

1. Planning Board Regular Meeting Agenda - Amended (PDF)

Documents:

[20161103 NCPB AGENDA AMENDED.PDF](#)

2. Planning Board Staff Reports And Plans

Documents:

[20161103 55 NORTHEASTERN BLVD CUP STAFF REPORT.PDF](#)
[20161103 55 NORTHEASTERN BLVD CUP PLAN.PDF](#)
[20161103 667 AND 673 WEST HOLLIS ST SUBDIVISION STAFF REPORT.PDF](#)
[20161103 667 AND 673 WEST HOLLIS ST SUBDIVISION PLAN.PDF](#)
[20161103 1095 AND 1093 WEST HOLLIS ST SUBDIVISION PLAN STAFF REPORT.PDF](#)
[20161103 1093 AND 1095 WEST HOLLIS ST SUBDIVISION PLAN.PDF](#)
[20161103 9 UNION ST, L BRIDGE ST AND 6 ECKLER AVE SUBDIVISION PLAN STAFF REPORT.PDF](#)
[20161103 9 UNION ST, L BRIDGE AND 6 ECKLER SUBDIVISION PLAN.PDF](#)
[20161103 539 AMHERST ST SUBDIVISION STAFF REPORT.PDF](#)
[20161103 539 AMHERST ST SUBDIVISION PLAN.PDF](#)
[20161103 537 AND 539 AMHERST ST SITE PLAN STAFF REPORT.PDF](#)
[20161103 537 AND 539 AMHERST ST SITE PLAN.PDF](#)
[20161103 190 BROAD ST SITE PLAN STAFF REPORT.PDF](#)
[20161103 190 BROAD ST SITE PLAN.PDF](#)



City of Nashua
Planning Department
229 Main Street
Nashua, New Hampshire 03061-2019

Planning & Zoning 589-3090
Fax 589-3119
WEB www.nashuanh.gov

October 27, 2016

AMENDED AGENDA

To: NCPB Members

From: Planning Staff

Re: Meeting, November 3, 2016

A regular meeting of the Nashua City Planning Board will be held on Thursday, at 7:00 p.m. in the City Hall Auditorium, 3rd floor, 229 Main Street. The Planning Staff will be available at 6:30 p.m. to answer any questions the Board or Public might have concerning the following proposed agenda.

- A. Call to Order
- B. Roll Call
- C. Approval of Minutes – October 20, 2016
- D. Communications
- E. Report of Chairman, Committee, & Liaison
- F. Executive Session

OLD BUSINESS – CONDITIONAL / SPECIAL USE PERMITS

None

OLD BUSINESS - SUBDIVISION PLANS

None

OLD BUSINESS – SITE PLANS

None

NEW BUSINESS – CONDITIONAL / SPECIAL USE PERMITS

- 1 1987 Tamposi Limited Partnership (Owner) Boston Billiards Club (Applicant) Application and acceptance of proposed conditional use permit to allow charitable games of chance. Property is located at 55 Northeastern Blvd. Sheet 140 - Lot 61. Zoned "PI" Park Industrial. Ward 6.

NEW BUSINESS – SUBDIVISION PLANS

2. Etchstone Properties, Inc. and Pitarys Homes, Inc. (Owners) Etchstone Properties, Inc. (Applicant) - Application and acceptance of proposed consolidation of Lots 62 & 64 and then subdivide into 34 conservation lots and two open space lots. Property is located at 667 & 673 West Hollis Street. Sheet F - Lots 62 & 64. Zoned "R9" Suburban Residence. Ward 5.

NEW BUSINESS – SUBDIVISION PLANS (continued)

3. Thomas and Michelle Marengi-Arpin and Crimson Properties, LLC (Owners) - Application and acceptance of proposed lot line relocation plan. Property is located at 1093 & 1095 West Hollis Street. Sheet D - Lots 69 & 70. Zoned "R30" Suburban Residence. Ward 5.
4. Fitorm, Inc. and Flexwit, LLC (Owners) - Application and acceptance of proposed lot line relocation plan. Property is located at 9 Union Street, "L" Bridge Street, and 6 Eckler Avenue. Sheet 39 - Lot 38 and Sheet 38 - Lots 66 & 91. Zoned "GI" General Industrial. Ward 7.
5. Walter W. Anderson (Owner) Holland Hampshire, LLC (Applicant) - Application and acceptance of proposed two lot subdivision. Property is located at 539 Amherst Street. Sheet H - Lot 88. Zoned "HB" Highway Business. Ward 2.

NEW BUSINESS – SITE PLANS

6. Walter W. Anderson (Owner) Holland Hampshire, LLC (Applicant) - Application and acceptance of proposed site plan to demolish the existing building and construct a proposed 6,750 sf vehicle repair/service building along with associated site improvements. 4 Property is located at 539 Amherst Street. Sheet H - Lot 88. Zoned "HB" Highway Business. Ward 2.
7. 190 Broad Street Realty Co (Owner) Noury Investments, LLC (Applicant) - Application and acceptance of proposed one year extension for a site plan to construct a 2-story, 10,388 sf multi-tenant office building and associated site improvements. Property is located at 190 Broad Street. Sheet E - Lot 744. Zoned "GB" General Business. Ward 1.
8. Raisanen Homes, Elite, LLC (Applicant) Henry P. and Mary E. Castonguay Rev Trust (Owner) - Application and acceptance of proposed 10 lot condominium site plan. Property is located at 738 West Hollis Street. Sheet D - Lot 75. Zoned "R9" Suburban Residence. Ward 5. **(Postponed to the November 17, 2016 Meeting)**
9. Diane E. Gimber and Bishop Real Estate Management, Inc. (Owners) Granite Green Investment Partners (Applicant) Application and acceptance of proposed 18-Unit Age Restricted Housing Condominium Site Plan development. Property is located at 122 Manchester Street. Sheet 59 - Lot 135. Zoned "RA" Urban Residence. Ward 2. **(Postponed to the November 17, 2016 Meeting)**

OTHER BUSINESS

1. Review of tentative agenda to determine proposals of regional impact.
2. Referral from the Board of Aldermen on proposed, O-16-020, clarifying and updating the elderly housing supplemental use regulations.

DISCUSSION ITEM

None

NONPUBLIC SESSION

The Planning Board will need to make a motion to enter into a Nonpublic Session under RSA 91-A:3, II (e) for consideration or negotiation of pending claims or litigation which has been threatened in writing or filed against the public body.

NEXT MEETING

November 17, 2016

ADJOURN

WORKSHOP

ACCOMMODATIONS FOR THE SENSORY IMPAIRED

**"SUITABLE ACCOMMODATIONS FOR THE SENSORY IMPAIRED
WILL BE PROVIDED UPON ADEQUATE ADVANCE NOTICE."**

CONDUCT AT PLANNING BOARD MEETING

When the meeting is called to order, the only talking allowed in the Auditorium will be remarks addressed to the Chairman. Except for the original presentation of the subject or application, each person speaking for or against shall be limited to five (5) minutes until all have been given an opportunity to be heard, at which time each person may be allowed additional time if deemed necessary by the Board or the Chairman. When you are recognized by the Chairman, proceed to the podium, using the microphone, state your name and address and then make your comments. Courtesy is shown when you reserve your comments for the proper time.

PLEASE BE COURTEOUS

By Order of the Chair

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda Panny, Deputy Planning Manager
FOR: November 3, 2016
RE: **New Business #1 - Conditional Use Permit**

Owner: 1987 Tamposi Limited Partnership
Applicant: Boston Billiards Club
Proposal: Change of use to include games of chance
Location: 55 Northeastern Blvd
Total Site Area: 10.910 acres
Existing Zoning: PI-Park Industrial
Surrounding Uses: Commercial and residential

II. Background Information:

The site plan for an industrial facility at this location was approved in 1978 and has been used for various commercial uses over the years. In 1999 Boston Billiards Club received a special exception from the Zoning Board of Adjustment to occupy the building.

III. Project Description:

The purpose of this application is to approve a conditional use permit (CUP) to allow games of chance inside the Boston Billiards Club. Total square footage is approximately 3,600 square feet. It will continue as a billiard club with food/liquor and private parties while adding charitable gaming (see attached list of charities). There will be seating for 40 at the bar, 48 café seating, 15 pool tables, 1 shuffleboard table, 11 card game tables and 2 roulette tables. Hours of operation will be noon to midnight Sunday to Wednesday, noon to 1:00 AM Thursday – Saturday. Parking availability on site exceeds the amount required for all uses. No changes are proposed to the outside of the building.

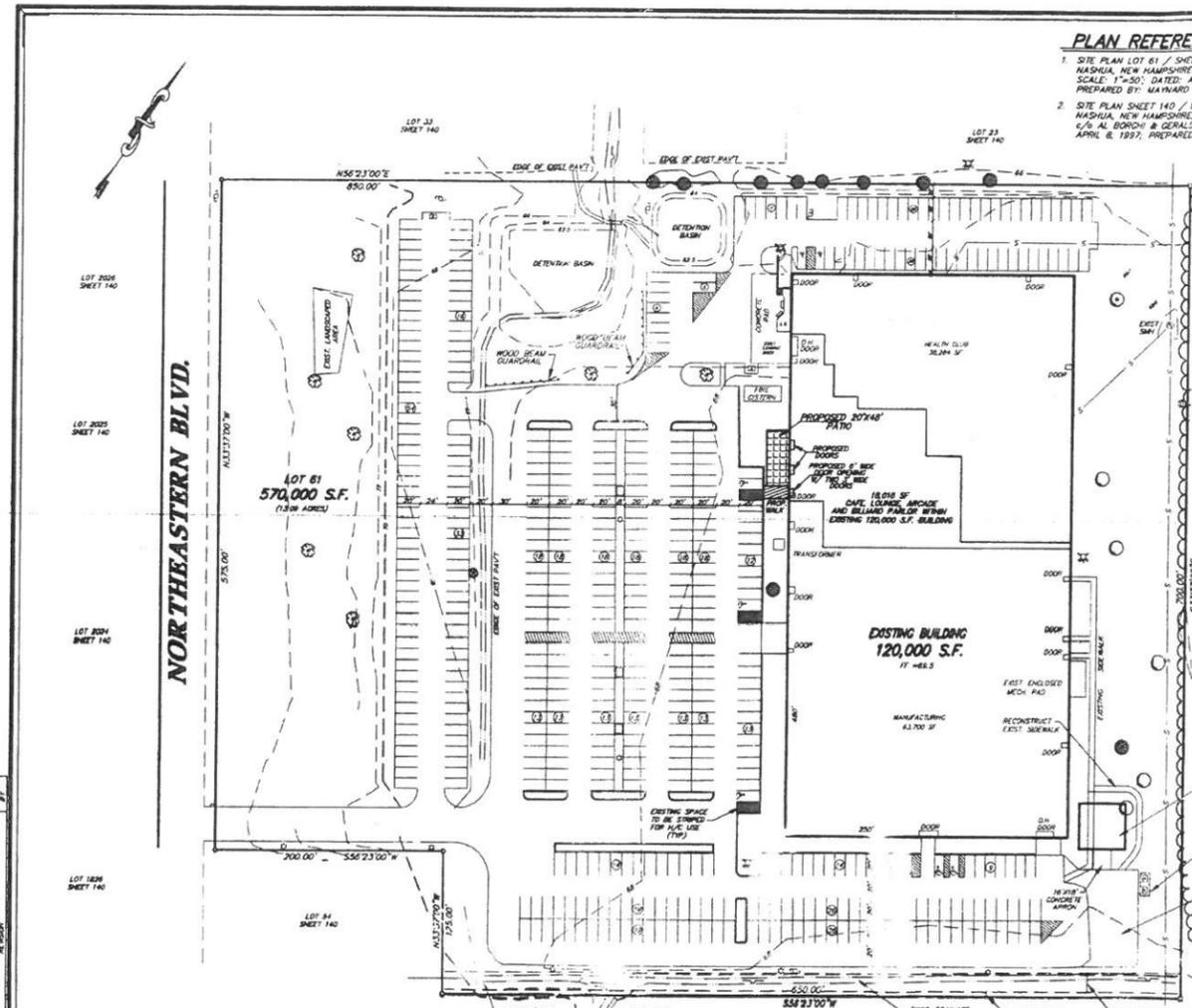
The use is only permitted conditionally in the PI-Park Industrial Zone. There are nine approval criteria for a conditional use permit found in NRO § 190-133(F). The applicant addresses the criteria in a letter from Andrew A. Prolman, Esq. (see attached).

Staff has reviewed the plan; there are no outstanding issues.

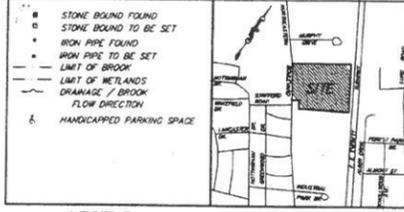
IV. Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO Section 190-133(F). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, they should state specific reasons. If the Planning Board chooses to approve this plan, the staff recommends the following stipulation be made part of that approval:

None



PLAN REFERENCES:
 1. SITE PLAN LOT 61 / SHEET 140 55 NORTHEASTERN BLVD NASHUA, NEW HAMPSHIRE, PREPARED FOR GERALD NASH SCALE: 1"=50' DATED: APRIL 4, 1985 PREPARED BY: MAYNARD & PAQUETTE, INC.
 2. SITE PLAN SHEET 140 / LOT 61, 55 NORTHEASTERN BLVD NASHUA, NEW HAMPSHIRE, PREPARED FOR WORLD CIVIL ENGINEERS & ARCHITECTS, INC. SCALE: 1"=30' DATED: APRIL 8, 1997, PREPARED BY MAYNARD & PAQUETTE, INC.



- LEGEND**
- STONE BOUND FOUND
 - STONE BOUND TO BE SET
 - IRON PIPE FOUND
 - IRON PIPE TO BE SET
 - LIMIT OF BROOK
 - DRAINAGE / BROOK
 - FLOW DIRECTION
 - HANDICAPPED PARKING SPACE
- NOTES**
- PRESENT ZONING: "P" - PARK INDUSTRIAL
 - EXISTING USE: OFFICE / HEALTH CLUB / MANUFACTURING
 - PROPOSED USE: OFFICE / HEALTH CLUB / MANUFACTURING
 - BILLIARD PARLOR WITH FULL SERVICE KITCHEN AND BAR
 - TOTAL AREA OF PARCEL: 570,000 SF (13.09 AC)
 - THE PURPOSE OF THIS PLAN IS TO AMEND NR 526 TO CONSTRUCT A 360 S.F. PATIO ADDITION AS WELL AS THE INTERNAL BILLIARD PARLOR
 - AREA OF EXISTING BUILDING: 120,000 SF
 - REQUIRED PARKING:
 - EXISTING OFFICE / HEALTH CLUB: 38,294 SF @ 1/300 = 128 SPACES
 - EXISTING MANUFACTURING: 63,700 SF @ 1/600 = 106 SPACES
 - PROPOSED 2,671 SF RESTAURANT, 56 SEATS @ 1/4 = 15 SPACES
 - PROPOSED 880 SF EXTERIOR PATIO, 40 SEATS @ 1/4 = 10 SPACES
 - PROPOSED 1,395 SF LOUNGE, 42 SEATS @ 1/2 = 21 SPACES
 - PROPOSED 14,000 SF BILLIARDS / ARCADE @ 1/500 = 28 SPACES
 - TOTAL REQUIRED = 308 SPACES
 - EXISTING PARKING: 511 SPACES INCLUDING 8 HANDICAPPED SPACES
 - ALL SITE IMPROVEMENTS SHALL CONFORM TO CURRENT ADA SPECIFICATIONS
 - OPEN SPACE REQUIRED: 2008
 - OPEN SPACE PROVIDED: 3698
 - SIZE IS GOVERNED BY REMAINING WATER WORKS AND CITY OF NASHUA SEWER
 - DIMENSIONAL REGULATIONS:
 - MIN. YARD SETBACKS: FRONT = 30 FT, SIDE & REAR = 20 FT
 - LANDSCAPING SHALL CONFORM TO SECTION 16-123 OF THE CITY OF NASHUA REGULATIONS
 - LIGHTING SHALL BE DIRECTED ON SITE AND CONFORM TO SECTION 16-274(K) OF THE CITY OF NASHUA REGULATIONS
 - ALL SIGNS WILL COMPLY WITH CITY OF NASHUA REGULATIONS SECTION 16-489
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND TO BE INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK.
 - PER SECTION 16-197 OF THE CITY OF NASHUA REGULATIONS, IT SHALL BE UNLAWFUL TO MODIFY, CHANGE OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN IN ANY MANNER WHATSOEVER, OR CONVERT ANY STRUCTURE SHOWN ON THIS PLAN OR CHANGE ANY USE INDICATED ON THIS PLAN WITHOUT RECEIVING CITY APPROVAL.
 - ON NOVEMBER 12, 1996 THE ZONING BOARD OF ADJUSTMENT GRANTED A SPECIAL EXCEPTION TO ALLOW A MEMBERSHIP HEALTH CLUB WITH THE FOLLOWING STIPULATION: NO FOOD OR LIQUOR SERVICE.
 - ON JUNE 27, 1999 THE ZONING BOARD OF ADJUSTMENT GRANTED A VARIANCE TO ALLOW THE MAXIMUM BUILDING HEIGHT FOR THE PROPOSED BUILDING ADDITION TO BE 55 FEET, VARIANCE PERIOD NOT TO EXCEED 5 YEARS FROM DATE OF APPROVAL.
 - ON MAY 25, 1998 THE ZONING BOARD OF ADJUSTMENT GRANTED A SPECIAL EXCEPTION FOR A MEMBERSHIP BILLIARDS CLUB.

SITE PLAN SHEET 140 1 LOT 61
55 NORTHEASTERN BLVD.
NASHUA, NEW HAMPSHIRE
 PREPARED FOR:
 1987 TAMPOS LIMITED PARTNERSHIP BOSTON BILLIARD CLUB
 20 TRAFALGAR SQUARE 400 DAVIS STREET
 NASHUA, NEW HAMPSHIRE 03063 WORCESTER, MA 01605

SCALE: 1"=50' DATE: SEPTEMBER 22, 1999

Maynard & Paquette
Engineering Associates, LLC
 Consulting Engineers and Land Surveyors
 83 East Street, Nashua, NH 03060
 Phone: (603)865-8453 Fax: (603)865-7227

I, THE UNDERSIGNED, DO HEREBY AGREE TO PERFORM ALL THE SITE IMPROVEMENTS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE CITY OF NASHUA PLANNING DEPARTMENT.

[Signature] 10/20/99 DATE
 BOSTON BILLIARD CLUB

[Signature] 10/20/99 DATE
 GERALD TAMPOS, OWNER

* REVISIONS FROM PER SECTION 11:
 1. DATE: 5-20-2000
 2. REVISION: CHANGE TO CONCRETE DRIVE



JST	LPN	RAM	RAM	1	D	10545
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Admin: Rev. 05/26/99 NR 0526

NO.	DATE	DESCRIPTION
1	09/22/99	ISSUED FOR PERMIT
2	10/20/99	REVISIONS FROM PER SECTION 11
3	10/20/99	REVISIONS FROM PER SECTION 11

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda Panny, Deputy Planning Manager
FOR: November 3, 2016
RE: **New Business #2 – Conservation Subdivision**

I. Project Statistics:

Owner: Etchstone Properties, Inc. and Pitarys Homes, Inc.
Proposal: Consolidation and conservation subdivision with 34 lots and 2 open space parcels
Location: 667 & 673 West Hollis Street
Total Site Area: 13.10 acres
Existing Zoning: R9-Suburban Residence
Surrounding Uses: Residential

II. Background Information:

The unoccupied single family home located on Lot 62 was built around 1952; Lot 64 is vacant. Both parcels are heavily wooded. Along the westerly boundary is a pond that extends slightly into the property. There are no wetlands located on the interior of the property. The Nashua River is located to the North and a private multi-unit elderly housing residential building to the West. Single family homes are located to the East.

III. Project Description:

The purpose of this plan is to consolidate Lots 62 & 64, then subdivide them into a 34 single family residential homes with two open spaces. The existing home will be demolished. A 1,500 linear foot public road is being proposed along with site improvements. This is a conservation subdivision which allows for smaller lots while promoting protection of the open space. The open space parcels will remain undisturbed except for the stormwater management areas located in these spaces. Access will be directly off of West Hollis Street as well as from the adjacent Heidi Lane and Shore Drive intersection. No driveways are proposed onto West Hollis Street. The homes will be serviced by underground utilities, Pennichuck Water Works and the City Sewer. Street trees will be planted on individual lots along the street frontage. Street lighting is shown on the plan; 13 fixtures are proposed.

Approximately 40% of the parcel will remain as open space as two separate conservation lots. According to the applicant's engineer the proposed road will be curbed with catch basins to direct flow into one of two stormwater management areas located within the project. One area is located in the southeasterly part of the site along West Hollis Street; the other is located in the northeasterly part of the site adjacent to the Nashua River. Stormwater treatment and infiltration/detention will occur. The net result is that runoff from paved areas will receive

qualitative treatment due to the infiltration and detention capabilities of the stormwater management areas.

A sidewalk is being proposed along the entire length of the proposed Shore Drive extension; however the applicant is requesting a waiver from the requirement to construct a sidewalk along the cul-de-sac on Minta Way and is offering a contribution of \$6,100.00.

A traffic impact assessment and Traffic Impact Report (TIR) worksheet was submitted and it demonstrates that the proposed development will generate fewer than 75 trips/hour and few than 1,200 trips/day; A formal TIR is not required.

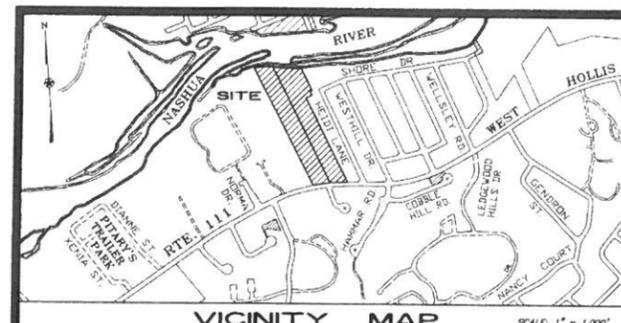
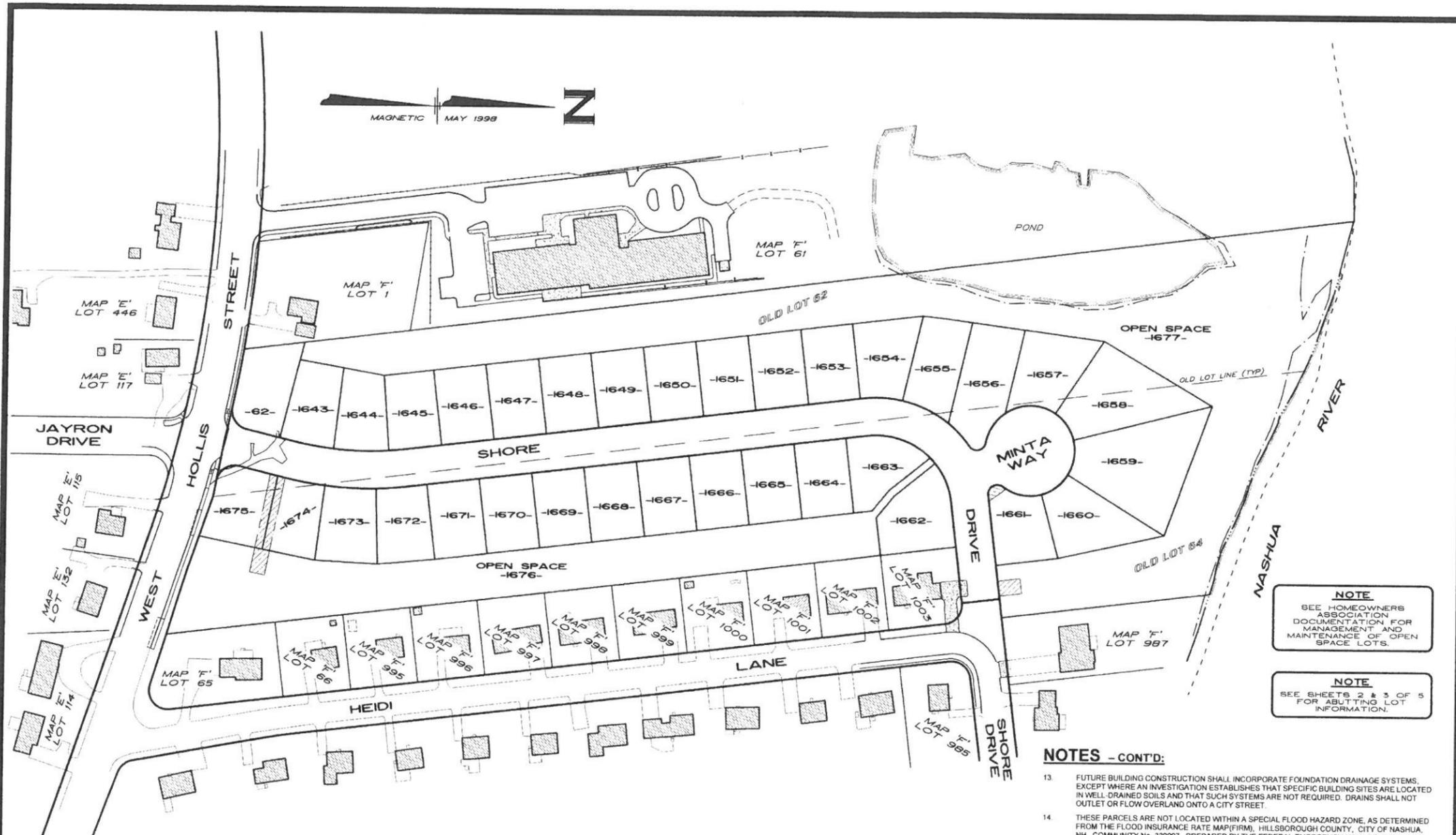
City staff reviewed the plans. There are minor outstanding comments from the Engineering Dept. that still need to be addressed (see attached correspondence).

IV. Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Subdivision NRO § 190-138(G). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

1. The request for a waiver of § 190-212(E)(2), which requires that sidewalks be located along a cul-de-sac, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation. A contribution of \$6,100.00 has been offered by the applicant in lieu of sidewalk construction; payment to be made prior to recording the plan.
2. Prior to the Chair signing the plan, the applicant shall provide documents establishing a homeowners association which will be responsible for maintaining all property in common ownership. The homeowner's association documents shall be submitted to the Planning Department and Corporation Counsel for review and approval.
3. Prior to the Chair signing the plan, minor drafting corrections will be made.
4. Prior to recording the plan, the applicant shall provide a guarantee for the subdivision improvements. The applicant's professional engineer shall provide an estimate of the costs of the improvements for review by the City Engineer who shall determine the guarantee amount. The guarantee shall be in a form acceptable to the City's Corporation Counsel. Reductions in the guarantee (bond, letter of credit or other form of guarantee) shall be processed, from time to time, in the customary manner.
5. Prior to recording the plan, the NHDES Shoreland Permit must be approved by the New Hampshire Department of Environmental Services.

6. All easements shall be submitted to the Planning Department and Corporation Counsel for review and approval and recorded with the plan.
7. All areas to remain wooded and undisturbed shall be flagged prior to any site work or tree cutting.
8. Prior to the issuance of the first certificate of occupancy, the applicant shall complete the road improvements to the base course of pavement.
9. Prior to 75 % occupancy, all subdivision improvements shall be substantially completed; provided, that paving may be completed to base course and landscaping may be completed as seasonally permitted.
10. Prior to issuance of the final certificate of occupancy for the development, an as-built plan locating all roads, driveways, units, other buildings, utilities and site landscaping shall be completed by a professional engineer and submitted to the Planning Department. The as-built plan shall include a statement that all construction was generally completed in accordance with the approved subdivision plan and applicable local regulations. Road and sidewalk construction shall be to base course, with final course pavement remaining bonded until completion.



- NOTES:**
- SITE AREA (PRIOR TO SUBDIVISION):
 LOT 62 8.43± ACRES (280,260± SF)
 LOT 64 6.67± ACRES (290,720± SF)
 TOTAL AREA 13.10± ACRES (570,980± SF)
 - PRESENT ZONING: R9; C-SUBURBAN RESIDENCE
 MINIMUM LOT REQUIREMENTS: R9-CONSERVATION SUBDIVISION
 LOT SIZE - -
 FRONTAGE - -
 WIDTH - -
 DEPTH 90 FT
 MINIMUM SETBACK REQUIREMENTS:
 FRONT YARD 20 FT
 SIDE YARD 10 FT
 REAR YARD 30 FT
 MAX. BUILDING HEIGHT 35 FT
 MAX. STORIES 2 1/2
 - PURPOSE OF PLAN:
 A. TO CONSOLIDATE LOTS 62 & 64, MAP 'F' INTO ONE LOT, THEN
 B. SUBDIVIDE THE PROPERTY INTO THIRTY FOUR (34) CONSERVATION SUBDIVISION LOTS AND TWO (2) OPEN SPACE LOTS.
 - PARKING:
 REQUIRED: 2 SPACES/LOT X 34 LOTS = 68 SPACES
 PROVIDED: EACH LOT SHALL PROVIDE A MINIMUM OF TWO PARKING SPACES
 - LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSOR'S MAPS 'E' AND 'F'.
 - SITE IS TO BE SERVICED BY MUNICIPAL SEWER AND WATER BY PENNICHUCK WATER WORKS. THE PROPOSED LOTS SHALL BE SERVICED BY UNDERGROUND TELEPHONE, ELECTRIC AND GAS UTILITIES.
 - MONUMENTS, WHERE REQUIRED, TO BE SET BY A LICENSED LAND SURVEYOR AS FOLLOWS:
 (1) STONE BOUNDS: AT STREET INTERSECTIONS, POINTS OF CURVATURE AND TANGENCY OF PUBLIC STREET
 (2) IRON PIPES: AT LOT CORNERS
 - THIS SUBDIVISION PACKAGE CONTAINS TWO (2) SETS OF PLANS. SET ONE CONSISTS OF THE SUBDIVISION PLANS, BEING SHEETS 1 THRU 5, OF WHICH SHEETS 1 THRU 3 SHALL BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS WITH THE REMAINING SHEETS ON FILE AT THE CITY OF NASHUA PLANNING DEPARTMENT. THE SECOND SET CONSISTS OF THE ENGINEERING PLANS, BEING SHEETS 1 THRU 13 AND WILL BE ON FILE AT THE CITY OF NASHUA PLANNING DEPARTMENT.
 - IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY OF NASHUA PLANNING BOARD.
 - STREET TREES SHALL BE PLANTED AND/OR MAINTAINED ON INDIVIDUAL LOTS ALONG THE STREET FRONTAGE AS SHOWN ON SHEET 3 OF 13.
 - ALL SIGNAGE, INCLUDING STREET NAME SIGNS, SHALL CONFORM TO THE APPLICABLE CITY OF NASHUA REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
 - STREET RESTORATION WORK SHALL BE IN ACCORDANCE WITH N.R.O. SECTION 285-13.

- EASEMENTS, RIGHTS AND RESTRICTIONS:**
- WEST HOLLIS STREET, AN/K/A HOLLIS ROAD, AN/K/A SOUTH HOLLIS ROAD; PUBLIC RIGHT OF WAY, ORIGINALLY LAID OUT TO BE 3 RODS WIDE PER THE SELECTMAN OF NASHUA ON AUGUST 6, 1841 ON FILE WITH THE CITY OF NASHUA PUBLIC WORKS DEPARTMENT BK 1, PG. 39. LATER REALIGNED AND STRAIGHTENED IN AREAS TO CREATE A VARIABLE WIDTH RIGHT OF WAY AS DEPICTED ON HCRD PLAN No. 04534 SEE ALSO THE COMMISSIONERS RETURN OF LAYOUT DATED 1967 AND RECORDED IN BK. 2061 PG. 184 AT THE HCRD.
 - HEIDI LANE: PUBLIC RIGHT OF WAY, LAID OUT BY PLAN No. 23081 TO BE 60 FEET WIDE AND ACCEPTED IN 1991. ADDITIONAL ROW DEDICATIONS WERE MADE BY SUBDIVISION PLAN No. 25316.
 - THE SURVEYED PROPERTIES ARE SUBJECT TO FLOWAGE RIGHTS AND EASEMENTS AS DESCRIBED IN BK. 943 PG. 445.
 - RIGHTS, TITLE OR INTEREST MAY EXTEND TO THE CENTERLINE OF THE NASHUA RIVER. THIS PORTION OF THE NASHUA RIVER IS SUBJECT TO AN EASEMENT HELD IN THE TRUST BY THE STATE OF NEW HAMPSHIRE FOR PUBLIC USE AS DEFINED BY COMMON LAW AND THE PUBLIC TRUST DOCTRINE.
 - A PORTION OF THE SURVEYED PREMISES IS SUBJECT TO THE SHORELAND WATER QUALITY PROTECTION ACT CHAPTER 483-B.

- PLAN REFERENCES:**
- OAKMONT PARK HOLLIS-PEPPERELL ROAD NASHUA NH, BY NOTTINGHAM SURVEYORS HUDSON, NH DATED JULY 1936 SCALE: 1"=100 FT RECORDED: HCRD - PLAN No. 2506
 - CONSOLIDATION AND FINAL SUBDIVISION PLAN LOTS 67 & 68 SHEET F, TERRI ESTATES 653 WEST HOLLIS STREET NASHUA NH PREPARED FOR SS & D CONSTRUCTION BY MAYNARD & PAQUETTE, INC. DATED: AUGUST 1987 SCALE: 1"=50 FT RECORDED: HCRD-PLAN No. 23081
 - CONSOLIDATION AND SUBDIVISION PLAN (LOTS 64,65 & 66 MAP F) WEST HOLLIS STREET & HEIDI LANE PREPARED FOR PITARYS HOMES, INC. BY ALLAN H. SWANSON, INC. DATED, FEBRUARY 12, 1991 RECORDED: HCRD-PLAN No. 25316
 - STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS- PLANS OF PROPOSED FEDERAL AID PROJECT S-28(15), NH PROJECT No. S-7866--HOLLIS ROAD. RECORDED: HCRD -PLAN No. 04534

APPROVED
NASHUA CITY PLANNING BOARD

CHAIRMAN _____ DATE _____

THE UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE SITE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

Heavenly Property, Inc. 9/6/16
 FOR ETCHSTONE PROPERTIES, INC. DATE

James C. Pitarys 9/6/16
 FOR PITARYS HOMES INC. DATE

NOTES - CONT'D:

- FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS, EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL-DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED. DRAINS SHALL NOT OUTLET OR FLOW OVERLAND ONTO A CITY STREET.
- THESE PARCELS ARE NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE, AS DETERMINED FROM THE FLOOD INSURANCE RATE MAP (FIRM): HILLSBOROUGH COUNTY, CITY OF NASHUA, NH, COMMUNITY No. 330097, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33011C0632D, DATED: SEPTEMBER 25, 2009.
- THIS SITE IS NOT LOCATED WITHIN THE WATER SUPPLY PROTECTION DISTRICT.
- PRIOR TO ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY FOR THE PROJECT, DOCUMENTS ESTABLISHING OPERATION/MAINTENANCE RESPONSIBILITIES FOR PROPERTY IN COMMON OWNERSHIP AND STORMWATER MANAGEMENT AREAS SHALL BE SUBMITTED TO THE PLANNING DEPARTMENT AND CORPORATION COUNCIL FOR REVIEW AND SHALL BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS.
- BASEMENTS MAY ENCOUNTER GROUNDWATER CONDITIONS THAT REQUIRE SUBSURFACE GROUNDWATER MITIGATION MEASURES. IT IS RECOMMENDED THAT SUBSURFACE CONDITIONS BE EVALUATED BY A GEOTECHNICAL ENGINEER, AND MITIGATION MEASURES BE IMPLEMENTED BY THE BUILDER ON A HOUSE BY HOUSE BASIS.
- THERE ARE NO DRIVEWAYS ONTO WEST HOLLIS STREET BEING PROPOSED.

- PRESENT OWNERS OF RECORD:
- | | |
|--|--|
| MAP 'F', LOT 62
ETCHSTONE PROPERTIES, INC.
179 AMHERST STREET
NASHUA, NH 03064
BK. 9875 PG. 157 | MAP 'F', LOT 64
PITARYS HOMES INC.
719 WEST HOLLIS STREET
NASHUA, NH 03062
BK. 2919 PG. 309
BK. 3183 PG. 316 |
|--|--|

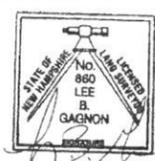
NOTE: SEE SHEET 2 OF 5 FOR DENSITY AND OPEN SPACE CALCULATIONS

CERTIFICATION

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 09/23/01, EFFECTIVE 01/01/09.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

James C. Pitarys 10/18/16
 DATE



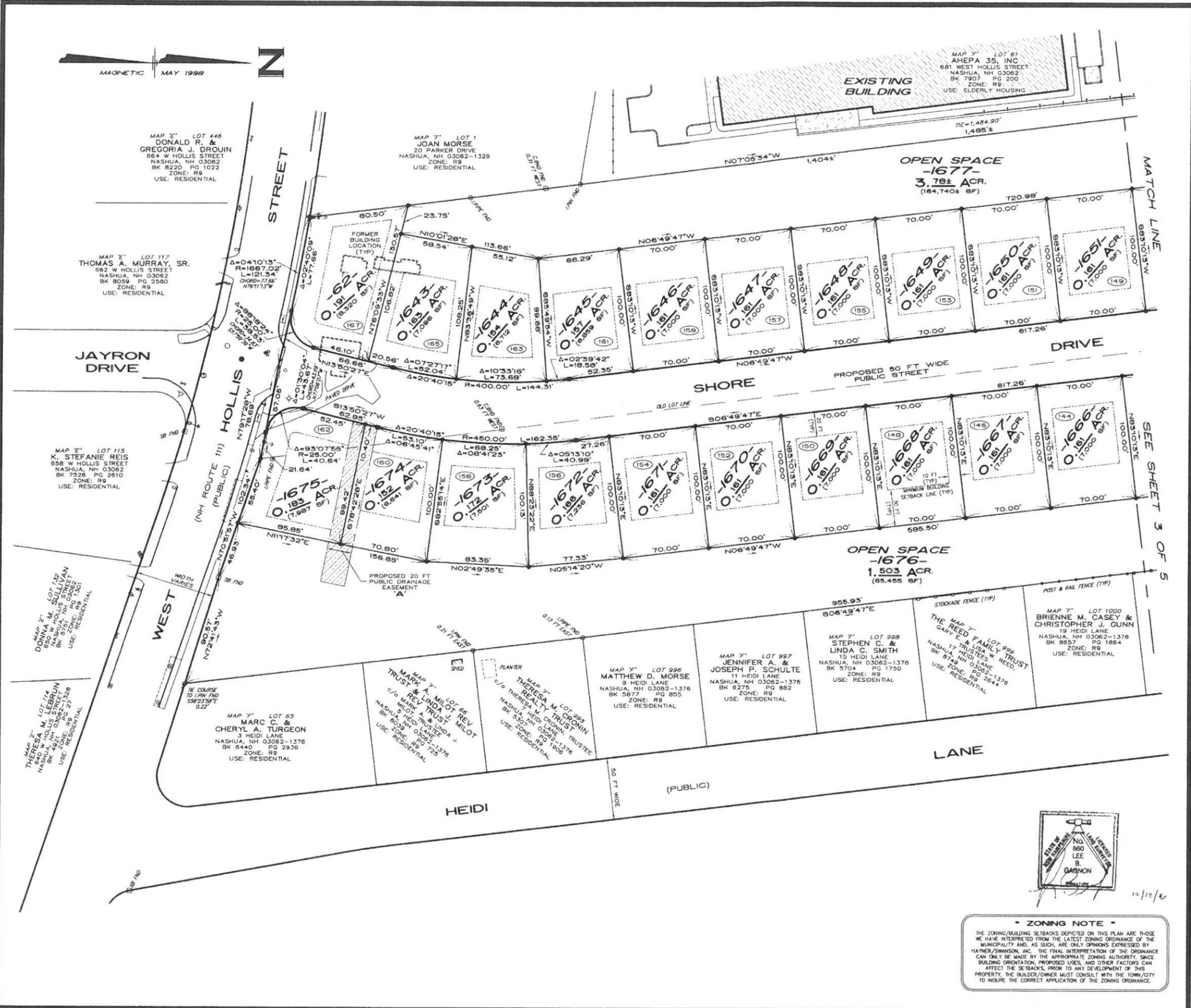
MASTER PLAN
 (MAP 'F', LOTS 62 & 64)
667 & 673 WEST HOLLIS ST.
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR:
ETCHSTONE PROPERTIES, INC.
 179 AMHERST STREET NASHUA, NEW HAMPSHIRE 03064 (603) 889-5208
 RECORD OWNERS:
ETCHSTONE PROPERTIES, INC.
and PITARYS HOMES INC.

80 0 80 160 240 320 FEET
 40 0 40 80 METERS
 SCALE: 1"=80 Feet
 1"=24.384 Meters

29 AUGUST 2016

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 Civil Engineers/Land Surveyors
 Three Congress Street Nashua, New Hampshire 03062-3301
 Tel (603) 883-2057 Fax (603) 883-5057
 www.haynerswanson.com

FIELD BOOK: 1204/208 DRAWING NAME: 5420 SUB_FS81 5420 1 OF 5
 DRAWING LOCATION: G:\5420\DWG\5420 SUB



CONSERVATION SUBDIVISION DENSITY AND OPEN SPACE CALCULATIONS:

1. DENSITY:	TOTAL AREA: (CONSOLIDATED LOT 62 & 64)	= 13.10± ACRES
	LESS WETLANDS:	= 0.71± ACRES
	NET TRACT AREA:	= 12.39± ACRES
	DENSITY ALLOWED (R9 ZONE)	4.0 UNITS/ACRES x 12.39 ACRES = 49.6 UNITS
	DENSITY PROPOSED:	34 UNITS
2. OPEN SPACE:	REQUIRED:	40% (5.24 ACRES)
	PROVIDED:	40.3% (5.28 ACRES - LOTS 1676 & 1677)

OPEN SPACE NOTES:

- OPEN SPACE LOTS SHALL BE MAINTAINED IN ACCORDANCE WITH THE NASHUA LAND USE CODE SECTION 190-205
- EACH OPEN SPACE LOT SHALL CONTAIN A PERMANENT, FREE STANDING MARKER TO BE INSTALLED IN ACCORDANCE WITH THE NASHUA LAND USE CODE SECTION 190-175. THE LOCATION OF THE MARKERS SHALL BE COORDINATED WITH THE CITY PLANNING STAFF PRIOR TO INSTALLATION

LEGEND

- STORM DRAIN MANHOLE
- SANITARY SEWER MANHOLE
- ⊕ HYDRANT
- ⊕ WATER MAIN GATE VALVE
- ⊕ GAS LINE GATE VALVE
- ⊕ UTILITY POLE WITH GUY SUPPORT
- ⊕ STREET LIGHT
- ⊕ SIGN
- ⊕ STONE BOUND
- ⊕ IRON PIN
- ⊕ IRON PIPE
- ⊕ STONE BOUND TO BE SET
- ⊕ IRON PIN TO BE SET
- ⊕ BUILDING SETBACK LINE
- ⊕ CURBING
- ⊕ STREET ADDRESS
- ⊕ LOT NUMBER

NO.	DATE	REVISION	BY

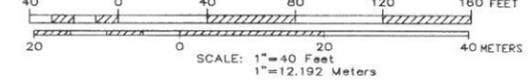
CONSOLIDATION/SUBDIVISION PLAN (MAP 'F', LOTS 62 & 64)

667 & 673 WEST HOLLIS ST. NASHUA, NEW HAMPSHIRE

PREPARED FOR:
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179 AMHERST STREET NASHUA, NEW HAMPSHIRE 03064 (603) 889-5208

RECORD OWNERS:
ETCHSTONE PROPERTIES, INC.

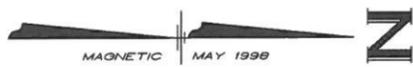
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ZONING NOTE
THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.



BENCHMARK
TOP OF BENCH
ELEV. = 108.66
(NASHUA DATUM)

BENCHMARK
P.E. SET IN ROOT
ELEV. = 108.66
(NASHUA DATUM)

UTILITY NOTE
THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

SURVEY NOTES:

1. THE EXISTING PLANIMETRICS AND TOPOGRAPHY, AS SHOWN ON THESE PLANS, IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND BETWEEN JUNE AND JULY 2016.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
3. THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.
4. SURVEY CONTROL INFORMATION:
VERTICAL DATUM: NASHUA CITY DATUM UNITS: US SURVEY FEET

LEGEND

- 100 — EXISTING GROUND CONTOUR
- 100.00 EXISTING SPOT ELEVATION
- S — STORM DRAIN & CATCH BASIN
- S — STORM DRAIN & MANHOLE
- S — STORM DRAIN & HEADWALL
- S — SANITARY SEWER & MANHOLE
- S — WATER MAIN & HYDRANT
- S — WATER MAIN & GATE VALVE
- S — GAS LINE & GATE VALVE
- S — UTILITY POLE WITH GUY SUPPORT
- S — STREET LIGHT
- S — OVERHEAD ELECTRIC & TELEPHONE
- S — TREE LINE
- S — TEMPORARY BENCHMARK
- S — BUILDING SETBACK LINE
- S — WETLAND FLAGGING LIMIT
- S — WETLAND BUFFER LINE
- S — CHAINLINK FENCE
- S — CURBING
- ⑩ STREET ADDRESS
- 1650 LOT NUMBER
- ☀ CONIFEROUS TREE
- ☀ DECIDUOUS TREE
- IP 1 TEST PIT LOCATION & IDENTIFIER

No.	DATE	REVISION	BY

TOPOGRAPHIC SUBDIVISION PLAN
(MAP 'F', LOTS 62 & 64)

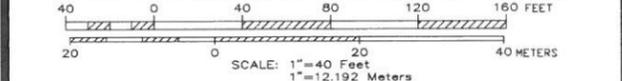
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RECORD OWNERS:
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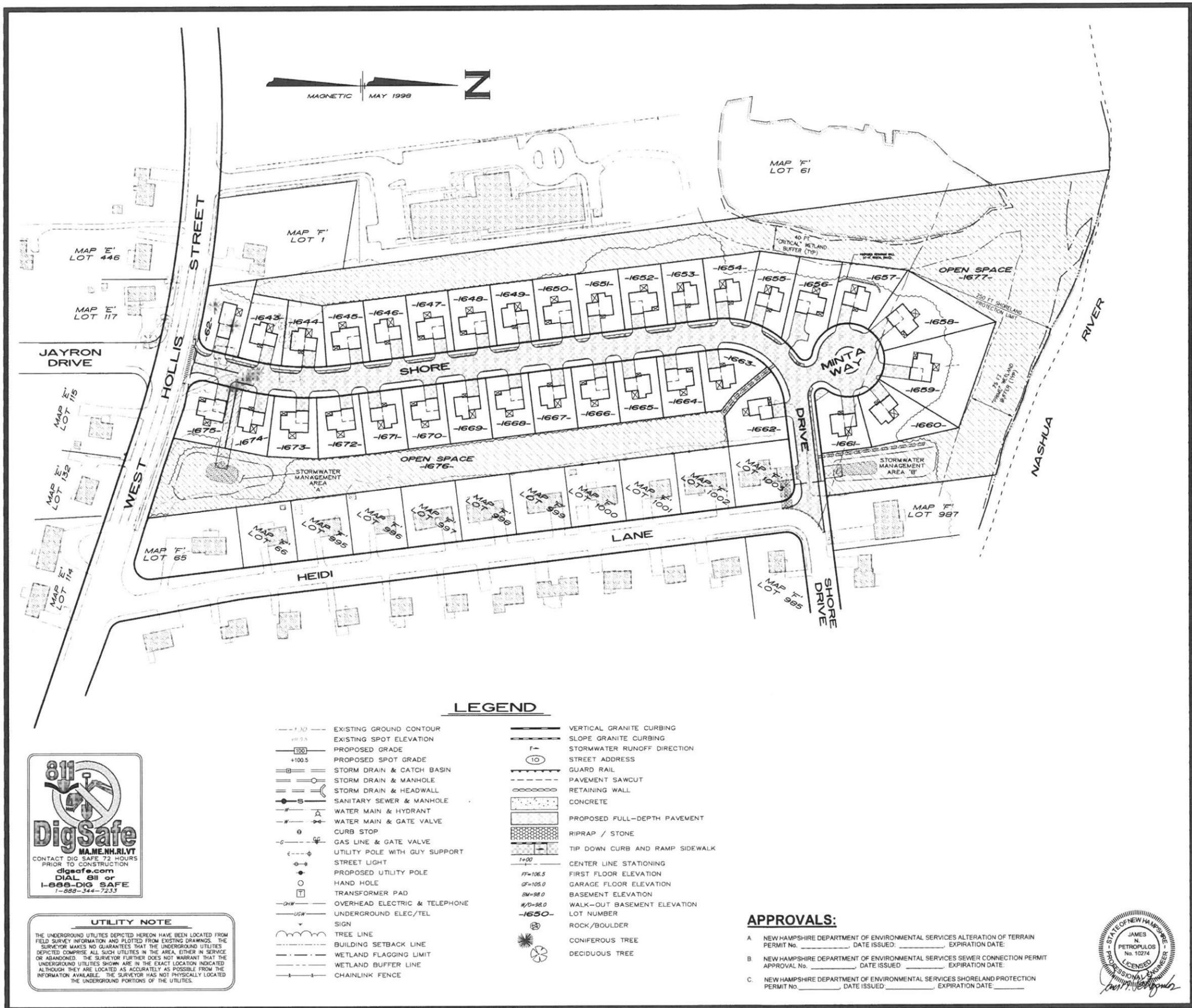
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29 AUGUST 2016



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MAGNETIC MAY 1998 **N**

LEGEND

- | | |
|---|---|
| <ul style="list-style-type: none"> --- 1.00 --- EXISTING GROUND CONTOUR --- 0.5 --- EXISTING ELEVATION --- 100 --- PROPOSED GRADE --- +100.5 --- PROPOSED SPOT GRADE --- S --- STORM DRAIN & CATCH BASIN --- S --- STORM DRAIN & MANHOLE --- S --- STORM DRAIN & HEADWALL --- S --- SANITARY SEWER & MANHOLE --- S --- WATER MAIN & HYDRANT --- S --- WATER MAIN & GATE VALVE --- S --- CURB STOP --- S --- GAS LINE & GATE VALVE --- S --- UTILITY POLE WITH GUY SUPPORT --- S --- STREET LIGHT --- S --- PROPOSED UTILITY POLE --- S --- HAND HOLE --- S --- TRANSFORMER PAD --- S --- OVERHEAD ELECTRIC & TELEPHONE --- S --- UNDERGROUND ELEC./TEL --- S --- SIGN --- S --- TREE LINE --- S --- BUILDING SETBACK LINE --- S --- WETLAND FLAGGING LIMIT --- S --- WETLAND BUFFER LINE --- S --- CHAINLINK FENCE | <ul style="list-style-type: none"> --- V --- VERTICAL GRANITE CURBING --- S --- SLOPE GRANITE CURBING --- S --- STORMWATER RUNOFF DIRECTION --- S --- STREET ADDRESS --- S --- GUARD RAIL --- S --- PAVEMENT SAWCUT --- S --- RETAINING WALL --- S --- CONCRETE --- S --- PROPOSED FULL-DEPTH PAVEMENT --- S --- RIPRAP / STONE --- S --- TIP DOWN CURB AND RAMP SIDEWALK --- S --- CENTER LINE STATIONING --- S --- FIRST FLOOR ELEVATION --- S --- GARAGE FLOOR ELEVATION --- S --- BASEMENT ELEVATION --- S --- WALK-OUT BASEMENT ELEVATION --- S --- LOT NUMBER --- S --- ROCK/BOULDER --- S --- CONIFEROUS TREE --- S --- DECIDUOUS TREE |
|---|---|



UTILITY NOTE

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APPROVALS:

- A. NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES ALTERATION OF TERRAIN PERMIT No. _____ DATE ISSUED: _____ EXPIRATION DATE: _____
- B. NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES SEWER CONNECTION PERMIT APPROVAL No. _____ DATE ISSUED: _____ EXPIRATION DATE: _____
- C. NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES SHORELAND PROTECTION PERMIT No. _____ DATE ISSUED: _____ EXPIRATION DATE: _____



UTILITY CONTACTS

- WATER:**
 PENNICHUCK WATER WORKS
 25 MANCHESTER STREET
 MERRIMACK, NH 03064
 ATT. JOHN BOISVERT, PE
 (603) 913-2300
- GAS:**
 LIBERTY UTILITIES
 11 NORTHEASTERN BLVD.
 SALEM, NH 03079
 ATT. RYAN LAGASSE
 (603) 327-7151
- TELEPHONE:**
 FAIRPOINT COMMUNICATIONS
 100 GAY STREET
 MANCHESTER, NH 03103
 ATT. HEATHER ARAUJO
 (603) 295-5998
- POWER:**
 EVERSOURCE
 370 AMHERST STREET
 NASHUA, NH 03060
 ATT. LINDA FARRAR
 (603) 345-3801
- CITY OF NASHUA**
- PLANNING DEPARTMENT**
 COMMUNITY DEVELOPMENT DIVISION
 229 MAIN STREET
 NASHUA, NH 03060
 ATT. LINDA PANNY
 (603) 569-3112
- ENGINEERING DEPARTMENT**
 NASHUA DEPT. OF PUBLIC WORKS/ENGINEERING
 9 RIVERSIDE STREET
 NASHUA, NH 03062
 ATT. JEANNE WALKER, P.E.
 (603) 569-3147
- FIRE DEPARTMENT**
 NASHUA FIRE DEPARTMENT
 171 EAST HOLLIS STREET
 NASHUA, NH 03060
 ATT. ADAM POULIOT
 (603) 569-3460

CONSTRUCTION NOTES:

1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF NASHUA AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, LATEST EDITION ARE HEREBY INCORPORATED BY REFERENCE.
2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
4. PRIOR TO ANY WORK BEING STARTED, THE APPLICANT AND THEIR CONTRACTORS SHALL HOLD A PRE-CONSTRUCTION CONFERENCE WITH PLANNING STAFF TO REVIEW SCHEDULING, EROSION AND TRAFFIC CONTROL, AND TREE PROTECTION.
5. BLASTING, IF NEEDED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF NASHUA FIRE DEPARTMENT REGULATIONS.
6. ALL STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
7. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED.

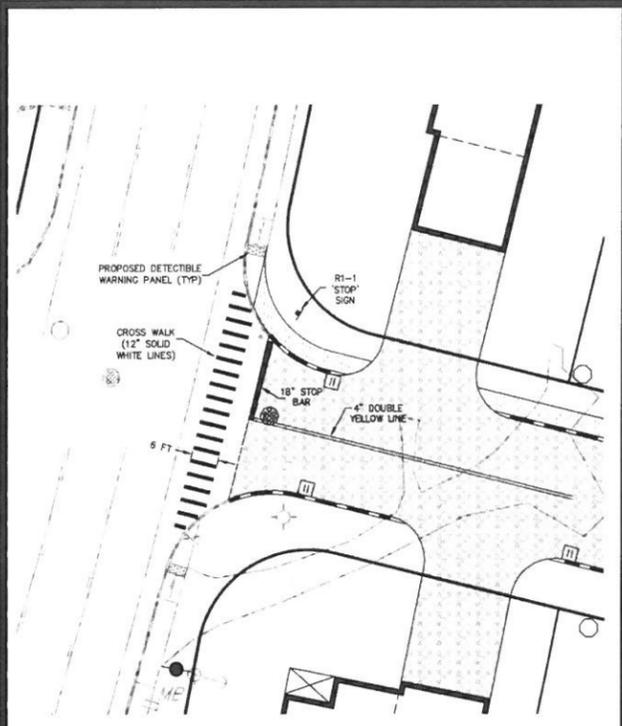
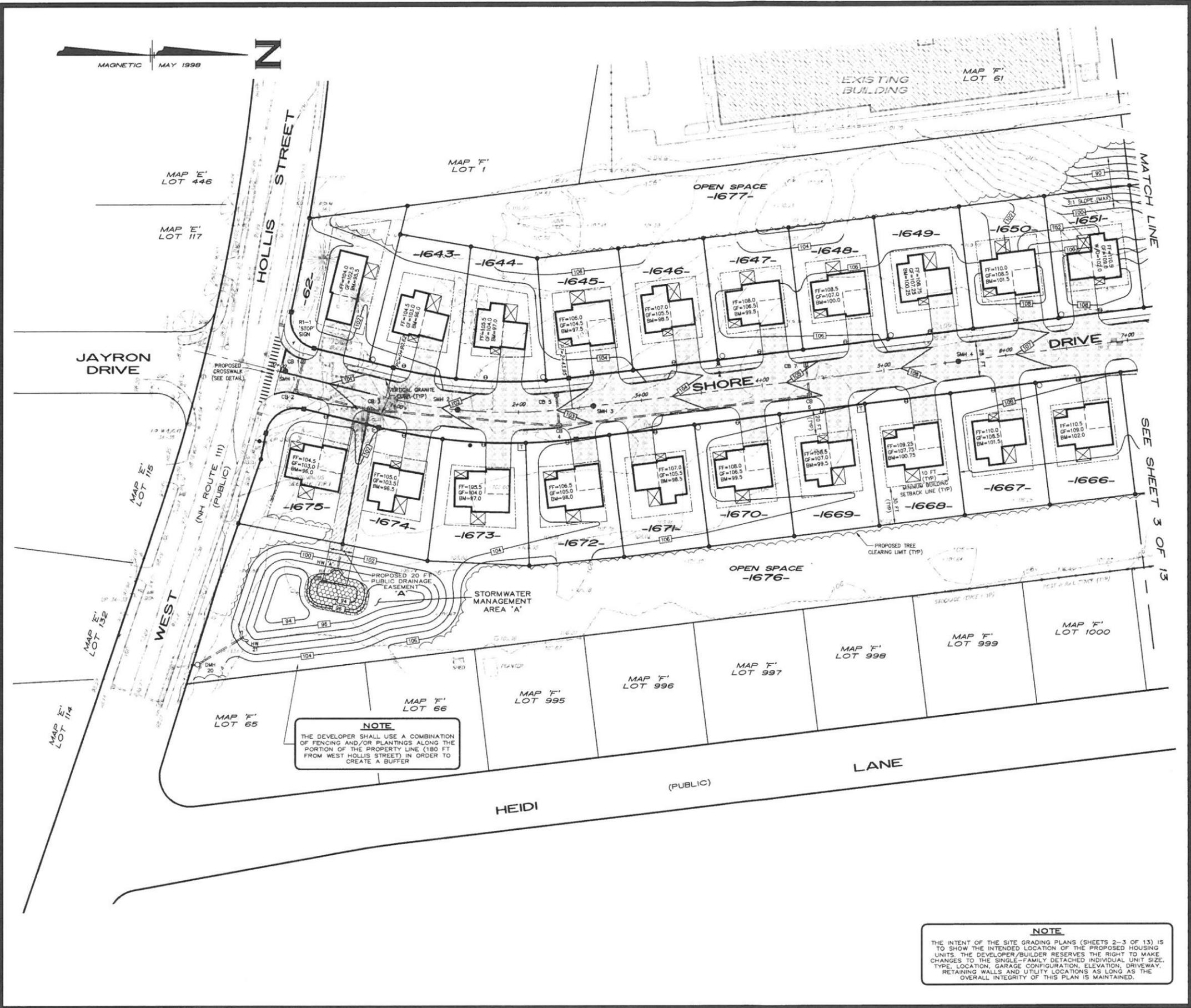
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SCALE: 1"=80 Feet
 1"=24.384 Meters

29 AUGUST 2016

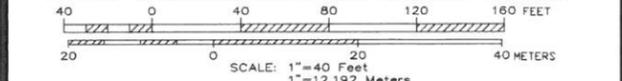
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FIELD BOOK: 1204/1208 DRAWING NAME: 5420 SUB-F081 5420 1 OF 13
 DRAWING LOCATION: Q:\5420\DWG\5420 SUB



No.	DATE	REVISION	BY

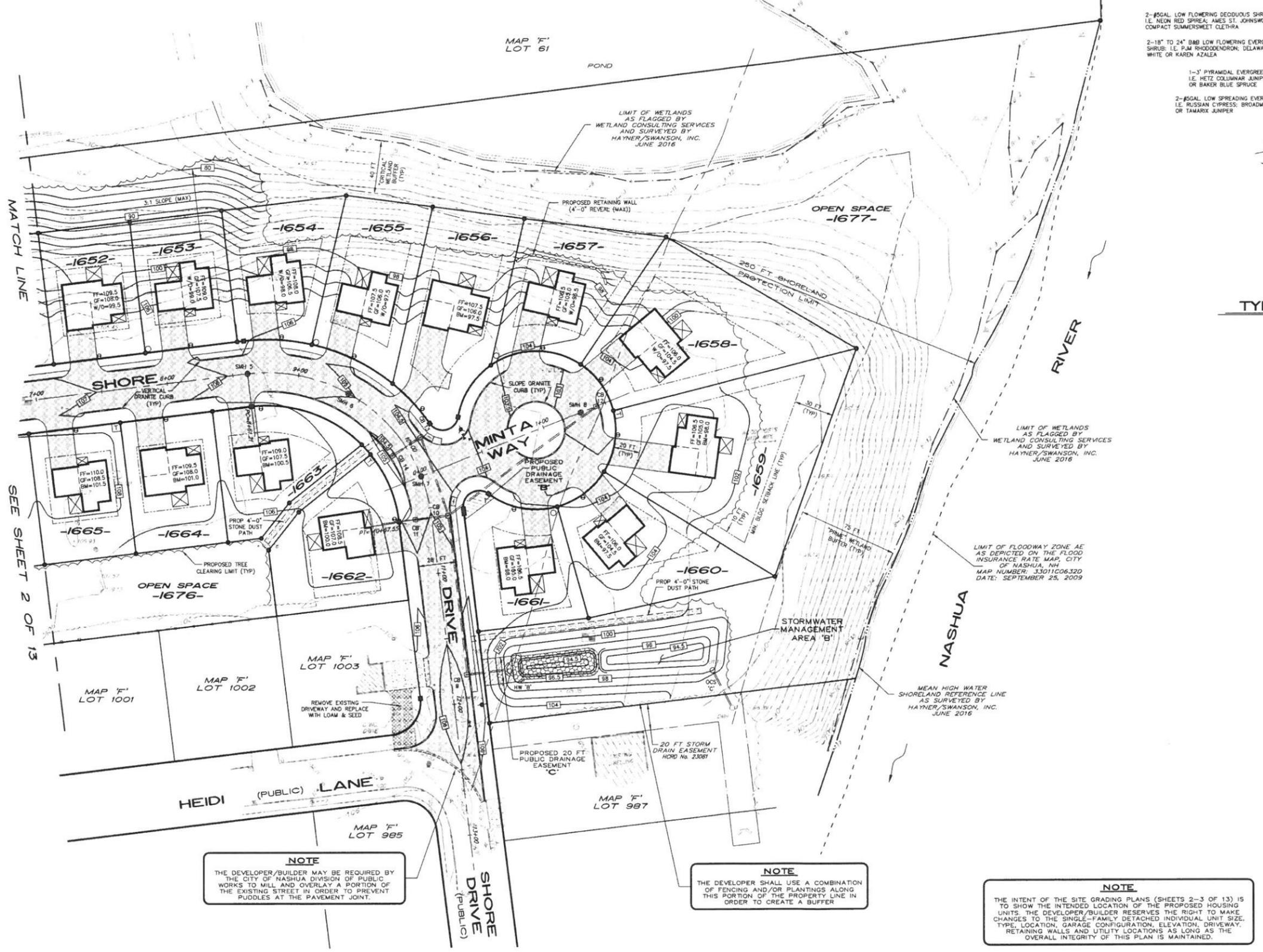
SITE GRADING PLAN
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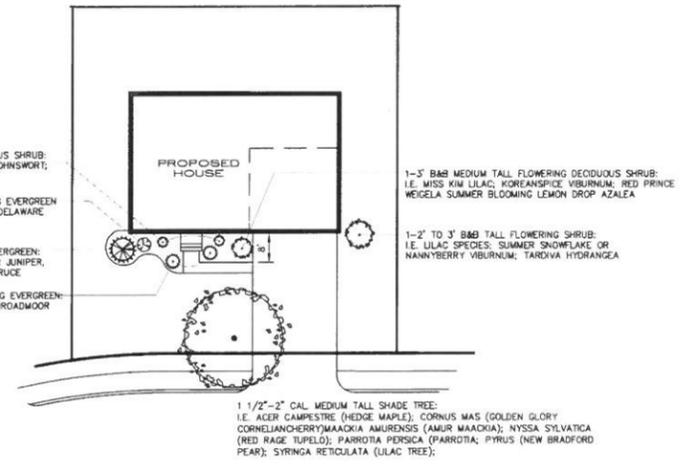
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NOTE
THE INTENT OF THE SITE GRADING PLANS (SHEETS 2-3 OF 13) IS TO SHOW THE INTENDED LOCATION OF THE PROPOSED HOUSING UNITS. THE DEVELOPER/BUILDER RESERVES THE RIGHT TO MAKE CHANGES TO THE SINGLE-FAMILY DETACHED INDIVIDUAL UNIT SIZE, TYPE, LOCATION, GARAGE CONFIGURATION, ELEVATION, DRIVEWAY, RETAINING WALLS AND UTILITY LOCATIONS AS LONG AS THE OVERALL INTEGRITY OF THIS PLAN IS MAINTAINED.



- 2-#5GAL. LOW FLOWERING DECIDUOUS SHRUB:
I.E. NEON RED SPHREA; AMES ST. JOHNSWORT;
COMPACT SUMMERSWEET CLETHRA
- 2-18" TO 24" DBB LOW FLOWERING EVERGREEN
SHRUB: I.E. PAM RHODODENDRON; DELAWARE
WHITE OR KAREN AZALEA
- 1-3" PYRAMIDAL EVERGREEN:
I.E. HETZ COLUMNAR JUNIPER,
OR BAKER BLUE SPRUCE
- 2-#5GAL. LOW SPREADING EVERGREEN:
I.E. RUSSIAN CYPRESS; BROADWOOD
OR TAMARIX JUNIPER



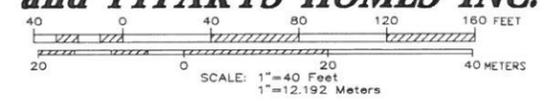
NOTES

1. THE HOME BUILDER RESERVES THE RIGHT TO MODIFY THE TYPE, SIZE AND LOCATION OF THE FOUNDATION PLANT MATERIALS.
2. STREET TREE LOCATIONS AS SHOWN ARE APPROXIMATE.
3. STREET TREES ARE INTENDED TO MEET THE REQUIREMENT OF THE NASHUA LAND USE CODE SECTION 190-185.
4. STREET TREE CALCULATION:
REQUIRED: STREET LENGTH/40 = 1,400 LF/40 = 35 TREES
PROVIDED: 35 TREES
* ONE (1) TREE PLANTED PER HOUSE LOT PLUS A STREET TREE SHALL BE PLANTED ON LOT 1677

TYPICAL LOT LANDSCAPE DETAIL
NOT TO SCALE

NO.	DATE	REVISION	BY

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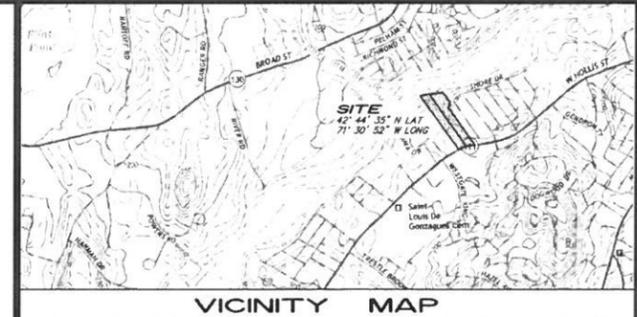
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NOTE
THE DEVELOPER/BUILDER MAY BE REQUIRED BY THE CITY OF NASHUA DIVISION OF PUBLIC WORKS TO MILL AND OVERLAY A PORTION OF THE EXISTING STREET IN ORDER TO PREVENT PUDDLES AT THE PAVEMENT JOINT.

NOTE
THE DEVELOPER SHALL USE A COMBINATION OF FENCING AND/OR PLANTINGS ALONG THIS PORTION OF THE PROPERTY LINE IN ORDER TO CREATE A BUFFER

NOTE
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EROSION CONTROL LEGEND

- SILT FENCE
- SILT-SACK INLET PROTECTION DEVICES
- GRAVEL CONSTRUCTION EXIT
- STABILIZATION MATTING
- STRAW BALE BARRIER
- RUNOFF DIRECTION

GENERAL NOTES:

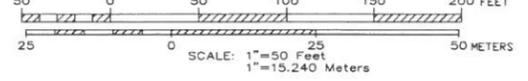
1. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORMWATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND THE EPA NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) AND BECOME FAMILIAR WITH THEIR CONTENTS.
2. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY SITE CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
4. LOAM AND MATERIAL STOCKPILE AREAS AS SHOWN ARE APPROXIMATE AND SUBJECT TO CHANGE. STOCKPILE AREAS SHALL BE SURROUNDED BY SILT FENCE AND RE-SEEDED IF THEY ARE LEFT UNTOUCHED FOR MORE THAN TEN (10) DAYS.

CONSTRUCTION SEQUENCE

1. CLEAR SITE ACCORDING TO PLAN
2. CONSTRUCTION OF TEMPORARY EROSION CONTROL MEASURES, INCLUDING SILT FENCES AND TEMPORARY SEDIMENT BASINS TO BE IN ACCORDANCE WITH THE PLANS.
3. GRUB SITE ACCORDING TO PLAN.
4. CUT AND DISPOSE OF ANY DEBRIS PRODUCED DURING THE CLEARING AND GRUBBING ACTIVITY.
5. CONSTRUCT STORMWATER MANAGEMENT AREAS PRIOR TO ROUGH GRADING. SEED AND MULCH IMMEDIATELY.
6. SITE GRADING OF ROADWAYS AND LOT AREAS. ALL CUT AND FILL SLOPES SHALL BE SEED AND MULCHED AFTER BEING CONSTRUCTED.
7. INSTALLATION OF UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT IN ACCORDANCE WITH THE "SILTSACK DETAIL". THE CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED. RIPRAP SHALL BE PLACED AT EACH HEADWALL OUTLET.
8. NO PORTION OF THE PROJECT SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR A PERIOD OF TWO (2) MONTHS OR GREATER. ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED PRIOR TO WINTER CONDITIONS. STABILIZATION SHALL BE DEFINED AS 70% VEGETATIVE GROWTH BY NOVEMBER 1ST OR INSTALLATION OF EROSION CONTROL MATTING.
9. COMPLETED AREAS SHALL BE STABILIZED 72 HOURS AFTER COMPLETION.
10. ALL PERMANENT STORMWATER MANAGEMENT MEASURES SHALL HAVE A HEALTHY STAND OF VEGETATION ESTABLISHED PRIOR TO DIRECTING RUNOFF INTO THEM.
11. FINAL PAVING OF DRIVEWAYS.
12. LOAM AND SEED ALL DISTURBED AREAS.
13. INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES.
14. SITE LANDSCAPING ALONG WITH PERMANENT SEEDING OF ALL DISTURBED AREAS.
15. REMOVE ANY TEMPORARY EROSION CONTROL MEASURES NOT NEEDED.

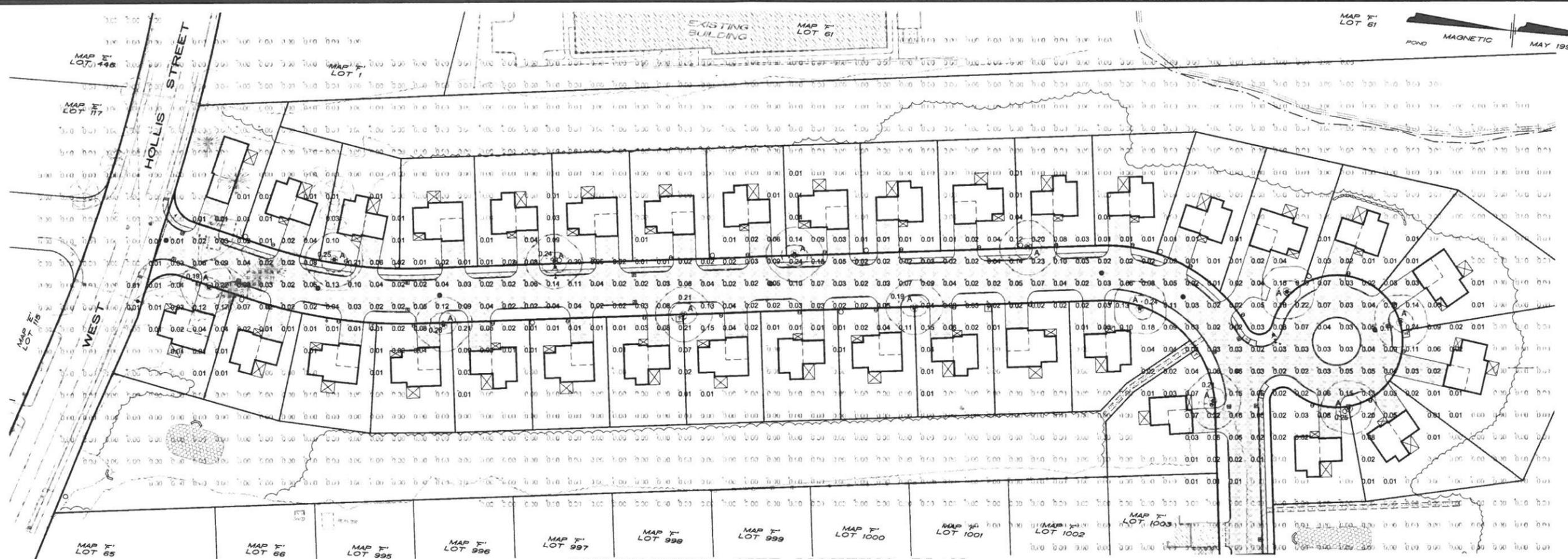
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 www.haynerswanson.com



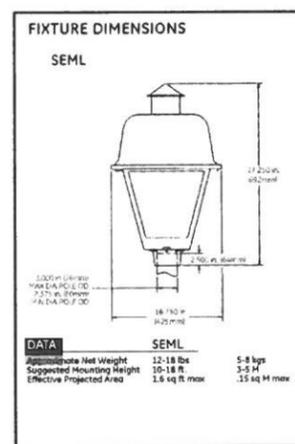
PHOTOMETRIC SITE LIGHTING PLAN

SCALE: 1" = 50'-0"

Symbol	Label	Quantity	Manufacturer	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage	Catalog Number
*	A	13	GE LIGHTING SOLUTIONS	Post Top Colonial Style Lantern Streetlight with Round Non-tapered Steel pole - Overall pole height to be 16'-0" from finished grade to top of pole (includes height of exposed concrete base)	1 - 50W HPS, CLEAR ED23.5, VBD	1	ge452855_tcm20-1-57351.las	4000	0.81	81	SEML05S - VOLTAGE - BALLAST - PE FUNCTION - TA - MSS - COLOR - OPTIONS GE - ARSS SERIES POLE

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Entire Calculation Area	+	0.01 fc	0.26 fc	0.00 fc	N/A	N/A
Roadway	*	0.06 fc	0.24 fc	0.02 fc	12.0:1	3.0:1

ESSN LIGHTING
(781) 963-9000



SALEM™ LOWER LAMP MOUNTING

APPLICATIONS

- Residential areas and walkways
- Shopping centers and malls

SPECIFICATION FEATURES

- E39 Mogul base vertical socket standard where lamp is available in mogul base (E26 Medium base socket otherwise)
- Die Cast Aluminum housing
- Acrylic & Polycarbonate textured refractors
- Integral ballast in bottom of luminaire
- Powder coat paint finish

PRODUCT CODE	SHAFT	POLE	REFRACTOR	BALLAST	REFRACTOR	LED DISTRIBUTION	COLOR	OPTIONS
SEML	10	S	1	N	1	TA	MSS	BL

GE Lighting Solutions • 1-888-MY-GE-LED • www.ge-lightingsolutions.com

STEEL NON-TAPERED AREA LIGHTING POLES 10 TO 30 FEET (3 TO 9 METERS)

SUGGESTED LUMINAIRE TYPES

SPECIFICATION FEATURES

- Round straight non-tapered steel shaft
- Dark bronze powder coated finish standard
- Shaft lengths from 10 to 30 feet
- Single or multiple luminaire mounting
- Top tenon choice
- Shipped with pole anchor bolts, handhole opening with cover, electrical grounding kit and spirally wrapped packing with rip cord removal system

POLE SELECTION TABLE

Ordering Number	Nominal Mounting Height (ft)	Shaft Dia (in)	Thickness (in)	EPA (sq ft) MSH w/1.5 Gust	Roat Circle (in)	Roat Size (in)	A.D. Projection (ft)	Round Base Dia (in)	Approximate Ship Weight (lbs)
ARSS-10X030110B	10	3	0.120	10.00	7.75	5.00	7'-9"	3/4x17	25.0
ARSS-10X040110B	10	4	0.120	19.00	15.00	12.00	7'-9"	3/4x17	25.0
ARSS-10X050110B	10	5	0.120	26.50	19.50	15.00	7'-9"	3/4x17	25.0
ARSS-12X030110B	12	3	0.120	7.70	5.80	4.40	7'-9"	3/4x17	25.0
ARSS-12X040110B	12	4	0.120	15.00	11.70	8.50	7'-9"	3/4x17	25.0
ARSS-12X050110B	12	5	0.120	19.80	15.70	12.70	7'-9"	3/4x17	25.0
ARSS-14X030110B	14	3	0.120	6.60	4.40	3.50	7'-9"	3/4x17	25.0
ARSS-14X040110B	14	4	0.120	12.20	8.40	7.60	7'-9"	3/4x17	25.0
ARSS-14X050110B	14	5	0.120	16.20	12.80	10.10	7'-9"	3/4x17	25.0
ARSS-16X030110B	16	3	0.120	4.60	3.70	2.70	7'-9"	3/4x17	25.0
ARSS-16X040110B	16	4	0.120	9.60	7.40	5.70	7'-9"	3/4x17	25.0
ARSS-16X050110B	16	5	0.120	13.10	10.70	8.70	7'-9"	3/4x17	25.0
ARSS-18X030110B	18	3	0.120	3.40	2.70	1.40	7'-9"	3/4x17	25.0
ARSS-18X040110B	18	4	0.120	7.00	5.70	4.00	7'-9"	3/4x17	25.0
ARSS-18X050110B	18	5	0.120	10.50	8.20	6.50	7'-9"	3/4x17	25.0
ARSS-20X030110B	20	3	0.120	2.40	1.40	1.10	7'-9"	3/4x17	25.0
ARSS-20X040110B	20	4	0.120	6.00	4.40	3.40	7'-9"	3/4x17	25.0
ARSS-20X050110B	20	5	0.120	8.50	6.60	5.20	7'-9"	3/4x17	25.0
ARSS-25X030110B	25	3	0.120	1.75	9.10	7.25	7'-9"	3/4x17	25.0
ARSS-25X040110B	25	4	0.120	4.25	10.90	8.75	7'-9"	3/4x17	25.0
ARSS-25X050110B	25	5	0.120	6.80	16.60	12.70	7'-9"	3/4x17	25.0
ARSS-30X030110B	30	3	0.120	1.25	5.50	4.25	7'-9"	3/4x17	25.0
ARSS-30X040110B	30	4	0.120	3.10	8.40	7.45	7'-9"	3/4x17	25.0
ARSS-30X050110B	30	5	0.120	4.70	13.00	10.70	7'-9"	3/4x17	25.0
ARSS-30X05070B	30	5	0.120	4.70	8.00	7.25	7'-9"	3/4x17	25.0
ARSS-30X05070B	30	5	0.120	8.00	8.20	8.75	7'-9"	3/4x17	25.0

ORDERING NUMBER LOGIC (See Pole Selection Table for actual Ordering Numbers)

PRODUCT CODE	SHAFT	POLE	REFRACTOR	BALLAST	REFRACTOR	LED DISTRIBUTION	COLOR	OPTIONS
A	R	S	1	N	1	TA	MSS	BL

NOTES

- THIS PLAN IS TO BE USED FOR PHOTOMETRIC PURPOSES ONLY.
- CONDUIT, WIRING AND POLE BASE DESIGNS TO BE PROVIDED BY OTHERS.
- FINAL LOCATION OF LIGHT POLES TO BE FIELD DETERMINED.

PHOTOMETRIC LIGHTING PLAN
(MAP 'F', LOTS 62 & 64)
667 & 673 WEST HOLLIS ST.
NASHUA, NEW HAMPSHIRE
PREPARED FOR:
ETCHSTONE PROPERTIES, INC.
179 AMHERST STREET NASHUA, NEW HAMPSHIRE 03064 (603) 889-5208
RECORD OWNERS:
ETCHSTONE PROPERTIES, INC.
and PITARYS HOMES INC.

SCALE: 1"=50 Feet
1"=15.240 Meters

29 AUGUST 2016

VEATON ASSOCIATES, INC.
66 Jackson Street
Littleton, NH 03561
603.444.6578
www.veatonassociates.com
16088E

FIELD BOOK: 1204/1208 DRAWING NAME: 5420 SUB-SLS1 5420 13 OF 13
DRAWING LOCATION: Q:\5420\DWG\5420 SUB



MAP 'E'
LOT 446

MAP 'E'
LOT 117

JAYRON
DRIVE

MAP 'E'
LOT 115

MAP 'E'
LOT 132

MAP 'E'
LOT 114

WEST
HOLLIS
STREET

MAP 'F'
LOT 1

MAP 'F'
LOT 61

OPEN SPACE
1677

STORMWATER
MANAGEMENT
AREA 'A'

STORMWATER
MANAGEMENT
AREA
'B'

MAP 'F'
LOT 65

MAP 'F'
LOT 995

MAP 'F'
LOT 996

MAP 'F'
LOT 997

MAP 'F'
LOT 998

MAP 'F'
LOT 999

MAP 'F'
LOT 1000

MAP 'F'
LOT 1001

MAP 'F'
LOT 1002

MAP 'F'
LOT 1003

MAP 'F'
LOT 987

HEIDI
LANE

MAP 'F'
LOT 985

SHORE
DRIVE

SHORE
DRIVE

NASHUA
RIVER

RIVER

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MNTA

150 FT SHORELAND
PROTECTION LIMIT

100 FT
SHORELAND
PROTECTION LIMIT

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda Panny, Deputy Planning Manager
FOR: November 3, 2016
RE: **New Business #3 - Subdivision Plan**

I. Project Statistics:

Owners: Thomas & Michelle Marenghi-Arpin & Crimson Properties, LLC
Proposal: Lot line relocation plan
Location: 1095 & 1093 West Hollis Street
Total Site Area: 4.254 acres (185,315 sf)
Existing Zoning: R30 Suburban Residence
Surrounding Uses: Residential

II. Background Information:

Thomas & Michelle Marenghi-Arpin own single family home at 1093 West Hollis Street (Lot 70). Crimson Properties, LLC owns the single family home with a detached garage at 1095 West Hollis Street (Lot 69).

III. Project Description:

The purpose of this plan is to transfer 11,959 sf from Lot 70 to Lot 69. No other changes are being proposed. One waiver has been requested as part of this application to show existing conditions.

The plan was reviewed by City staff; comments are pending.

Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet the requirements outlined in the Subdivision NRO § 190-138(G). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulation be made part of that approval:

1. The request for a waiver of § 190-282(B)(9), which requires an existing conditions plan, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.

CERTIFICATION:

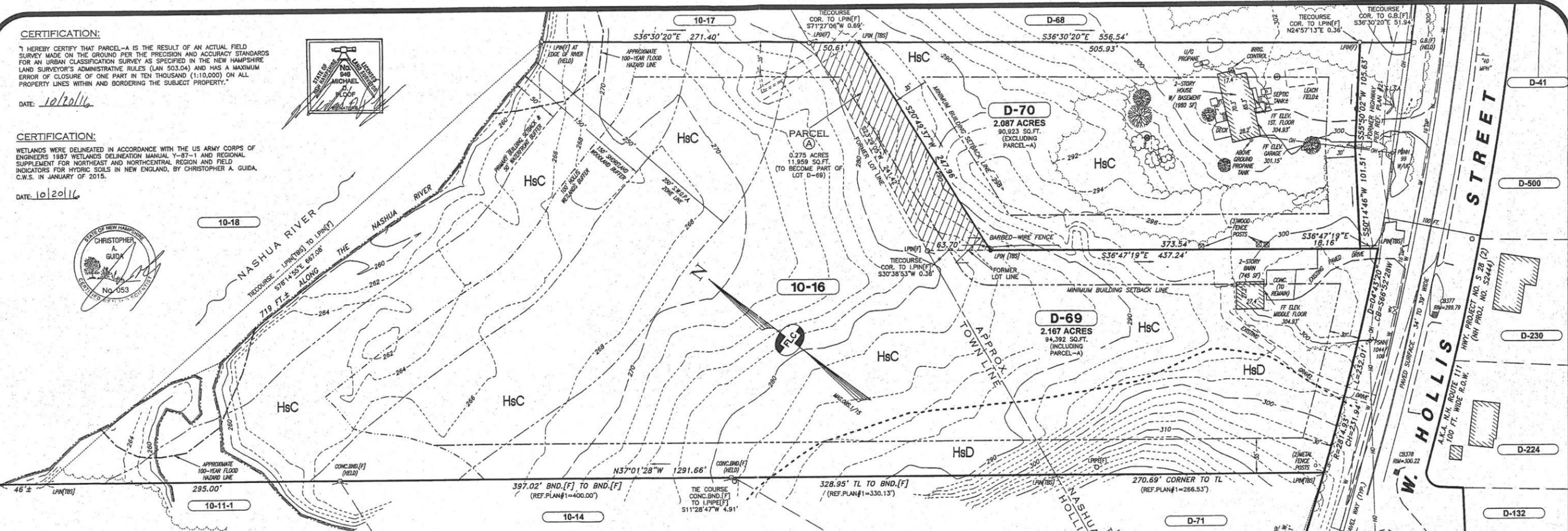
I HEREBY CERTIFY THAT PARCEL-A IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND PER THE PRECISION AND ACCURACY STANDARDS FOR AN URBAN CLASSIFICATION SURVEY AS SPECIFIED IN THE NEW HAMPSHIRE LAND SURVEYOR'S ADMINISTRATIVE RULES (LAN 503.04) AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

DATE: 10/20/16

CERTIFICATION:

WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE US ARMY CORPS OF ENGINEERS 1987 WETLANDS DELINEATION MANUAL Y-87-1 AND REGIONAL SUPPLEMENT FOR NORTHEAST AND NORTH-CENTRAL REGION AND FIELD INDICATORS FOR HYDRIC SOILS IN NEW ENGLAND, BY CHRISTOPHER A. GUIDA, C.W.S. IN JANUARY OF 2015.

DATE: 10/20/16



ZONING NOTE
DEPICTION OF THE ZONING/BUILDING SETBACKS SHOWN WERE INTERPRETED AND DEVELOPED BY FIELDSTONE LAND CONSULTANTS, PLLC PER THE CURRENT ZONING ORDINANCE. FINAL DETERMINATIONS SHOULD BE MADE BY THE PROPER ZONING AUTHORITY.

REFERENCE PLANS:

- LEON TROTTER 122 PINE HILL ROAD NASHUA, NH. SUBDIVISION OF ONE LOT INTO THREE LOTS. SCALE: 1"=100'. DATED JULY 20, 1979. BY AUSTIN PARKHURST. (SEE H.C.R.D. PLAN NUMBER 10633).
- STATE OF NEW HAMPSHIRE - DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS - PLANS OF PROPOSED FEDERAL AND SECONDARY PROJECT - NO. S 28(2) - N.H. NO. S24444 - N.H. ROUTE 111 - TOWN OF HOLLIS - COUNTY OF HILLSBORO. (FAS 28(2) SHEET 7 OF 82. SCALE 1"=50'. DATED MAY 4, 1984.
- "BOUNDARY PLAN LOT 7 / SHEET D WEST HOLLIS STREET NASHUA, NEW HAMPSHIRE". SCALE: 1"=50'. DATED: JUNE 15, 1993. BY MAYNARD & PAQUETTE, INC. (H.C.R.D. PLAN NUMBER 2638).
- "BOUNDARY & SUBDIVISION PLAN - LOT C-7 / MAP 10 THE OVERLOOK AT HOLLIS RUNNELS BRIDGE ROAD (NH ROUTE 111) HOLLIS, NH". SCALE: 1"=100'. DATED: DECEMBER 15, 1986. BY MAYNARD & PAQUETTE, INC. (SEE H.C.R.D. PLAN NUMBER 21924).

NOTES:

- THE OWNER OF RECORD FOR TAX MAP PARCEL D-69 IS CRIMSON PROPERTIES, L.L.C., 20 TRAFALGAR SQUARE, SUITE #101, NASHUA, NEW HAMPSHIRE 03063. DEED REFERENCE TO PARCEL IS BK. 8784 PG. 1989 DATED AUGUST 26, 2015 IN THE H.C.R.D.
- THE OWNER OF RECORD FOR TAX MAP PARCEL D-70 IS THOMAS & MICHELLE MARENGHI-ARPIN, 1093 W. HOLLIS STREET, NASHUA, NH 03062. DEED REFERENCE TO PARCEL IS BK. 8034 PG. 2520 DATED NOVEMBER 19, 2008 IN THE H.C.R.D.
- THE PURPOSE OF THIS PLAN IS TO REVISE THE COMMON LOT LINE BETWEEN EXISTING TAX MAP LOT D-69 & EXISTING TAX MAP LOT D-70 BY ADDING PARCEL-A TO LOT D-69 & SUBTRACTING PARCEL-A FROM LOT D-70. PARCEL-A IS 11,959 SQ.FT. OR 0.275 ACRES.
- THE EXISTING AREA OF TAX MAP LOT D-69 IS 1,892 ACRES OR 82,433 SQ.FT. AND THE EXISTING AREA OF TAX MAP LOT D-70 IS 2,362 ACRES OR 102,682 SQ.FT.
- LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAP "D".
- CITY OF NASHUA ZONING FOR THE PARCEL D-69 IS R30 A-SUBURBAN RESIDENCE.

CONVENTIONAL REQUIREMENTS ARE:

REQUIRED:	REV. LOT D-69:	REV. LOT D-70:
MIN. LOT AREA:	30,000 S.F.	30,000 S.F.
MIN. LOT WIDTH:	130 FT.	130 FT.
MIN. LOT DEPTH:	120 FT.	120 FT.
MIN. SETBACK-FRONT:	30 FT.	30 FT.
MIN. SETBACK-SIDE:	20 FT.	20 FT.
MIN. SETBACK-REAR:	40 FT.	40 FT.
MAX. BUILDING HEIGHT:	35 FT.	35 FT.
MAX. STORES:	2.0	2.0
CONSERVATION AREA:	N/A	N/A
OPEN SPACE PER LOT:	50%	50%

- THE SITE IS LOCATED WITHIN THE WATER SUPPLY PROTECTION DISTRICT.
- THE SURFACE FEATURES AND BOUNDARY INFORMATION SHOWN WAS DEVELOPED FROM THE REFERENCE PLANS CITED AND PRECISE FIELD SURVEYS BY THIS OFFICE DURING THE MONTHS OF JANUARY 2015 AND SEPTEMBER 2016. THE NASHUA CITY DATUM HAS BEEN USED ON THIS PROJECT. NASHUA CITY DATUM TO NGVD 1929 DATUM = +90.47.
- A PORTION OF THE SUBJECT PARCEL IS LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY NO. 330097, AND TOWN OF HOLLIS, NEW HAMPSHIRE, COMMUNITY NO. 330091, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33011C0631D AND 33011C0633D, DATED: SEPTEMBER 25, 2009 AS SHOWN.
- THE LOTS ARE CURRENTLY SERVICED BY OVERHEAD UTILITIES, INDIVIDUAL ON-SITE SEPTIC SYSTEMS AND WATER BY PENNACUCK WATER WORKS.
- PERMANENT MARKERS ARE TO BE SET AT ALL NEW LOT CORNERS BY A LICENSED LAND SURVEYOR.
- TO THE BEST OF MY KNOWLEDGE AND BELIEF, THERE ARE NO KNOWN EASEMENTS, RESTRICTIONS OR ENCUMBRANCES ON THE PROPERTY OTHER THAN THAT SHOWN.

LOT AREA CHART

LOT NUMBER	FORMER	PARCEL-A	PROPOSED
LOT D-69	1,892 ACRES 82,433 S.F.	+0.275 ACRES +11,959 S.F.	2,167 ACRES 94,392 S.F.
LOT D-70	2,362 ACRES 102,682 S.F.	-0.275 ACRES -11,959 S.F.	2,087 ACRES 90,923 S.F.

NRCS SOILS LEGEND:
SOURCE: USDA NRCS WEB SOIL SURVEY

-----	SOIL BOUNDARY
HsC	HINCKLEY LOAMY SAND 8 TO 15% SLOPES
HsD	HINCKLEY LOAMY SAND 15 TO 35% SLOPES

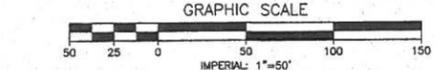
LEGEND:

---	RIGHT-OF-WAY LINE	---	BARBED-WIRE FENCE
---	BOUNDARY LINE	---	10 FT. CONTOUR INTERVAL
---	ABUTTING LOT LINE	---	2 FT. CONTOUR INTERVAL
---	SETBACK LINE	---	APPROX. 100-YEAR FLOOD LINE
---	THE COURSE LINE	---	CONC.BND.[F] CONCRETE BOUND FOUND
---	EDGE OF WATER	---	LPN[F] IRON PIPE FOUND
---	EDGE OF PAVED ROAD	---	LPN[F] DRILL HOLE FOUND
---	GRAVEL ROAD/DRIVE	---	G.B.[F] GRANITE BOUND FOUND
---	FORMER TRACT LINE	---	LPN [TBS] IRON PIN TO BE SET
---	TREELINE	---	W CITY WATER HYDRANT & GATE VALVE
---	OVERHEAD UTILITY LINE	---	U UTILITY POLE AND GUY WIRE
---	16" TOP WATER LINE	---	D-69 EXISTING TAX MAP AND LOT NUMBER

APPROVED BY NASHUA PLANNING BOARD

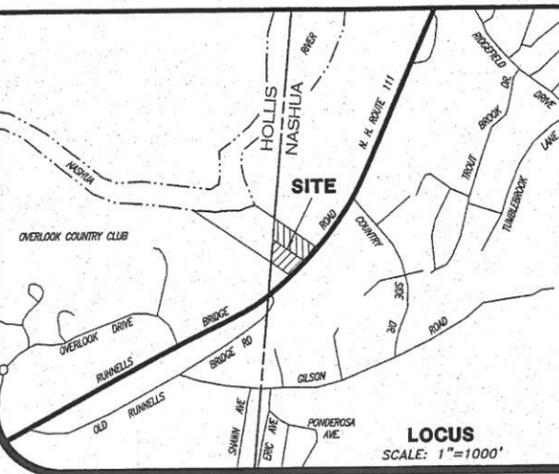
CHAIRMAN: _____ DATE: _____

SECRETARY: _____ DATE: _____



LIST OF ABUTTERS

- IN NASHUA:**
- MAP D LOT 69: CRIMSON PROPERTIES, L.L.C., 20 TRAFALGAR SQUARE, SUITE #101, NASHUA, NH 03063. VOL.8784 PG.1989 8/26/15 (1095 W. HOLLIS ST.)
 - MAP D LOT 41: PETER H. MACCINI, 1080 W. HOLLIS STREET, NASHUA, NH 03062. VOL.8486 PG.1218 9/4/12 (1081 W. HOLLIS ST.)
 - MAP D LOT 68: PAUL M. LEVESQUE, 1081 W. HOLLIS STREET, NASHUA, NH 03062. VOL.8615 PG.1473 10/25/13 (1081 W. HOLLIS ST.)
 - MAP D LOT 70: THOMAS & MICHELLE MARENGHI-ARPIN, 1093 W. HOLLIS STREET, NASHUA, NH 03062. VOL.8034 PG.2520 11/19/08 (1093 W. HOLLIS ST.)
 - MAP D LOT 71: MAURICE & CONSTANCE THIBAUT, 1 RINNELL'S BRIDGE ROAD, HOLLIS, NH 03049. VOL.2549 PG.537 8/12/77 (LOWER W. HOLLIS ST.)
 - MAP D LOT 132: FIFTY-FOUR SIXTY TRUST II, SCOTT W. BLACKBURN, TRUSTEE, 138 JEWETT STREET, PEPPERELL, MA 01463. VOL.8788 PG.1313 9/10/15 (1110 W. HOLLIS ST.)
 - MAP D LOT 16: CRIMSON PROPERTIES, L.L.C., 20 TRAFALGAR SQUARE, SUITE #101, NASHUA, NH 03063. VOL.8784 PG.1989 8/26/15 (1095 W. HOLLIS ST.)
 - MAP D LOT 11-1: DPT, INC., 4 FRIEL GOLF ROAD, HUDSON, NH 03051. VOL.3885 PG.65 12/31/86 (OVERLOOK DRIVE)
 - MAP D LOT 14: CLEMENT L. MICHAEL, 440 MAIN DUNSTABLE ROAD, NASHUA, NH 03062-1889. VOL.2685 PG.196 4/27/79 (3 RINNELL'S BRIDGE RD.)
 - MAP D LOT 15: MAURICE & CONSTANCE THIBAUT, 1 RINNELL'S BRIDGE ROAD, HOLLIS, NH 03049. VOL.2574 PG.54 11/8/77 (1 RINNELL'S BRIDGE RD.)
 - MAP D LOT 17: PAUL M. LEVESQUE & SCOTT LEVESQUE, 1081 W. HOLLIS STREET, NASHUA, NH 03062. NH PROBATE DCC. NO.1159 (RINNELL'S BRIDGE ROAD)
 - MAP D LOT 18: HOLLIS CONSERVATION COMMISSION, C/O BOARD OF SELECTION, 7 MONUMENT SQUARE, HOLLIS, NH 03049-6102. VOL.5228 PG.1496 12/14/90 (RINNELL'S BRIDGE ROAD)
 - MAP D LOT 224: TRAVIS S. BEZEE & CHELSEY LANEY, 1100 W. HOLLIS STREET, NASHUA, NH 03062-1232. VOL.8686 PG.1483 8/22/14 (1100 W. HOLLIS ST.)
 - MAP D LOT 317: JEREMY & ALISSA ANCTIL, 1099 W. HOLLIS STREET, NASHUA, NH 03062. VOL.8538 PG.2314 3/18/13 (1099 W. HOLLIS ST.)
 - MAP D LOT 230: DONALD SUTHERLAND FAMILY TRUST, DONALD H. SUTHERLAND, TRUSTEE, 1096 W. HOLLIS STREET, NASHUA, NH 03062-1217. VOL.8577 PG.2900 7/1/13 (1096 W. HOLLIS ST.)
 - MAP D LOT 500: MICHAEL & JULIEANN ATKINS, 29 OLD MILFORD ROAD, AMHERST, NH 03031-3551. VOL.5777 PG.1935 12/23/96 (1086 W. HOLLIS ST.)



LOT LINE RELOCATION PLAN
TAX MAP PARCELS D-69 AND D-70
1095 AND 1093 WEST HOLLIS STREET
NASHUA, NEW HAMPSHIRE
PREPARED FOR AND LAND OF (LOT D-69):
CRIMSON PROPERTIES, LLC
20 TRAFALGAR SQUARE, SUITE 101, NASHUA, NH 03063 - (803) 234-4192
AND
LAND OF (LOT D-70):
THOMAS & MICHELLE MARENGHI-ARPIN
1093 WEST HOLLIS STREET, NASHUA, NH 03062

SCALE: 1" = 50' SEPTEMBER 20, 2016

Surveying + Engineering + Land Planning + Permitting + Septic Designs

FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford NH 03055
Phone: (603)-672-5456 Fax: (603)-413-5456
www.FieldstoneLandConsultants.com

FILE: 890LR00A.dwg PROJ. NO. 890.00 SHEET: LR-1 PAGE NO. 1 OF 1

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Scott McPhie, Planner 1
FOR: November 03, 2016
RE: **New Business # 4 - Subdivision Plan**

I. Project Statistics:

Owners: Flexwit, LLC & Fitform, Inc.
Proposal: Lot Line relocation
Location: 9 Union, L Bridge Street & 6 Eckler
Total Site Area: 57,911 sf
Existing Zoning: GI- General Industrial
Surrounding Uses: Industrial, Commercial & Residential

II. Background Information:

The original lot lines were drawn to accommodate multiple railroad track lines. Adjacent industrial uses were for railroad support, multi-family residential, and complimentary commercial uses. Railroad demand decreased over time and many of the open right of ways were paved over to accommodate automotive oriented uses. The City of Nashua Zoning Board granted a variance for the sale of automobiles on these lots on January 14, 2014.

III. Project Description:

The purpose of the plan is to relocate the lot lines between lots 66 & 91/Sheet 38 and lot 38 /sheet 39. A waiver from 190-282(B) (9) to provide existing conditions and a waiver from 190-279(P) to provide a landscaping plan have been requested.

City staff reviewed the plans and comments are pending.

Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-138(G). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board of that approval:

1. The request for a waiver of § 190-282(B)(9), which requires an existing conditions plan, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. The request for a waiver of NRO § 190-197 & 198, which establishes minimum parking

standards, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.

3. The request for a waiver of NRO § 190-279 (P), which requires submittal of a landscaping plan, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
4. Prior to recording the plan, all comments in a letter from Jeanne Walker dated ____, 2016 will be addressed to the satisfaction of the Engineering Department.
5. Show all easements existing and proposed.
6. Prior to the Chair signing the plan, minor drafting corrections will be made.

ABUTTERS:

LOTS 30, 38 & 66/SHEET 38
FITFORM INC.
2711 CENTERVILLE ROAD - SUITE 400
WILMINGTON, DE. 19808-0306
BOOK 7462/PAGE 809
ACCT. NO. 17058

LOTS 54 & 65/SHEET 38
L & G PROPERTIES, LLC
31 BRIDGE STREET
NASHUA, NH 03060-4153
BOOK 5871/PAGE 1532 & 1533
ACCT. NO. 9220 & 1984
LAUNDROMAT / MULTI-FAMILY

LOT 31/SHEET 39
MASONARY ON NE INC.
c/o CORRIVEAU ROUTHIER INC.
P.O. BOX 4127
MANCHESTER, NH 03108-4127
BOOK 1907/PAGE 286
ACCT. NO. 22370
RETAIL - CORRIVEAU & ROUTHIER

LOT 41/SHEET 39
BOSTON & MAINE CORP.
1700 IRON HORSE PARK
NORTH BILLERICA, MA. 01862-1681
RAILROAD

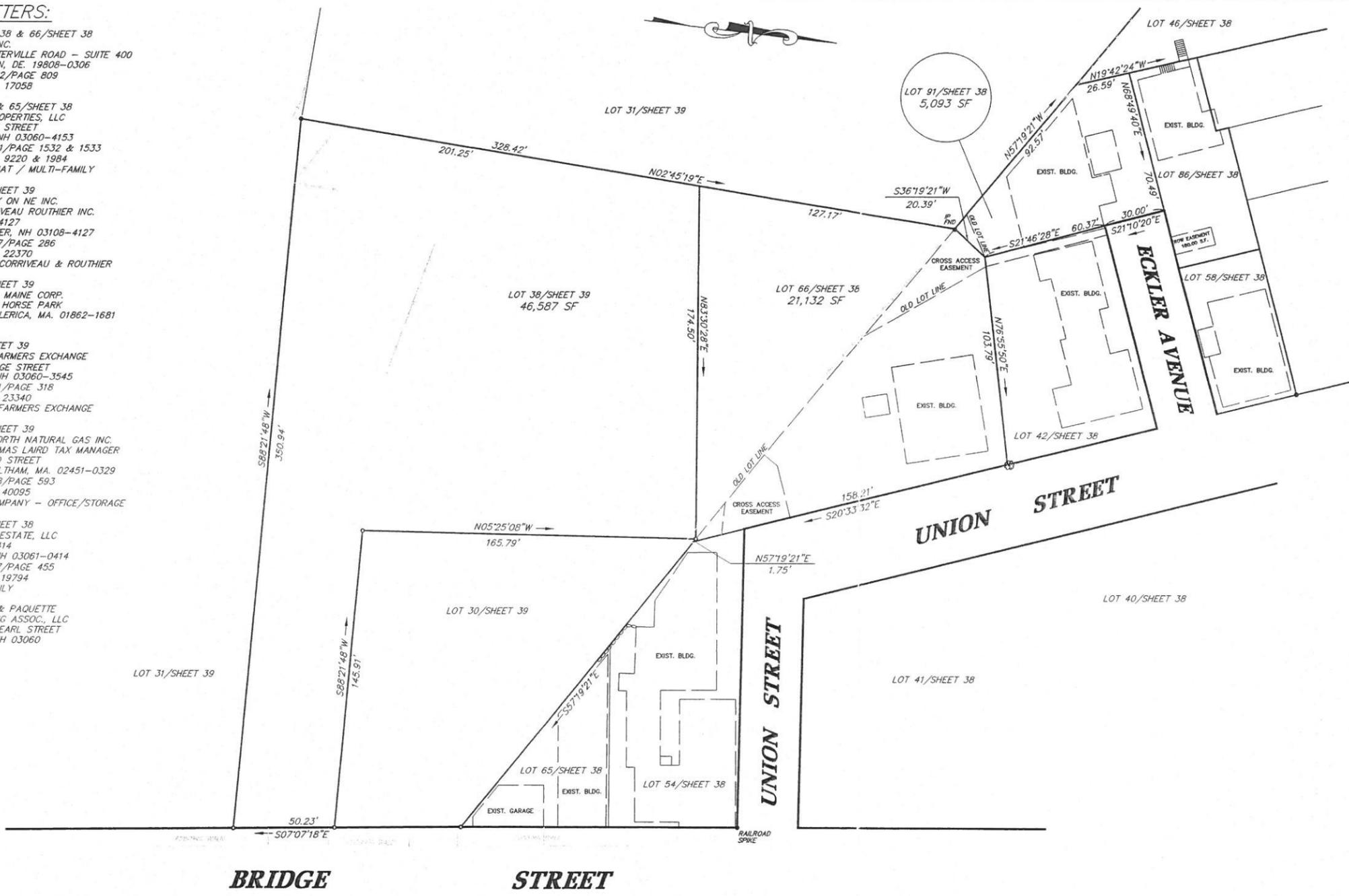
LOT 3/SHEET 39
NASHUA FARMERS EXCHANGE
38 1/2 BRIDGE STREET
NASHUA, NH 03060-3545
BOOK 5301/PAGE 318
ACCT. NO. 23340
RETAIL - FARMERS EXCHANGE

LOT 26/SHEET 39
ENERGY NORTH NATURAL GAS INC.
ATTN: THOMAS LAIRD TAX MANAGER
52 SECOND STREET
NORTH WALTHAM, MA. 02451-0329
BOOK 5298/PAGE 593
ACCT. NO. 40095
UTILITY COMPANY - OFFICE/STORAGE

LOT 69/SHEET 38
B36 REAL ESTATE, LLC
P.O. BOX 414
NASHUA, NH 03061-0414
BOOK 5767/PAGE 455
ACCT. NO. 19794
MULTI-FAMILY

MAYNARD & PAQUETTE
ENGINEERING ASSOC., LLC
23 EAST PEARL STREET
NASHUA, NH 03060

NO.	DATE	BY	REVISION



■ STONE BOUND FOUND

○ IRON PIN TO BE SET

— MINIMUM BUILDING SETBACK

○ UTILITY POLE

VICINITY

LEGEND

- NOTES:**
- PRESENT ZONING: "GI" GENERAL INDUSTRIAL
 - TOTAL LOT AREA: 72,812 SF
 - EXISTING USE: PARKING AND STORAGE AREA FOR THE FOLLOWING-
 - AUTOMOTIVE STORAGE (NEW & USED CARS FOR DEALERS; NO REPAIRS)
 - CONSTRUCTION EQUIPMENT - OFFSEASON STORAGE (NO JUNK OR JUNK VEHICLES)
 - OUTSIDE STORAGE OF CONSTRUCTION MATERIALS (LUMBER)
 - STORAGE TRAILERS & CONTAINERS (NON-HAZEROUS MATERIALS ONLY)
 - MATERIALS PROCESSING & DISTRIBUTION (CORD WOOD)
 PROPOSED USE: OUTSIDE PARKING AND STORAGE
 - THE PURPOSE OF THIS PLAN IS TO RELOCATE THE LOT LINES BETWEEN LOTS 66 AND 91/SHEET 38 AND LOT 38/SHEET 39.
 - DIMENSIONAL REQUIREMENTS (GI: GENERAL INDUSTRIAL):
 - MIN. LOT AREA: 5,000 SF
 - MIN. LOT WIDTH: 50'
 - MIN. LOT FRONTAGE: 50'
 - MIN. LOT DEPTH: 75'
 - FRONT YARD SETBACK: 10 FEET
 - SIDE YARD SETBACK: 10 FEET
 - REAR YARD SETBACK: 15 FEET
 - AREA OF EXCHANGE:

	OLD AREA	NEW AREA	AREA OF EXCHANGE
LOT 38 -	57,538 SF	46,587 SF	-10,951 SF
LOT 66 -	10,273 SF	21,132 SF	+10,859 SF
LOT 91 -	5,001 SF	5,093 SF	+92 SF
TOTALS -	72,812 SF	72,812 SF	0
 - SITE IS SERVED BY CITY OF NASHUA SEWER AND PENNICHUCK WATER WORKS.
 - FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.

- PLAN REFERENCES:**
- LAND IN NASHUA, NH; BOSTON AND MAINE RAILROAD TO JOHNS-MANSVILLE PRODUCTS CORP.; BY: J.F. KERWIN, ASST. CHIEF ENGINEER; SCALE: 1"=40' DATED: MARCH 1960; H.R.C.D. NO. 1913
 - CONSOLIDATION PLAN, CORRIVEAU & ROUTHIER CEMENT BLOCK INC.; BY: PIANTIDISI ASSOCIATES, INC.; DATED: FEBRUARY 2, 1982; H.C.R.D. NO. 14658
 - EASEMENT PLAN MAP 38/LOTS 66 & 91 AND MAP 39/LOTS 30 & 38 UNION STREET & BRIDGE STREET, NASHUA, NH; BY: MAYNARD & PAQUETTE ENG. ASSOC., LLC; DATED: FEBRUARY 22, 2005; H.R.C.D. NO. 33937
 - LOT LINE RELOCATION PLAN, LOTS 30 & 38/SHEET 39, 37 BRIDGE STREET, NASHUA, NH PREPARED FOR: FITFORM, INC.; BY: MAYNARD & PAQUETTE ENG. ASSOC., LLC DATED: SEPTEMBER 7, 2016; SCALE: 1"=30'; H.R.C.D. NO. _____

LOT LINE RELOCATION PLAN - LOT 38/SHEET 39 AND LOTS 66 & 91/SHEET 38

**BRIDGE STREET,
9 UNION STREET &
6 ECKLER AVENUE
NASHUA, NEW HAMPSHIRE**

PREPARED FOR:
FITFORM, INC.
2711 CENTERVILLE ROAD SUITE 400
WILMINGTON, DE. 19808
603-881-5943

FLEXWIT, LLC
2711 CENTERVILLE ROAD SUITE 120
WILMINGTON, DE. 19808
603-881-5943

SCALE: 1" = 30' DATE: SEPTEMBER 7, 2016

APPROVED BY THE CITY OF NASHUA PLANNING BOARD

CHAIRMAN	DATE
SECRETARY	DATE

Christophe W. Peller 09.22.16
FLEXWIT, LLC-OWNER LOT 38/SHEET 91 DATE

Christophe W. Peller 09.22.16
FITFORM, INC.-OWNER LOT 38/SHEET 39 & LOT 66/SHEET 38 DATE

I CERTIFY THAT THIS PLAN WAS PREPARED FROM BOUNDARY INFORMATION SHOWN ON PLAN REFERENCES 1 - 3, AND A SURVEY MADE IN THE FIELD IN SEPTMEBER 2016, HAVING A MAXIMUM ERROR OF CLOSURE OF 1:10,000.

KPM	APB	RAM	D	12524
DESIGNED	DRAFTED	CHECKED	APPROVED	BOOK & PAGE
REVISION	SIZE	JOB NUMBER	1	

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 MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC
 ILLEGAL TO COPY THIS PLAN/PRINT WITHOUT WRITTEN PERMISSION.

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Scott McPhie, Planner 1
FOR: November 03, 2016
RE: **New Business # 5 - Subdivision Plan**

I. Project Statistics:

Owner: Walter W. Anderson
Applicant: Holland Hampshire, LLC
Proposal: Subdivide one lot into two
Location: 535 & 537 Amherst Street
Total Site Area: 57,911 sf
Existing Zoning: HB- Highway Business
Surrounding Uses: Commercial & Residential

II. Background Information:

The original building on the site was constructed before 1953 and enlarged over time evolving into various commercial uses. The most recent use was a restaurant and consignment store. A lot line relocation plan between lots 129 & 88 was approved in 1975. The Nashua Conservation Commission provided a positive recommendation for the project on July 6, 2016. The Zoning Board granted a special exception on August 9, 2016 for parking within the 150-water quality protection district and a variance for parking in the front yard setback.

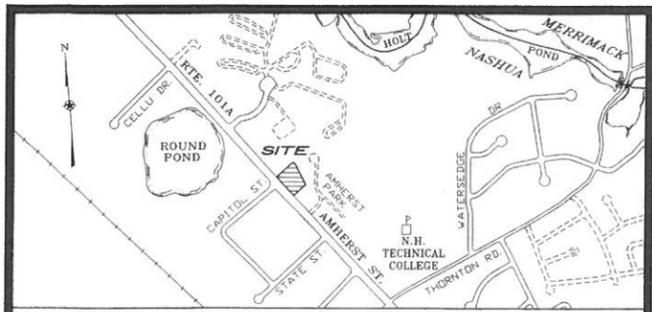
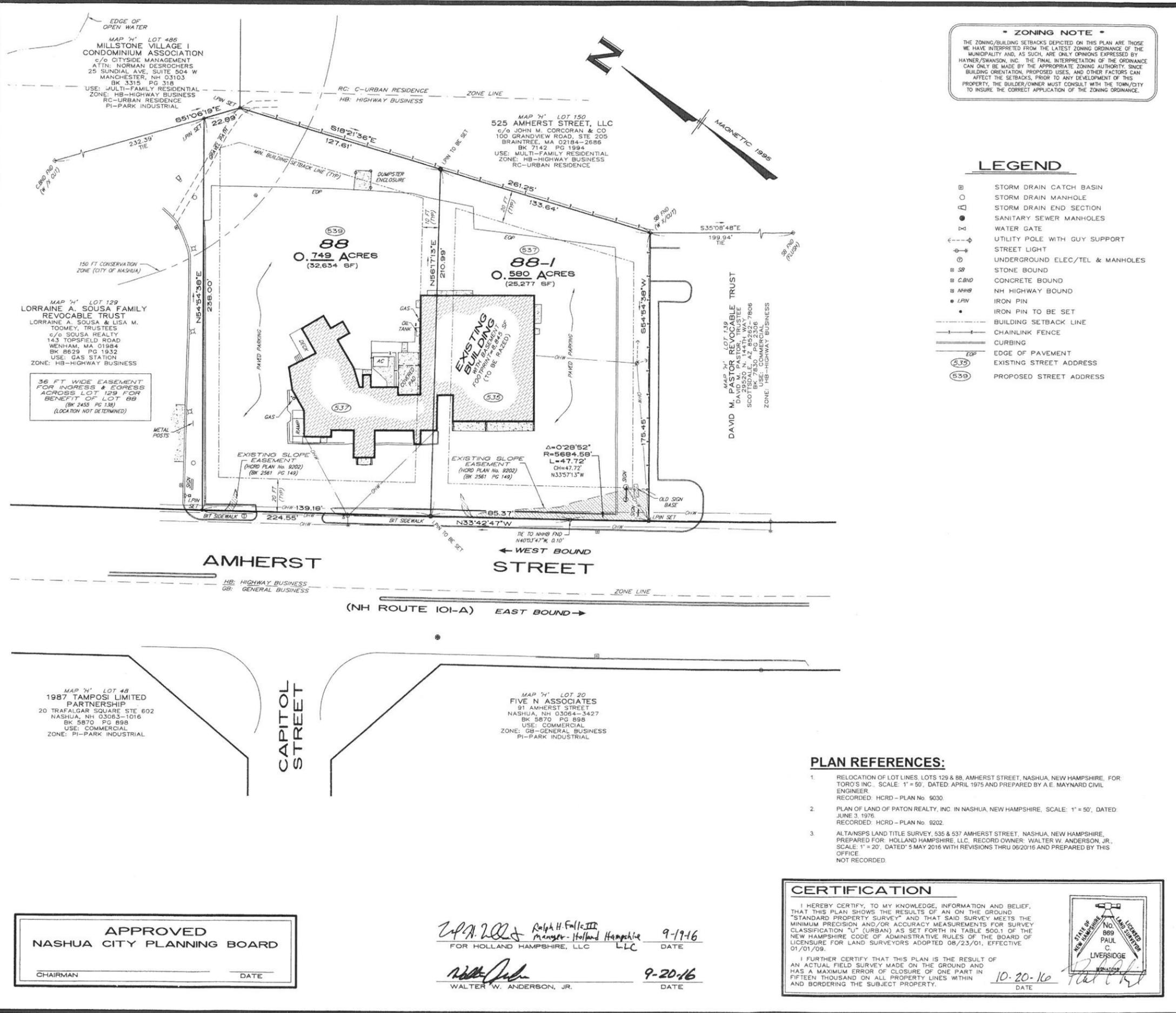
III. Project Description:

The purpose of the plan is to show the proposed subdivision of lot 88 into two new lots, being lots 88 and 652. Lot 88-1 will be corrected on the final plan set to read lot 652. The existing structures on both new lots will be razed. Each lot will be serviced by Pennichuck Water Works and the City sewer. The two new lots will access onto Amherst Street by the existing curb cut and have respective addresses of 537 & 539 Amherst Street. New lot 652 will be seeded and stabilized.

Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-138(G). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board of that approval:

1. Prior to the Chair signing the plan, minor drafting corrections will be made.



NOTES:

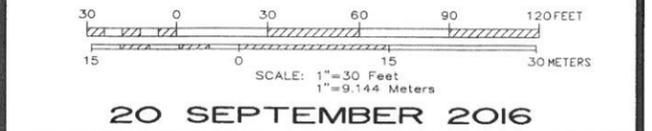
- SITE AREA:

	ORIGINAL	FINAL
LOT 88	57,911 SF	32,634 SF
LOT 88-1		25,277 SF
TOTAL:	57,911 SF	57,911 SF
- PRESENT ZONING: HB; HIGHWAY BUSINESS
 MINIMUM LOT REQUIREMENTS:
 -LOT AREA: 20,000 SF
 -LOT FRONTAGE: 80 FT
 -LOT WIDTH: 100 FT
 -LOT DEPTH: 80 FT
 MINIMUM YARD SETBACKS:
 -FRONT YARD: 20 FT
 -SIDE YARD: 10 FT
 -REAR YARD: 20 FT
 -MAX BUILDING HEIGHT: 60 FT
 -MAX STORIES: 5
 -OPEN SPACE (%): 20
 -MAX FLOOR RATIO: 0.75
- LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAP 'H'.
- PURPOSE OF PLAN:
TO SHOW THE PROPOSED SUBDIVISION OF LOT 88 INTO TWO NEW LOTS, BEING NEW LOTS 88 & 88-1.
- SITE IS SERVICED BY MUNICIPAL SEWER AND WATER BY PENNICKUCK WATER WORKS.
- MONUMENTS, WHERE REQUIRED, TO BE SET PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY BY A LICENSED LAND SURVEYOR AS FOLLOWS: IRON PINS AT LOT CORNERS.
- THIS PLAN SET CONTAINS A TOTAL OF TWO (2) SHEETS. SHEET 1 SHALL BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. THE REMAINING SHEET IS ON FILE AT THE CITY OF NASHUA PLANNING DEPARTMENT.
- THE STREET ADDRESS WILL BE POSTED ON SITE PRIOR TO THE OCCUPANCY OF A BUILDING.
- THE PARCEL IS LOCATED WITHIN ZONE X AND IS NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE RATE MAP(FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NH. COMMUNITY NO 330097, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33011C0492D, DATED: SEPTEMBER 25, 2009.
- THE APPLICANT SHALL SUBMIT AN ELECTRONIC FILE OF THE SUBDIVISION PLAN (PLOT) PRIOR TO RECORDING OF THE PLAN.
- THE SUBJECT SITE WAS INSPECTED BY A CERTIFIED WETLAND SCIENTIST ON SEPTEMBER 13, 2016. AT THE DATE OF THE INSPECTION, IT WAS DETERMINED THAT THERE ARE NO WETLANDS OR ASSOCIATED BUFFERS AFFECTING THE PROPERTY.
- PROPERTY MAY BE SUBJECT TO WELL RIGHTS AS DESCRIBED AT HCRD BOOK 1883, PG 151. NO WELL WAS OBSERVED AT THE TIME OF SURVEY. EXISTING WELLS, IF FOUND, SHALL BE ABANDONED IN ACCORDANCE WITH NHDES REGULATIONS.
- PRESENT OWNER OF RECORD:
MAP 'H', LOT 88
WALTER W. ANDERSON, JR.
537 AMHERST STREET
NASHUA, NH 03063
BK 8584, PG 809

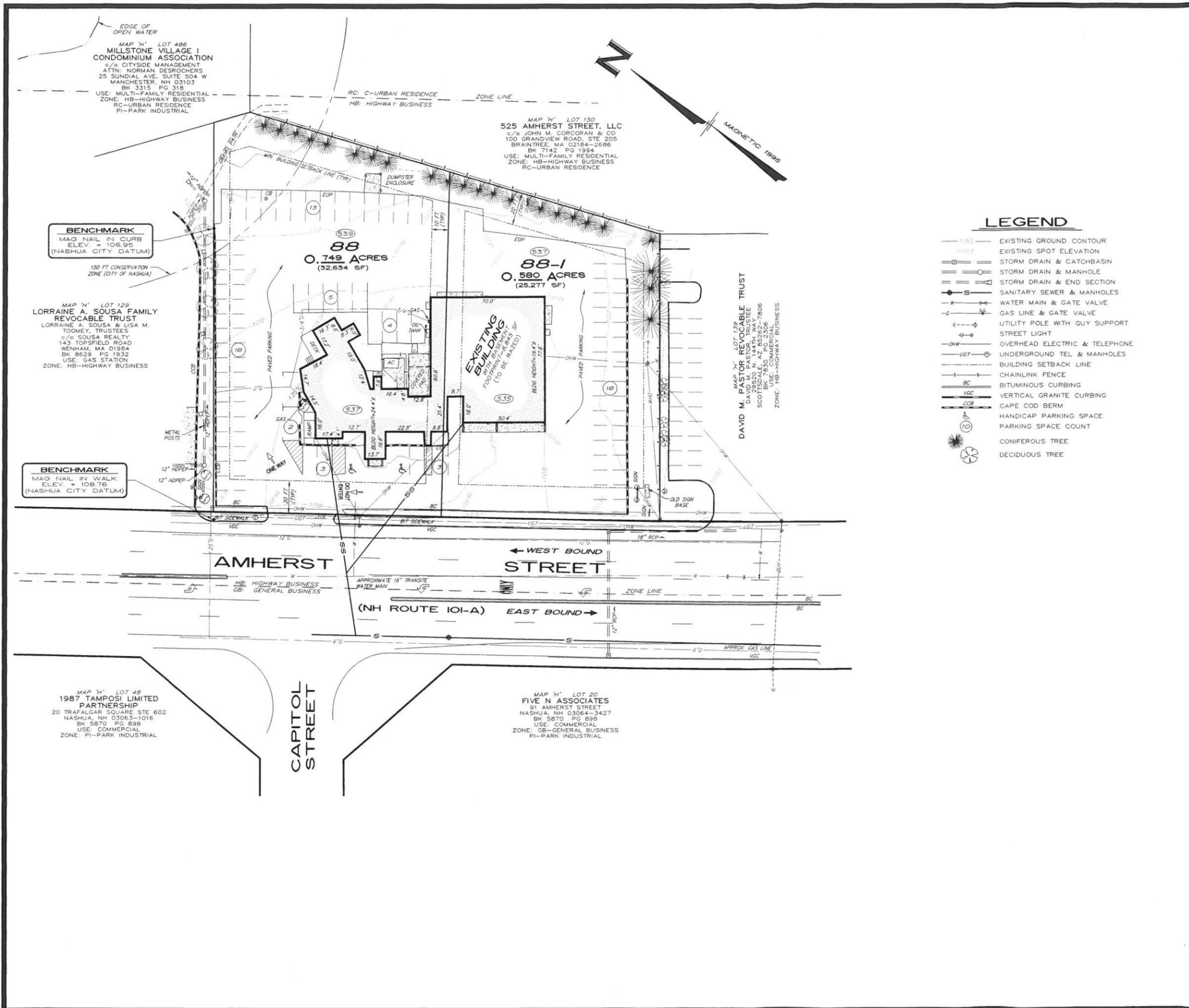
No.	DATE	REVISION	BY
1	10/18/16	ADDRESS STAFF REVIEW COMMENTS	TEZ

SUBDIVISION PLAN
(MAP 'H', LOT 88)
535 & 537 AMHERST STREET
NASHUA, NEW HAMPSHIRE
PREPARED FOR:
HOLLAND HAMPSHIRE, LLC
1310 SOUTH TRYON ST., SUITE 104 CHARLOTTE, NC 28203 (704) 333-4244

RECORD OWNER:
WALTER W. ANDERSON, JR.
537 AMHERST STREET NASHUA, NEW HAMPSHIRE 03063



HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
Three Congress Street Nashua, New Hampshire 03062-3301
Tel (603) 883-2057 Fax (603) 883-5057
www.hayner-swanson.com



GENERAL NOTES:

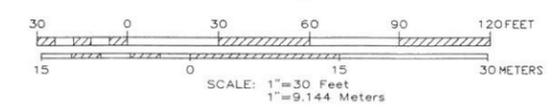
- 1 THE EXISTING TOPOGRAPHY, AS SHOWN ON THIS PLAN, IS BASED ON AN ACTUAL GROUND SURVEY MADE DURING APRIL AND MAY 2016.
- 2 THE NASHUA CITY DATUM HAS BEEN USED ON THIS PROJECT. (NASHUA CITY DATUM TO NAVD 1988 = + 89.77)
- 3 UNDERGROUND UTILITY INFORMATION SUMMARY
 - GAS LOCATIONS SHOWN PER PHYSICAL EVIDENCE, DIGSAFE MARKINGS (REQUESTED BY OTHERS) AND PLANS PROVIDED BY LIBERTY UTILITIES.
 - WATER LOCATIONS PER PHYSICAL EVIDENCE AND PLANS PROVIDED BY PENNICHUCK WATER WORKS.
 - UNDERGROUND TELEPHONE SHOWN PER PHYSICAL EVIDENCE, DIGSAFE MARKINGS (REQUESTED BY OTHERS). PLANS HAVE BEEN REQUESTED FROM FAIRPOINT COMMUNICATIONS BUT HAVE NOT YET BEEN RECEIVED.
 - SEWER SERVICE LOCATIONS SHOWN PER SITE PLANS AND SEWER SERVICE PERMIT PROVIDED BY CITY OF NASHUA.

LEGEND

- 100 — EXISTING GROUND CONTOUR
- 103.5 — EXISTING SPOT ELEVATION
- (S) — STORM DRAIN & CATCHBASIN
- (M) — STORM DRAIN & MANHOLE
- (E) — STORM DRAIN & END SECTION
- (S) — SANITARY SEWER & MANHOLES
- (W) — WATER MAIN & GATE VALVE
- (G) — GAS LINE & GATE VALVE
- (U) — UTILITY POLE WITH GUY SUPPORT
- (L) — STREET LIGHT
- (E) — OVERHEAD ELECTRIC & TELEPHONE
- (U) — UNDERGROUND TEL & MANHOLES
- (S) — BUILDING SETBACK LINE
- (C) — CHAINLINK FENCE
- (BC) — BITUMINOUS CURBING
- (VGC) — VERTICAL GRANITE CURBING
- (CCB) — CAPE COD BERM
- (H) — HANDICAP PARKING SPACE
- (P) — PARKING SPACE COUNT
- (T) — CONIFEROUS TREE
- (D) — DECIDUOUS TREE

No.	DATE	REVISION	BY
1	10/18/16	ADDRESS STAFF REVIEW COMMENTS	TEZ

TOPOGRAPHIC SUBDIVISION PLAN
 (MAP "H", LOT 88)
535 & 537 AMHERST STREET
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR:
HOLLAND HAMPSHIRE, LLC
 1310 SOUTH TRYON ST., SUITE 104 CHARLOTTE, NC 28203 (704) 333-4244
 RECORD OWNER:
WALTER W. ANDERSON, JR.
 537 AMHERST STREET NASHUA, NEW HAMPSHIRE 03063



20 SEPTEMBER 2016

HSI Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors
 Three Congress Street Nashua, New Hampshire 03062-3301
 Tel (603) 883-2057 Fax (603) 883-5057
 www.hayner-swanson.com

FIELD BOOK: 1208	DRAWING NAME: 5413SUB FS31	5413	2 OF 2
DRAWING LOCATION: 0\5413\DWG\5413 SUB		File Number	Sheet

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Scott McPhie, Planner 1
FOR: November 03, 2016
RE: **New Business # 6 - Site Plan**

I. Project Statistics:

Owner: Walter W. Anderson
Applicant: Holland Hampshire, LLC
Proposal: Construct a one-story vehicle repair & service center
Location: 535 & 537 Amherst Street
Total Site Area: 57,911 sf
Existing Zoning: HB- Highway Business
Surrounding Uses: Commercial & Residential

II. Background Information:

The original structure was built before 1953 and enlarged over time evolving into various commercial uses. The most recent use was a restaurant and consignment store. A lot line relocation plan between lots 129 & 88 was approved in 1975. The Nashua Conservation Commission provided a positive recommendation for the project on July 6, 2016. The Zoning Board granted a special exception on August 9, 2016 for parking within the 150-water quality protection district and a variance for parking in the front yard setback (See attached approval letter).

III. Project Description:

The purpose of the plan is to show a proposed 1-story 6,750 SF vehicle repair and service building upon lot 88 along with site improvements upon both lots 88 and 652 (currently shown on the plan as lot 88-1). The existing structures located on both new lots will be razed. The new lots will be serviced by Pennichuck Water Works and City sewer with access onto Amherst Street and respective addresses of 537 & 539 Amherst Street.

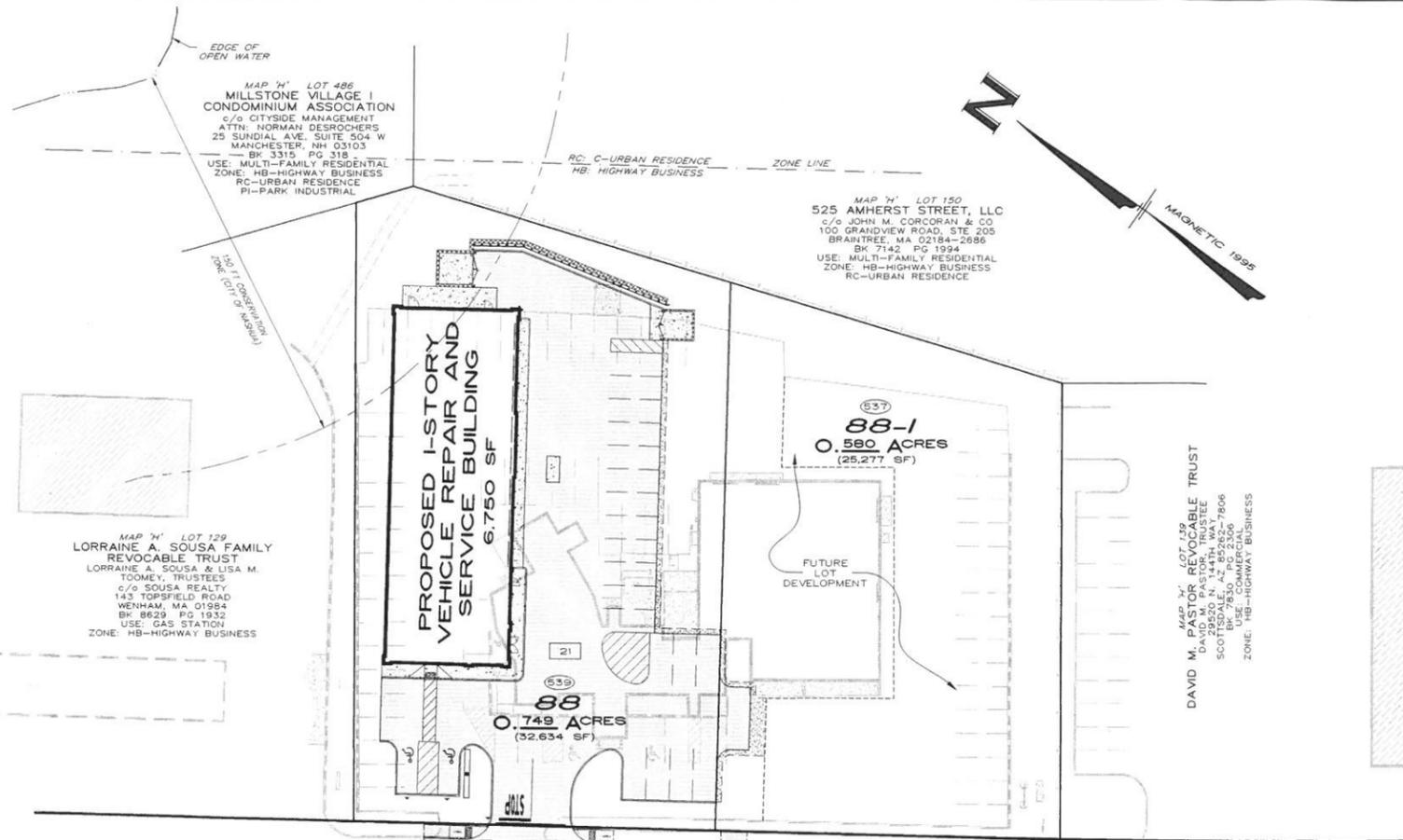
The applicant's engineer provided a complete stormwater management study and maintenance plan with the enclosed narrative for your review. A traffic study has also been provided. The applicant is not offering to make a contribution in lieu of sidewalk construction because an existing asphalt sidewalk is in place across the entire frontage of the proposed two properties. The following waiver requests were made for 190-172(C) to foster roofline variations and 190-198 to allow additional parking on site.

City staff reviewed the plans. There are minor comments from the Engineering staff that still need to be addressed (see attached correspondence).

Staff Recommendations and Findings:

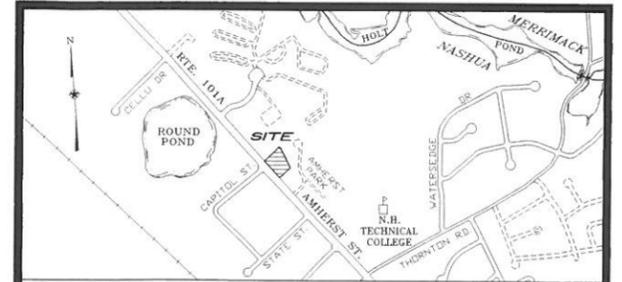
The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146 (D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board of that approval:

1. The request for a waiver of § 190-172 (C), which requires variations in rooflines **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. The request for a waiver of § 190-198, which requires a minimum and maximum number of spaces allowed **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
3. Prior to recording the plan, all comments in a letter from Jeanne Walker dated____, 2016 will be addressed to the satisfaction of the Engineering Department.
4. Stormwater documents and easements will be submitted to City staff for review and recorded with the subdivision plan.
5. Any work within the right-of-way shall require a financial guarantee.
6. Prior to the Chair signing the plan, minor drafting corrections will be made.



LEGEND

- EXISTING GROUND CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED GRADE
- PROPOSED SPOT GRADE
- STORM DRAIN & CATCH BASIN
- STORM DRAIN & MANHOLE
- STORM DRAIN & END SECTION
- SANITARY SEWER & MANHOLE
- WATER MAIN & GATE VALVE
- GAS LINE & GATE VALVE
- UTILITY POLE WITH GUY SUPPORT
- STREET LIGHT
- OVERHEAD ELECTRIC & TELEPHONE
- UNDERGROUND ELEC./TEL & MANHOLES
- SIGN
- N.H. HIGHWAY BOUND
- STONE BOUND
- IRON PIN
- IRON PIN TO BE SET
- BUILDING SETBACK LINE
- WIRE FENCE
- CHAINLINK FENCE
- CURBING
- VERTICAL GRANITE CURBING
- SLOPE GRANITE CURBING
- STORMWATER RUNOFF DIRECTION
- HANDICAP PARKING SPACE
- HANDICAP SIDEWALK RAMP
- PARKING SPACE COUNT
- STREET ADDRESS
- PAVEMENT SAWCUT
- REINFORCED CONCRETE
- PROPOSED FULL-DEPTH PAVEMENT
- RIPRAP / STONE
- CONIFEROUS TREE
- DECIDUOUS TREE
- SHRUBS
- BORING LOCATION & IDENTIFIER
- LIMIT OF WORK



PLAN REFERENCES:

- SUBDIVISION PLAN (MAP 'H', LOT 88), 535 & 537 AMHERST STREET, NASHUA, NEW HAMPSHIRE, PREPARED FOR HOLLAND HAMPSHIRE, LLC, RECORD OWNER, WALTER W. ANDERSON, JR., SCALE 1" = 30', DATED 20 SEPTEMBER 2016 AND PREPARED BY THIS OFFICE. NOT YET RECORDED.

NOTES:

- SITE AREA
 LOT 88 0.749 ACRES (32,634 SF)
 LOT 88-1 0.580 ACRES (25,277 SF)
- PRESENT ZONING **HB, HIGHWAY BUSINESS**
- MINIMUM LOT REQUIREMENTS

	REQUIRED	LOT 88	LOT 88-1
- LOT AREA	20,000 SF	32,634 SF	25,277 SF
- LOT FRONTAGE	80 FT	136.18 FT	85.37 FT
- LOT WIDTH	100 FT	139.66 FT	132.60 FT
- LOT DEPTH	80 FT	230.9 FT	193.3 FT

- MINIMUM YARD SETBACKS

	REQUIRED	LOT 88	LOT 88-1
- FRONT YARD	20 FT	56.4 FT	N/A
- SIDE YARD	10 FT	10.6 FT	N/A
- REAR YARD	20 FT	32.8 FT	N/A
- MAX BUILDING HEIGHT	63 FT	24 FT	N/A
- MAX STORIES	5	1	N/A
- OPEN SPACE (%)	20%	28.4%	54.2%
- MAX FLOOR RATIO	0.75	0.21	N/A

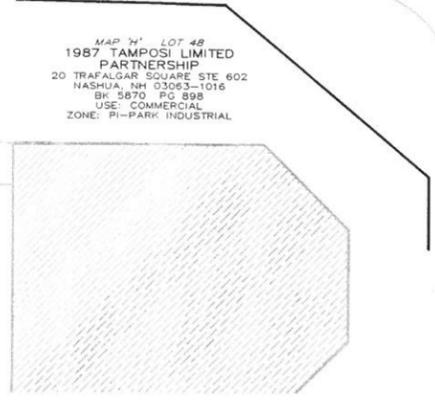
- AT THE AUGUST 9, 2016 MEETING THE CITY OF NASHUA ZONING BOARD OF ADJUSTMENT APPROVED THE FOLLOWING:
 A. A VARIANCE TO ALLOW PROPOSED PARKING SPACES TO BE CONSTRUCTED WITHIN THE 10 FT FRONT YARD SETBACK, AND
 B. A SPECIAL EXCEPTION TO MAKE PROPOSED IMPROVEMENTS WITHIN THE 150 FT CONSERVATION ZONE ASSOCIATED WITH THE CITY OF NASHUA WATER SUPPLY PROTECTION DISTRICT
- LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAP 'H'
- SITE SHALL BE SERVICED BY MUNICIPAL SEWER WATER BY PENNICHUCK WATER WORKS AND UNDERGROUND TELEPHONE, ELECTRIC AND GAS UTILITIES
- PURPOSE OF PLAN
 TO SHOW A PROPOSED 1-STORY 6,750 SF VEHICLE REPAIR AND SERVICE BUILDING UPON LOT 88 ALONG WITH SITE IMPROVEMENTS UPON BOTH LOTS 88 AND 88-1
- PARKING (LOT 88)
 REQUIRED: VEHICLE REPAIR AND SERVICE:
 MINIMUM 1 SPACE: 500 SF X 6,750 SF = 14 SPACES
 MAXIMUM 1 SPACE: 375 SF X 6,750 SF = 18 SPACES
 PROVIDED: (INCLUDING 2 HANDICAP SPACES) 21 SPACES
- THE SUBJECT SITE WAS INSPECTED BY A CERTIFIED WETLAND SCIENTIST ON SEPTEMBER 13, 2016. AT THE DATE OF THE INSPECTION IT WAS DETERMINED THAT THERE ARE NO WETLANDS OR ASSOCIATED BUFFERS AFFECTING THE PROPERTY.
- A PORTION OF THIS SITE IS LOCATED WITHIN THE CITY OF NASHUA WATER SUPPLY PROTECTION DISTRICT
- ALL LANDSCAPING SHALL BE AS SHOWN ON THE PLANS AND CONFORM TO THE APPLICABLE CITY OF NASHUA LAND USE CODE UNDER ARTICLE XXVII.
- ALL SIGNAGE SHALL CONFORM TO THE APPLICABLE CITY OF NASHUA REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
- SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE 81 OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION, GRADE AND NUMBER OF PARKING SPACES.

NOTES - CONT'D:

- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
- PUBLIC STREET RESTORATION WORK SHALL BE IN ACCORDANCE WITH N.R.O. SECTION 285-13, LATEST EDITION.
- ALL LIGHTING SHALL BE AS SHOWN ON THE PLANS, DIRECTED ONTO THE SITE AND CONFORM TO APPLICABLE CITY OF NASHUA LAND USE CODE REGULATIONS.
- HOURS OF OPERATION
 MONDAY THRU FRIDAY 7:30 AM TO 5 PM
 SATURDAY 7:30 AM TO 7 PM
 SUNDAY 9 AM TO 5 PM
- THE APPLICANT SHALL SUBMIT AN ELECTRONIC FILE OF THE SITE PLAN (PLOT) PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- THIS PARCEL IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE RATE MAP (FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY NO. 330097, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER 33011CD492D, DATED SEPTEMBER 25, 2006.
- ROOF DRAIN TIE-INS AND DRAIN LINES SHALL BE INSPECTED PRIOR TO BACKFILLING AND PAVING.
- MECHANICAL APPURTENANCES, IF ANY, SHALL BE SCREED AND FINISHED TO MATCH THE BUILDING EXTERIOR. MECHANICAL APPURTENANCES SHALL NOT EXCEED 50 DECIBELS BETWEEN 7 AM - 9 PM AND 45 DECIBELS AT NIGHT 9 PM - 7 AM ALONG RESIDENTIAL ZONING DISTRICTS.
- FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED. DRAINS SHALL NOT OUTLET OR FLOW OVERLAND ONTO A CITY STREET.
- PRESENT OWNER OF RECORD
 MAP 'H', LOT 88
 WALTER W. ANDERSON, JR.
 537 AMHERST STREET
 NASHUA, NH 03063
 BK 8584, PG 809

WAIVERS REQUESTED:

- NASHUA LAND USE CODE SECTION 190-172(C), NON-RESIDENTIAL BUILDING DESIGN STANDARDS
- NASHUA LAND USE CODE SECTION 150-198, OFF-STREET PARKING SPACES



ZONING NOTE

THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

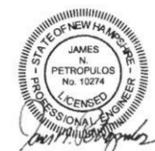
APPROVED
NASHUA CITY PLANNING BOARD

CHAIRMAN _____ DATE _____

Walter W. Anderson, Jr.
 WALTER W. ANDERSON, JR. 9-20-16 DATE

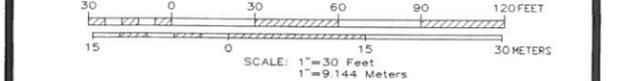
THE UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE SITE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

Ralph H. Fullin
 Ralph H. Fullin III 9-17-16 DATE
 Manager, Holland Hampshire LLC



No.	DATE	REVISION	BY
1	10/18/16	ADDRESS STAFF REVIEW COMMENTS	TEZ

MASTER SITE PLAN
 (MAP 'H', LOTS 88 & 88-1)
Proposed NTB Tire & Service Center
 537 & 539 AMHERST STREET
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR:
HOLLAND HAMPSHIRE, LLC
 1310 SOUTH TRYON ST., SUITE 104 CHARLOTTE, NC 28203 (704) 333-4244
 RECORD OWNER:
WALTER W. ANDERSON, JR.
 537 AMHERST STREET NASHUA, NEW HAMPSHIRE 03063



20 SEPTEMBER 2016

HSI Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors
 Three Congress Street Nashua, New Hampshire 03062-3301
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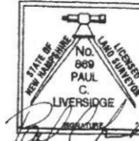
FIELD BOOK: 1208	DRAWING NAME: 5413SITE-F031	5413	1 OF 14
DRAWING LOCATION: 0:\5413\DWG\5413 SITE		File Number	Sheet

CERTIFICATION

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/09.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

10-20-16
DATE



ZONING NOTE

THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.



SURVEY NOTES:

- THE EXISTING CONDITIONS, AS SHOWN ON THIS PLAN, ARE BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND DURING APRIL AND MAY 2016.
- THE NASHUA CITY DATUM HAS BEEN USED ON THIS PROJECT. (NASHUA CITY DATUM TO NAVD 1988 = +89.77)
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
- THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.
- UNDERGROUND UTILITY INFORMATION SUMMARY:
 - GAS LOCATIONS SHOWN PER PHYSICAL EVIDENCE, DIGSAFE MARKINGS (REQUESTED BY OTHERS) AND PLANS PROVIDED BY LIBERTY UTILITIES.
 - WATER LOCATIONS PER PHYSICAL EVIDENCE AND PLANS PROVIDED BY PENNICHUCK WATER WORKS.
 - UNDERGROUND TELEPHONE SHOWN PER PHYSICAL EVIDENCE, DIGSAFE MARKINGS (REQUESTED BY OTHERS). PLANS HAVE BEEN RECEIVED FROM FAIRPOINT COMMUNICATIONS BUT HAVE NOT YET BEEN RECEIVED.
 - SEWER SERVICE LOCATIONS SHOWN PER SITE PLANS AND SEWER SERVICE PERMIT PROVIDED BY CITY OF NASHUA.
- BORING LOCATIONS ARE APPROXIMATE. BORINGS WERE PERFORMED IN APRIL 2016 UNDER THE SUPERVISION OF TERRACON CONSULTANTS, INC. OF MANCHESTER, NH.

CITY OF NASHUA

PLANNING DEPARTMENT
COMMUNITY DEVELOPMENT DIVISION
229 MAIN STREET
NASHUA, NH 03060
ATT: LINDA PANNY
(603) 589-3110

ENGINEERING DEPARTMENT
NASHUA DEPT. OF PUBLIC WORKS / ENGINEERING
8 RIVERSIDE STREET
NASHUA, NH 03062
ATT: JEANNE WALKER, P.E.
(603) 589-3147

FIRE DEPARTMENT
NASHUA FIRE DEPARTMENT
171 EAST HOLLIS STREET
NASHUA, NH 03060
(603) 589-3460

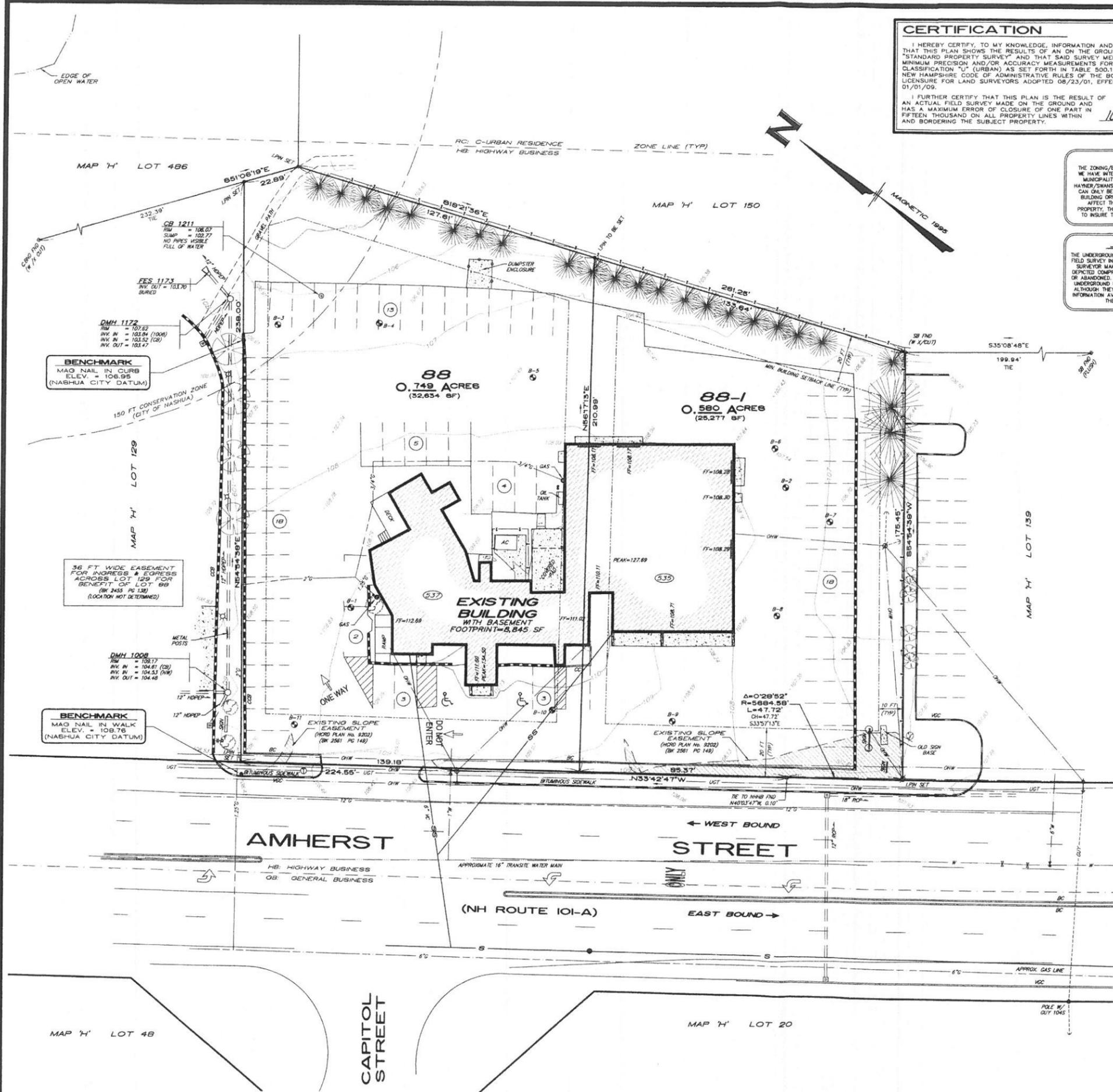
UTILITY CONTACTS

WATER:
PENNICHUCK WATER WORKS
25 MANCHESTER STREET
MERRIMACK, NH 03054
ATT: JOHN BOISVERT, PE
(603) 913-2300

GAS:
LIBERTY UTILITIES
130 ELM STREET
MANCHESTER, NH 03103
ATT: RYAN LAGASSE
(603) 327-7151

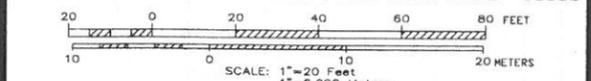
TELEPHONE:
FAIRPOINT COMMUNICATIONS
10 GAY STREET
MANCHESTER, NH 03103
ATT: ROBERTO DIAZ
(603) 645-2705

POWER:
EVERSOURCE
370 AMHERST STREET
NASHUA, NH 03060
ATT: LINDA FARRAR
(603) 882-5894



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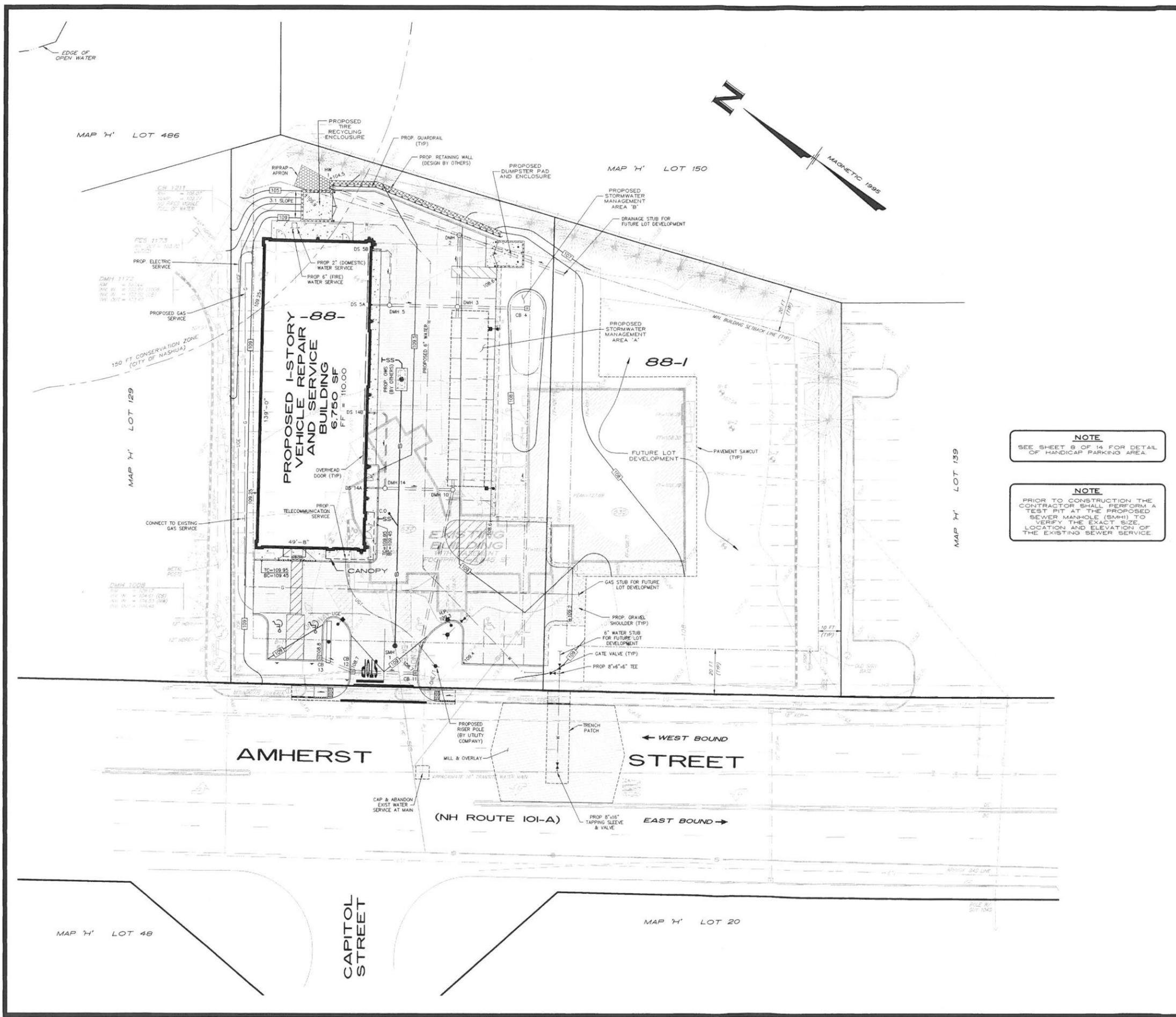
EXISTING CONDITIONS PLAN
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537 & 539 AMHERST STREET
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PREPARED FOR:
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Three Congress Street Nashua, New Hampshire 03062-3301
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www.haynerswanson.com



CONSTRUCTION NOTES:

1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF NASHUA, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, LATEST EDITION ARE HEREBY INCORPORATED BY REFERENCE.
2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
4. BLASTING, IF NEEDED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF NASHUA FIRE DEPARTMENT REGULATIONS.
5. ALL STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
6. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED.
7. PRIOR TO ANY WORK BEING STARTED, THE APPLICANT AND THEIR CONTRACTORS SHALL HOLD A PRE-CONSTRUCTION CONFERENCE WITH PLANNING STAFF TO REVIEW SCHEDULING, EROSION AND TRAFFIC CONTROL, AND TREE PROTECTION.
8. FOUNDATION DRAINS, IF NECESSARY, SHALL BE COORDINATED WITH THE ARCHITECT AND ENGINEER PRIOR TO CONSTRUCTION.
9. DIMENSIONS TO CURB AND OUTTERS INDICATE EDGE OF PAVING UNLESS OTHERWISE NOTED.
10. EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. CONTRACTOR SHALL ENSURE SMOOTH TRANSITION BETWEEN NEW AND EXISTING PAVEMENT.
11. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND DETAILS.

UTILITY NOTES:

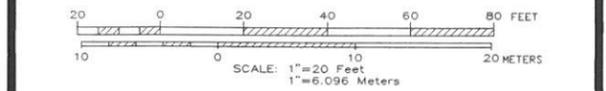
1. ALL DRAINAGE PIPE SHALL BE FURNISHED AND INSTALLED WITH FLEXIBLE GASKETS. JOINTS SHALL BE MADE WITH OIL RESISTANT COMPRESSION RINGS OF AN ELASTOMERIC MATERIAL CONFORMING TO ASTM C-443. MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE FOLLOWED.
2. ALL DRAINAGE PIPES SHALL BE CLASS IV 3000 D (RCP) UNLESS OTHERWISE NOTED. CATCH BASINS SHALL BE TYPE B, AND HAVE 4 FT SLUMPS UNLESS OTHERWISE NOTED.
3. SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH PLANS AND SPECIFICATIONS AND WITH THE REQUIREMENTS OF THE DEPARTMENT OF ENVIRONMENTAL SERVICES, WS & PCC AND ANY STRICTER REQUIREMENTS OF DIVISION 3 - SANITARY SEWERS OF THE STANDARD SPECIFICATIONS OF SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, LATEST EDITION.
4. SEWER SHALL BE SOLID WALL PVC UNLESS OTHERWISE REQUIRED BY THESE SPECIFICATIONS. SEWER SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY AND 18 INCHES VERTICALLY FROM WATER LINES. WHENEVER SEWER MUST CROSS WATER MAINS, SEWER SHALL BE CONSTRUCTED AS FOLLOWS:
 - (A) SEWER PIPE SHALL BE CLASS 52 DUCTILE IRON FOR A MINIMUM DISTANCE OF 9 FEET EACH SIDE OF THE CROSSING.
 - (B) JOINTS SHALL BE MECHANICAL TYPE WATER PRESSURE RATED WITH ZERO LEAKAGE WHEN TESTED AT 25 POUNDS PER SQUARE INCH FOR GRAVITY SEWERS AND 1-1/2 TIMES WORKING PRESSURE FOR FORCE MAINS. JOINTS SHALL NOT BE LOCATED WITHIN 9 FEET OF THE CROSSING.
5. A LICENSED DRAIN LAYER SHALL INSTALL THE PROPOSED SEWER UP TO AND INCLUDING THE LAST MANHOLE (NOT INCLUDING SEWER SERVICES).
6. ALL WATER LINE, HYDRANT VALVES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE TECHNICAL SPECIFICATIONS FOR THE INSTALLATION OF MATERIALS, MAIN PIPING, SERVICE CONNECTIONS IN THE FENNICLUCK WATER WORKS FRANCHISED AREAS OF NASHUA AND WARRICK, NEW HAMPSHIRE.
7. ALL POWER WORK SHALL CONFORM TO EVERSOURCE SPECIFICATIONS.
8. ALL TELEPHONE WORK SHALL CONFORM TO FAIRPOINT COMMUNICATIONS SPECIFICATIONS.
9. THE CONTRACTOR SHALL COORDINATE THE SIZE AND LOCATION OF THE PROPOSED GAS SERVICE WITH LIBERTY UTILITIES PRIOR TO CONSTRUCTION.
10. THE CONTRACTOR SHALL COORDINATE THE EXACT SIZE, LOCATION AND ELEVATION OF ALL ROOF DRAINS AND SEWER SERVICE CONNECTIONS PRIOR TO THE CONSTRUCTION OF THE BUILDING.
11. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION OF SITE UTILITIES TO WITHIN 5 FEET OF THE PROPOSED BUILDINGS. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING THE FINAL UTILITY SERVICE CONNECTIONS.
12. ROOF DRAIN TIES AND DRAIN LINES WILL BE INSPECTED PRIOR TO BACKFILLING AND PAVING.
13. ALL PIPE WORK WITHIN THE CITY OF NASHUA RIGHT-OF-WAY SHALL BE PERFORMED BY A LICENSED DRAIN LAYER.

NOTE
SEE SHEET 8 OF 14 FOR DETAIL OF HANDICAP PARKING AREA.

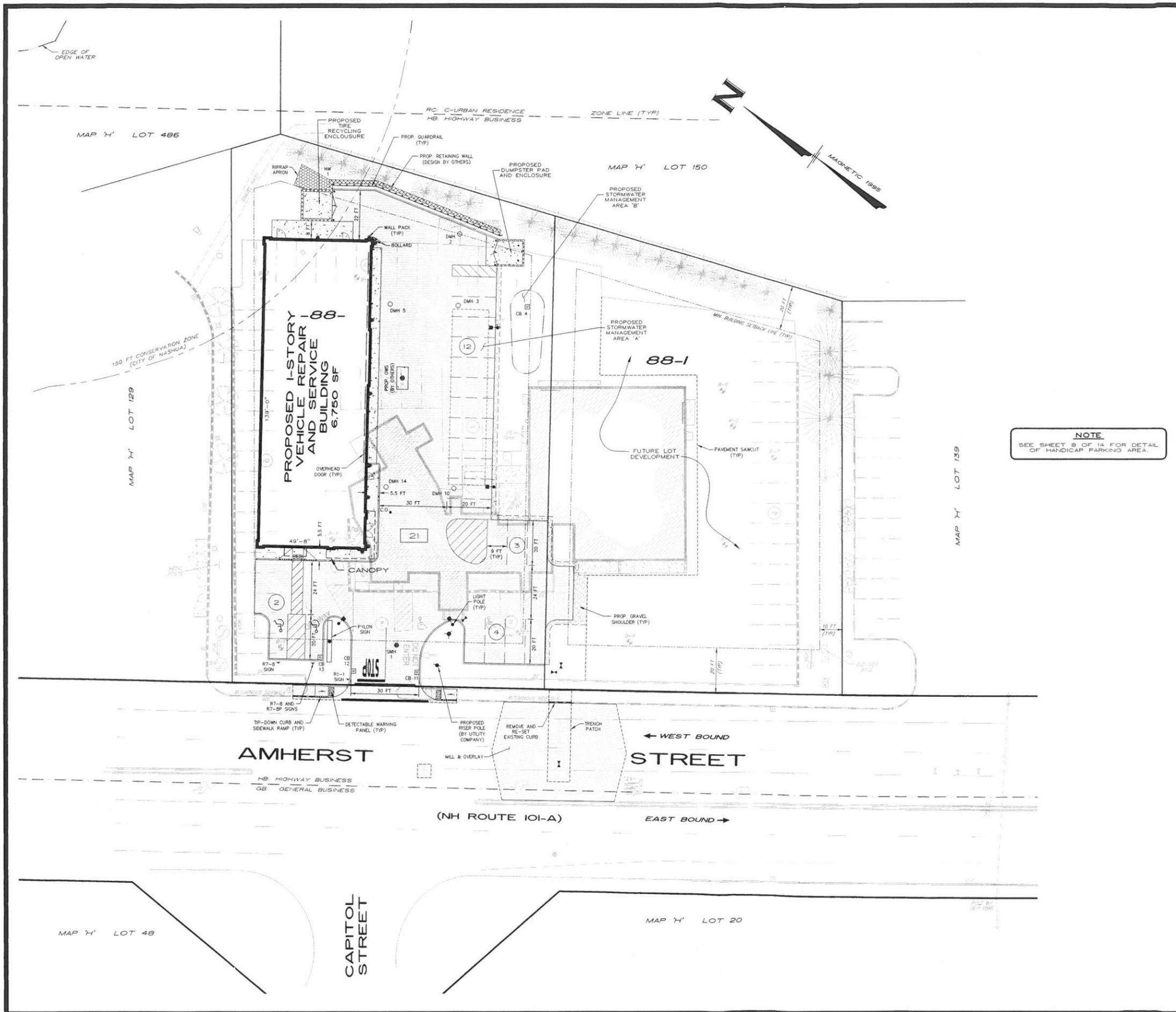
NOTE
PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PERFORM A TEST PIT AT THE PROPOSED SEWER MANHOLE (SMH1) TO VERIFY THE EXACT SIZE, LOCATION AND ELEVATION OF THE EXISTING SEWER SERVICE.

NO.	DATE	REVISION	BY
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SITE GRADING AND UTILITY PLAN
(MAP 'H', LOTS 88 & 88-1)
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537 & 539 AMHERST STREET
NASHUA, NEW HAMPSHIRE
PREPARED FOR:
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SITE LAYOUT NOTES:

- PRIOR TO COMMENCEMENT OF MAJOR CONSTRUCTION ACTIVITIES, THE ENGINEER SHALL PROVIDE THE CONTRACTOR WITH LAYOUT PLANS AND COORDINATE VALUES FOR STRATEGIC ELEMENTS OF THE SITE INCLUDING THE FOLLOWING:
 - BASE LINE CONTROLS FOR THE BUILDING AREA
 - PARKING LOT CORNERS AND MAJOR RADIUS POINTS
 - CATCH BASINS AND MANHOLE CENTERLINE POINTS
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT BUILDING DIMENSIONS AND DETAILS.
- ALL DIMENSIONS ARE FROM FACE OF CURB OR OUTSIDE FACE OF BUILDING UNLESS NOTED OTHERWISE.
- BUILDING AND DOORWAY LOCATIONS AS SHOWN ARE FOR REFERENCE ONLY REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS.
- ALL PAVEMENT MARKINGS SHALL BE 4 INCH WHITE PAINT UNLESS NOTED OTHERWISE. 4 INCH YELLOW PAINT SHALL BE USED FOR ROADWAY CENTERLINES AND HANDICAP PARKING SPACES.
- ALL TRAFFIC SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.

SIGN LEGEND

TEXT	IDENTIFICATION NUMBER	SIZE WIDTH/HEIGHT
SEE MUTCD FOR TEXT DIMENSIONS		
REFERENCE		
	R1-1	30"/30"
SEE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS		
	R7-8	12"/18"
SEE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS		
	R7-8P	18"/9"
SEE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS		

NOTE
SEE SHEET 8 OF 14 FOR DETAIL OF HANDICAP PARKING AREA.

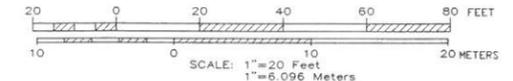
CURB/SIDEWALK LEGEND

- SLOPE GRANITE CURB
- VERTICAL GRANITE CURB & BITUMINOUS SIDEWALK
- REINFORCED CONCRETE CURB & SIDEWALK
- CURB TIP DOWN

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SITE LAYOUT PLAN
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537 & 539 AMHERST STREET
NASHUA, NEW HAMPSHIRE

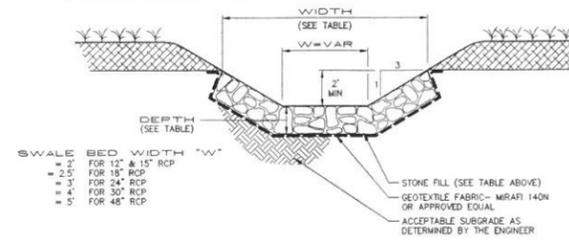
PREPARED FOR:
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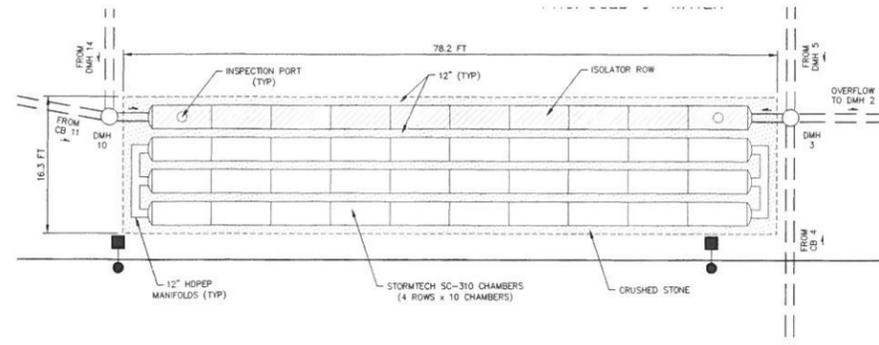
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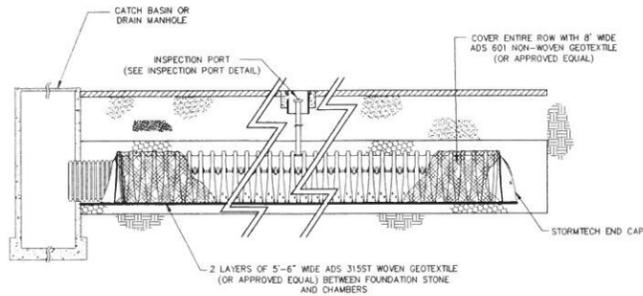
LOCATION	WIDTH (FT)	LENGTH (FT)	DEPTH (FT)	# 50 (IN)	MATERIAL
HW 1	10	15	1	4	ITEM 585.3 STONE FILL CLASS 'C'



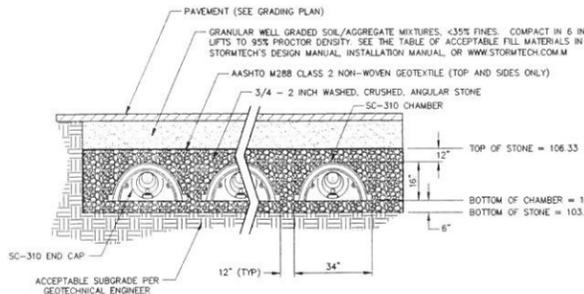
RIPRAP DETAIL AT HEADWALL/OUTLET DETAIL
 NOT TO SCALE



PLAN VIEW DETAIL
 SCALE 1" = 10'



ISOLATOR ROW DETAIL



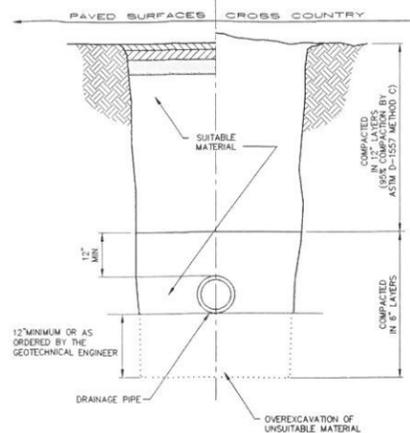
TYPICAL CROSS SECTION DETAIL
 NOT TO SCALE

STORMTECH NOTES

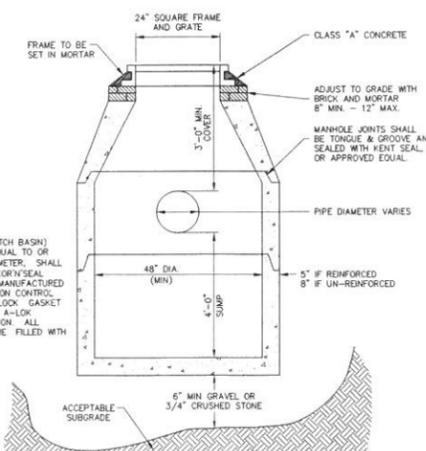
- CHAMBERS SHALL BE STORMTECH SC 310, OR APPROVED EQUAL.
- CHAMBERS SHALL BE MANUFACTURED FROM VIRGIN POLYPROPYLENE OR POLYETHYLENE RESINS TESTED USING ASTM STANDARDS.
- CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCE.
- ONLY CHAMBERS THAT ARE APPROVED BY THE ENGINEER WILL BE ALLOWED. THE CONTRACTOR SHALL SUBMIT (3 SETS) OF THE FOLLOWING TO THE ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE: TYPICAL EVALUATION BY A REGISTERED STRUCTURAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET, THE 50-YEAR CREEP MODULUS DATA SPECIFIED IN ASTM F2922 MUST BE USED AS A PART OF THE AASHTO STRUCTURAL EVALUATION TO VERIFY LONG-TERM PERFORMANCE.
- CHAMBERS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.
- ALL DESIGN SPECIFICATIONS FOR CHAMBERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST DESIGN MANUAL.
- THE INSTALLATION OF CHAMBERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST INSTALLATION INSTRUCTIONS.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF THE PROPOSED SUBSURFACE STORMWATER MANAGEMENT AREA, FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. SHOP DRAWINGS SHALL BE PREPARED BY A NEW HAMPSHIRE LICENSED PROFESSIONAL ENGINEER.
- SYSTEM TO BE DESIGNED FOR H20 LOADING.

STORMWATER MANAGEMENT AREA 'A' DETAILS

NOT TO SCALE

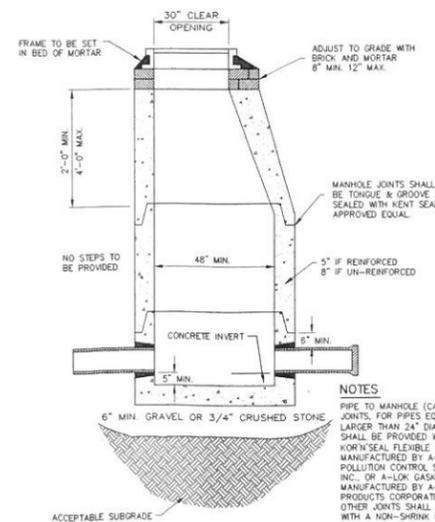


TYPICAL DRAINAGE TRENCH SECTION
 NOT TO SCALE

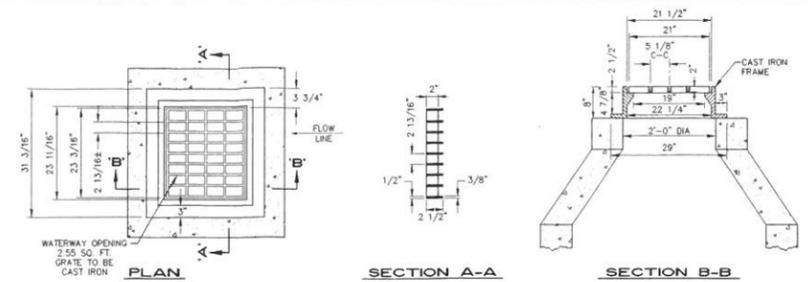


CATCH BASIN DETAIL
 NOT TO SCALE

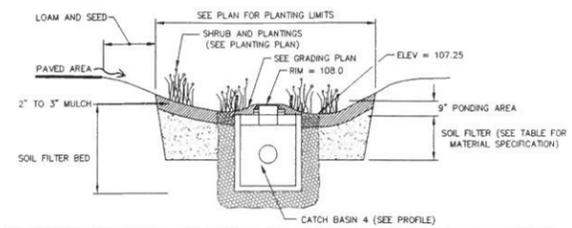
NOTE:
 PIPE TO MANHOLE (CATCH BASIN) JOINTS, FOR PIPES EQUAL TO OR LARGER THAN 24" DIAMETER, SHALL BE PROVIDED WITH A KOR'N SEAL FLEXIBLE SLEEVE AS MANUFACTURED BY NATIONAL POLLUTION CONTROL SYSTEMS, INC. OR A-LOK GASKET AS MANUFACTURED BY A-LOK PRODUCTS CORPORATION. ALL OTHER JOINTS SHALL BE FILLED WITH NON-SHRINK GROUT.



DRAIN MANHOLE DETAIL
 NOT TO SCALE



CATCH BASIN - TYPE B FRAME AND COVER DETAIL
 (NHDOT STANDARD)
 NOT TO SCALE



COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	GRADATION OF MATERIAL	
		SIEVE No	PERCENT BY WEIGHT PASSING STANDARD SIEVE
FILTER MEDIA OPTION A			
ASTM C-33 CONCRETE SAND	50 TO 55		
LOAMY SAND TOPSOIL, WITH FINES AS INDICATED	20 TO 30	200	15 TO 25
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	< 5
FILTER MEDIA OPTION B			
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	< 5
LOAMY COARSE SAND	70 TO 80	10	85 TO 100
		20	70 TO 100
		60	15 TO 40
		200	8 TO 15

RAIN GARDEN NOTES

- DO NOT PLACE THE RAIN GARDENS INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE RAIN GARDEN DURING ANY STAGE OF CONSTRUCTION.
- DO NOT EXPOSE SOIL SURFACE WITH CONSTRUCTION EQUIPMENT, IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
- IF FINE MATERIAL THAT WOULD PERCH THE WATER TABLE IS ENCOUNTERED DURING THE CONSTRUCTION OF RAIN GARDEN, THE UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH COARSE GRAVEL (NHDOT ITEM No. 304.2).

STORMWATER MANAGEMENT AREA 'B' TYPICAL SECTION-RAIN GARDEN

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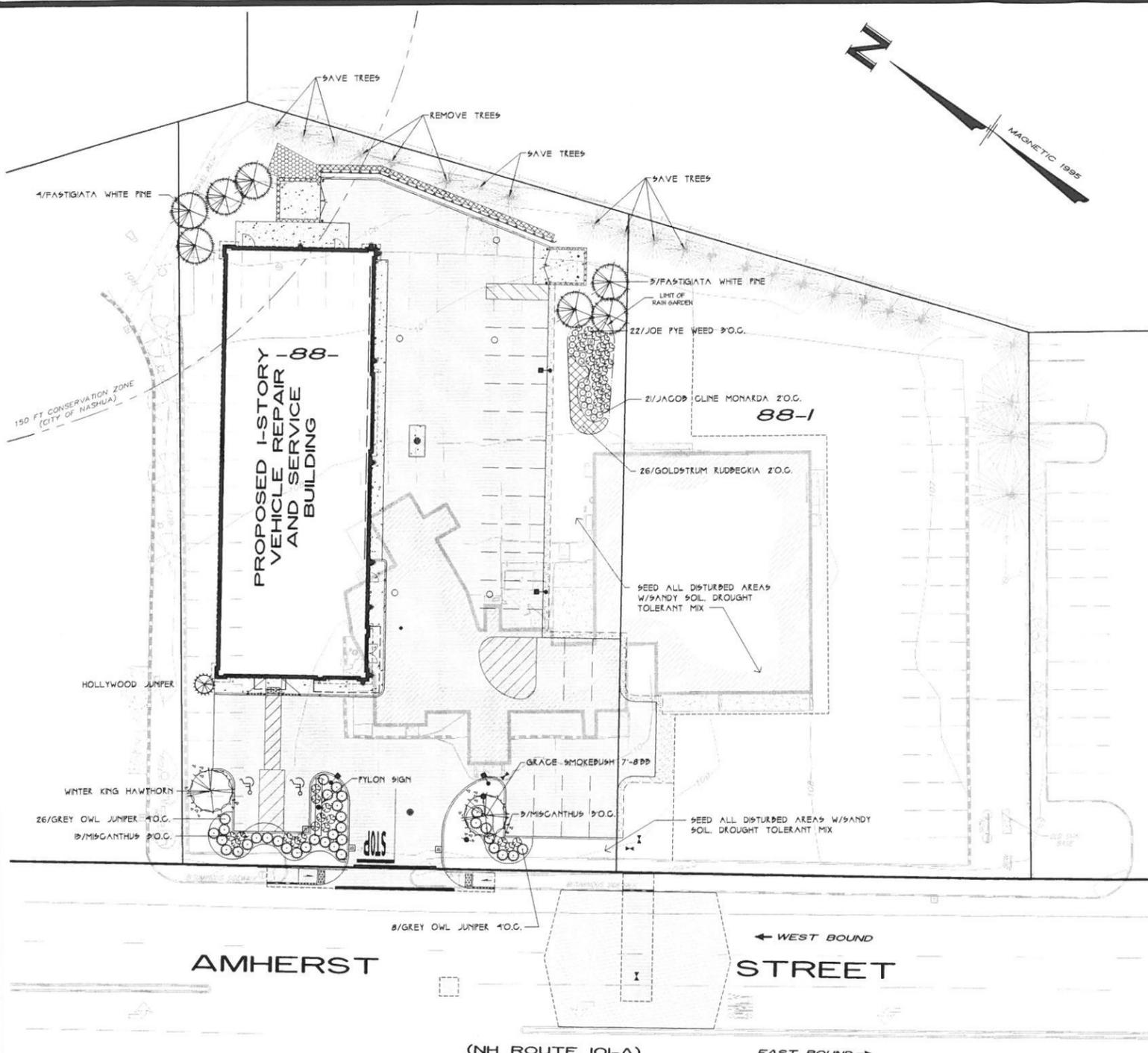
DETAIL SHEET - DRAINAGE
 (MAP 'H', LOTS 88 & 88-1)
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 1310 SOUTH TRYON ST., SUITE 104 CHARLOTTE, NC 28203 (704) 333-4244
 RECORD OWNER:
WALTER W. ANDERSON, JR.
 537 AMHERST STREET NASHUA, NEW HAMPSHIRE 03063

SCALE AS SHOWN

20 SEPTEMBER 2016

HSI Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors
 Three Congress Street Nashua, New Hampshire 03062-3301
 Tel (603) 883-2057 Fax (603) 883-5057
 www.hayner-swanson.com

FIELD BOOK: 1208	DRAWING NAME: 5413SITE-DET1	5413	9 OF 14
DRAWING LOCATION: D:\5413\DWG\5413 SITE		File Number	Sheet



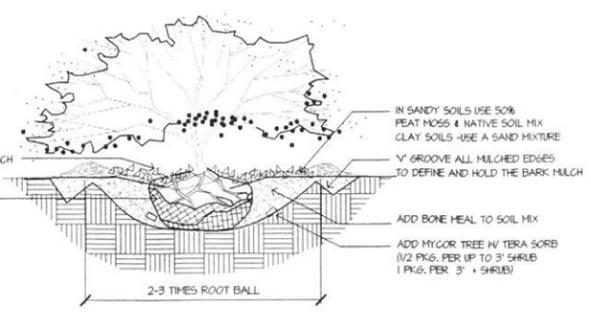
LANDSCAPING NOTES

- The contractor shall at his expense furnish all the materials, supplies, machinery, equipment, tool, superintendent, labor, insurance, & other accessories and services necessary to complete the said project within the unit costs stated within the bid price.
- The work to be done under this contract is as shown and described on the drawings. Each bidder shall make a careful examination of the plans and specifications (the plan shall dictate quantities) and acquaint himself with all conditions before making his proposal. He will be held responsible for errors in his proposal resulting from his failure to make such an examination. All bidders shall visit the site and inform themselves of all conditions.
- The bids shall be based on materials and equipment complying with the drawings and the specifications. The contractor shall be responsible under this contract price, for furnishing and installing materials conforming to the bid items. Under no circumstances may a species 'hybrid' be substituted or size changed without written consent of the landscape architect.
- The contractor shall be responsible for the protection of such existing utilities as water mains, sewer systems, gas mains, electrical conduits, telephone lines and any other utilities and if any damage or destruction may occur to these utilities, he shall be responsible for their repair and/or replacement at his expense.
- The contractor shall make payment for all damages to buildings, structures, trees, shrubs and/or any other property outside the construction area or located within those limits but not designated for removal or reconstructed providing such damage shall result from accident caused by negligence for which the contractor shall be legally liable.
- If additional labor and/or materials is requested or required, the contractor shall submit a price to the owner. If the owner approves the price he shall prepare a change order for approval and signature. The contractor shall not proceed without a written authorization from the owner for the additional work. If the contractor proceeds with the additional work without this authorization he shall forfeit any claim for additional compensation.
- The landscape architect shall reserve the right to inspect the project work at any time deemed necessary to insure that the specifications and plans and any other contract documents are being followed.
- The L.A. shall have the right to reject any plant on-site based upon condition, size, or incorrect species or hybrid. L.A. must be contacted prior to install, to inspect materials delivered to the site, and to insure that soil amendments, bark mulch, roof ballast, etc. are to the written specifications.
- All seeded areas shall receive a minimum 6" topsoil blanket (by site contractor) w/ site preparation, raking and general clean up prior to application. Operations shall include a pre-emergence type herbicide, 12-25 -12 granular fertilizer @ 10 lbs./1000 sf, and pelletized limestone @ 25 lbs./1000 sf power raked into the top 2" of soil prior to hydro-seeding. Ratios & application rates may change based upon the required soil analysis.
- Contractor is responsible for establishing a thick, weed free lawn. Seed shall be spread @ 4lbs./1000. Lawn germination shall be 95% free of noxious weeds for acceptance. Define differences in seed mixes (if applicable) with irrigation flagging until 2nd mowing. Site review by LA is required.
- Review of the installed irrigation system by the designer is required prior to release of final payment.
- Hydroseeding operations shall be a one part process with a paper fiber mulch; a tackifier shall be applied on all slopes greater than 3:1, Excelsior Drainage mat shall be applied to all 2:1 slopes and drainage swales per plan.
- Contractor shall maintain, from acceptance date, the lawn areas through the first mowing. Contractor is not responsible for the first mowing.
- All plant materials shall be installed in accordance with A.L.C.C. Trees and shrubs shall have appropriate soil mixtures, fertilizer and soil retention granules.
- If the soil conditions are extremely sandy, all trees shall have a 6" layer of compacted topsoil (verify with Landscape Architect) placed in the base of the plant pit as a moisture retention layer. The plant pit sidewalls shall be over excavated by an additional 12" beyond the normal outside radius of the hole. A topsoil planting mixture shall be used to backfill as per spec # 22.
- Landscape architect shall have the right to reject and have ground removed any plant material not of proper size or of weak quality, i.e. thin, no lower branching, etc. Contractor must submit shipping lists (billing invoices) for verification, prior to installation.

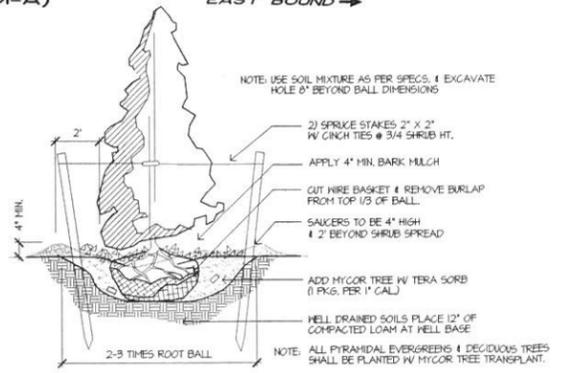
- All plant material shall be guaranteed for a period of one (1) year from date of installation. Any material which dies or does not show a healthy appearance within this time shall be replaced at the contractor's expense; with same warranty requirements as the original. Warranty does not cover loss due mechanical damage, i.e. snow storage. Contractor should protect susceptible species from insect infestation. Use a liquid systemic application on birch, etc.
- Plant beds and saucers vary in dia. (refer to dwg). Trees and shrubs shall receive a 4" (settled) covering of pine/hemlock bark mulch; saucer diameters per drawing & details. Deciduous trees shall have a 6" dia. saucer (typ.), evergreen trees shall have a saucer 2' min. beyond it's outer branches. All edges shall have a "V" groove.
- All B&B material which are encased in wire baskets shall have the wires cut loose and the top third removed prior to backfill operation.
- If road base is encountered in any plant bed areas, i.e. parking islands, it shall be removed and suitable amended soil installed per drawings and specifications.
- Soil planting mixture shall be a 6%-10% organic topsoil, amended with 10% wood ash, 10% peat moss, & 30% peat moss or incorporate a dehydrated compost material. If planting in sand, gravel or other well drained soils, a 50% peat moss to excavated soil. Other soil amendments shall include; Agriform tablets, Hydro-Gel or equal, and Roots growth enhancer to all trees and shrubs listed, per manufacturers specifications. All plant material pits will receive a min. 20% in volume mix of a compost soil amendment. Submittal required. "Roots" STEP 1 can be substituted for the individual supplements. Install per manufacturer's specs.
- Landscape contractor shall not be responsible for topsoil spreading but shall coordinate with the site contractor adherence to the mound grades, plant bed soil depths and soil type per dwg & spec. Landscape contractor shall power rake-out for seed.
- Landscape contractor shall provide a soil analysis of the topsoil planting mixture. Analysis to show soil classification (min. sandy loam) and nutrients.
- Contractor shall protect all B&B materials left above grade prior to installation from drying out. All plants shall be stored, covered in mulch, and irrigated until planted. Any plant left on the ground and whose outer ball surface dries out, shall be rejected by the landscape architect. Plants stored in shade and off pavement.
- Plan dictates, contractor shall alert Landscape Architect if any discrepancies exist between the plan, the material list, and as-built site conditions.
- Installer shall notify landscape architect prior to planting, to review plant locations and bedline configurations. If contractor installs without the placement approval of the L.A., said architect shall have the right to relocate any installed plants at the contractor's expense.
- Installer shall notify landscape architect prior to plant installation to review all materials. Any plants of poor condition, improper size, or species will be rejected.
- Upon one year review, contractor shall straighten any trees that have shifted. Any weak or bare spots in lawn shall be reseeded.
- All bedlines shall have a deep "V" groove to define lawn to mulch edge. No "Beehive" mounding of mulch is allowed, also keep mulch away from base of perennials.
- Do not plant materials too close to the edge of bedlines. Refer to drawings for center of plant to bedline. At a minimum no outer branching of a shrub or perennial shall be closer than two feet from the bedlines. If the as-built does not comply contractor shall adjust the plant location or bedline at his expense.
- Seed mixes include: Sandy Soil Lawn Mix by deercrekseed.com; New England Wetland Plants, Amherst, Ma. refer to planting plan for designations.
- Any items not completed to the specifications will be required at contractor's expense prior to final approvals. Contractor is to bid the work according to the specifications and not to what they may do under their standard practices. Special attention will be paid to soils, amendments, guy stakes, bedline & saucer configurations, seed mixtures, etc.
- Certain designated foundation edging is road ballast (washed rounds, non-crushed, natural) Size of stone is a range of 3/4"-1.5" dia. placed to a depth of 3", upon placement apply a coating of granular Preen (pre-emergent).
- Any questions concerning this drawing shall be directed to Joseph Hochrein c/o Blackwater Design, 85 Frost Lane, Webster, NH 03303, 603-648-2541.

MATERIAL LIST

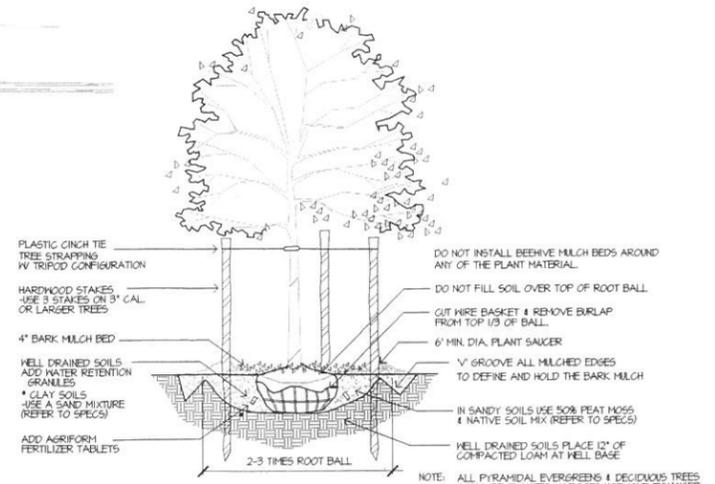
1/GRATAEGUS VIBID (WINTER KING HAWTHORN)	23'-3" CAL.
1/GRATAEGUS VIBID (WINTER KING HAWTHORN)	23'-3" CAL.
1/GRATAEGUS VIBID (WINTER KING HAWTHORN)	23'-3" CAL.
22/EUPATORIUM MACULATUM (JOE PYE WEED)	#2 GAL.
1/JUNPERUS CHRENSIS (TORULOSA HOLLYWOOD JUNPER)	7-8DB
3/1/JUNPERUS VIRGINIANA (GREY OWL JUNPER)	#9 GAL.
16/MISCANTHUS SINENSIS (GRAZIELLA SILVER MADEN GRASS)	#9 GAL.
2/MONARDA SPECIES (JACOB CLINE BEEBALM)	#2 GAL.
7/PINUS STROBUS FASTIGIATA (COLUMBIAN WHITE FINE)	7-8DB
26/RUDBECKIA FULGIDA (GOLDSTRUM BLACK-EYED SUSAN)	#2 GAL.
PREMIUM BLEND FINE BARK MULCH	ALL BEDS
SANDY SOIL/DROUGHT TOLERANT SEED MIX BY DEERCREKSEED.COM	



B&B SHRUB PLANTING
NOT TO SCALE



PYRAMIDAL EVERGREEN TREE PLANTING
NOT TO SCALE



TREE PLANTING 2" & CAL.
NOT TO SCALE

1	10/18/16	ADDRESS STAFF REVIEW COMMENTS	TEZ
No.	DATE	REVISION	BY

LANDSCAPE PLAN
(MAP 'H', LOTS 88 & 88-1)

Proposed NTB Tire & Service Center
537 & 539 AMHERST STREET
NASHUA, NEW HAMPSHIRE

PREPARED FOR:
HOLLAND HAMPSHIRE, LLC
1310 SOUTH TRYON ST., SUITE 104 CHARLOTTE, NC 28203 (704) 333-4244

RECORD OWNER:
WALTER W. ANDERSON, JR.
537 AMHERST STREET NASHUA, NEW HAMPSHIRE 03083

20 SEPTEMBER 2016

PREPARED BY:
BLACKWATER DESIGN
PHONE (603) 648-6500 FAX (603) 648-6506
Land Planning - Landscape Architecture
85 Frost Lane - Webster, NH 03303

FIELD BOOK: 1208	DRAWING NAME: 5413/TE-LS21	5413	14 OF 14
DRAWING LOCATION: Q:\5413\DWG\5413 SITE		File Number	Sheet

EF-4	KILIM BEIGE / SW 6106 / Semi Gloss
EF-5	HARDWARE / 6172 / Semi Gloss
EF-6	CYBERSPACE / SW 7076 / Semi Gloss
EF-7	SAFETY YELLOW / 4084 / Semi Gloss
	CULTURED STONE VEENER: CLIFFSTONE - CAMBRIA EL DORADO STONE

TBC CORPORATION

TBC CORPORATION
4300 TBC Way
Palm Beach Gardens
Florida 33410

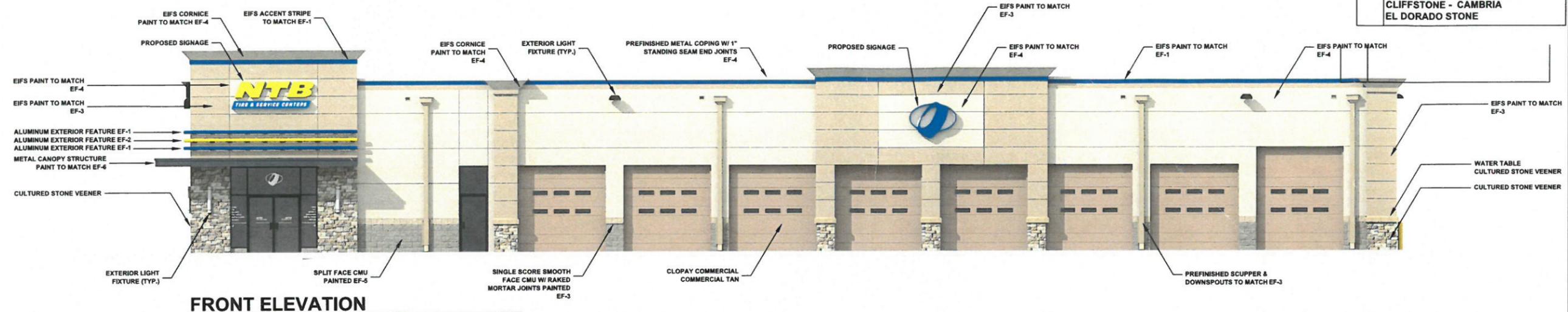
DEVELOPER

GENERAL NOTES

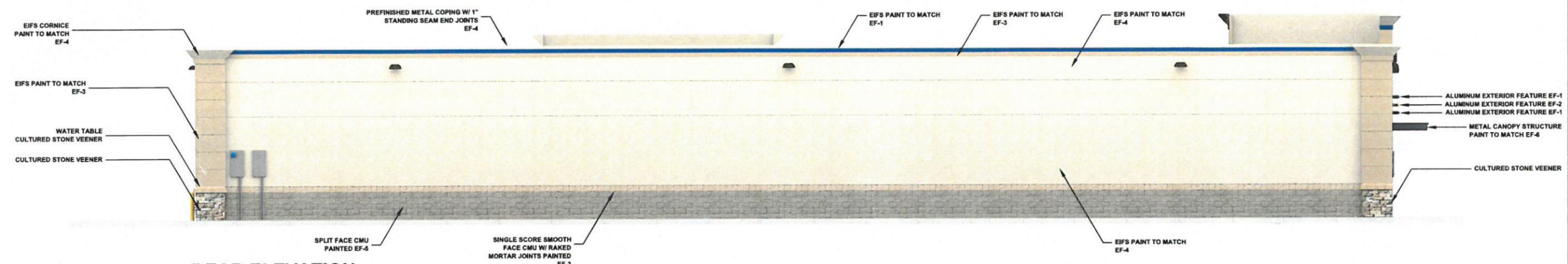
NAME & LOCATION

REVISIONS ARCHITECT

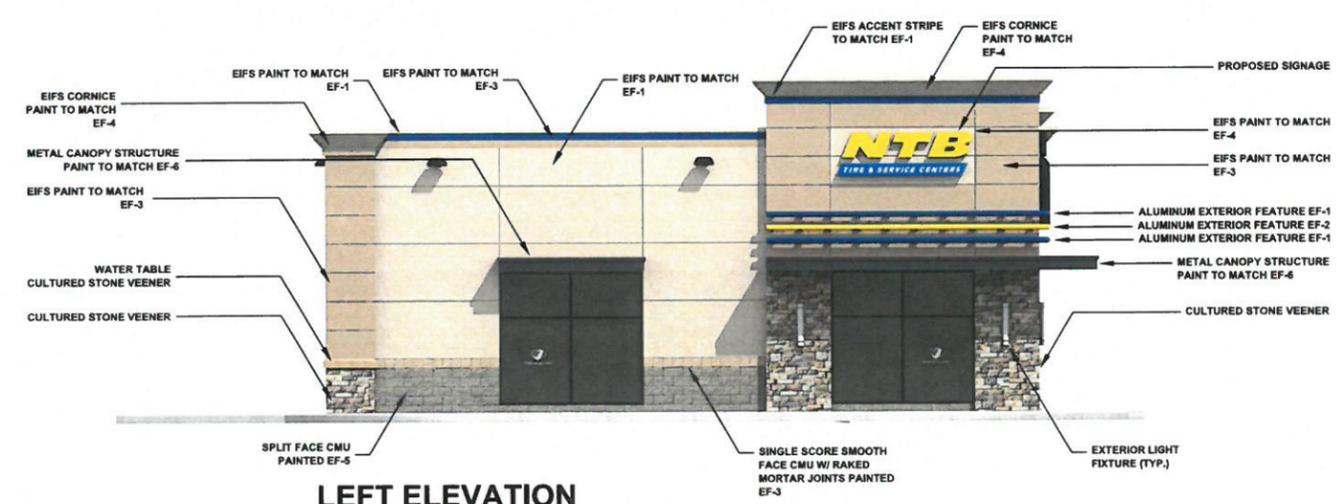
SHEET PROJECT INFO



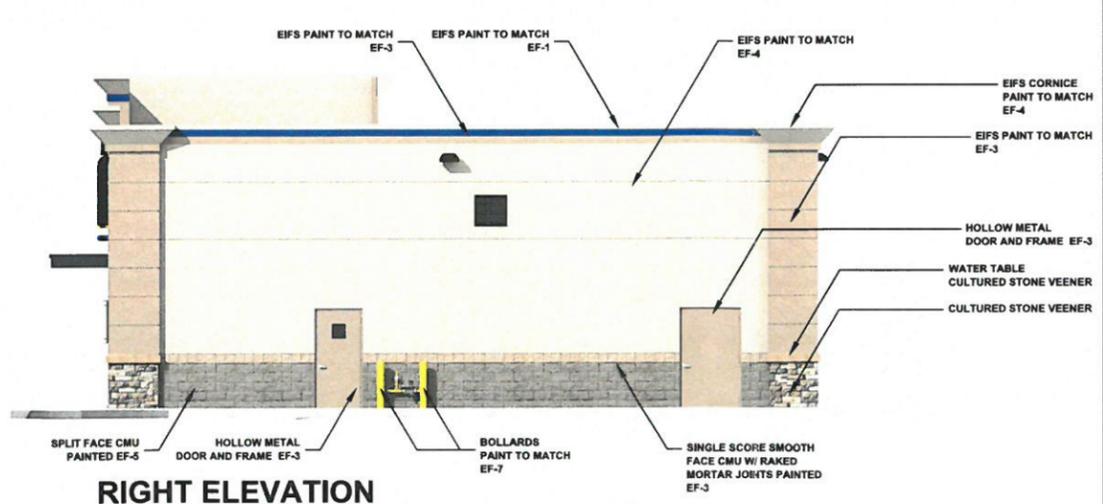
FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

NTB
NTB PROTOTYPE



No.	REVISION/ISSUE	Date

DWG BY:
JO
DATE STARTED:
2/16/16
PROJECT MANAGER:
C. POWELL
SCALE:
AS NOTED
LAST SAVED:
2/16/16 3:59 PM
PAPER SIZE: 24" X 36"

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda Panny, Deputy Planning Manager/Development
FOR: November 3, 2016
RE: **New Business #7 - Site Plan, One Year Extension**

I. Project Statistics:

Owner: 190 Broad Street Realty Co.
Applicant: Noury Investments, LLC
Proposal: Site plan amendment to construct a 2-story 10,388 sf multi-tenant office
Location: 190 Broad Street
Total Site Area: 1.224 acres (53,333 sf)
Existing Zoning: GB-General Business
Surrounding Uses: Commercial and Residential

II. Background Information:

On October 16, 2014 the Planning Board approved the site plan for construction of a 2-story, 10,388 sf multi-tenant office building with 8 stipulations. On November 5, 2015 the Planning Board granted a one year extension. The staff reports and approval letters are attached.

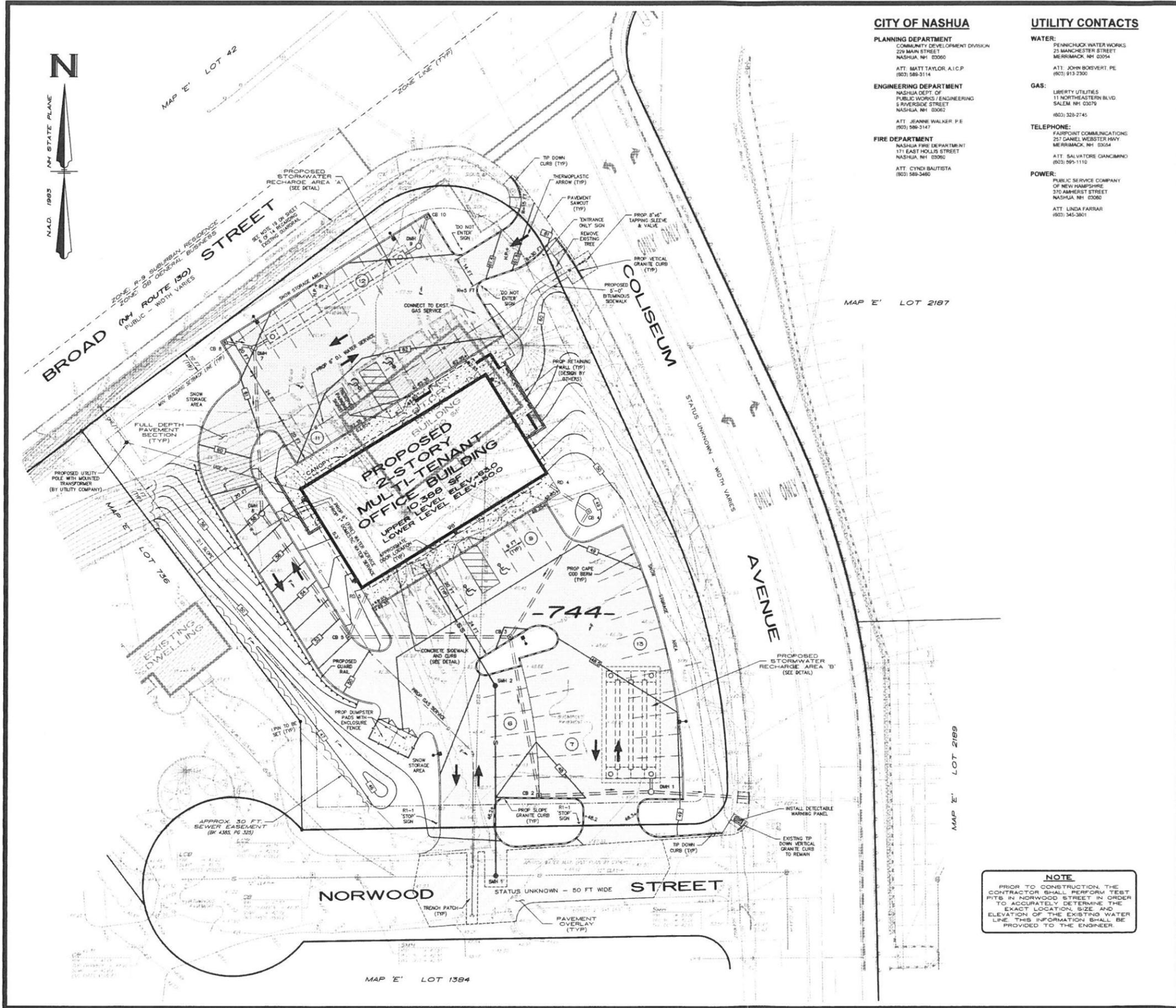
III. Project Description:

The applicant is seeking a second one-year extension of the approval. There are no changes proposed to the approved plan and no construction has begun on the property. City Staff has no concerns or objections related to this application.

IV. Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

1. All prior conditions of approval are incorporated herein and made a part of this plan, unless otherwise determined by the Planning Board.



CITY OF NASHUA

PLANNING DEPARTMENT
 COMMUNITY DEVELOPMENT DIVISION
 229 MAIN STREET
 NASHUA, NH 03060
 ATT: MATT TAYLOR, A.I.C.P.
 (603) 589-3114

ENGINEERING DEPARTMENT
 NASHUA DEPT. OF PUBLIC WORKS / ENGINEERING
 5 RIVERSIDE STREET
 NASHUA, NH 03062
 ATT: JEANNE WALKER, P.E.
 (603) 589-3147

FIRE DEPARTMENT
 NASHUA FIRE DEPARTMENT
 171 EAST HOLLIS STREET
 NASHUA, NH 03060
 ATT: CYNDI BAUTISTA
 (603) 589-3460

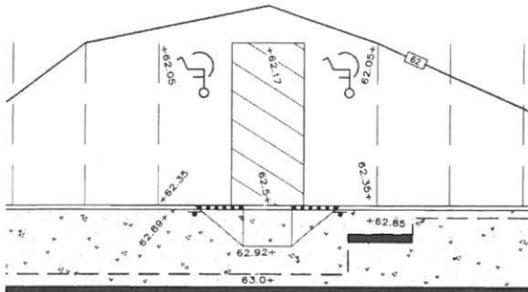
UTILITY SERVICE CONTACTS

WATER:
 PENNICHUCK WATER WORKS
 25 MANCHESTER STREET
 MERRIMACK, NH 03054
 ATT: JOHN BOSEVET, PE
 (603) 913-2300

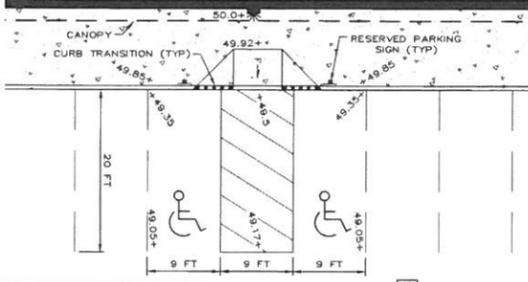
GAS:
 LIBERTY UTILITIES
 11 NORTHEASTERN BLVD
 SALEM, NH 03079
 (603) 328-2745

TELEPHONE:
 FAIRPOINT COMMUNICATIONS
 257 DANIEL WEBSTER HWY
 MERRIMACK, NH 03054
 ATT: SALVATORE GIANGRANO
 (603) 995-1110

POWER:
 PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE
 370 AMHERST STREET
 NASHUA, NH 03060
 ATT: LINDA FARRAR
 (603) 345-3801



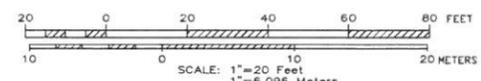
RESERVED PARKING AREA PLAN
 SCALE: 1" = 10'



RESERVED PARKING AREA PLAN
 SCALE: 1" = 10'

NO.	DATE	REVISION	BY
2	11/18/14	ADDRESS NCPB CONDITIONS OF APPROVAL	JNP
1	10/07/14	ADDRESS STAFF COMMENTS	JNP

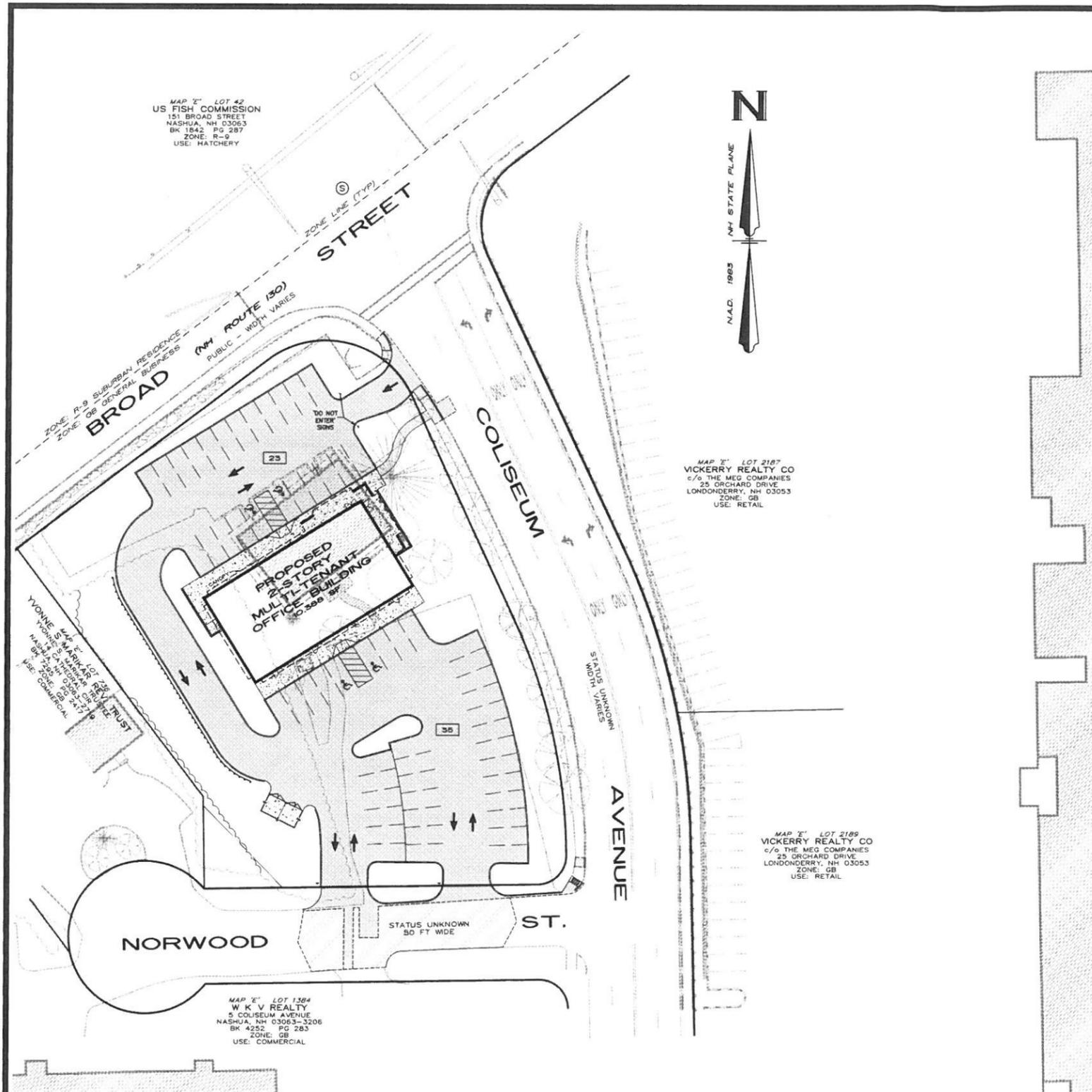
SITE PLAN
 (MAP 'E', LOT 744)
PROPOSED OFFICE BUILDING
 190 BROAD STREET
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR:
NOURY INVESTMENTS, LLC
 22 BRADY DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 235-6897
 RECORD OWNER:
190 BROAD STREET REALTY CO.
 c/o DR. A. FITZMAURICE, M.D. 190 BROAD STREET NASHUA, NH 03063 (603) 880-0054



4 SEPTEMBER 2014

HSI Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors
 Three Congress Street Nashua, New Hampshire 03062-3301
 Tel (603) 883-2057 Fax (603) 883-5057
 www.hayner-swanson.com

NOTE
 PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PERFORM TEST PITS IN NORWOOD STREET IN ORDER TO ACCURATELY DETERMINE THE EXACT LOCATION, SIZE AND ELEVATION OF THE EXISTING WATER LINE. THIS INFORMATION SHALL BE PROVIDED TO THE ENGINEER.

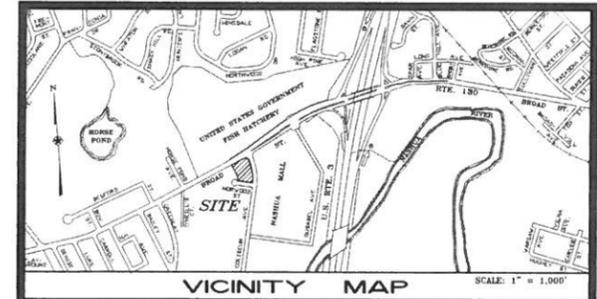


NOTES - CONT'D:

14. ALL LIGHTING SHALL BE AS SHOWN ON THE PLANS, DIRECTED ONTO THE SITE AND CONFORM TO APPLICABLE CITY OF NASHUA LAND USE CODE REGULATIONS.
15. A PRE-CONSTRUCTION MEETING WITH THE CITY OF NASHUA PLANNING/ENGINEERING/FIRE OFFICIALS SHALL TAKE PLACE PRIOR TO ANY WORK BEING PERFORMED.
16. HOURS OF OPERATION: MONDAY THRU SUNDAY, 9 AM TO 9 PM
17. THE APPLICANT SHALL SUBMIT AN ELECTRONIC FILE OF THE SITE PLAN (PLOT) PRIOR TO ISSUANCE OF A BUILDING PERMIT.
18. PRIOR TO A BUILDING PERMIT BEING ISSUED, BONDING FOR ALL PUBLIC IMPROVEMENTS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEERING DEPARTMENT AND CORPORATION COUNSEL.
19. PRIOR TO A BUILDING PERMIT BEING ISSUED, DOCUMENTS PERTAINING TO THE STORM WATER OPERATION AND MAINTENANCE PLAN SHALL BE RECORDED.
20. THE PARCEL IS NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY NO. 33007, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33011005130, DATED SEPTEMBER 25, 2009.
21. ROOF DRAIN TIE-INS AND DRAIN LINES SHALL BE INSPECTED PRIOR TO BACKFILLING AND PAVING.
22. MECHANICAL APPURTENANCES, IF ANY, SHALL BE SCREED AND FINISHED TO MATCH THE BUILDING EXTERIOR. MECHANICAL APPURTENANCES SHALL NOT EXCEED 50 DECIBELS BETWEEN 7 AM - 8 PM AND 45 DECIBELS AT NIGHT 8 PM - 7 AM ALONG RESIDENTIAL ZONING DISTRICTS.
23. IF ANY URGENT CARE FACILITY OCCUPIES A PORTION OF THE PROPOSED BUILDING THEN ACCOMMODATIONS SHALL BE MADE TO PROVIDE FOR AMBULANCE PARKING.
24. THE DEVELOPER/BUILDER SHALL WORK WITH THE CITY OF NASHUA PLANNING STAFF TO OPTIMIZE SIGHT DISTANCE WHICH MAY REQUIRE TREE REMOVAL AT THE NORWOOD STREET/COLISEUM AVENUE INTERSECTION.
25. PRESENT OWNER OF RECORD:
MAP 'E', LOT 744
 190 BROAD STREET REALTY CO.
 c/o DR. A. FITZMAURICE, M.D.
 190 BROAD STREET
 NASHUA, NEW HAMPSHIRE 03063
 BK 6137, PG 987

WAIVERS REQUESTED/APPROVED:

1. NASHUA LAND USE CODE SECTION 190-172 NON-RESIDENTIAL BUILDING DESIGN STANDARDS
2. NASHUA LAND USE CODE SECTION 190-198 NUMBER OF OFF-STREET PARKING



PLAN REFERENCES:

1. RIVERSIDE PARK, NASHUA, NEW HAMPSHIRE. SCALE 1"=50', DATED AUGUST 1965. PREPARED BY: A.E. MAYNARD C.E. RECORDED: HCRD - PLAN NO. 3130.
2. BOUNDARY PLAN OF LAND OF CHANTAL VON OLDENBURG, NORWOOD STREET, SHT F - LOT 736, NASHUA, NEW HAMPSHIRE, SCALE 1"=20', DATED 8 JUNE 1967, PREPARED BY: GEORGE F. KELLER INC. RECORDED: HCRD - PLAN NO. 20757.
3. NASHUA, NH BROAD STREET 1938 S.A.O. SCALE 1"=50', DATED JANUARY 1938 ON FILE AT THE CITY OF NASHUA PUBLIC WORKS DEPARTMENT, CITY ENGINEERS OFFICE.

NOTES:

1. SITE AREA: 1.224 ACRES (53,333 SF)
2. PRESENT ZONING: GB GENERAL BUSINESS

MINIMUM LOT REQUIREMENTS	GB	LOT 744
- LOT AREA	10,000 SF	53,333 SF
- LOT FRONTAGE	50 FT	709 FT
- LOT WIDTH	50 FT	194.7 FT
- LOT DEPTH	75 FT	N/A FT
MINIMUM YARD SETBACKS		
- FRONT YARD	10 FT	36.2 FT
- SIDE YARD	7 FT	57.3 FT
- REAR YARD	10 FT	N/A FT
- MAX. BUILDING HEIGHT	60 FT	FT
- MAX. STORIES	5	2
- OPEN SPACE (%)	10%	37.9%
- F.A.R.	1.25	0.195
3. LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAP 'E'.
4. SITE IS SERVICED BY MUNICIPAL SEWER, WATER BY PENNICHUCK WATER WORKS AND UNDERGROUND TELEPHONE, ELECTRIC AND GAS UTILITIES.
5. PURPOSE OF PLAN: TO SHOW PROPOSED 2-STORY 10,388 SF OFFICE BUILDING WITH ACCOMPANYING SITE IMPROVEMENTS.
6. PARKING: REQUIRED: MINIMUM 1 SPACE/1,000 SF x 10,388 SF = 11 SPACES; MAXIMUM 1 SPACE/200 SF x 10,388 SF = 52 SPACES; PROVIDED (INCLUDING 4 RESERVED SPACES) = 56 SPACES.
7. THE SUBJECT PROPERTY WAS INSPECTED BY A CERTIFIED WETLAND SCIENTIST ON AUGUST 28, 2014 AT THE DATE OF THE INSPECTION, IT WAS DETERMINED THAT THERE ARE NO WETLANDS OR ASSOCIATED BUFFERS AFFECTING THE PROPERTY.
8. ALL LANDSCAPING SHALL BE AS SHOWN ON THE PLANS AND CONFORM TO THE APPLICABLE CITY OF NASHUA LAND USE CODE UNDER ARTICLE XXVI.
9. ALL SIGNAGE SHALL CONFORM TO THE APPLICABLE CITY OF NASHUA REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
10. SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION, GRADE AND NUMBER OF PARKING SPACES.
11. IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
12. PUBLIC STREET RESTORATION WORK SHALL BE IN ACCORDANCE WITH N.R.O. SECTION 285-13, LATEST EDITION.
13. FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL-DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.

No.	DATE	REVISION	BY
2	11/18/14	ADDRESS NCPB CONDITIONS OF APPROVAL	JNP
1	10/07/14	ADDRESS STAFF COMMENTS	JNP

MASTER SITE PLAN
(MAP 'E', LOT 744)
PROPOSED OFFICE BUILDING
190 BROAD STREET
NASHUA, NEW HAMPSHIRE
PREPARED FOR:
NOURY INVESTMENTS, LLC
22 BRADY DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 235-6897
RECORD OWNER:
190 BROAD STREET REALTY CO.
c/o DR. A. FITZMAURICE, M.D. 190 BROAD STREET NASHUA, NH 03063 (603) 880-0054

30 0 30 60 90 120 FEET
15 0 15 30 METERS
SCALE: 1"=30 Feet
1"=9.144 Meters

4 SEPTEMBER 2014



APPROVED
NASHUA CITY PLANNING BOARD

CHAIRMAN _____ DATE _____

*** ZONING NOTE ***
THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

THE UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE SITE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

FOR 190 BROAD STREET REALTY CO. DATE 9/30/14
FOR NOURY INVESTMENTS, LLC DATE 9/28/14