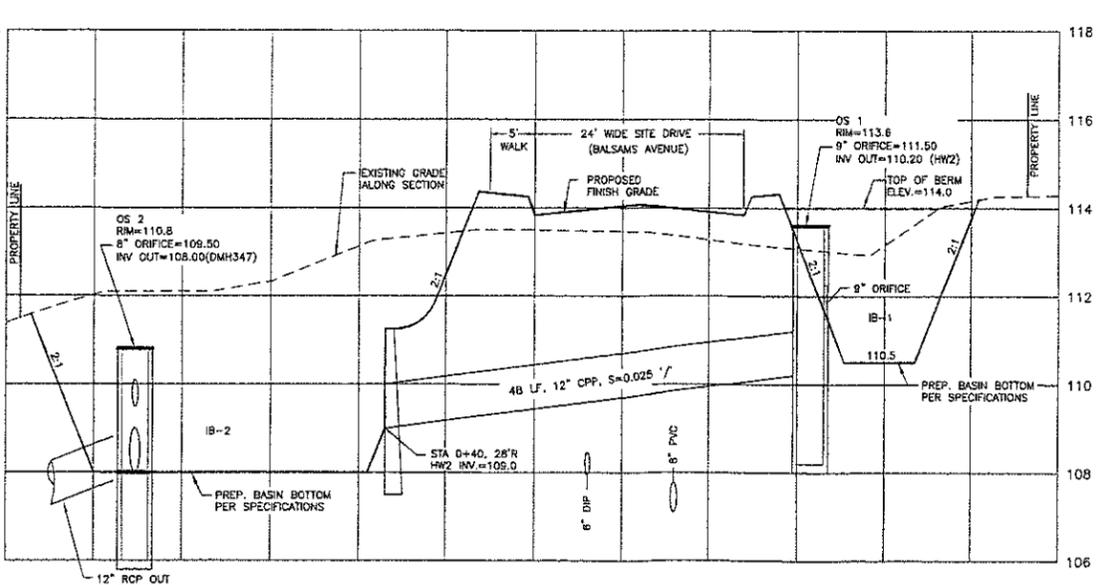
CATCH BASIN DT-3



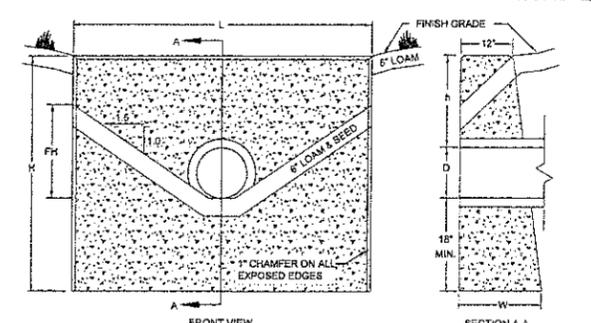
OIL - DEBRIS HOOD DT-3



STORMWATER BASIN OUTLET STRUCTURE DT-3

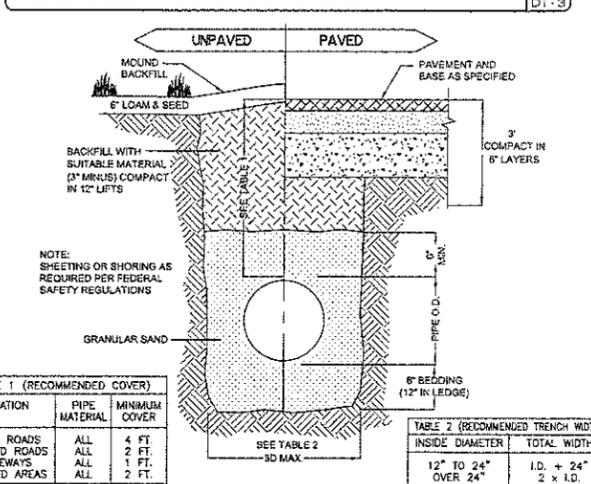


SECTION A-A INFILTRATION BASIN CROSS SECTIONS DT-3



CULVERT DIAM.	HEADWALL LENGTH	HEADWALL HEIGHT	FILL HEIGHT	PIPE COVER	HEADWALL BOTTOM WIDTH W
INCHES	L	H	FH	R	W
12	4'-2"	3'-8"	1'-3"	1'-3"	1'-11"
15	5'-11"	4'-2"	1'-7"	1'-5"	2'-0"

HEADWALL - PRECAST CONCRETE DT-3

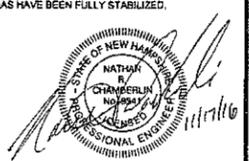


DRAINAGE TRENCH (TYPICAL) DT-3

LOCATION	BASIN OUTLETS		ELEVATIONS (FT.)					
	STAGE 1	STAGE 2	A	B	C	D	E	F
OS1	9" BRX	N/A	110.50	111.50	N/A	113.60	114.0	110.20
OS2	6" BRX	N/A	108.00	109.50	N/A	110.80	111.5	108.00

LOCATION	PIPE MATERIAL	MINIMUM COVER
PAVED ROADS	ALL	4 FT.
UNPAVED ROADS	ALL	2 FT.
DRIVEWAYS	ALL	1 FT.
UNPAVED AREAS	ALL	2 FT.

INSIDE DIAMETER	TOTAL WIDTH
12" TO 24" OVER 24"	I.D. + 24" 2 x I.D.



DRAINAGE DETAILS

GREELEY POINTE

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SCALE: N.T.S. AUGUST 23, 2016

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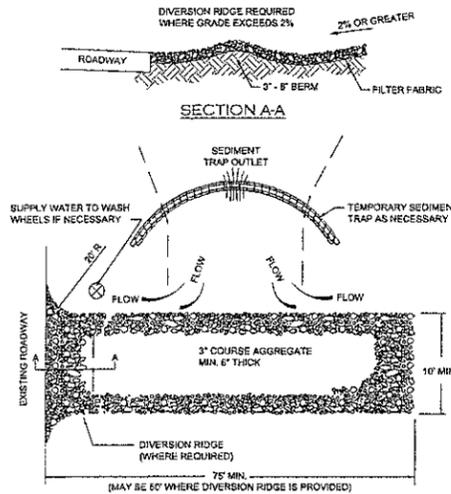
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EROSION CONTROL (GENERAL CONSTRUCTION)

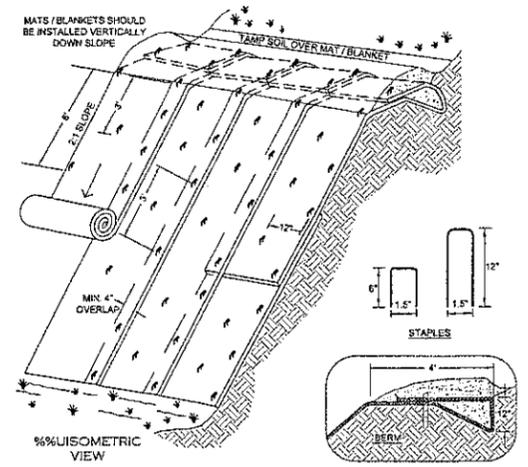
- PRIOR TO STARTING ANY WORK ON THE SITE THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES.
- EROSION CONTROL MEASURES SHALL BE INSTALLED PER PLANS AND DETAILS. PERIMETER CONTROLS SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF EARTH DISTURBING ACTIVITIES.
- EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEN POSSIBLE.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE KEPT CLEAN DURING CONSTRUCTION. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EVERY 8-INCH OR GREATER RAINFALL. SUCH AS STONE OR RIPRAP, HAS BEEN INSTALLED. OR
- THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION. AT NO TIME SHALL THE TOTAL UNSTABILIZED DISTURBED AREA, INCLUDING LOT DISTURBANCES, BE GREATER THAN FIVE (5) ACRES.
- THE LAND AREA EXPOSED SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME. ALL NON-ACTIVE DISTURBED AREAS SHALL BE STABILIZED WITHIN 30 DAYS OF THE DISTURBANCE. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF FINAL GRADING.
- DITCHES, SWALES AND DRAINAGE BASINS SHALL BE CONSTRUCTED DURING THE INITIAL PHASE OF CONSTRUCTION AND STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- AN AREA SHALL BE CONSIDERED ESTABLISHED IF ONE OF THE FOLLOWING HAS OCCURED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - A MINIMUM OF 3-INCHES OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RIPRAP, HAS BEEN INSTALLED. OR
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL SLOPES THAT ARE STEEPER THAN 3:1 (HORIZONTAL / VERTICAL) UNLESS OTHERWISE SPECIFIED THE CONTRACTOR SHALL USE NORTH AMERICAN GREEN SC150, OR APPROVED EQUAL.
- ALL AREAS RECEIVING EROSION CONTROL, STONE OR RIPRAP SHALL HAVE A GEOTEXTILE MATERIAL INSTALLED BELOW THE STONE (SEE APPROPRIATE DETAILS).
- ALL DISTURBED AREAS TO TURF FINISHED SHALL BE COVERED WITH A MINIMUM THICKNESS OF 6 INCHES OF COMPACTED LOAM. LOAM SHALL BE COVERED WITH THE APPROPRIATE SEED MIXTURE AS INDICATED BELOW:

PERMANENT SEED (LAWN AREAS) LBS. / 1,000 SQ. FT.	PERMANENT SLOPE SEED MAX. LBS. / 1,000 SQ. FT.
CREeping RED FESCUE 0.92 LBS	CREeping RED FESCUE 0.85 LBS
PERENNIAL RYEGRASS 1.15 LBS	PERENNIAL RYEGRASS 0.89 LBS
KENTUCKY BLUEGRASS 0.85 LBS	REDTOP 0.12 LBS
REDTOP 0.12 LBS	ALPINE CLOVER 0.12 LBS
	BIRDFOOT TREFOIL 0.12 LBS
**APPLICATION RATE TOTALS	**APPLICATION RATE TOTALS
2.8 LBS PER 1,000 SF**	1.65 LBS PER 1,000 SF**
- APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE (CRITICAL TIME FRAMES OR VARIABLE SITES) THEN APPLY FERTILIZER AT A RATE OF 11 POUNDS PER 1,000 SF AND LIMESTONE AT A RATE OF 90 POUNDS PER 1,000 SF. FERTILIZER SHALL BE LOW PHOSPHATE (LESS THAN 2% PHOSPHORUS).

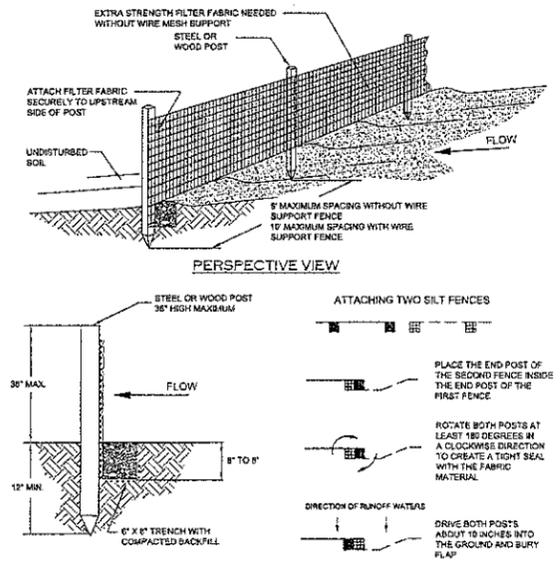
CAUTION SHOULD BE TAKEN WHEN THE PROPERTY IS LOCATED WITHIN 250 FEET OF A WATER BODY. IN THIS CASE ALL FERTILIZERS SHALL BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER. SLOW RELEASE NITROGEN FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN COMPONENT. NO FERTILIZER EXCEPT LIMESTONE SHALL BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE ARE REGULATED LIMITATIONS.
- PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS (SEE WATER CONSTRUCTION NOTES). NO DISTURBED AREAS SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.
- A VIGOROUS DUST CONTROL PROGRAM SHALL BE APPLIED BY THE SITE CONTRACTOR. DUST SHALL BE MANAGED THROUGH THE USE OF WATER AND/OR CALCIUM CHLORIDE.
- IN NO WAY ARE THE MEASURES INDICATED ON THE PLANS OR IN THESE NOTES TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGEMENT TO INSTALL ADDITIONAL EROSION CONTROL MEASURES AS SITE CONDITIONS, WEATHER OR CONSTRUCTION METHODS WARRANT.
- FOLLOWING PERMANENT STABILIZATION, TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND ACCUMULATED SEDIMENTATION IS TO BE DISPOSED OF IN AN APPROVED LOCATION, OUTSIDE OF JURISDICTIONAL WETLANDS.
- IN AN EFFORT TO RESTORE ADEQUATE INFILTRATION RATES OF THE BASINS PRIOR TO USE, THE BASES OF THE INFILTRATION BASINS SHALL BE DEEPLY TILLED AND THEN FOLLOWED BY A PASS WITH A LEVELING DRAG. STORMWATER FLOWS ARE NOT TO BE DIRECTED INTO THE INFILTRATION BASINS UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- LOT DISTURBANCE OTHER THAN SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.
- THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR OBSERVING AND MARKING THE PROJECT PER RSA 425:3 AND 425:4 REGARDING INVASIVE SPECIES (PLANTS AND INSECTS); NO INVASIVE SPECIES PLANT OR INSECT SHALL BE INTRODUCED ONTO THE SITE.



- NOTES:**
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - THE MINIMUM STONE USED SHOULD BE 3-INCH CRUSHED STONE.
 - THE MINIMUM LENGTH OF THE PAD SHOULD BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 8-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
 - THE PAD SHOULD EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER.
 - THE PAD SHOULD SLOPE AWAY FROM THE EXISTING ROADWAY.
 - THE PAD SHOULD BE AT LEAST 8-INCHES THICK.
 - THE GEOTEXTILE FILTER FABRIC SHOULD BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD.
 - THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE Voids IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE.
 - NATURAL DRAINAGE THAT CROSSES THE LOCATION OF THE STONE PAD SHOULD BE INTERCEPTED AND PIPED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

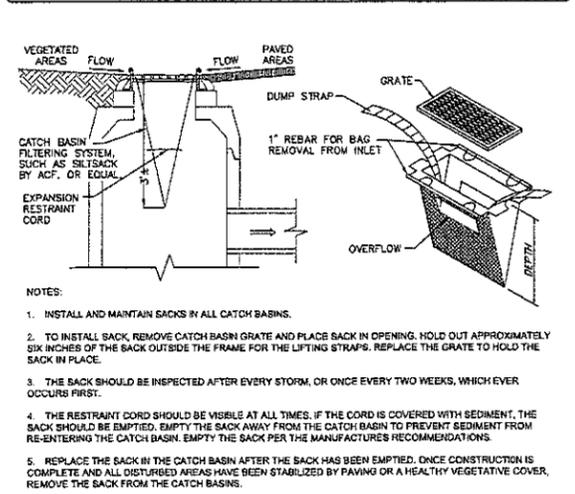


- NOTES:**
- DIMENSIONS GIVEN IN THIS DETAIL ARE EXAMPLES. DEVICE SHOULD BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 - INSTALL STRAW/WOODCOBUT FIBER EROSION CONTROL MAT SUCH AS NORTH AMERICAN GREEN SC150 OR EQUAL ON ALL SLOPES EXCEEDING 3' HORIZ. / 1' VERT.
 - THE EROSION CONTROL MATERIAL(S) SHALL BE ANCHORED WITH "U" SHAPED 11 GAUGE WIRE STAPLES OR WOODEN STAKES WITH A MINIMUM TOP WIDTH OF 1 INCH AND LENGTH OF 6 INCH.
 - SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS / BLANKETS SHALL HAVE GOOD SOIL CONTACT.
 - APPLY LIME, FERTILIZER AND PERMANENT SEEDING BEFORE PLACING BLANKETS.
 - BERM AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET AS SHOWN. ROLL THE BLANKETS DOWN THE SLOPE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES OR STAKES IN APPROPRIATE LOCATIONS. REFER TO MANUFACTURER'S STAPLE GUIDE FOR CORRECT STAPLE PATTERN.
 - LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
 - IN LOOSE SOIL CONDITIONS THE USE OF STAPLES OR STAKE LENGTHS GREATER THAN 6 INCHES MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
 - THE CONTRACTOR SHALL MAINTAIN THE BLANKET UNTIL ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DAMAGED BY ANY CAUSE. ALL DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITIONS AND GRADE OF THE SOIL PRIOR TO APPLICATION OF THE COVERING AND SHALL BE RE-FERTILIZED, RESEEDED AND REMULCHED AS DIRECTED.



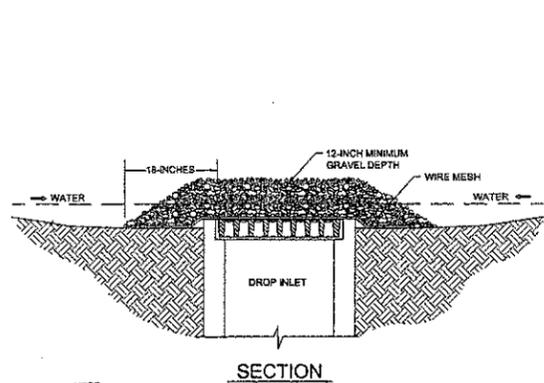
- NOTES:**
- SILT FENCES SHOULD NOT BE USED ACROSS STREAMS, CHANNELS, SWALES, DITCHES OR OTHER DRAINAGEWAYS.
 - SILT FENCE SHOULD BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE AND THE ENDS OF THE SILT FENCE SHOULD BE FLARED UPSLOPE.
 - IF THE SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE OR THE PRESENCE OF HEAVY ROOTS THE BASE OF THE FABRIC SHOULD BE EMBEDDED WITH A MINIMUM THICKNESS OF 8 INCHES OF 3/4-INCH STONE.
 - SILT FENCES PLACED AT THE TOE OF SLOPES SHOULD BE INSTALLED AT LEAST 6 FEET FROM THE TOE TO ALLOW SPACE FOR SHALLOW PONDING AND ACCESS FOR MAINTENANCE.
 - THE MAXIMUM SLOPE ABOVE THE FENCE SHOULD BE 2:1 AND THE MAXIMUM LENGTH OF SLOPE ABOVE THE FENCE SHOULD BE 100 FEET.
 - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 - SILT FENCES SHOULD BE REMOVED WHEN THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.

EROSION CONTROL NOTES



- NOTES:**
- INSTALL AND MAINTAIN SACKS IN ALL CATCH BASINS.
 - TO INSTALL SACK, REMOVE CATCH BASIN GRATE AND PLACE SACK IN OPENING. HOLD OUT APPROXIMATELY SIX INCHES OF THE BACK OUTSIDE THE FRAME FOR THE CATCH BASIN TO HOLD THE SACK IN PLACE.
 - THE SACK SHOULD BE INSPECTED AFTER EVERY STORM, OR ONCE EVERY TWO WEEKS, WHICH EVER OCCURS FIRST.
 - THE RESTRAINT CORD SHOULD BE VISIBLE AT ALL TIMES. IF THE CORD IS COVERED WITH SEDIMENT, THE SACK SHOULD BE EMPTIED, EMPTY THE SACK AWAY FROM THE CATCH BASIN TO PREVENT SEDIMENT FROM RE-ENTERING THE CATCH BASIN. EMPTY THE SACK PER THE MANUFACTURER'S RECOMMENDATIONS.
 - REPLACE THE SACK IN THE CATCH BASIN AFTER THE SACK HAS BEEN EMPTIED. ONCE CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN STABILIZED BY PAVING OR A HEALTHY VEGETATIVE COVER, REMOVE THE SACK FROM THE CATCH BASIN.

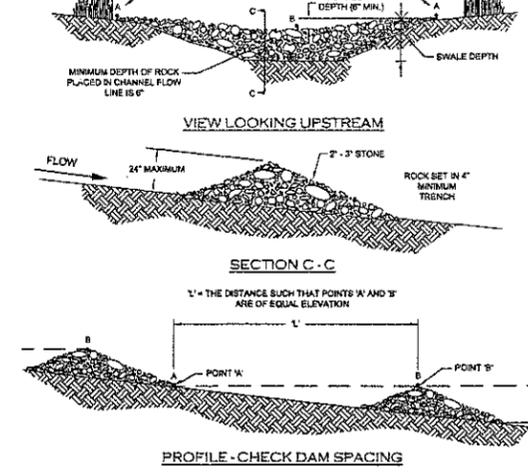
GRAVEL CONSTRUCTION EXIT



- NOTE:**
- DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS (LESS THAN 5%).
 - THIS TYPE OF BARRIER HAS NO OVERFLOW PROVISION, WILL RESULT IN PONDING IF THE SEDIMENT IS NOT REMOVED REGULARLY AND SHOULD THEREFORE NOT BE USED WHEN OVERFLOW MAY ENDANGER DOWN SLOPE AREAS.
 - THE WIRE MESH SHOULD BE PLACED OVER THE DROP INLET SO THAT THE ENTIRE OPENING AND A MINIMUM OF 12-INCHES AROUND THE OPENING ARE COVERED BY THE MESH.
 - THE WIRE MESH SHOULD BE HARDWARE CLOTH OR WIRE WITH OPENINGS UP TO ONE HALF INCH.
 - THE GRAVEL FILTER SHOULD BE CLEAN COARSE AGGREGATE.
 - THE GRAVEL SHOULD EXTEND AT LEAST 18-INCHES ON ALL SIDES OF THE DRAIN OPENING AND SHALL BE AT LEAST 12-INCHES IN DEPTH.
 - IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONES MUST BE PULLED AWAY FROM THE STRUCTURE, CLEANED AND REPLACED.

GRAVEL & WIRE MESH SEDIMENT BARRIER

EROSION BLANKETS - SLOPE INSTALLATION

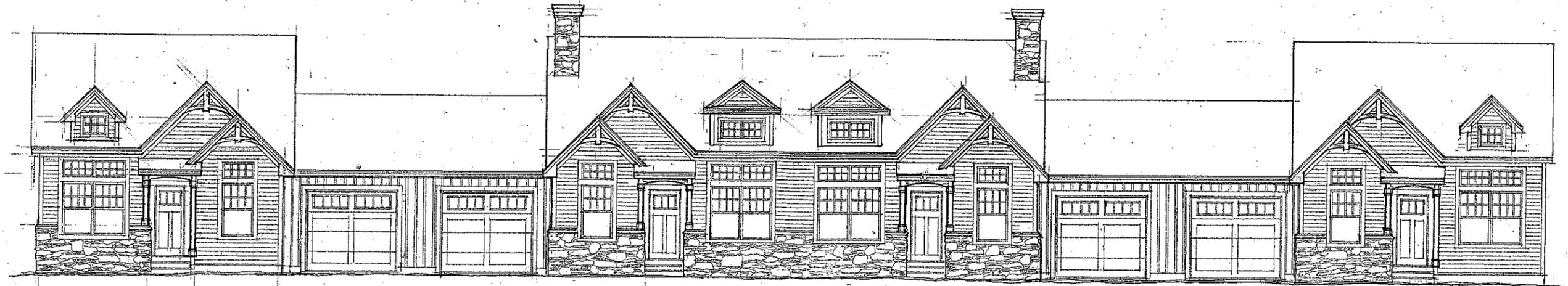


- NOTES:**
- STONE CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
 - THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE CHECK DAM SHOULD BE LESS THAN ONE ACRE.
 - STONE CHECK DAMS SHOULD NOT BE USED IN A FLOWING STREAM.
 - STONE CHECK DAMS SHOULD BE CONSTRUCTED OF WELL-GRADED ANGULAR 2 TO 3 INCH STONE. THE INSTALLATION OF 3/4-INCH STONE ON THE UPSLOPE FACE IS RECOMMENDED FOR BETTER FILTERING.
 - WHEN INSTALLING STONE CHECK DAMS THE CONTRACTOR SHALL KEY THE STONE INTO THE CHANNEL BANKS AND EXTEND THE STONE BEYOND THE ABUTMENTS A MINIMUM OF 18-INCHES TO PREVENT FLOW AROUND THE DAM.
 - STONE CHECK DAMS SHOULD BE REMOVED ONCE THE SWALE OR DITCH HAS BEEN STABILIZED UNLESS OTHERWISE SPECIFIED.

STONE CHECK DAM

REV.	DATE	DESCRIPTION	C/O	DR	CK

EROSION & SEDIMENTATION CONTROL DETAILS
GREELEY POINTE
TAX MAP PARCEL 59-135 • 122 MANCHESTER STREET
NASHUA, NEW HAMPSHIRE
PREPARED FOR:
GRANITE GREEN INVESTMENT PARTNERS, LLC
170 SOUTH RIVER ROAD, BUILDING 1, SUITE 102
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FILE: 4980104B.dwg PROJ. NO. 498.04 SHEET: DT-4 PAGE NO. 13 OF 15



FRONT ELEVATION - 4 UNIT
SCALE: 3/16" = 1'-0"

CERTIFICATION:

I HEREBY CERTIFY THAT THE FLOOR PLAN DIMENSIONS SHOWN ARE ACCURATE PER THE ARCHITECTURAL PLANS PROVIDED AND/OR MEASURED AND THAT THIS PLAN COMPLIES WITH THE CONTEMPLATED IMPROVEMENTS PROVISIONS OF RSA 356-B:20 II AND THAT ALL OF THE UNITS ARE NOT YET BEGUN.

DATE: 8/25/16

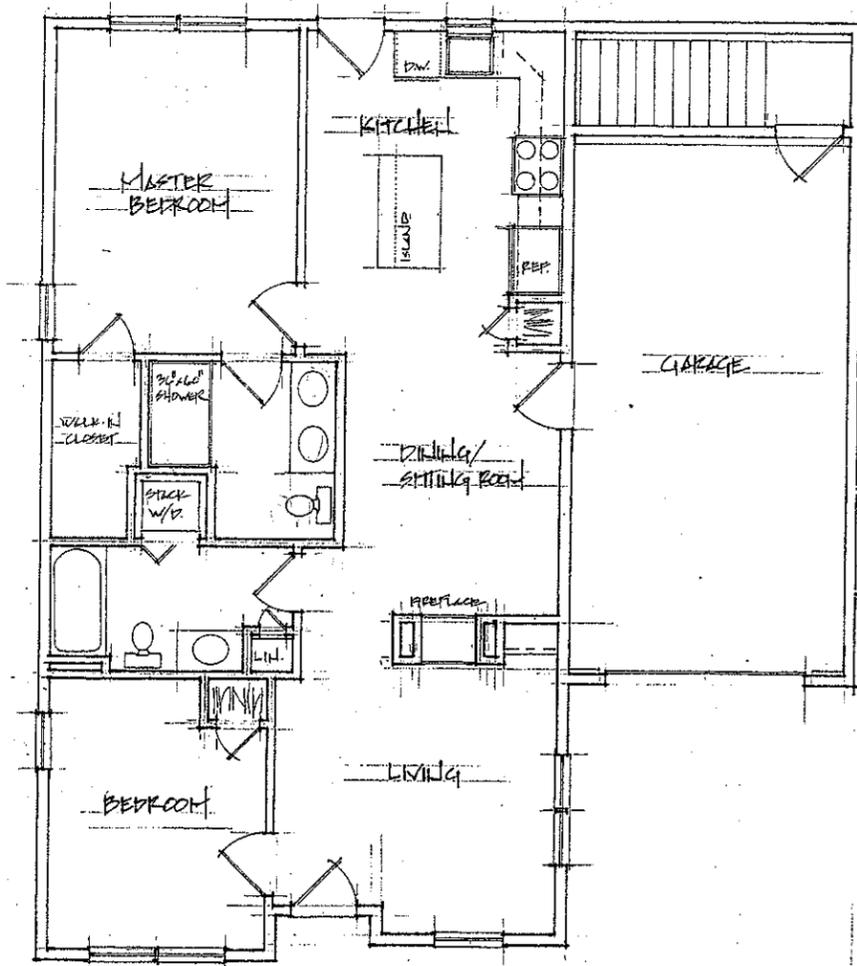


NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE DESIGNED INTERIOR DIMENSIONS OF THE CONDOMINIUM BUILDINGS PROPOSED FOR CONSTRUCTION AT GREELEY POINTE, NASHUA TAX MAP LOT 59-735, 122 MANCHESTER STREET, NASHUA, NEW HAMPSHIRE.
2. THE FLOOR PLANS AND DIMENSIONS SHOWN HEREON ARE INTENDED TO REPRESENT THE PROPOSED CONSTRUCTION OF THE BUILDING CORRESPONDING TO THE LOCATION SHOWN WITHIN THIS PLAN SET. THIS SHALL NOT, HOWEVER, PRECLUDE THE CONSTRUCTION OF OTHER SUITABLE BUILDING STYLES NOT SHOWN WITHIN.
3. FLOOR PLANS SHOWN WERE PROVIDED BY ENVISIONARY LINES, LLC, 614 NASHUA STREET, MILFORD, NH 03055.

APPROVED BY NASHUA PLANNING BOARD

ON: _____ CERTIFIED BY
CHAIRMAN: _____ AND
SECRETARY: _____



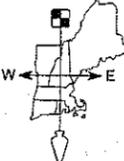
MAIN FLOOR PLAN

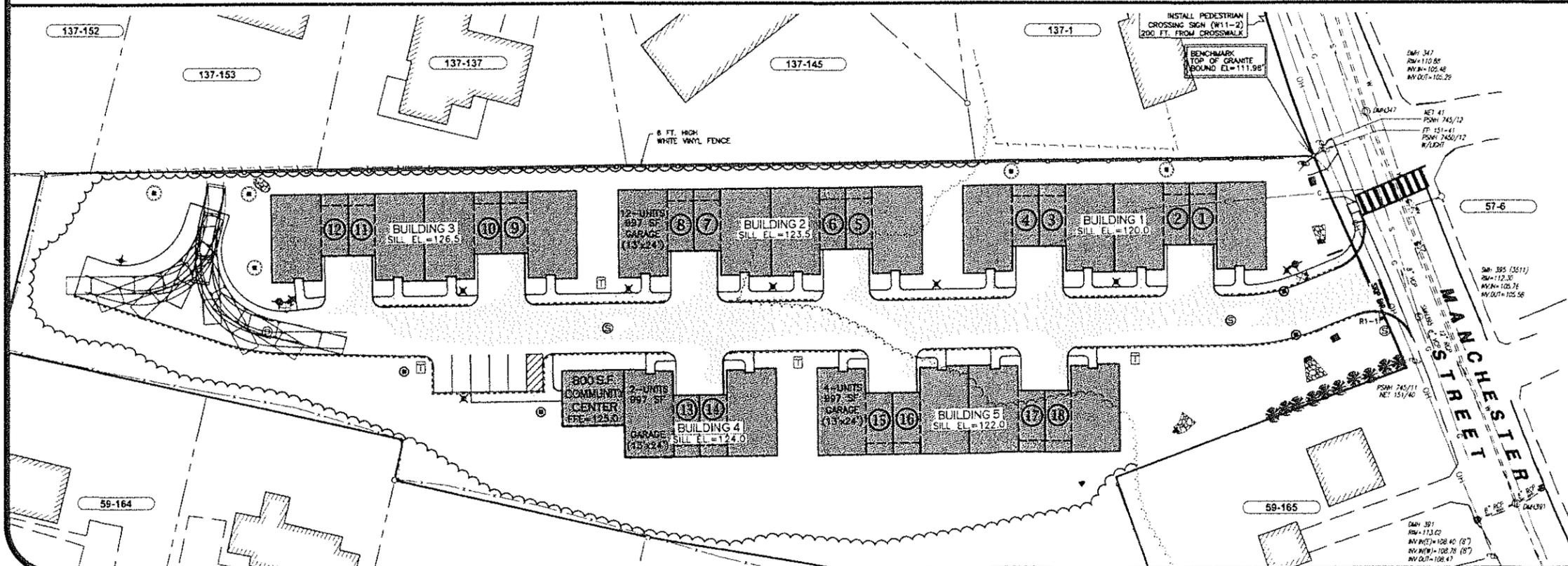
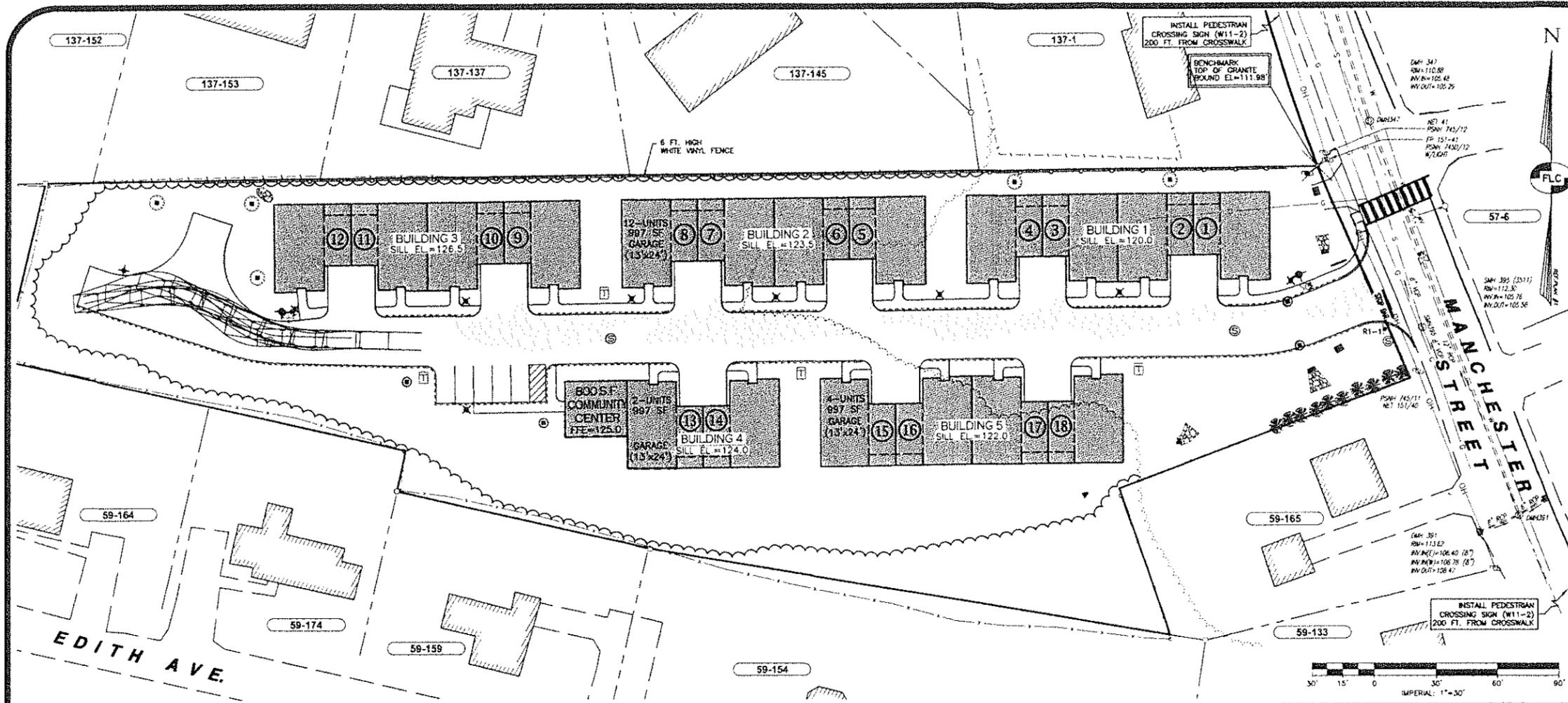
SCALE: 1/4" = 1'-0" 997 SQ. FT.



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

REV.	DATE	DESCRIPTION	C/O	DR	CK
CONDOMINIUM FLOOR PLAN GREELEY POINTE TAX MAP PARCEL 59-135 - 122 MANCHESTER STREET NASHUA, NEW HAMPSHIRE PREPARED FOR: GRANITE GREEN INVESTMENT PARTNERS, LLC 170 SOUTH RIVER ROAD, BUILDING 1, SUITE 102 BEDFORD, NH 03110 (603) 669-2770 LAND OF: THE ELIZABETH S. GIMBER TRUST 6917 MADISON WAY, CENTENNIAL, CO 80122 AND DIANE E. GIMBER C/O BISHOP REAL ESTATE MANAGEMENT P.O. BOX 446, NASHUA, NH 03061 (603) 321-0070 SCALE: 1/4" = 1'-0" AUGUST 23, 2016 Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs  FIELDSTONE LAND CONSULTANTS, PLLC 206 Elm Street, Milford, NH 03055 Phone: (603) 672-5456 Fax: (603) 413-5456 www.FieldstoneLandConsultants.com					



REV	DATE	DESCRIPTION	C/O	DR	CK

TRUCK TURNING EXHIBIT

GREELEY POINTE

TAX MAP PARCEL 59-135 - 122 MANCHESTER STREET
NASHUA, NEW HAMPSHIRE

PREPARED FOR:
GRANITE GREEN INVESTMENT PARTNERS, LLC
170 SOUTH RIVER ROAD, BUILDING 1, SUITE 102
BEDFORD, NH 03110 (603) 889-2770

LAND OF:
THE ELIZABETH S. GIMBER TRUST
6917 MADISON WAY, CENTENNIAL, CO 80122
AND DIANE E. GIMBER
C/O BISHOP REAL ESTATE MANAGEMENT (603) 321-0070
P.O. BOX 446, NASHUA, NH 03061

SCALE: 1" = 30' HORIZ., 6' VERT. OCTOBER 25, 2016

Surveying + Engineering + Land Planning + Permitting + Septic Designs

FIELDSTONE
LAND CONSULTANTS, PLLC

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Phone: (603) 672-5456 Fax: (603) 413-5456
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