

1. Planning Board Regular Meeting Agenda - Amended (PDF)

Documents:

[201601006 NCPB AGENDA AMENDED.PDF](#)

2. Planning Board Staff Reports And Plans

Documents:

[20161006 27 BURKE STREET CONDITIONAL USE PERMIT STAFF REPORT.PDF](#)

[20161006 27 BURKE ST CONDITIONAL USE PLAN.PDF](#)

[20161006 27 BURKE STREET SITE PLAN STAFF REPORT.PDF](#)

[20161006 27 BURKE ST SITE PLAN.PDF](#)

[20161006 100 NORTHEASTERN BLVD SUBDIVISION STAFF REPORT.PDF](#)

[20161006 100 NORTHEASTERN BLVD AND PITTSBURGH AVE SUBDIVISION PLAN.PDF](#)

[20161006 100 NORTHEASTERN BLVD SITE PLAN STAFF REPORT.PDF](#)

[20161006 100 NORTHEASTERN BLVD AND PITTSBURGH AVE SITE PLAN.PDF](#)

[20161008 500 AMHERST STREET SITE PLAN STAFF REPORT.PDF](#)

[20161006 500 AMHERST ST SITE PLAN.PDF](#)

[20161006 62 AND 70 BRIDGE STREET SITE PLAN STAFF REPORT.PDF](#)

[20161006 62 AND 70 BRIDGE ST SITE PLAN.PDF](#)



**City of Nashua**  
**Planning Department**  
229 Main Street  
Nashua, New Hampshire 03061-2019

Planning & Zoning 589-3090  
Fax 589-3119  
WEB [www.nashuanh.gov](http://www.nashuanh.gov)

September 29, 2016

**AMENDED AGENDA**

To: NCPB Members

From: Planning Staff

Re: Meeting, October 6, 2016

A regular meeting of the Nashua City Planning Board will be held on Thursday, at 7:00 p.m. in the City Hall Auditorium, 3<sup>rd</sup> floor, 229 Main Street. The Planning Staff will be available at 6:30 p.m. to answer any questions the Board or Public might have concerning the following proposed agenda.

- A. Call to Order
- B. Roll Call
- C. Approval of Minutes – September 8, 2016
- D. Communications
- E. Report of Chairman, Committee, & Liaison
- F. Executive Session

**OLD BUSINESS – CONDITIONAL / SPECIAL USE PERMITS**

None

**OLD BUSINESS - SUBDIVISION PLANS**

None

**OLD BUSINESS – SITE PLANS**

None

**NEW BUSINESS – CONDITIONAL / SPECIAL USE PERMITS**

1. Nashua Housing Authority (Owner) Girls Inc. (Applicant) - Application and acceptance of proposed Conditional Use Permit to construct building additions with associated site improvements. Property is located at 27 Burke Street. Sheet 10 - Lot 45. Zoned "RB" Urban Residence. Ward 7.

**NEW BUSINESS – SUBDIVISION PLANS**

2. 1987 Tamposi Limited Partnership (Owner) - Application and acceptance of proposed one year extension for a lot line relocation plan. Property is located at 100 Northeastern Boulevard and L Pittsburgh Avenue. Sheet 140 - Lots 38 & 41. Zoned "PI" Park Industrial. Ward 9.

### **NEW BUSINESS – SITE PLANS**

3. Nashua Housing Authority (Owner). Girls Inc. (Applicant) – Application and acceptance of proposed site plan amendment to NR 395 to construct building additions with associated site improvements. Property is located at 27 Burke Street. Sheet 10 Lot 45. Zoned RB-Urban Residence. Ward 7.
4. 1987 Tamposi Limited Partnership (Owner) - Application and acceptance of proposed one year extension for construction of two multi-tenant buildings with associated site improvements. Property is located at 100 Northeastern Boulevard and L Pittsburgh Avenue. Sheet 140 - Lots 38 & 41. Zoned "PI" Park Industrial. Ward 9.
5. Fleetboston, c/o Bank of America (Owner) - Application and acceptance of proposed site plan amendment to NR 523 for changes to exterior lighting requiring a planning board waiver. Property is located at 500 Amherst Street. Sheet H - Lot 124. Zoned "GB" General Business. Ward 2.
6. Raisanen Homes, Elite, LLC (Applicant) Henry P. and Mary E. Castonguay Rev Trust (Owner) - Application and acceptance of proposed 10 lot condominium site plan. Property is located at 738 West Hollis Street. Sheet D - Lot 75. Zoned "R9" Suburban Residence. Ward 5. **(Postponed to the October 20, 2016 Meeting)**
7. City of Nashua (Owner) Renaissance Downtowns at Nashua, LLC (Applicant) - Application and acceptance of proposed site plan amendment to NR1975 to show minor changes of an approved mixed use development for 228 residential units, a restaurant, and a community center. Property is located at 62 & 70 Bridge Street. Sheet 40 - Lots 34 & 48. Zoned "GI/MU" General Industrial/Mixed Use. Ward 7.

### **OTHER BUSINESS**

1. Review of tentative agenda to determine proposals of regional impact.
2. Adoption of the "2017 Meeting and Deadlines Dates" for the Nashua City Planning Board.

### **DISCUSSION ITEM**

None

### **NONPUBLIC SESSION**

The Planning Board will need to make a motion to enter into a Nonpublic Session under RSA 91-A:3, II (e) for consideration or negotiation of pending claims or litigation which has been threatened in writing or filed against the public body.

### **NEXT MEETING**

October 20, 2016

### **ADJOURN**

### **WORKSHOP**

**ACCOMMODATIONS FOR THE SENSORY IMPAIRED**

**"SUITABLE ACCOMMODATIONS FOR THE SENSORY IMPAIRED  
WILL BE PROVIDED UPON ADEQUATE ADVANCE NOTICE."**

**CONDUCT AT PLANNING BOARD MEETING**

*When the meeting is called to order, the only talking allowed in the Auditorium will be remarks addressed to the Chairman. Except for the original presentation of the subject or application, each person speaking for or against shall be limited to five (5) minutes until all have been given an opportunity to be heard, at which time each person may be allowed additional time if deemed necessary by the Board or the Chairman. When you are recognized by the Chairman, proceed to the podium, using the microphone, state your name and address and then make your comments. Courtesy is shown when you reserve your comments for the proper time.*

**PLEASE BE COURTEOUS**

**By Order of the Chair**

NASHUA CITY PLANNING BOARD  
STAFF REPORT

TO: Nashua City Planning Board  
FROM: Scott McPhie, Planner I  
FOR: October 6, 2016  
RE: **New Business #1- Conditional Use Permit**

**I. Project Statistics:**

Owner: Nashua Housing Authority  
Applicant: Girls Inc.  
Proposal: Conditional Use Permit to allow for a building addition, additional parking and construction of an outdoor basketball court.  
Location: 27 Burke Street  
Total Site Area: 90,169 Square feet  
Existing Zoning: RB-Suburban Residence  
Surrounding Uses: Residential & Recreation

**II. Background Information:**

The Nashua Housing Authority acquired the 2.698-acre parcel in 1972. The site was subdivided from one lot into two on May 3, 1977 to create one lot for the Crown Hill Swimming pool and the remaining lot for the Collins Community Center. The current occupant of the Center is Girls Inc. Girls Inc. is in the process closing on ownership of the original Community Center parcel. A letter sent to City Attorney Steven A. Bolton, Esquire dated July 29, 2016 from Barry & Honorow; P.L.L.C. is enclosed for your review. The letter includes reference to the property transfer and includes proposed parking and utility easement language.

**III. Project Description:**

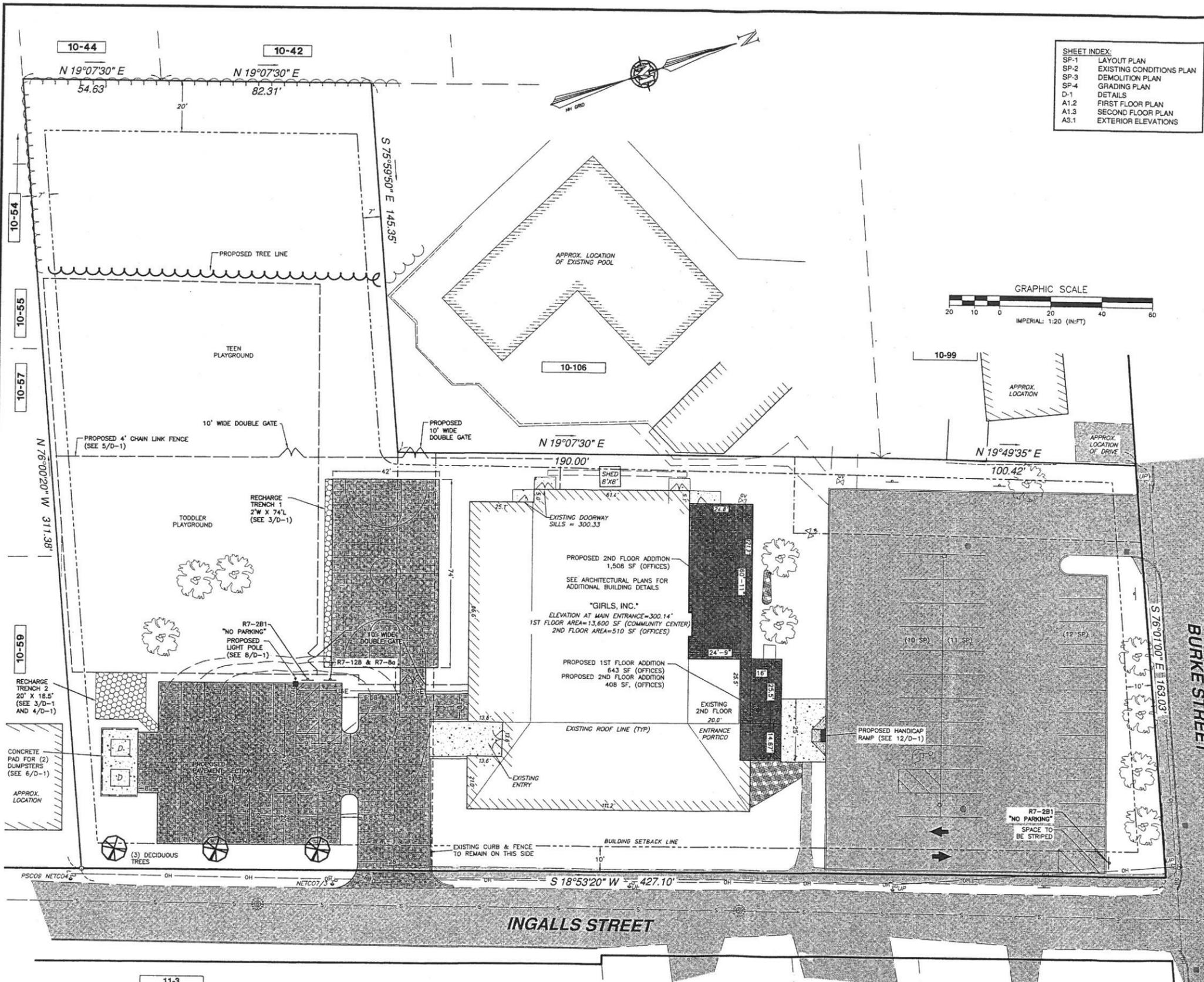
The proposal is for a conditional use permit in an RB- Suburban Residence. Community Centers are only permitted conditionally in the RB- Suburban Residence Zone. There are nine approval criteria for a conditional use permit found in NRO § 190-133(F). The applicant addresses the criteria in a letter from Meridian Land Services dated September 27, 2016 (attached).

City staff had no comments related to the conditional use permit.

**IV. Staff Recommendations and Findings:**

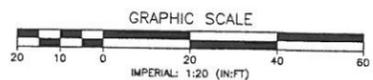
The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Conditional Use Permit NRO § 190-133(F). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, they should state specific reasons. If the Planning Board chooses to approve this plan, staff recommends the following stipulation(s) be made part of that approval:

None



**SHEET INDEX:**

- SP-1 LAYOUT PLAN
- SP-2 EXISTING CONDITIONS PLAN
- SP-3 DEMOLITION PLAN
- SP-4 GRADING PLAN
- D-1 DETAILS
- A1.2 FIRST FLOOR PLAN
- A1.3 SECOND FLOOR PLAN
- A3.1 EXTERIOR ELEVATIONS



- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO SHOW THE IMPROVEMENTS FOR GIRLS, INC., MAP 10 LOT 45, 27 BURKE STREET. IMPROVEMENTS INCLUDE: BUILDING ADDITION, CONSTRUCTION OF ADDITIONAL PARKING LOT, ADDITION OF A BASKETBALL COURT, AND THE EXTENSION AND RECONFIGURATION OF FENCED IN PLAYGROUND AREAS.
  - THE OWNER OF RECORD OF LOT 10-45 IS THE NASHUA HOUSING AUTHORITY, 40 EAST PEARL STREET 1ST FLOOR, NASHUA, NH 03060. H.C.R.D. BK.2542 PG. 300.
  - THE APPLICANT IS GIRLS INCORPORATED OF NEW HAMPSHIRE, 27 BURKE STREET, NASHUA, NH 03060
  - SEE EXISTING CONDITIONS PLAN SP-2 FOR REFERENCE PLANS AND NOTES.
  - THE EXISTING AND PROPOSED PARCEL WILL BE USED FOR RECREATIONAL ACTIVITIES (USE 205, COMMUNITY CENTER). THE HOURS OF OPERATION ARE 7:30 AM TO 5:00 PM.
  - TOTAL BUILDING FOOTPRINT:  
EXISTING = 13,600 SF  
PROPOSED = 14,032 SF
  - TOTAL FLOOR AREA:  
EXISTING = 14,110 SF (13,600 SF COMMUNITY CENTER, 510 SF OFFICE)  
PROPOSED = 16,669 SF (13,600 SF COMMUNITY CENTER, 3,069 SF OFFICE)
  - ZONING FOR LOT 10-45 IS RESIDENCE (R-B)
- | LOT REQUIREMENTS     | REQ.     | EXISTING  | PROPOSED  |
|----------------------|----------|-----------|-----------|
| MIN. LOT AREA        | 6,000 SF | 90,169 SF | 90,169 SF |
| MIN. LOT WIDTH       | 60 FT    | 136 FT    | 136 FT    |
| MIN. LOT FRONTAGE    | 50 FT    | 427 FT    | 427 FT    |
| MIN. LOT DEPTH       | 80 FT    | 163 FT    | 163 FT    |
| FRONT SETBACK        | 10 FT    | -         | -         |
| SIDE SETBACK         | 7 FT     | -         | -         |
| REAR SETBACK         | 20 FT    | -         | -         |
| MAX. BUILDING HEIGHT | 45 FT    | 26 FT     | 26 FT     |
| MIN. OPEN SPACE      | 35%      | 60%       | 50%       |
- PROPOSED IMPROVEMENTS WILL NOT INCREASE AN EXISTING NON-CONFORMITY.
  - NO PORTION OF THIS PLAN WILL BECOME NON-CONFORMING AS A RESULT OF THESE PLANS.
  - PRIOR TO ANY WORK BEING CONDUCTED A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PLANNING STAFF AND OTHER CITY DEPARTMENTS AS NECESSARY TO REVIEW THE WORK PROPOSED.
  - FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDINGS ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
  - ANY STREET DISTURBANCES SHALL BE RESTORED IN ACCORDANCE WITH NRO 285-65.
  - NO NEW SEWER OR WATER SERVICES ARE PROPOSED.
  - NO NEW GAS SERVICES ARE PROPOSED.
  - A NEW PARKING EASEMENT IS PROPOSED FOR THE BENEFIT OF LOT 10-106. THE EASEMENT INVOLVES THE 8 WESTERN MOST SPACES ALONG BURKE STREET AND THE FIRST 4 SPACES IN THE ADJACENT ROW.  
ADDITIONALLY, THE EXISTING ACCESS EASEMENTS WILL BE MODIFIED TO ALSO SERVE AS UTILITY EASEMENTS.
  - EXISTING SITE LIGHTING WILL REMAIN EXCEPT IN THE AREA OF THE NEW PARKING LOT, WHERE ONE 20 FT. HIGH POLE MOUNTED LIGHT IS PROPOSED. NO WALL MOUNTED LIGHTS ARE PROPOSED.
  - NO EXISTING UTILITY POLES REQUIRE RELOCATION.
  - LANDSCAPING: TO COMPLY WITH THE CURRENT LANDSCAPE REQUIREMENTS, 3 DECIDUOUS TREES ARE PROPOSED BETWEEN THE NEW PARKING LOT AND INGALLS STREET. NO OTHER NEW LANDSCAPING IS PROPOSED.
  - PARKING REQUIREMENTS BASED ON BUILDING USE:  

USE	CODE	REQUIRED
COMMUNITY CENTER (205)	190-15	20
OFFICE WITHOUT DRIVE-THROUGH (97)	190-15	3

EXISTING SPACES PRESENT 33 (1 HANDICAP)  
 PROPOSED SPACES 15 (1 HANDICAP)  
 TOTAL SPACES 48 (2 HANDICAP)

2 HANDICAP SPACES ARE REQUIRED AND PROVIDED
  - NOTE THAT THE EXISTING NON-CONFORMING PARKING SPACE IN THE NORTH EAST CORNER OF THE PARKING LOT IS TO BE ELIMINATED BY THE INSTALLATION OF A "NO PARKING" SIGN AND STRIPING.
  - EXISTING ROOFTOP EQUIPMENT IS NOT CONCEALED FROM PUBLIC. A SINGLE NEW PIECE OF EQUIPMENT WHICH IS SMALLER THAN THE EXISTING EQUIPMENT, IS PROPOSED ON THE NEW ADDITION.
  - SEE A1.2, A1.3 AND A3.1 FOR ADDITIONAL BUILDING DETAILS.

THE UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE PARCELS USE INDICATED ON THIS PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.

OWNER / APPLICANT \_\_\_\_\_ DATE \_\_\_\_\_

ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

THIS PLAN SET COMPLIES WITH THE MINIMUM REQUIREMENTS AS DEFINED IN THE NASHUA LAND USE CODE CHAPTER.

**APPROVED BY THE NASHUA PLANNING BOARD**

ON: \_\_\_\_\_ CERTIFIED BY \_\_\_\_\_ AND \_\_\_\_\_

CHAIRMAN: \_\_\_\_\_ SECRETARY: \_\_\_\_\_

**MERIDIAN LAND SERVICES, INC.**  
 ENGINEERING | SURVEYING | PERMITTING  
 SOIL & WETLAND MAPPING | SEPTIC DESIGN  
 31 OLD NASHUA ROAD, AMHERST, NH 03051  
 TEL: 603-673-1441  
 FAX: 603-673-1584  
 MERIDIANLANDSERVICES.COM

STATE OF NEW HAMPSHIRE  
 JOHN A. HEAVISIDES  
 No. 7995  
 LICENSED PROFESSIONAL ENGINEER  
 9/19/16

REV.	DATE	DESCRIPTION
1	9/16/16	REVISE PER CHECKLIST
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OVERVIEW PLAN

AUGUST 22, 2016

GIRLS INC.  
 27 BURKE STREET  
 MAP 10 LOT 45  
 NASHUA, NEW HAMPSHIRE

SCALE: 1" = 20'

**SP-1**  
 SHEET

FILE: 9749100C.dwg  
 PROJECT: 9749.00  
 SHEET NO. 1 OF 8

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NASHUA CITY PLANNING BOARD  
STAFF REPORT

TO: Nashua City Planning Board  
FROM: Scott McPhie, Planner 1  
FOR: October 6, 2016  
RE: **New Business #3- Site Plan**

**I. Project Statistics:**

Owner: Nashua Housing Authority  
Applicant: Girls Inc.  
Proposal: Amendment to Site Plan #NR 385 for a building addition, additional parking and construction of an outdoor basketball court.  
Location: 27 Burke Street  
Total Site Area: 90,169 Square feet  
Existing Zoning: RB-Suburban Residence  
Surrounding Uses: Residential & Recreation

**II. Background Information:**

The Nashua Housing Authority acquired the 2.698-acre parcel in 1972. The site was subdivided from one lot into two on May 3, 1977 to create one lot for the Crown Hill Swimming pool and the remaining lot for the Collins Community Center. The current occupant of the Center is Girls Inc. Girls Inc. is in the process of closing on ownership of the original Community Center parcel. A letter sent to City Attorney Steven A. Bolton, Esquire dated July 29, 2016 from Barry & Honorow; P.L.L.C. is enclosed for your review. The letter includes reference to the property transfer and includes proposed parking and utility easement language.

**III. Project Description:**

The proposal is to amend Site Plan #NR 385 to show the improvements for Girls Inc. to include additions to the first and second floors which contains 2,559 SF of additional office space. The addition is needed to meet the demands of the facility. A new parking lot will be constructed to accommodate the office additions and a new outdoor basketball court. Two 2-foot deep stone filled area/trenches will be sized to completely infiltrate the runoff from the new basketball court and parking lot. No other changes are proposed at this time.

Three waivers are being requested to include a traffic impact analysis, a lighting plan, and screening of mechanical appurtenances (see attached). Fifteen new parking spaces are proposed for a total of forty-eight spaces.

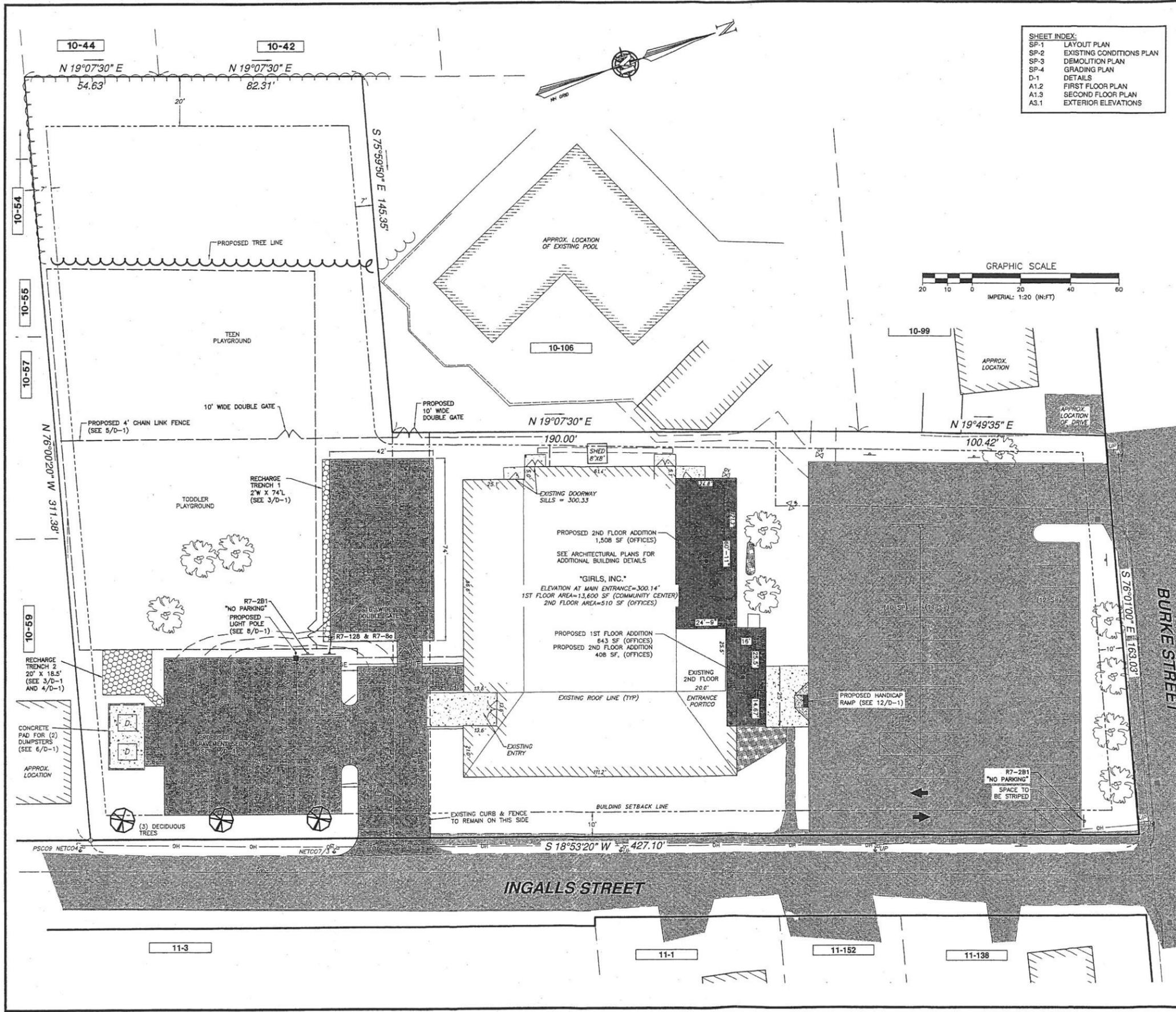
City Staff has reviewed the plans and has no further comments.

#### **IV. Staff Recommendations and Findings:**

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, they should state specific reasons. If the Planning Board chooses to approve this plan, staff recommends the following stipulation(s) be made part of that approval:

1. The request for a waiver of § 190-279(00), which requires a traffic impact analysis, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. The request for a waiver of § 190-279(N), which requires a lighting plan 190-275, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
3. The request for a waiver of § 190-172(F), which requires all mechanical appurtenances shall be screened, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
4. All proposed parking and utilities easements granted to the City and included with the Barry & Honorow, P.L.L.C. letter (enclosed), are currently under review by the City Attorney and will need to be finalized before the Certificate of Occupancy is signed.
5. Stormwater documents will be submitted to the planning staff for review and recording at the applicant's expense.
6. Prior to the Building Permit all Comments in an e-mail from Dan Teague dated 9/19/16 shall be addressed to the satisfaction of the Fire Marshal.
7. Prior to the building permit, all comments in a letter from Jeanne Walker, P.E. dated September 27, 2016 will be addressed to the satisfaction of the Engineering Department.
8. Any work within the right-of-way shall require a financial guarantee.
9. Prior to the Chair signing the plan, minor drafting corrections will be made.

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**SHEET INDEX:**

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**NOTES:**

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE IMPROVEMENTS FOR GIRLS, INC., MAP 10 LOT 45, 27 BURKE STREET. IMPROVEMENTS INCLUDE: BUILDING ADDITION, CONSTRUCTION OF ADDITIONAL PARKING LOT, ADDITION OF A BASKETBALL COURT, AND THE EXTENSION AND RECONFIGURATION OF FENCED IN PLAYGROUND AREAS.
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  3. THE APPLICANT IS GIRLS INCORPORATED OF NEW HAMPSHIRE, 27 BURKE STREET, NASHUA, NH 03060
  4. SEE EXISTING CONDITIONS PLAN SP-2 FOR REFERENCE PLANS AND NOTES.
  5. THE EXISTING AND PROPOSED PARCEL WILL BE USED FOR RECREATIONAL ACTIVITIES (USE 205, COMMUNITY CENTER). THE HOURS OF OPERATION ARE 7:30 AM TO 6:00 PM.
  6. TOTAL BUILDING FOOTPRINT:  
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 PROPOSED = 14,032 SF
  - TOTAL FLOOR AREA:  
 EXISTING = 14,110 SF (13,600 SF COMMUNITY CENTER, 510 SF OFFICE)  
 PROPOSED = 16,669 SF (13,600 SF COMMUNITY CENTER, 3,069 SF OFFICE)
  7. ZONING FOR LOT 10-45 IS RESIDENCE (R-8)
- | LOT REQUIREMENTS     | REQ.     | EXISTING  | PROPOSED  |
|----------------------|----------|-----------|-----------|
| MIN. LOT AREA        | 6,000 SF | 90,168 SF | 90,168 SF |
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| MIN. LOT DEPTH       | 80 FT    | 163 FT    | 163 FT    |
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  11. FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDINGS ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
  12. ANY STREET DISTURBANCES SHALL BE RESTORED IN ACCORDANCE WITH NRO 285-85.
  13. NO NEW SEWER OR WATER SERVICES ARE PROPOSED.
  14. NO NEW GAS SERVICES ARE PROPOSED.
  15. A NEW PARKING EASEMENT IS PROPOSED FOR THE BENEFIT OF LOT 10-106. THE EASEMENT INVOLVES THE 8 WESTERN MOST SPACES ALONG BURKE STREET AND THE FIRST 4 SPACES IN THE ADJACENT ROW.  
 ADDITIONALLY, THE EXISTING ACCESS EASEMENTS WILL BE MODIFIED TO ALSO SERVE AS UTILITY EASEMENTS.
  16. EXISTING SITE LIGHTING WILL REMAIN EXCEPT IN THE AREA OF THE NEW PARKING LOT, WHERE ONE 20 FT. HIGH POLE MOUNTED LIGHT IS PROPOSED. NO WALL MOUNTED LIGHTS ARE PROPOSED.
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  18. LANDSCAPING: TO COMPLY WITH THE CURRENT LANDSCAPE REQUIREMENTS, 3 DECIDUOUS TREES ARE PROPOSED BETWEEN THE NEW PARKING LOT AND INGALLS STREET. NO OTHER NEW LANDSCAPING IS PROPOSED.
  19. PARKING REQUIREMENTS BASED ON BUILDING USE:
 

USE	CODE	REQUIRED
COMMUNITY CENTER (205)	190-15	20
OFFICE WITHOUT DRIVE-THROUGH (97)	190-15	3

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 PROPOSED SPACES 15 (1 HANDICAP)  
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 2 HANDICAP SPACES ARE REQUIRED AND PROVIDED
  20. NOTE THAT THE EXISTING NON-CONFORMING PARKING SPACE IN THE THE NORTH EAST CORNER OF THE PARKING LOT IS TO BE ELIMINATED BY THE INSTALLATION OF A "NO PARKING" SIGN AND STRIPING.
  21. EXISTING ROOFTOP EQUIPMENT IS NOT CONCEALED FROM PUBLIC. A SINGLE NEW PIECE OF EQUIPMENT WHICH IS SMALLER THAN THE EXISTING EQUIPMENT, IS PROPOSED ON THE NEW ADDITION.
  22. SEE A1.2, A1.3 AND AS.1 FOR ADDITIONAL BUILDING DETAILS.

**MERIDIAN**  
 LAND SERVICES, INC.  
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 SOIL & WETLAND MAPPING | SEPTIC DESIGN  
 31 OLD NASHUA ROAD, AMHERST, NH 03051  
 TEL: 603-473-1441  
 MERIDIANLANDSERVICES.COM FAX: 603-473-1581



REV.	DATE	DESCRIPTION
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**OVERVIEW PLAN**

DATE: AUGUST 22, 2016

GIRLS, INC.  
 27 BURKE STREET  
 MAP 10 LOT 45  
 NASHUA, NEW HAMPSHIRE

SCALE: 1" = 20'

**SP-1**  
 SHEET  
 FILE: 974900C.dwg  
 PROJECT: 9749.00  
 SHEET NO. 1 OF 8

THE UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE PARCELS USE INDICATED ON THIS PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.

OWNER / APPLICANT \_\_\_\_\_ DATE \_\_\_\_\_

THIS PLAN SET COMPLIES WITH THE MINIMUM REQUIREMENTS AS DEFINED IN THE NASHUA LAND USE CODE CHAPTER.

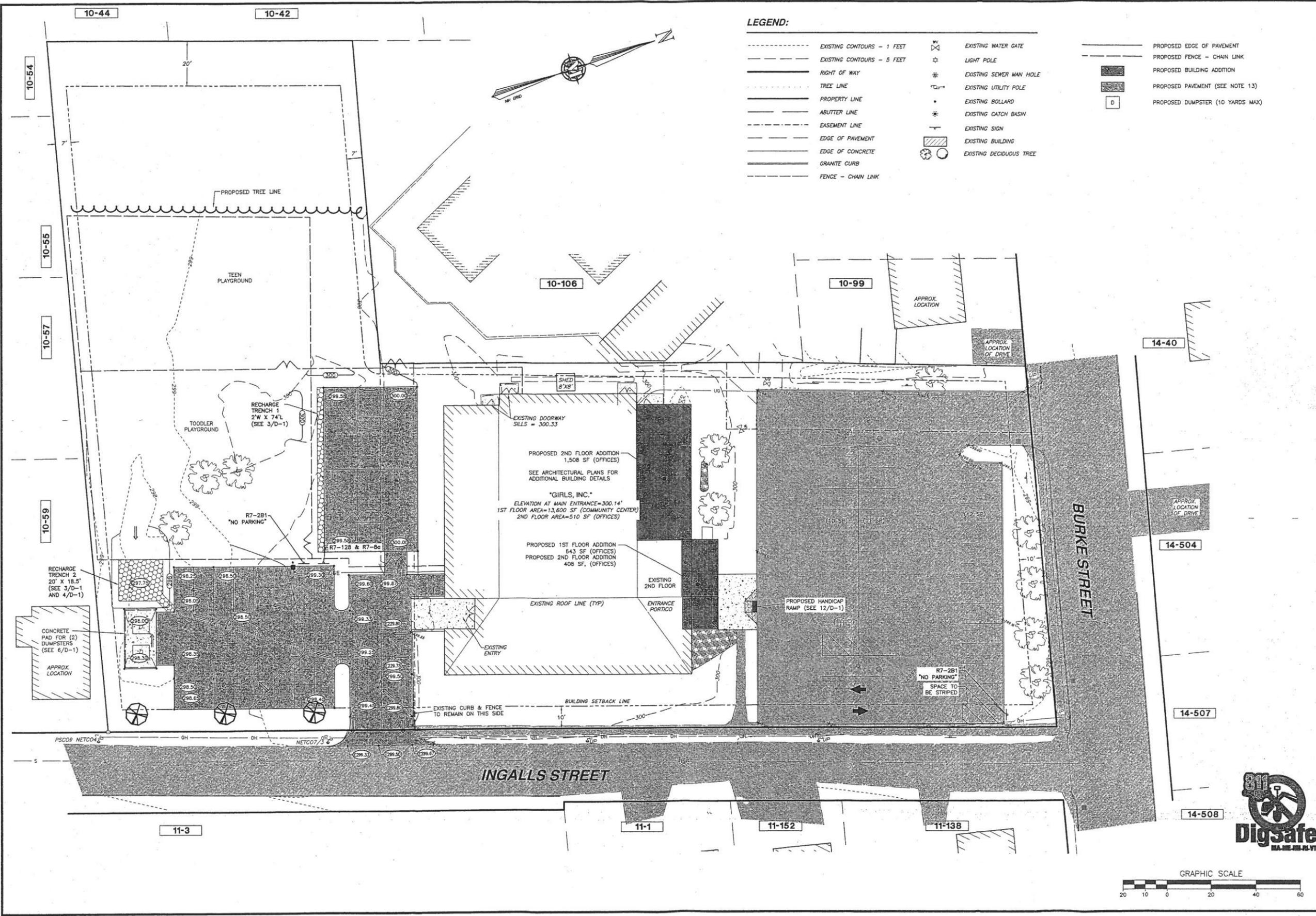
ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

**APPROVED BY THE NASHUA PLANNING BOARD**

ON: \_\_\_\_\_ CERTIFIED BY \_\_\_\_\_  
 CHAIRMAN: \_\_\_\_\_ AND \_\_\_\_\_  
 SECRETARY: \_\_\_\_\_



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**LEGEND:**

--- (dashed)	EXISTING CONTOURS - 1 FEET	⊗	EXISTING WATER GATE
--- (long dashed)	EXISTING CONTOURS - 5 FEET	⊕	LIGHT POLE
— (solid)	RIGHT OF WAY	⊙	EXISTING SEWER MAN HOLE
- - - (dotted)	TREE LINE	⊖	EXISTING UTILITY POLE
— (solid)	PROPERTY LINE	⊙	EXISTING BOLLARD
— (solid)	ABUTTER LINE	⊙	EXISTING CATCH BASIN
— (solid)	EASEMENT LINE	⊙	EXISTING SIGN
— (solid)	EDGE OF PAVEMENT	⊙	EXISTING BUILDING
— (solid)	EDGE OF CONCRETE	⊙	EXISTING DECIDUOUS TREE
— (solid)	GRANITE CURB		
— (dashed)	FENCE - CHAIN LINK		

— (dashed)	PROPOSED EDGE OF PAVEMENT
— (dashed)	PROPOSED FENCE - CHAIN LINK
▨ (hatched)	PROPOSED BUILDING ADDITION
▨ (dotted)	PROPOSED PAVEMENT (SEE NOTE 13)
D (square)	PROPOSED DUMPSTER (10 YARDS MAX)

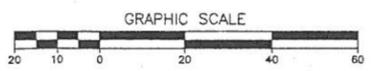
**MERIDIAN**  
**LAND SERVICES, INC.**  
 ENGINEERING | SURVEYING | PERMITTING  
 SOIL & WETLAND MAPPING | SEPTIC DESIGN  
 31 OLD NASHUA ROAD, AMHERST, NH 03051  
 TEL: 603-673-1441  
 MERIDIANLANDSERVICES.COM FAX: 603-673-1544



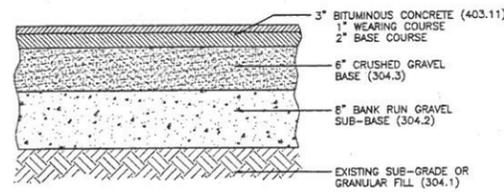
REV.	DATE	BY	CHKD.	REVISION
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GRADING PLAN  
 AUGUST 22, 2016

GIRLS, INC.  
 27 BURKE STREET  
 MAP 10 LOT 45  
 NASHUA, NEW HAMPSHIRE  
 SCALE: 1" = 20'



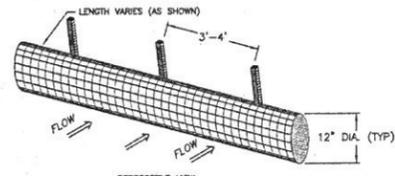
**SP-4**  
 SHEET  
 FILE: 9749\974900.dwg  
 PROJECT: 9749.00  
 SHEET NO. 4 OF 8



**PAVEMENT - PARKING**

(NHDOT ITEM NO.)

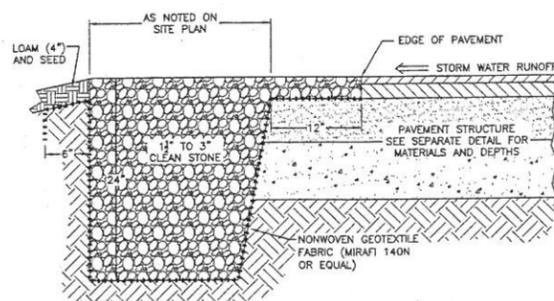
APRIL 11, 2011  
SCALE: NONE



1. WATTLES SHALL BE A STRAW OR COMPOST FILLED.
2. SECURE WATTLES WITH 36\"/>

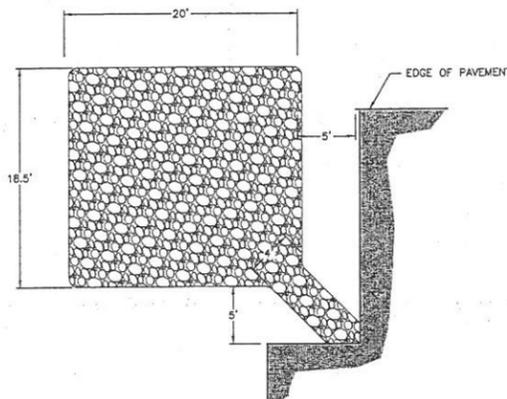
**WATTLE**

OCT. 2013  
SCALE: NONE



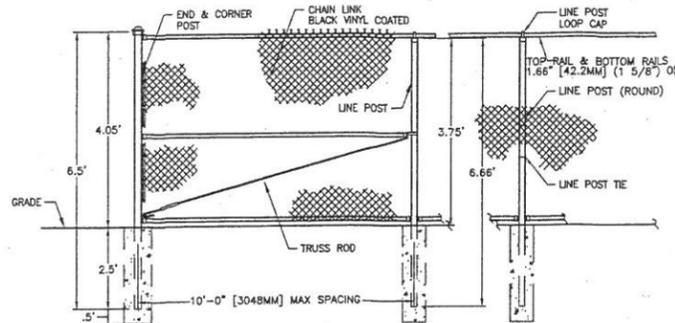
**STORM WATER RECHARGE TRENCH - SECTION**

AUG. 24, 2016  
SCALE: NONE



**STORM WATER RECHARGE TRENCH 2**

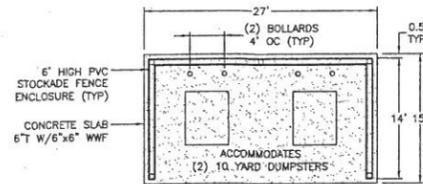
AUG. 24, 2016  
SCALE: NONE



- NOTES:
1. ALL 4 FT. HIGH CHAIN LINK FENCE FABRIC SHALL BE KNUCKLED (TOP AND BOTTOM)
  2. ALL CHAIN LINK FENCE POSTS, FABRIC, TIES AND MATERIALS SHALL BE BLACK PVC COATED.
  3. CONCRETE FOOTINGS SHALL BE FOUR (4) x THE POST DIAMETER.

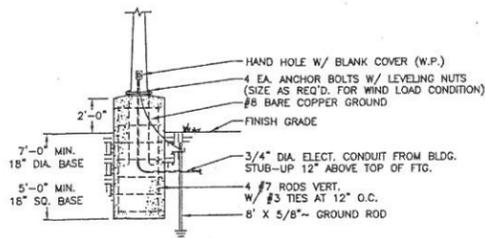
**CHAIN LINK FENCE**

SCALE: NONE



**DUMPSTER ENCLOSURES**

AUG. 24, 2016  
SCALE: NONE



**SITE LIGHTING - POLE BASE**

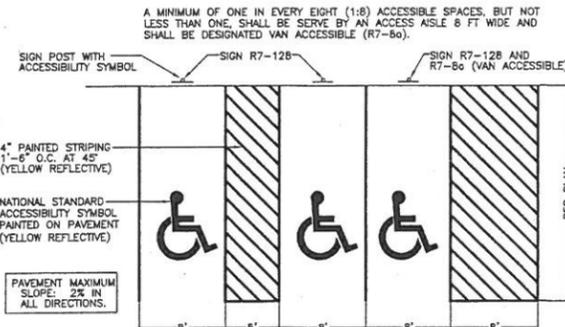
AUG. 2007  
SCALE: NONE



Symbol	Qty	Label	Arrangement	Luminaire Schedule	Description
□	1	S4	SINGLE	PRV-A15-D-UNV-14-BZ-HSS/ 20' AFG	

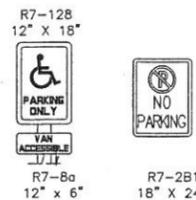
**LIGHTING SCHEDULE**

AUG. 2016  
SCALE: NONE



**HANDICAP PARKING - STANDARD**

FEB. 16, 2001  
SCALE: NONE

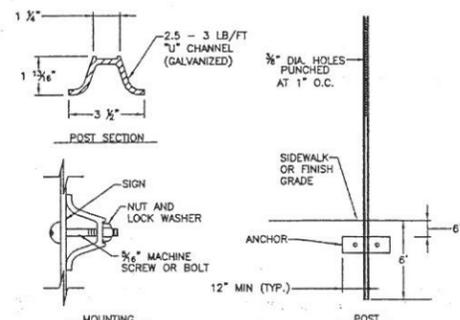


**GENERAL NOTES:**

1. ALL SIGNING AND PAVEMENT MARKINGS SHALL CONFORM TO "NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTIONS 615 AND 632, AS AMENDED, AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
2. THE CONTRACTOR IS RESPONSIBLE FOR THE LAYOUT OF ALL SIGNING AND PAVEMENT MARKINGS.

**TRAFFIC SIGNS - ON SITE**

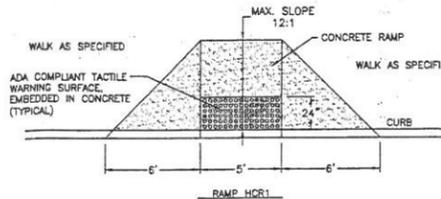
FEB. 6, 2008  
SCALE: NONE



- NOTES:
1. ALL SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD.
  2. MOUNT BOTTOM OF SIGN AT 84" ABOVE FINISHED GRADE.

**TRAFFIC SIGNS**

AUG. 2016  
SCALE: NONE



**NOTES:**

1. DETECTABLE WARNINGS SHALL BE PROVIDED WHERE EVER A CURB RAMP CROSSES A VEHICULAR WAY.
2. DETECTABLE WARNINGS SHALL BE PROVIDED 24 INCHES IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE. THE DETECTABLE WARNING SHALL BE LOCATED ADJACENT TO THE CURB LINE, PLACED 6" TO 8" BEHIND THE FACE OF THE CURB JOINT.
3. DETECTABLE WARNING MATERIALS SHALL BE TEXTURED TO PROVIDE SLIP RESISTANCE AND SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES - EITHER LIGHT OR DARK OR DARK OR LIGHT. THE PREFERRED COLOR FOR A LIGHT BACKGROUND IS RED BRICK AND FOR A DARK BACKGROUND SHALL BE SAFETY YELLOW.
4. DETECTABLE WARNING SURFACES SHALL BE SURFACE MOUNTED, THIN MOLDED SHEETGOODS WHICH INCLUDES TILES OR MATS (RIGID OR FLEXIBLE, WITH TRUNCATED DOMES), BONDED AND/OR ANCHORED TO THE SURFACE OF THE RAMP. DETECTABLE WARNINGS SHALL COMPLY WITH ICC/ANSI A117.1 SECTIONS 406.13 AND 705. TRUNCATED DOMES SHALL BE ALIGNED IN A SQUARE GRID PATTERN.

**HANDICAP SIDEWALK RAMPS WITH DETECTABLE WARNING**

JUNE 22, 2012  
SCALE: NONE

1. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF NASHUA AS SET FORTH IN THE CURRENT EDITION OF THE "LAND USE CODE - CITY OF NASHUA, NEW HAMPSHIRE". OTHERWISE, ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION - STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. MERIDIAN LAND SERVICES, INC., AS DESIGN ENGINEER, SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
3. THE OWNER AND/OR CONTRACTOR SHALL VERIFY ALL ZONING REQUIREMENTS FOR CONFORMANCE PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL CONTACT "DIGSAFE" 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-800-255-4977 IN NH, 1-888-344-7233 IN MA).
5. COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND SPECIAL CONDITIONS OF TOWN/CITY AGENCIES, SUCH AS THE PLANNING BOARD, CONSERVATION COMMISSION, AND OTHERS, IS MANDATORY AND IS THE RESPONSIBILITY OF THE OWNER.
6. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND MERIDIAN LAND SERVICES, INC. PRIOR TO CONSTRUCTION.
7. ALL DRAINAGE STRUCTURES SHALL CONFORM TO NHDOT STANDARDS.
8. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENT PRIOR TO CONSTRUCTION TO ARRANGE FOR INSPECTIONS OF THE CONSTRUCTION.
9. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCURATE AS-BUILT INFORMATION OF ALL WORK, ESPECIALLY UNDERGROUND CONSTRUCTION OF UTILITY LINES, SERVICES, CONNECTIONS, ETC. AND APPROPRIATE TIES TO ABOVE GROUND PERMANENT STRUCTURES, FIELD SURVEY COORDINATES, OR SOME OTHER METHOD OF ESTABLISHING THE AS-BUILT CONDITION OF ALL CONSTRUCTION.

**CONSTRUCTION NOTES**

NOV. 13, 2009  
SCALE: NONE

1. INSTALLATION OF SILT SOCKS AND/OR SILTATION FENCE SHALL BE COMPLETED PRIOR TO THE START OF SITE WORK IN ANY GIVEN AREA.
2. SILT SOCKS AND SILTATION FENCES SHALL BE KEPT CLEAN DURING CONSTRUCTION AND REMOVED WHEN ALL DISTURBED AREAS HAVE A HEALTHY STAND OF VEGETATIVE COVER. EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EVERY 0.25" OR GREATER RAINFALL.
3. PLACE SEDIMENT FILTERS IN CATCH BASINS UNTIL ALL NON-PAVED DISTURBED AREAS HAVE A HEALTHY VEGETATIVE COVER.
4. REMOVE AREAS OF EXISTING PAVEMENT, CONCRETE SIDEWALK AND CURBING AS NOTED.
5. EXCAVATE FOR AND CONSTRUCT THE FOOTINGS FOR THE PROPOSED ENTRY.
6. EXCAVATE FOR AND INSTALL BASE GRAVELS FOR PARKING LOT AND BASKETBALL COURT.
7. PARKING LOT SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
8. PAVE PARKING LOT AND BASKETBALL COURT.
9. APPLY LOAM, COMPLETE PERMANENT SEEDING AND LANDSCAPING.
10. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
11. DURING CONSTRUCTION THE CONTRACTOR SHALL MANAGE THE SITE TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.

**CONSTRUCTION SEQUENCE**

AUG. 24, 2016  
SCALE: NONE

**MERIDIAN LAND SERVICES, INC.**  
ENGINEERING | SURVEYING | PLANNING  
SOIL & WETLAND MAPPING | SEPTIC DESIGN  
31 OLD NASHUA ROAD, AMHERST, NH 03051  
TEL: 603-673-1441  
FAX: 603-673-1584  
MERIDIANLANDSERVICES.COM



STATE OF NEW HAMPSHIRE  
JOHN A. HEAVISIDES  
No. 7595  
LICENSED PROFESSIONAL ENGINEER  
9/19/16

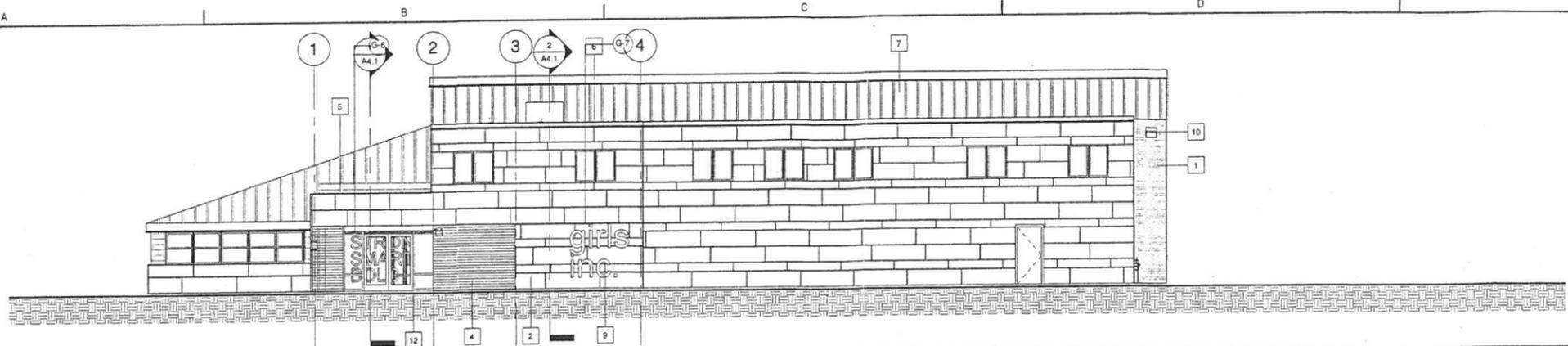
REV.	DATE	DESCRIPTION
CK		
DR		

**SITE DETAILS**  
EROSION CONTROL AND NOTES

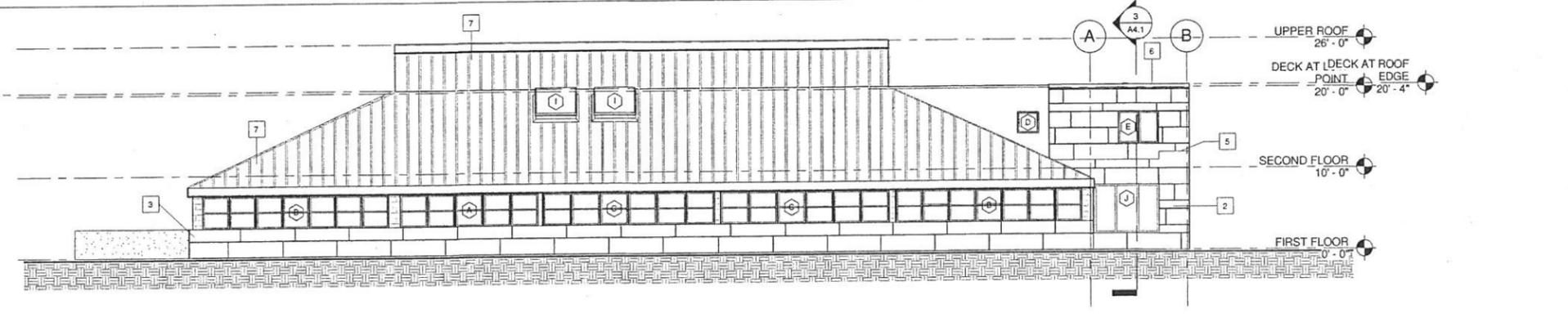
GIRLS INC.  
27 BURKE STREET  
MAP 10 LOT 45  
NASHUA, NEW HAMPSHIRE

SCALE: NONE  
AUGUST 22, 2016

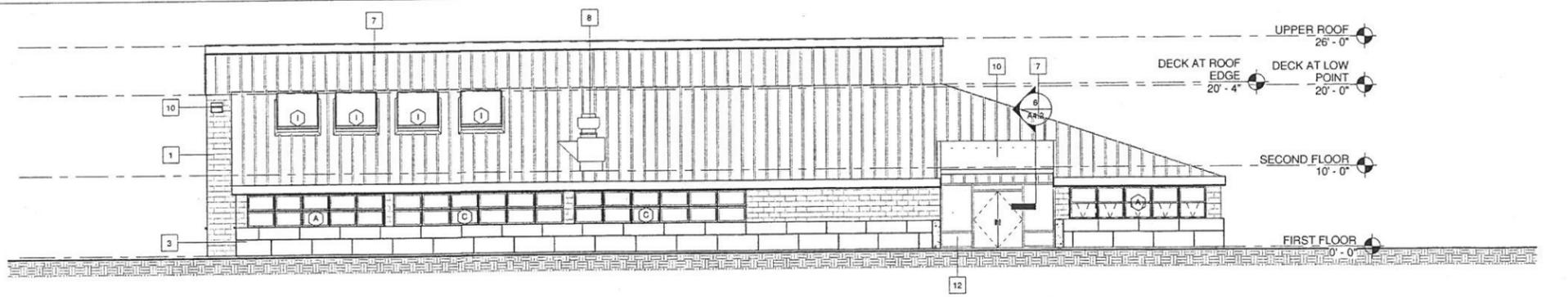
FILE: 9749100C.dwg  
PROJECT: 6748.00  
SHEET NO. 5 OF 8



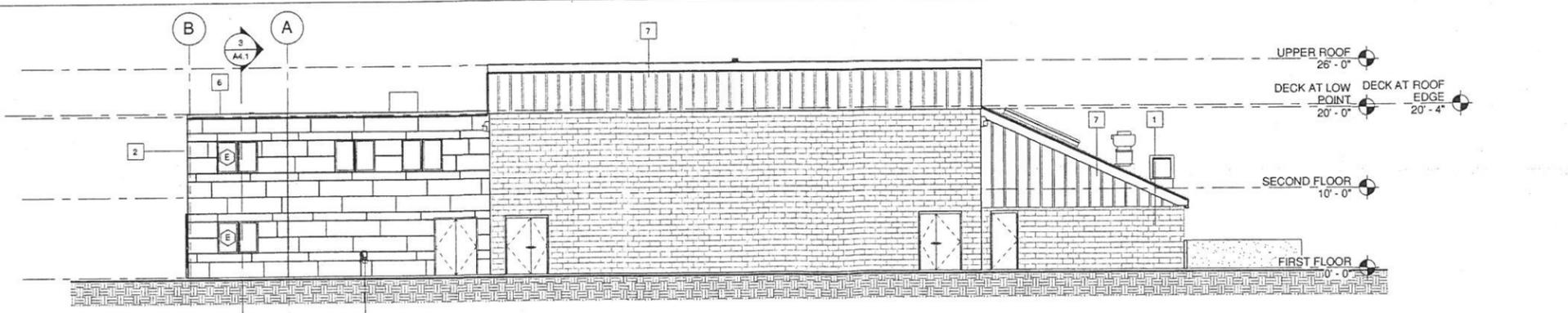
1 SOUTH ELEVATION  
A1.2 1/8" = 1'-0"



2 WEST ELEVATION  
A1.2 1/8" = 1'-0"



3 NORTH ELEVATION  
A1.2 1/8" = 1'-0"



4 EAST ELEVATION  
A1.2 1/8" = 1'-0"

GENERAL ELEVATION NOTES

1. REFER TO MECH DWGS FOR LOCATIONS OF LOUVERS AND VENTS. CONFIRM FINAL POSITION WITH ARCHITECT PRIOR TO ORDERING.

ELEVATION LEGEND

CJ CONTROL JOINT

ELEVATION KEY NOTES

- 1 EXISTING SPLIT FACE CMU
- 2 FIBER CEMENT BO SIDING WITH 1/4" CHANNEL CLIPS BETWEEN PANELS COLOR: WHITE
- 3 FIBER CEMENT BO SIDING WITH 1/4" CHANNEL CLIPS BETWEEN PANELS COLOR: GRAY
- 4 HORIZONTAL SHIP LAP WOOD SIDING
- 5 ALUMINUM PAPAPET CAP
- 6 ALUMINUM FASCIA
- 7 EXISTING RAISED SEAM ROOFING
- 8 METAL VENT
- 9 SURFACE MOUNTED SIGNAGE
- 10 SURFACE MOUNTED LIGHT FIXTURE
- 11 GAS METER LOCATION
- 12 ALUMINUM STOREFRONT

WARRENSTREET ARCHITECTS

27 Warren Street Concord NH 03301  
T 603.225.0640 F 603.225.0621 www.warrenstreet.com

CONSULTANTS / KEY PLAN

CIVIL  
MERIDIAN LAND SERVICES INC  
31 OLD NASHUA ROAD  
AMHERST, NH 03031  
603.673.1441

LANDSCAPE  
N/A

ARCHITECT  
WARRENSTREET ARCHITECTS  
27 WARREN STREET  
CONCORD, NH 03301  
603.225.0640

STRUCTURAL  
TF MORAN, INC.  
48 CONSTITUTION DRIVE  
BEDFORD, NH 03110  
603.472.4488

MECHANICAL/PLUMBING  
DESIGN DAY MECHANICALS  
148 BEAVER RIDGE ROAD  
CENTER BARNSTEAD, NH 03225  
603.269.7253

ELECTRICAL  
SWIFTCURRENT ENGINEERING  
10 FOREST FALLS DRIVE  
UNIT 4b  
YARMOUTH, ME 04096  
207.647.9280

OTHER  
KITTREDGE EQUIPMENT  
530 NH-3A  
BOW, NH 03304  
603-228-9460

PROJECT TITLE / ADDRESS

GIRLS INC

27 BURKE ST  
NASHUA, NH 03064

SCALE: As Indicated  
JOB #: 3206  
DWN BY: CB CHK BY: Checker

05/21/2015  
ISSUED FOR BIDDING  
AND CONSTRUCTION

REVISIONS:

EXTERIOR ELEVATIONS

A3.1

SHEET NUMBER: 15 OF 22  
Copyright Warrenstreet Architects Inc. © 2015

NASHUA CITY PLANNING BOARD  
STAFF REPORT

TO: Nashua City Planning Board  
FROM: Linda Panny, Deputy Planning Manager/Development  
FOR: October 6, 2016  
RE: **New Business # 2 - Subdivision Plan, One Year Extension**

**I. Project Statistics:**

Owner: 1987 Tamposi Limited Partnership  
Proposal: Lot line relocation plan  
Location: 100 Northeastern Boulevard  
Total Site Area: 3.67 acres  
Existing Zoning: PI-Park Industrial  
Surrounding Uses: Commercial, industrial, and residential

**II. Background Information:**

On August 8, 2013 the Planning Board approved this lot line relocation plan. On September 4, 2014 the Planning Board granted a one year extension. On September 3, 2015 another one year extension was granted. The staff report and approval letter are attached.

**III. Project Description:**

The purpose of this application is to extend the Planning Board approval again for one year. There are no changes proposed to the approved plan. City Staff has no concerns or objections related to this application.

**Staff Recommendations and Findings:**

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-138(G). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board of that approval:

None



NASHUA CITY PLANNING BOARD  
STAFF REPORT

TO: Nashua City Planning Board  
FROM: Linda Panny, Deputy Planning Manager/Development  
FOR: October 6, 2016  
RE: **New Business #4 – Site Plan, One Year Extension**

**I. Project Statistics:**

Owner: 1987 Tamposi Limited Partnership  
Proposal: Site plan for two new industrial buildings  
Location: 100 Northeastern Boulevard  
Total Site Area: 3.67 acres  
Existing Zoning: PI-Park Industrial  
Surrounding Uses: Commercial, industrial, and residential

**II. Background Information:**

On August 8, 2013 the Planning Board approved the site plan for construction of two multi-tenant buildings with 11 stipulations. On September 4, 2014 the Planning Board granted a one year extension. On September 3, 2015 another one year extension was granted. The staff report and approval letter are attached.

**III. Project Description:**

The purpose of this application is to extend the site plan approval. There are no changes proposed to the approved plan. City staff has no concerns or objections related to this application.

**IV. Staff Recommendations and Findings:**

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

1. All prior conditions of approval are incorporated herein and made a part of this plan, unless otherwise determined by the Planning Board.

**ABUTTERS:**

**OWNER OF RECORD:**

MAP 140/LOTS 38 & 41  
1987 TAMPOSI LIMITED PARTNERSHIP  
& BALLINGER PROP. & BT REALTY LP  
20 TRAFALGAR SQUARE-SUITE 602  
NASHUA, NH 03063

**OPTION HOLDER:**

100 NORTHEASTERN BLVD., LLC  
253 MAIN STREET  
NASHUA, NH 03060

**ABUTTERS:**

MAP 140/LOT 1  
FIVE N ASSOCIATES  
91 AMHERST STREET  
NASHUA, NH 03064

MAP 140/LOT 21  
L&R NOMINEE TRUST  
ROBERT PREFONTAINE, TR.  
9 BADGERS IS W APT. 1  
KITTEERY, ME 03904

MAP 140/LOT 22  
HARVEY INDUSTRIES, INC.  
1400 MAIN STREET  
NORTH WALTHAM, MA 02451

MAP 140/LOT 36  
GP-NASHUA LIMITED PARTNERSHIP  
610 OLD YORK ROAD  
JENKINTOWN, PA 19046

MAP 140/LOT 37  
WORLDWIDE HOMES, LLC  
P.O. BOX 748  
NASHUA, NH 03061

MAP 140/LOT 46  
RAISANEN LEASING CORP  
P.O. BOX 748  
NASHUA, NH 03061

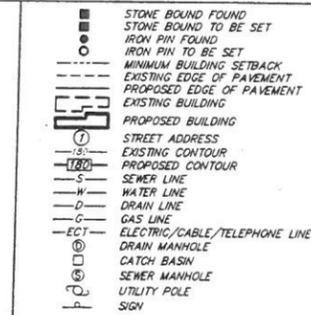
MAP 140/LOTS 57 & 58  
1987 TAMPOSI LIMITED PARTNERSHIP  
20 TRAFALGAR SQUARE-SUITE 602  
NASHUA, NH 03063

**CONSULTANT:**

MAYNARD & PAQUETTE  
ENGINEERING ASSOC., LLC  
23 EAST PEARL STREET  
NASHUA, NH 03060

**PLAN REFERENCES:**

1. SITE PLAN - LOT 41/SHEET 140, NORTHEASTERN BOULEVARD AND PITTSBURGH AVENUE, NASHUA, NH, PREPARED FOR BUCKBEE MEARS COMPANY BY MAYNARD & PAQUETTE, INC. SCALE: 1"=40'; DATED APRIL 1983.
2. TITLE INSURANCE PLAN - LOTS 38 & 41/MAP 140, 100 NORTHEASTERN BLVD. NASHUA, NH, PREPARED FOR RFI, LLC BY ALLAN H. SWANSON, INC. SCALE: 1"=50'; DATED AUGUST 10, 1994.



**LEGEND**

**VICINITY**

**NOTES:**

1. PRESENT ZONING: P1-PARK INDUSTRIAL
  2. THE PURPOSE OF THIS PLAN IS TO PROPOSE THE CONSTRUCTION OF TWO MULTI-TENANT CONTRACTORS' SHOP BUILDINGS ON LOT 38 WITH ASSOCIATED PARKING IMPROVEMENTS.
  3. LOT AREA: SHEET 140/LOT 38: 70,887± S.F.  
SHEET 140/LOT 41: 89,020± S.F.
  4. EXISTING USE: SHEET 140/LOT 38: VACANT (PAVED PARKING LOT)  
SHEET 140/LOT 41: VACANT (INDUSTRIAL BUILDING)
  5. PROPOSED USE: SHEET 140/LOT 38: MULTI-TENANT CONTRACTORS' OFFICE  
SHEET 140/LOT 41: WAREHOUSE AND STORAGE
  6. DIMENSIONAL REQUIREMENTS (AS REQUIRED AND PROPOSED):
- |                     | LOT 38:     | LOT 41:                   |
|---------------------|-------------|---------------------------|
| MINIMUM LOT AREA:   | 30,000 S.F. | 70,887 S.F. / 89,020 S.F. |
| FRONT YARD SETBACK: | 30 FT.      | 30 FT. / 20 FT.           |
| SIDE YARD SETBACK:  | 20 FT.      | 20 FT. / 20 FT.           |
| REAR YARD SETBACK:  | 20 FT.      | 50 FT. / 68 FT.           |
| MIN. OPEN SPACE:    | 20%         | 32% / 21%                 |
| MIN. LOT WIDTH:     | 120 FT.     | 154 FT. / 359 FT.         |
| MIN. LOT DEPTH:     | 150 FT.     | 395 FT. / 249 FT.         |
| MAX. BUILDING AREA: | NONE        | N/A / N/A                 |
7. REQUIRED ON-SITE PARKING:  
CONTRACTORS' SHOP-LOT 38 (LUC 151): 1 SPACE/600 S.F. MIN.=46 SP.  
WAREHOUSE/STORAGE-LOT 41 (LUC 202): 1 SPACE/1,000 S.F. MIN.=52 SP.  
TOTAL REQUIRED PARKING: 98 SPACES  
PROPOSED ON-SITE PARKING: 85 SPACES, INC. 4 HANDICAP SPACES  
REQUIRED LOADING SPACES: 1 SPACE/75,000 S.F. = 1
  8. PER N.H.L.P. FIRM COMMUNITY PANEL J3011C0651D, THE SITE IS LOCATED IN ZONE X, OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN (EFFECTIVE DATE: SEPTEMBER 25, 2009)
  9. PER U.S.D.A. N.R.C.S. WEB SOIL SURVEY, ON-SITE SOILS ARE CLASSIFIED AS:  
U-URBAN LAND.
  10. THE SITE IS NOT LOCATED WITHIN THE WATERSHED PROTECTION DISTRICT.
  11. THERE ARE NO WETLANDS ON-SITE.
  12. IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE OR USE INDICATED ON THIS PLAN WITHOUT RECEIVING PRIOR CITY APPROVAL.
  13. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATIONS OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THIS PLAN, PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND TO INTERFERE WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL MEASURES SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK.
  14. SITE IMPROVEMENTS SHALL CONFORM TO A.D.A. SPECIFICATIONS.
  15. PERMANENT MARKERS ARE TO BE SET AT ALL LOT CORNERS BY A LICENSED LAND SURVEYOR.
  16. ALL SIGNS SHALL CONFORM TO ARTICLE X, SEC. 190-95 OF THE CITY OF NASHUA LAND USE CODE AND SIGN PERMITS SHALL BE SECURED PRIOR TO INSTALLATION.
  17. LIGHTING SHALL BE DIRECTED ON SITE AND CONFORM TO ARTICLE IX, SEC. 190-88 OF THE CITY OF NASHUA LAND USE CODE.
  18. LANDSCAPING SHALL CONFORM TO ARTICLE XXV, SEC. 190-180 OF THE CITY OF NASHUA LAND USE CODE.
  19. LOTS ARE SERVICED BY CITY SEWER AND PENNICHUCK WATER WORKS.
  20. HOURS OF OPERATION: MON-SUN: 7 AM-10 PM
  21. HOURS OF DELIVERY: MON-SUN: 7 AM-10 PM
  22. NO TRASH PICK-UP FROM SITE BEFORE 6 AM, MON-SUN.
  23. A PRE-CONSTRUCTION MEETING TO BE HELD WITH CITY OF NASHUA PLANNING AND ENGINEERING DEPARTMENTS PRIOR TO COMMENCEMENT OF SITE WORK.
  24. FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL-DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
  25. STREET RESTORATION SHALL BE IN ACCORDANCE WITH NRO 285-13.
  26. RECONSTRUCT AND REPAVE EXISTING DRIVE AISLES AND PAVED PARKING AREAS AS APPROPRIATE.
  27. FOR CROSS-ACCESS AND CROSS-PARKING EASEMENT INFORMATION, SEE EASEMENT DOCUMENTS TO BE RECORDED WITH APPROVED PLANS.

SITE PLAN - SHEET 140/LOTS 38 & 41

**100 NORTHEASTERN BLVD.  
& PITTSBURGH AVENUE  
NASHUA, NEW HAMPSHIRE**

**OPTION HOLDER:**

100 NORTHEASTERN BLVD., LLC  
253 MAIN STREET  
NASHUA, NEW HAMPSHIRE 03060  
(603) 881-3422

**OWNER OF RECORD:**

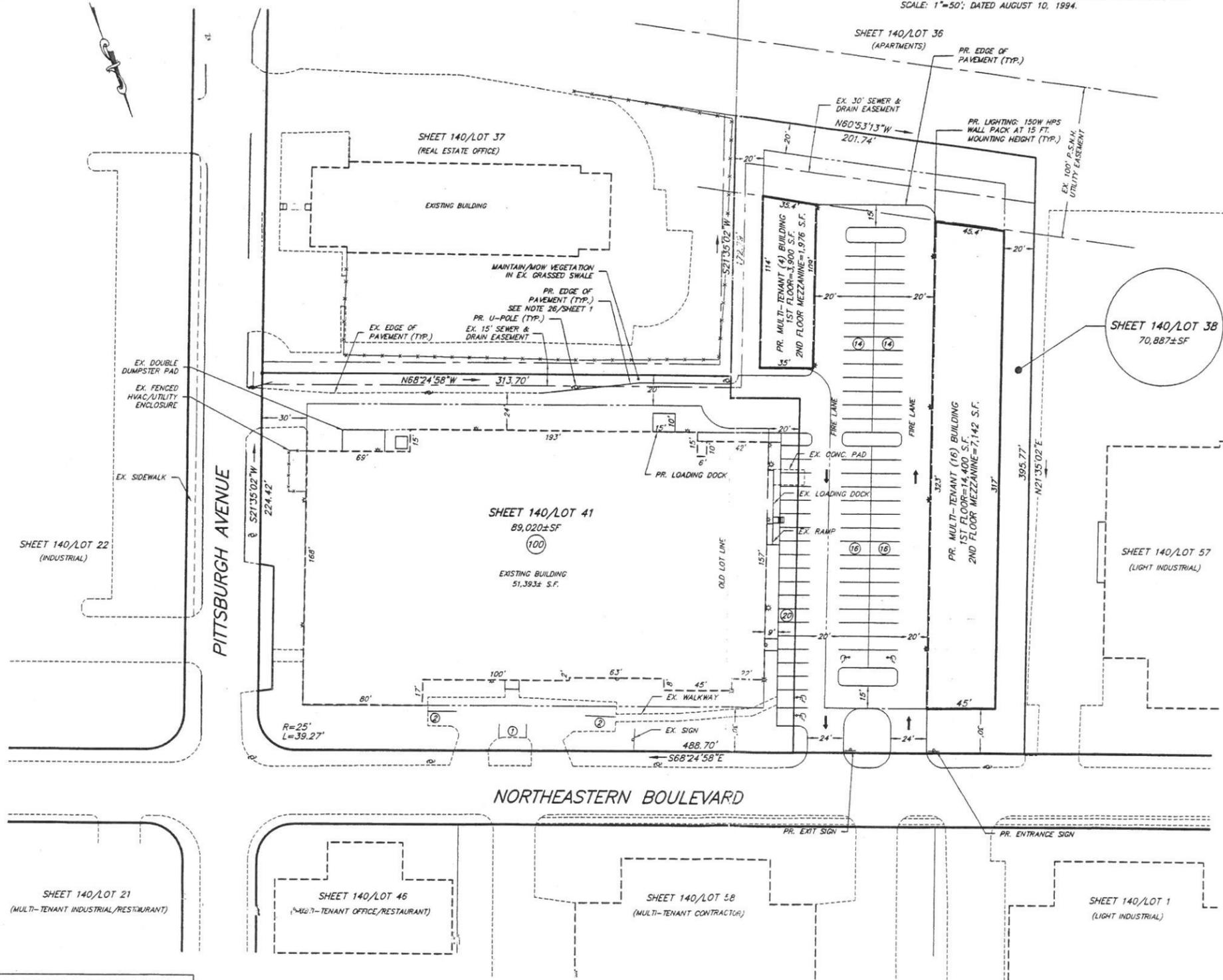
1987 TAMPOSI LIMITED PARTNERSHIP  
20 TRAFALGAR SQUARE, # U-602  
NASHUA, NEW HAMPSHIRE 03063  
(603) 883-2000

SCALE: 1" = 40'

DATE: JUNE 20, 2013



**Maynard & Paquette**  
Engineering Associates, LLC  
Consulting Engineers and Land Surveyors  
23 East Pearl Street, Nashua, N.H. 03060  
Phone: (603)883-8433 Fax: (603)883-7227



APPROVED BY THE CITY OF NASHUA PLANNING BOARD

SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_  
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

THE UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

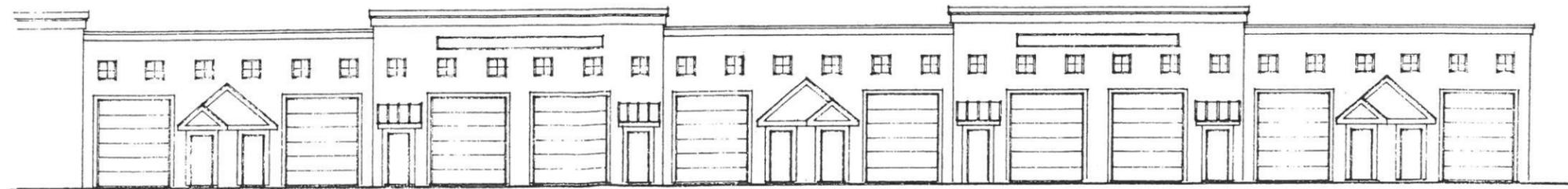
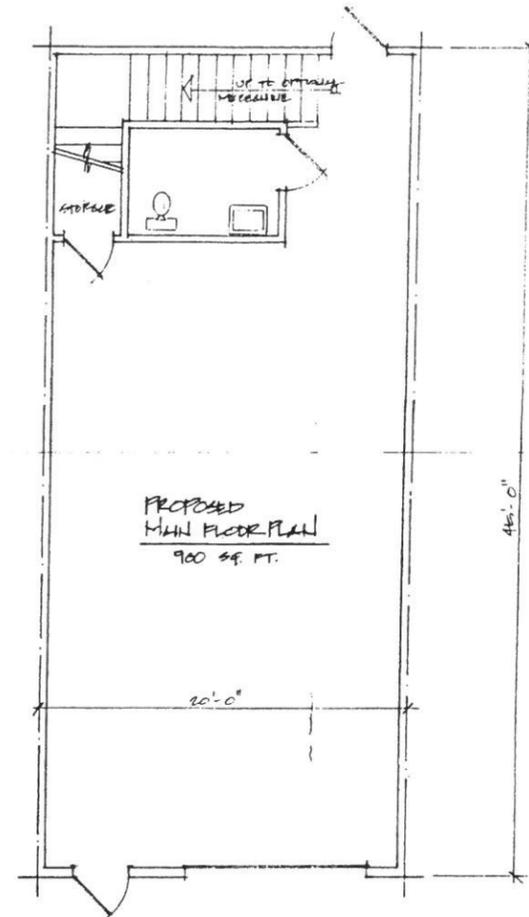
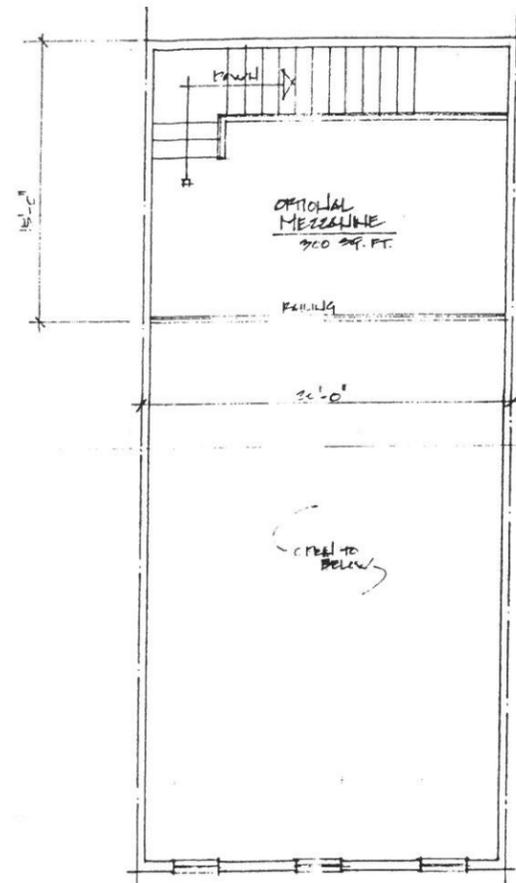
*Richard A. Maynard*  
AUTHORIZED REPRESENTATIVE  
1987 TAMPOSI LIMITED PARTNERSHIP

7/24/13  
DATE

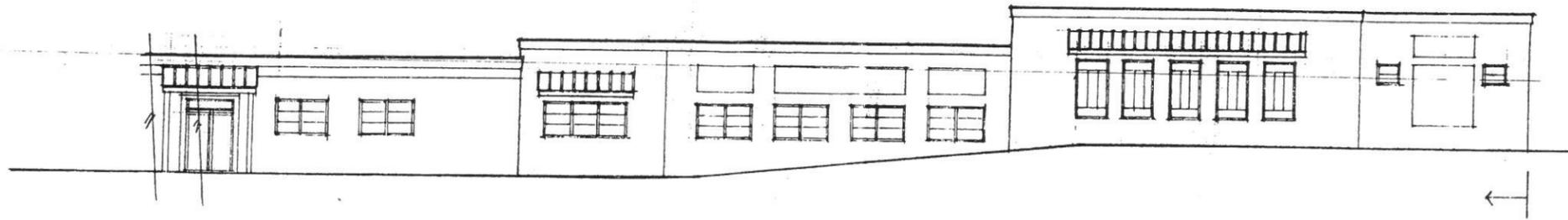
I CERTIFY THAT THIS PLAN WAS PREPARED FROM BOUNDARY INFORMATION SHOWN ON PLAN REFERENCES 1 & 2 AND A FIELD SURVEY MADE ON THE GROUND IN AUGUST 2011 HAVING A MAXIMUM ERROR OF CLOSURE OF 1:10,000.



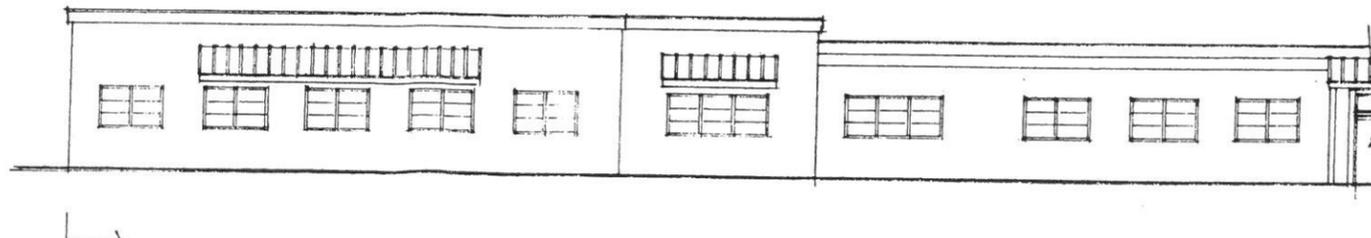
TCB	TCB	715-56	01	D	12249
DESIGNED	DRAFTED	CHECKED	APPROVED	BOOK & PAGE	REVISION SIZE JOB NUMBER



PROPOSED ELEVATION  
SCALE: 1/8" = 1'-0"



PARTIAL ELEVATION  
 SCALE: 1/8" = 1'-0"  
 EXISTING BUILDING



PARTIAL ELEVATION  
 SCALE: 1/8" = 1'-0"  
 EXISTING BUILDING

NASHUA CITY PLANING BOARD  
STAFF REPORT

TO: Nashua City Planning Board  
FROM: Scott McPhie, Planner 1  
FOR: October 6, 2016  
RE: **Old Business #5- Site Plan Amendment**

**I. Project Statistics:**

Owner: Fleetboston, c/o Bank of America (owner).  
Proposal: Site plan amendment to NR 523  
Location: 500 Amherst Street  
Total Site Area: 1.96 acres (85,229 square feet)  
Existing Zoning: HB-Highway Business  
Surrounding Uses: Residential, and Commercial

**II. Background Information:**

The Bank property is located on a corner lot and contains an early 1800's brick farmhouse and attached barn. The property was converted into a bank complex receiving site plan approval on March 18, 1976. A site plan amendment was granted on August 21, 2008 to show revised parking layout with associated access, drainage and site improvements.

**III. Project Description:**

The purpose of this plan is to seek a lighting waiver from § 190-89(A & C). The property is located in the HB- Highway Business District.

The applicant has requested a waiver from lighting requirement § 190-89(A & C) as they are unable to meet the off property light level and pole height requirements due to the compliance area abutting the property line at Deerwood Drive. A lighting design upgrade plan was created to meet the minimum ATM foot-candle requirements per the Bank's Security Guidelines for the safety and security of its customers visiting the Bank location during the hours of darkness. A detailed description of the proposed lighting structures to be added and those being replaced has been provided as part of the site plan amendment. City Staff has reviewed the plans; there are no outstanding issues.

**Staff Recommendations and Findings:**

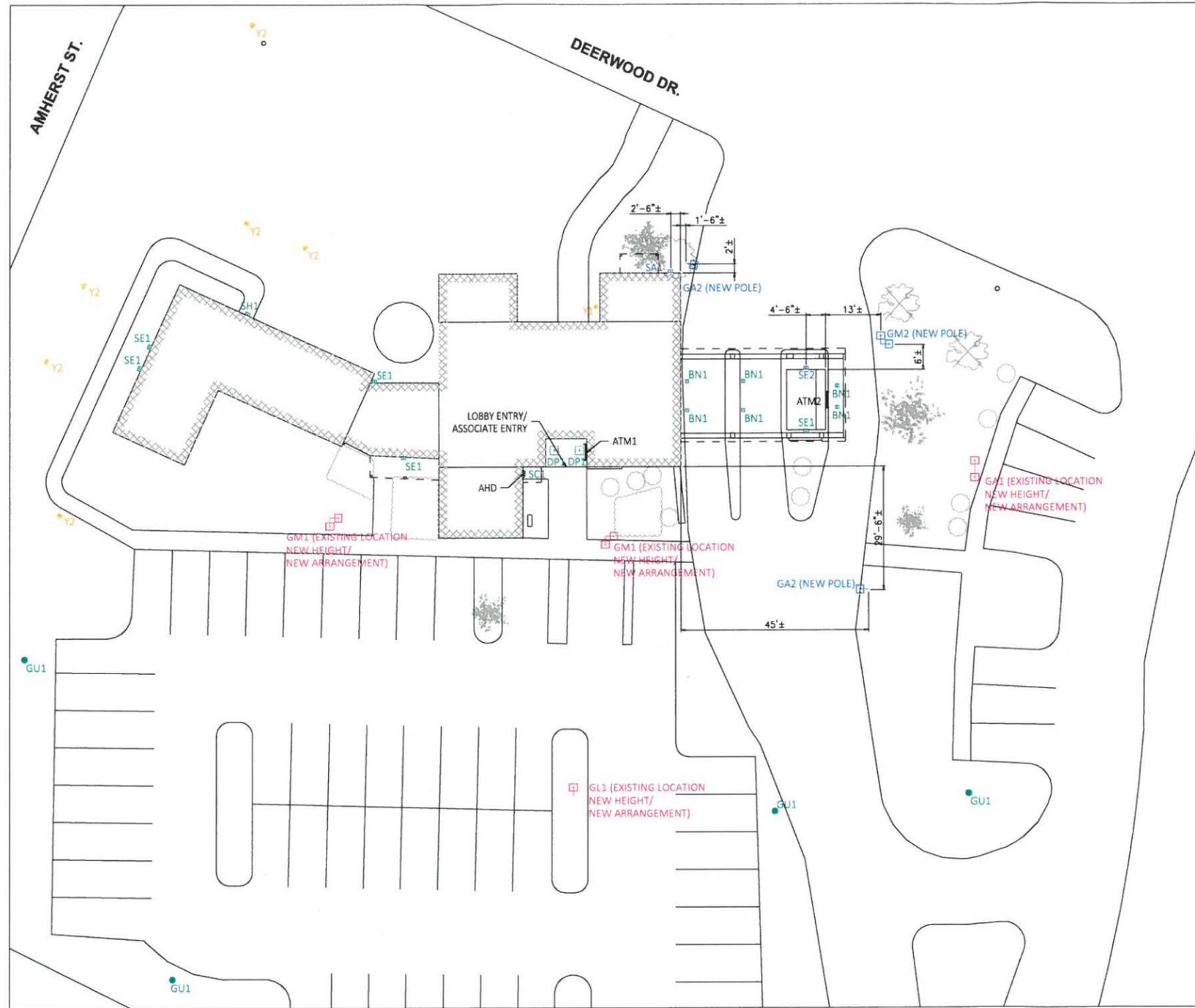
The Planning Board should make a determination that, the requirements outlined in the Site Plan NRO § 190-89(A) should or should not be waived. The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

1. The request for a waiver of § 190-89(A) , which requires Light levels shown at property lines, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. The request for a waiver of § 190-89 (C), which requires Pole heights shown, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
3. The request for a waiver of § 190-279 (G-K),(P-S),(U),(BB), (CC), and (EE) which are listed in the letter dated September 2, 2016, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
4. Any work within the right-of-way shall require a financial guarantee.
5. Prior to the Chair signing the plan, minor drafting corrections will be made.
6. All prior conditions of approval are incorporated here in.

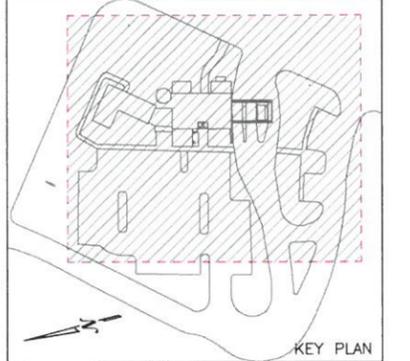




QTY	LABEL	NOTES	MOUNTING HEIGHT
6	BN1	REPLACE EXISTING FIXTURE	MATCH EXISTING
2	DP1	REPLACE EXISTING FIXTURE	MATCH EXISTING
1	GA1 (NH-A)	REMOVE EXISTING POLE AND FIXTURE - INSTALL NEW POLE AND FIXTURE AT NEW HEIGHT & NEW ARRANGEMENT	25' AFG
2	GA2 (NP)	ADD NEW POLE AND FIXTURE	25' AFG
1	GL1 (NH-A)	REMOVE EXISTING POLE AND FIXTURE - INSTALL NEW POLE AND FIXTURE AT NEW HEIGHT & NEW ARRANGEMENT	25' AFG
2	GM1 (NH-A)	REMOVE EXISTING POLE AND FIXTURE - INSTALL NEW POLE AND FIXTURE AT NEW HEIGHT & NEW ARRANGEMENT	25' AFG
1	GM2 (NP)	ADD NEW POLE AND FIXTURE	25' AFG
6	GU1	REPLACE EXISTING FIXTURE	MATCH EXISTING
1	SA1	ADD NEW FIXTURE	9' AFG
1	SC1	REPLACE EXISTING FIXTURE	MATCH EXISTING
5	SE1	REPLACE EXISTING FIXTURE	MATCH EXISTING
1	SE2	ADD NEW FIXTURE	7'-9" AFG
1	SH1	REPLACE EXISTING FIXTURE	MATCH EXISTING
5	R1	REMOVE AND PATCH	-
1	R2	REMOVE AND PATCH	-
1	R3	GC TO REQUEST THE BANK OR FACILITY PARTNER TO HAVE UTILITY FIXTURES REMOVED.	-
1	Y1	OUT OF SCOPE	-
6	Y2	OUT OF SCOPE	-



BLUE = NEW FIXTURE  
 GREEN = EXISTING FIXTURE LOCATION TO BE REPLACED  
 PINK = REPLACED WITH NEW POLE AT NEW HEIGHT AND/OR ARRANGEMENT  
 ORANGE = EXISTING FIXTURE TO REMAIN  
 TURQUOISE = FIXTURE TO BE REMOVED



KEY PLAN

**N. T. S.**  
**REVIEW AND APPROVAL SET**  
**IFP 2 160603**

REVISION NO.	DESCRIPTION	REVISED BY
1	REVISION XX	KFB



**Nashua - 500 Amherst St**  
**NH2-142**  
**500 Amherst St.**  
**Nashua, NH**

**DIMENSIONING PLAN**

DESIGN BY:	RMR	DRAWN BY:	CAO
REVIEWED BY:	MGB	APPROVED BY:	KFB

SHEET NO. **LU-5**

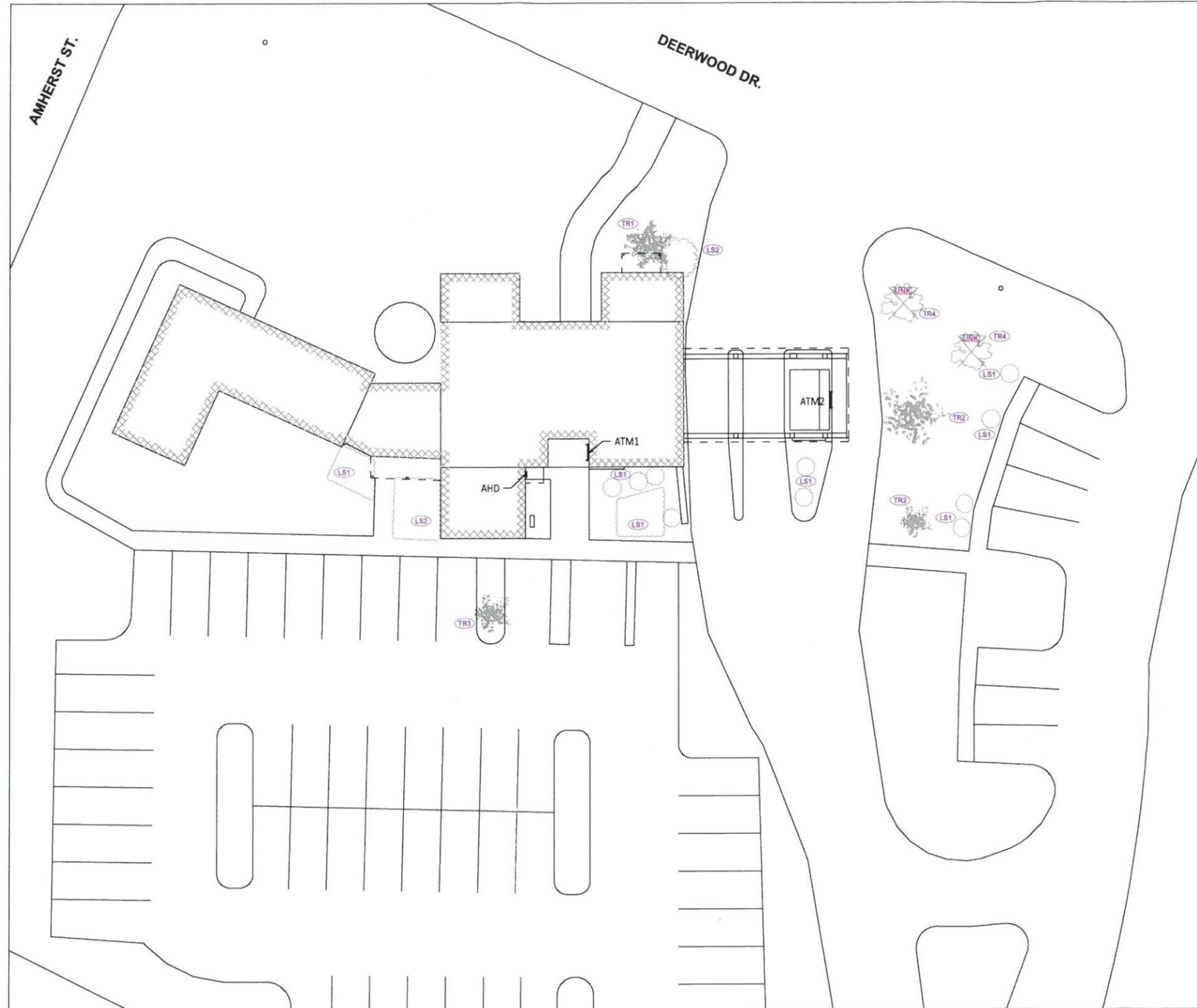
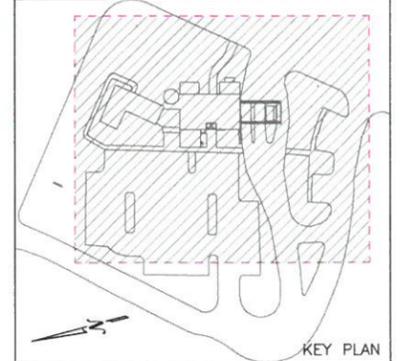
SITE NOTES:

NOTE: THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINARIES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER RELATED VARIABLE FIELD CONDITIONS.

I:\Projects\2015\20150501\20150501\_000\_Amherst\500Amherst\500Amherst.dwg, 11/11/2015, 1:11:18 PM, CAO, 1:11:18 PM, CAO



BLUE = NEW FIXTURE  
 GREEN = EXISTING FIXTURE LOCATION TO BE REPLACED  
 PINK = REPLACED WITH NEW POLE AT NEW HEIGHT AND/OR ARRANGEMENT  
 ORANGE = EXISTING FIXTURE TO REMAIN  
 TURQUOISE = FIXTURE TO BE REMOVED



**N. T. S.**  
**REVIEW AND APPROVAL SET**  
**IFP 2 160603**

REVISION NO.	DESCRIPTION	REVISOR
1	REVISED XX	KFB



**Nashua - 500 Amherst St**  
**NH2-142**  
**500 Amherst St.**  
**Nashua, NH**

**LANDSCAPING PLAN**

DESIGN BY:	RMR	DRAWN BY:	CAO
REVIEWED BY:	MGB	APPROVED BY:	KFB

SHEET NO. **LU-8**

LANDSCAPE SCHEDULE CM = CRAPE MYRTLE UNK = UNKNOWN

SYMBOL	QTY	NOTES
TR1	1	TRIM TREE AWAY FROM LIGHT FIXTURE TO ENSURE THAT IT DOES NOT INTERFERE WITH INTENDED ILLUMINATION
TR2	2	TRIM TREE UP TO 6' AND THIN OUT TREE CANOPY
TR3	1	TRIM TREE UP TO 5' AND THIN OUT TREE CANOPY
TR4	2	RELOCATE TREE OUTSIDE OF COMPLIANCE ZONE
LS1	-	TRIM LANDSCAPING DOWN TO 36"
LS2	-	REMOVE LANDSCAPING

**GC TO VERIFY WITH LOCAL AUTHORITY HAVING JURISDICTION ON TREE TRIMMING AND/OR REMOVAL PRIOR TO COMMENCING WORK**

NOTE: THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINARIES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER RELATED VARIABLE FIELD CONDITIONS.

I:\Projects\2016\160603\160603-01.dwg, 11/14/16, 11:45 AM, DWG, 1/1/16

Bank of America®



# LIGHTING PLAN

FOR

## BANK OF AMERICA

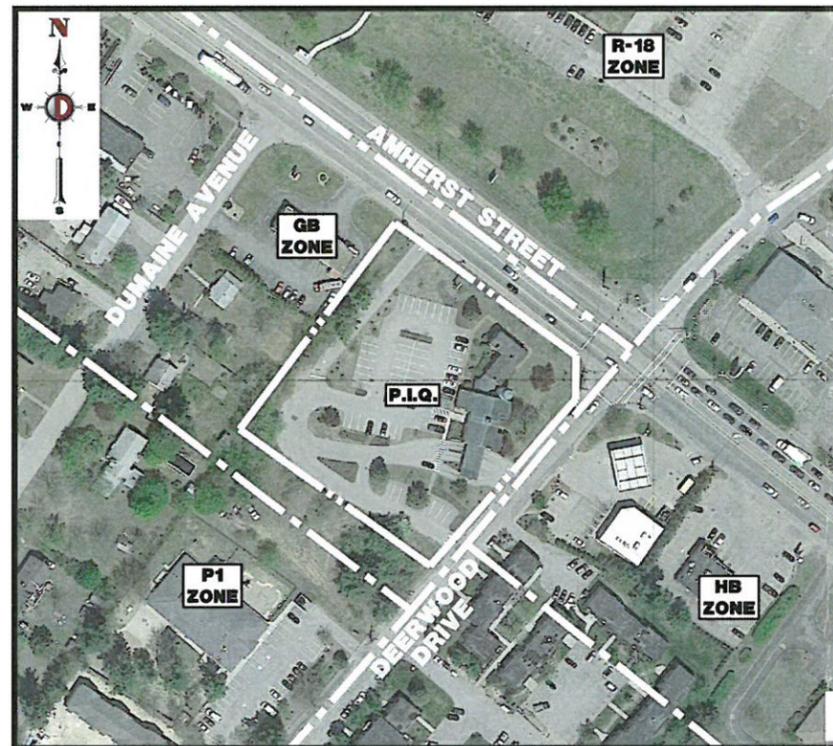
### c/o M. HOLLAND AND SONS CONSTRUCTION

PARCEL H-124

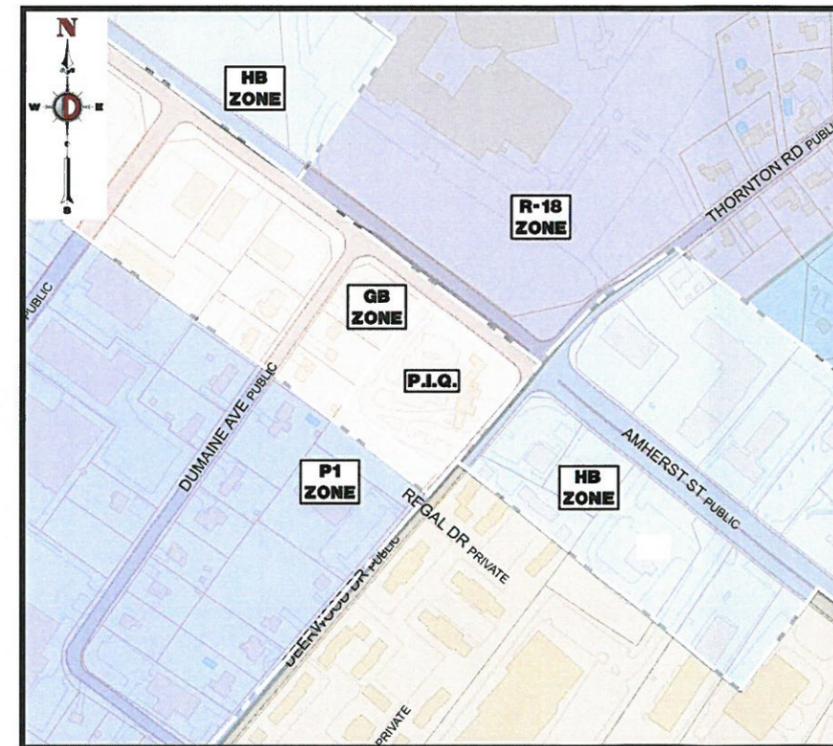
500 AMHERST STREET

CITY OF NASHUA

HILLSBOROUGH COUNTY, NEW HAMPSHIRE



**AREA MAP**  
1" = 100'



**ZONING MAP**  
1" = 200'

**OWNER/ APPLICANT CERTIFICATION**

THE UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

PROPERTY OWNER \_\_\_\_\_ DATE \_\_\_\_\_  
APPLICANT \_\_\_\_\_ DATE \_\_\_\_\_

**PLANNING BOARD APPROVAL**

APPROVED BY THE PLANNING BOARD OF CITY OF NASHUA, HILLSBOROUGH COUNTY, NEW HAMPSHIRE

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_  
SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

**GENERAL NOTES**

- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN IN ANY WAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
- FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
- PRIOR TO ANY WORK BEING CONDUCTED A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PLANNING STAFF AND OTHER CITY DEPARTMENTS AS NECESSARY TO REVIEW WORK PROPOSED.
- HOURS OF OPERATION INCLUDING WHEN SHIPMENTS ARE MADE AND DELIVERIES RECEIVED, OTHER SERVICES INVOLVING TRUCK TRAFFIC, AND REFUSE PICKUP, ARE 9 AM TO 4 PM. ATM IS 24 HOURS.

**DRAWING INDEX**

COVER SHEET	1 of 4
LIGHTING PLAN	2 of 4
LIGHTING DETAILS	3-4 of 4

PREPARED BY  
**DYNAMIC ENGINEERING CONSULTANTS, P.C.**  
790 NEWTOWN YARDLEY ROAD - SUITE 425  
NEWTOWN, PA 18940  
WWW.DYNAMICEC.COM

NEW HAMPSHIRE CERTIFICATION OF AUTHORIZATION #02142

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

**DYNAMIC ENGINEERING**  
LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING

1904 Main Street, Lanesboro, NJ 07718 | 1-732-974-0198 | F: 732-974-3321 | 245 Main Street, Suite 110, Chester, NJ 07930 | 908-879-9229 | F: 908-879-2222  
8 Rossiter Street, Suite 127, Nashua, NH 03073 | 781-874-0198 | F: 781-874-3021  
1301 Central Expressway South, Suite 210, Allen, TX 75013 | 817-224-2100 | 11627 Oakleaf Road, Suite 100, Houston, TX 77039 | 1-281-289-6400

TITLE: **COVER SHEET**

PROJECT: **BANK OF AMERICA LIGHTING UPGRADES**  
Bank of America  
BRANCH #NH2-142  
PARCEL H-124  
500 AMHERST STREET  
CITY OF NASHUA, HILLSBOROUGH COUNTY, NEW HAMPSHIRE

JOB No: 1978-99-001 | DATE: 09/02/2016  
DRAWN BY: AJW | SCALE: (H) AS SHOWN  
DESIGNED BY: GMR | SHEET No: 1 OF 4  
CHECKED BY: NES

**MARK A. WHITAKER** | **NEIL E. SANDER**

PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NO. 41417  
NEW HAMPSHIRE LICENSE NO. 23928  
FLORIDA LICENSE NO. 75148  
OHIO LICENSE NO. 32583

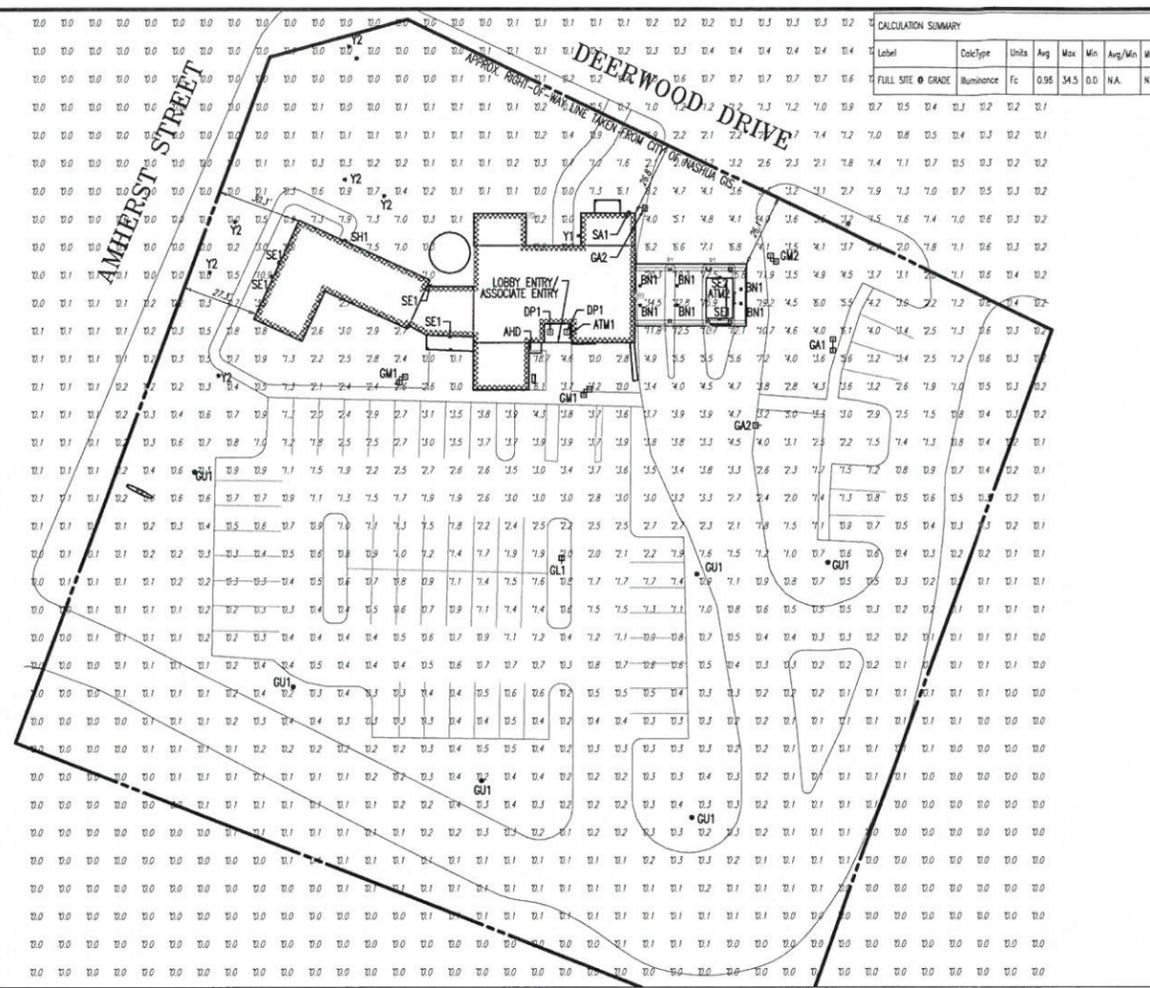
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NO. 41865  
PENNSYLVANIA LICENSE NO. 08891  
NEW YORK LICENSE NO. 47661  
MASSACHUSETTS LICENSE NO. 48843  
ILLINOIS LICENSE NO. 04821  
CALIFORNIA LICENSE NO. 68416  
NEW HAMPSHIRE LICENSE NO. 15061

CONSTRUCTION CHECK DATE \_\_\_\_\_  
CONSTRUCTION CHECK DATE \_\_\_\_\_

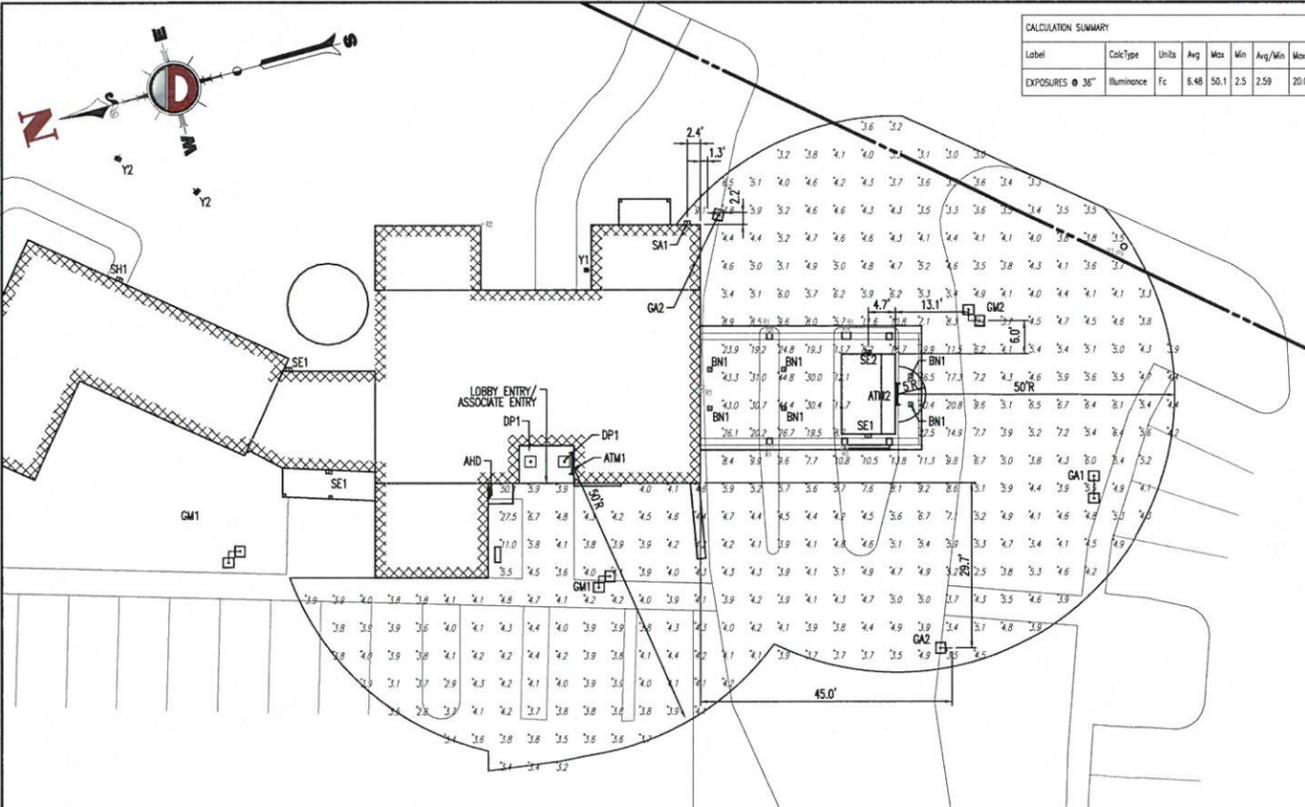
DEC Client Code: 1978 | Rev. # 0

Plotted: 09/02/16 - 1:53 PM By: mshewar - Product: Ver. 20.1s (LMS Tech) - File: P:\DEEPC PROJECTS\1978 The Holland Companies\Lighting Plans\0197869001\TKO.dwg -> 01 COVER

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY



OVERALL PHOTOMETRIC PLAN (NTS)



ATM PHOTOMETRIC PLAN (NTS)

Table with columns: Label, CalcType, Units, Avg, Max, Min, Avg/Min, Max/Min. Includes a 'FULL SITE @ GRADE' row with values for Illuminance, Fc, 0.95, 34.5, 0.0, N/A, N/A.

Table with columns: Label, CalcType, Units, Avg, Max, Min, Avg/Min, Max/Min. Includes a 'EXPOSURES @ 30°' row with values for Illuminance, Fc, 6.48, 50.1, 2.5, 2.59, 20.04.

LUMINAIRE SCHEDULE table with columns: SYMBOL, QTY, LABEL, FIXTURE ARRANGEMENT, TOTAL FIXTURE COUNT, NEW POLE COUNT, FIXTURE TYPE / MOUNTING / MANUFACTURER, MOUNTING HEIGHT, NOTES. Lists various fixture types like BN1, DP1, GA1, GM1, SA1, SE1, R1, R2, R3, Y1, Y2.

- GENERAL NOTES: 1. OWNER: BANK OF AMERICA... 2. APPLICANT: W. HOLLAND & SONS CONSTRUCTION... 3. PARCEL DATA... 4. BULK REGULATION REQUIREMENTS... 5. EXISTING CONDITIONS... 6. NO SOILS REPORT... 7. PRIOR TO STARTING CONSTRUCTION... 8. ALL WORK SHALL BE PERFORMED IN ACCORDANCE... 9. SITE CLEARING SHALL INCLUDE... 10. SOLID WASTE TO BE DISPOSED... 11. ALL EXCAVATED UNSATURABLE MATERIAL... 12. CONTRACTOR IS RESPONSIBLE... 13. NEITHER THE PROFESSIONAL ACTIVITIES... 14. DYNAMIC ENGINEERING CONSULTANTS... 15. DYNAMIC ENGINEERING CONSULTANTS... 16. IN AN EFFORT TO RESOLVE ANY CONFLICTS...

NEW HAMPSHIRE CERTIFICATION OF AUTHORIZATION #02142

Dynamic Engineering logo and contact information. Includes project details: PROJECT: BANK OF AMERICA LIGHTING UPGRADES, DRAWN BY: AJW, DESIGNED BY: GMR, CHECKED BY: NES. Includes professional engineer signatures for Mark A. Whitaker and Neil E. Sander.

GMR logo and contact information. Includes address: P.O. Box 645, Rockwall, Texas 75087. Website: www.gmr1.com. Phone: (972) 771-6038. Fax: (972) 722-2762.

Vertical text on the left margin: Product: Ver. 20.16 (LUS Tech) By: mshane@... 811 KNOW WHAT'S BELOW. CALL BEFORE YOU DIG.

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY

**CPY Series**  
CPY250™ LED Canopy/Soffit Luminaire

**TYPE BN**  
CPY250-A-DM-F-C-UL-XX-40K

**Product Description**  
The CPY250™ LED Canopy/Soffit Luminaire has an extremely rugged construction of rugged cast aluminum. It can be surface mounted directly from below the canopy shell and also has the ability to be pendant mounted on a hook or cord mounted. Direct lighting of the LED is achieved with a highly efficient patented fixture. 30° (20°) beam spread.

**Performance Summary**  
Made in the U.S.A. of U.S. and imported parts  
CR: Minimum 10 CR  
CCT: 4000K (+/- 300K) 3700K (+/- 300K)  
Limited Warranty: 10 years on luminaire/10 years on Component/Defective/Finish

**Accessories**  
Flat Lens  
Drop Lens

**Ordering Information**

Product	Version	Mounting	Optic	Color	Options
CPY250	A	DM	F	40K	XX

**CREE**

**ZR Series**  
ZR22™ - 2x2 LED Troffer

**TYPE DP**  
ZR22-32L-40K-10V (LED 2x2)

**Product Description**  
The ZR22™ LED troffer luminaire features 3200 lumens of superior 30° LED light quality and is perfect for both new construction and renovation. Powered by Cree® technology, the slim and lightweight ZR22™ LED troffer is based on an efficient up to 150 LPW along with 0-10V dimming to meet your energy needs. The ZR22™ LED troffer embodies a breakthrough in lighting energy savings, visual comfort, and initial cost.

**Performance Summary**  
UL94 V-0 Fire Retardant  
Efficiency: 90-130 LPW  
Delivered Light Output: 3200 lumens  
Input Power: 21-25 watts  
CCT: 3000K, 4000K  
Input Voltage: 120-277 VAC or 347 VAC  
Limited Warranty: 10 years  
Controls: 0-10V dimming to 100%  
Mounting: Accessory  
Lifetime: Designed to last from 75,000 hours L70 (Standard), 100,000 hours L70 (C)

**Accessories**  
Grid Mount

**Ordering Information**

Product	Version	Mounting	Optic	Color	Options
ZR22	A	DM	F	40K	XX

**CREE**

**OSQ Series**  
LED Area/Flood Luminaire - Medium

**TYPE GA**  
OSQ-DA-XX+OSQ-A-NM-4M-A-40K-UL-XX

**Product Description**  
The OSQ™ Area/Flood luminaire boasts extreme optical control, advanced thermal management and features, clear aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weatherlight LED driver compartment. Versatile mounting configurations offer simple installation to slim, low profile design. Versatile mounting configurations offer simple installation to slim, low profile design. Versatile mounting configurations offer simple installation to slim, low profile design.

**Performance Summary**  
UL94 V-0 Fire Retardant  
Efficiency: 90-130 LPW  
Delivered Light Output: 3200 lumens  
Input Power: 21-25 watts  
CCT: 3000K, 4000K  
Input Voltage: 120-277 VAC or 347 VAC  
Limited Warranty: 10 years on luminaire/10 years on Component/Defective/Finish

**Accessories**  
Grid Mount

**Ordering Information**

Product	Version	Mounting	Optic	Color	Options
OSQ	A	DM	F	40K	XX

**CREE**

**OSQ Series**  
LED Area/Flood Luminaire - Medium

**TYPE GL**  
OSQ-DA-XX+OSQ-A-NM-5SH-A-40K-UL-XX

**Product Description**  
The OSQ™ Area/Flood luminaire boasts extreme optical control, advanced thermal management and features, clear aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weatherlight LED driver compartment. Versatile mounting configurations offer simple installation to slim, low profile design. Versatile mounting configurations offer simple installation to slim, low profile design.

**Performance Summary**  
UL94 V-0 Fire Retardant  
Efficiency: 90-130 LPW  
Delivered Light Output: 3200 lumens  
Input Power: 21-25 watts  
CCT: 3000K, 4000K  
Input Voltage: 120-277 VAC or 347 VAC  
Limited Warranty: 10 years on luminaire/10 years on Component/Defective/Finish

**Accessories**  
Grid Mount

**Ordering Information**

Product	Version	Mounting	Optic	Color	Options
OSQ	A	DM	F	40K	XX

**CREE**

**OSQ Series**  
LED Area/Flood Luminaire - Medium

**TYPE GM**  
OSQ-DA-XX+OSQ-A-NM-5SH-J-40K-UL-XX

**Product Description**  
The OSQ™ Area/Flood luminaire boasts extreme optical control, advanced thermal management and features, clear aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weatherlight LED driver compartment. Versatile mounting configurations offer simple installation to slim, low profile design. Versatile mounting configurations offer simple installation to slim, low profile design.

**Performance Summary**  
UL94 V-0 Fire Retardant  
Efficiency: 90-130 LPW  
Delivered Light Output: 3200 lumens  
Input Power: 21-25 watts  
CCT: 3000K, 4000K  
Input Voltage: 120-277 VAC or 347 VAC  
Limited Warranty: 10 years on luminaire/10 years on Component/Defective/Finish

**Accessories**  
Grid Mount

**Ordering Information**

Product	Version	Mounting	Optic	Color	Options
OSQ	A	DM	F	40K	XX

**CREE**

BN1 CANOPY MOUNT LIGHT DETAIL NOT TO SCALE

DP1 CANOPY MOUNT LIGHT DETAIL NOT TO SCALE

GA1 (NH-A) & GA2 (NP) POLE MOUNT LIGHTS DETAIL NOT TO SCALE

GL1 (NH-A) POLE MOUNT LIGHT DETAIL NOT TO SCALE

GM1 (NH-A) & GM2 (NP) POLE MOUNT LIGHTS DETAIL NOT TO SCALE

**DPT Series**  
LED Decorative Pole Top Luminaire

**TYPE GU**  
DPT-A-SB-FR-A-40K-UL-F

**Product Description**  
Start your outdoor lighting with a luminaire that is both decorative and functional. The DPT Series is a decorative luminaire that is both decorative and functional. The DPT Series is a decorative luminaire that is both decorative and functional.

**Performance Summary**  
UL94 V-0 Fire Retardant  
Efficiency: 90-130 LPW  
Delivered Light Output: 3200 lumens  
Input Power: 21-25 watts  
CCT: 3000K, 4000K  
Input Voltage: 120-277 VAC or 347 VAC  
Limited Warranty: 10 years on luminaire

**Accessories**  
Grid Mount

**Ordering Information**

Product	Version	Mounting	Optic	Color	Options
DPT	A	DM	F	40K	XX

**CREE**

**SEC-EDG-2S/2SB-WM**  
Cree Edge™ Security Wall Pack Luminaire - Type I Short - Wall Mount

**TYPE SA**  
SEC-EDG-2S-WM-02-E-UL-XX-350-40K

**Product Description**  
The SEC-EDG-2S/2SB-WM luminaire is a wall pack luminaire that is both decorative and functional. The SEC-EDG-2S/2SB-WM luminaire is a wall pack luminaire that is both decorative and functional.

**Performance Summary**  
UL94 V-0 Fire Retardant  
Efficiency: 90-130 LPW  
Delivered Light Output: 3200 lumens  
Input Power: 21-25 watts  
CCT: 3000K, 4000K  
Input Voltage: 120-277 VAC or 347 VAC  
Limited Warranty: 10 years on luminaire

**Accessories**  
Grid Mount

**Ordering Information**

Product	Version	Mounting	Optic	Color	Options
SEC-EDG	2S	WM	02	E	XX

**CREE**

**CONTRACTOR RESPONSIBILITY NOTES: CONTROLS & ADDITIONAL NOTES:**

- CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITTING, INCLUDING COORDINATION WITH THE LOCAL JURISDICTION AND ANY ASSOCIATED PERMIT FEES OR PROCESSING. CONTRACTOR SHALL NOTIFY GMR UPON RECEIPT OF PERMIT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITTING DOCUMENTS THAT ARE NOT INCLUDED IN THE LIGHTING DESIGN PACKAGE. THESE INCLUDE, BUT ARE NOT LIMITED TO, STAMPED ELECTRICAL DRAWINGS, STAMPED POLE BASE DRAWINGS, AND PROFESSIONAL SURVEYS.
- SHOULD STAMPED PHOTOGRAPHIC DRAWINGS BE REQUIRED, CONTRACTOR SHALL ENGAGE LOCAL ENGINEER OR LIGHTING DESIGNER AS REQUIRED TO PROVIDE STAMP ON GMR PHOTOGRAPHIC DESIGN DOCUMENTS.
- CONTRACTOR SHALL PROVIDE THE BANKING CENTER NOTIFICATION AT LEAST ONE WEEK IN ADVANCE OF VISITING SITES OR STARTING WORK.
- CONTRACTOR SHALL VERIFY VOLTAGE REQUIREMENTS FOR FIXTURES PRIOR TO PLACEMENT OF FIXTURES.
- CONTRACTOR TO VERIFY LIGHTING CONTROLS PRIOR TO BEGINNING CONSTRUCTION. SEE LIGHTING CONTROL NOTES.
- CONTRACTOR SHALL RECEIVE FORMAL APPROVAL FROM GMR ON ANY FIXTURE MODIFICATIONS OR VARIATIONS FROM THE LUMINAIRE SCHEDULE.
- CONTRACTOR SHALL VERIFY EXISTING AND PROPOSED FIXTURE MOUNTING CONDITIONS IN FIELD. ANY SPECIAL MOUNTING HARDWARE NEEDED FOR PROPOSED FIXTURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL SUPPLY ALL NEW LIGHT POLES. NEW LIGHT POLES SHALL MATCH EXISTING CONDITIONS ON SITE FOR POLE TYPE AND PAINT COLOR.
- CONTRACTOR SHALL VERIFY AND DOCUMENT COMPLETED WORK DURING NIGHT HOURS. ALL FIXTURES MUST BE FUNCTIONAL DURING NIGHT HOURS PRIOR TO SCHEDULING A FINAL SURVEY WITH GMR.
- CONTRACTOR SHALL PERFORM ALL NECESSARY PATCHING OR REPAIRING FOR ADDED, REMOVED, OR REPLACED FIXTURES.
- CONTRACTOR SHALL REPAIR ANY DISTURBED AREAS BACK TO EXISTING CONDITION INCLUDING PAVED AREAS, LANDSCAPED AREAS, ETC.
- CONTRACTOR SHALL VERIFY AND DOCUMENT COMPLETED WORK DURING NIGHT HOURS. ALL FIXTURES MUST BE FUNCTIONAL DURING NIGHT HOURS PRIOR TO SCHEDULING A FINAL SURVEY WITH GMR.
- CONTRACTOR SHALL UTILIZE THE "SOA HELP INCENTIVE SITE SURVEY FORM" TO DOCUMENT THE EXACT DETAILS OF EACH FIXTURE BEING REMOVED FOR REBATE AND ENERGY SAVINGS CALCULATION PURPOSES.
- CONTRACTOR SHALL RECEIVE A PUNCHLIST FROM GMR UPON FINAL SURVEY FOR ANY REMAINING ITEMS TO BE COMPLETED.

**LIGHTING CONTROL NOTES:**  
THE CONTRACTOR SHALL VERIFY THE CONTROLS FOR ALL EXTERIOR LIGHTING ON THE SITE (EXCLUDING SONAEQ) AND ADJUST ACCORDING TO THE FOLLOWING:

- IC3 CONTROL: CONTRACTOR SHALL VERIFY THAT EXTERIOR LIGHTING CIRCUITS ARE CONTROLLED BY THE CORRECT IC3 CIRCUIT. WHERE EXTERIOR LIGHTING IS INCLUDED ON CONTRACTOR CIRCUITS FOR INTERIOR SYSTEMS, INTERIOR LIGHTING, OR EXTERIOR SONAEQ, CONTRACTOR SHALL ADJUST EXTERIOR LIGHTING TO THE CORRECT CONTROL CIRCUIT AS REQUIRED.
- PHOTOCLOCK CONTROL: CONTRACTOR SHALL REPLACE EXISTING PHOTOCLOCKS WITH NEW AND INSTALL IN A LOCATION BEST SUITED TO PROVIDE APPROPRIATE LIGHT EXPOSURE SUCH THAT EXTERIOR LIGHTS ARE ON DURING DARKNESS.
- TIME CLOCK CONTROL: CONTRACTOR SHALL VERIFY LOCATION OF THE CLOCK. IF THE CLOCK IS IN ELECTRICAL ROOM ALONG WITH IC3 CONTROLS, CONTRACTOR SHALL ADJUST CIRCUIT TO BE CONTROLLED BY IC3 EXTERIOR LIGHTING CONTROLS. IF THE CLOCK IS IN A REMOTE LOCATION NOT IN CLOSE PROXIMITY TO THE IC3 CONTROLS, CONTRACTOR SHALL VERIFY TIME CLOCK IS SET PROPERLY AND LEAVE CIRCUIT ON TIME CLOCK CONTROL.
- MANUAL CONTROL: CONTRACTOR SHALL VERIFY THAT NO EXTERIOR LIGHTING IS CONTROLLED MANUALLY. IF ANY EXTERIOR LIGHTING IS ON A MANUALLY CONTROLLED CIRCUIT, CONTRACTOR SHALL ADJUST TO BE CONTROLLED BY PHOTOCLOCK OR IC3, WHICHEVER IS MOST ECONOMICALLY ACCOMPLISHED.

**ADDITIONAL CONTRACTOR NOTES:**  
CONSTRUCTION COMPLETION VERIFICATION  
UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROVIDE VERIFICATION IN WRITING TO THE BANK OF AMERICA P.M. THAT ALL WORK IS COMPLETE ACCORDING TO THE CONSTRUCTION DOCUMENTS, AND THAT ALL EXTERIOR LIGHTING IS FUNCTIONING DURING NIGHTTIME HOURS. COMPLETION PHOTOS, TAKEN AT NIGHT, SHALL BE PROVIDED IN THE FOLLOWING FORMAT:

- PROVIDE A SINGLE DOCUMENT CONTAINING THE FOLLOWING:
  - SITE PHOTOS FROM ALL SIDES OF BUILDING
  - MINIMUM OF 3 PHOTOS OF EACH COMPLIANCE AREA (ATMS), NIGHT DROP, ASSOCIATE ENTRY) FROM DIFFERENT ANGLES
  - MINIMUM OF 2 PHOTOS OF ALL NON-COMPLIANCE AREAS FROM DIFFERENT ANGLES

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**Bank of America**

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Newport, PA 15086  
T: 717.865.0276  
F: 717.865.0261  
www.dynamiceng.com

**NEW HAMPSHIRE CERTIFICATION OF AUTHORIZATION #02142**

**THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION**

**DYNAMIC ENGINEERING**  
1504 Main Street, Suite 200, Concord, NH 03301  
731.737.0100  
1331 Central Expressway South, Suite 210, Albany, NY 12203  
518.732.2420

**PROJECT: BANK OF AMERICA LIGHTING UPGRADES**  
BRANCH #112-142  
500 AMHERST STREET  
CITY OF NASHUA, HILLSBOROUGH COUNTY, NEW HAMPSHIRE

**MARK A. WHITAKER**  
PROFESSIONAL ENGINEER  
NEW HAMPSHIRE LICENSE NO. 41147  
NEW JERSEY LICENSE NO. 12626  
ILLINOIS LICENSE NO. 082831  
CALIFORNIA LICENSE NO. 92425  
NEW HAMPSHIRE LICENSE NO. 12681

**NEIL E. SANDER**  
PROFESSIONAL ENGINEER  
NEW HAMPSHIRE LICENSE NO. 48864  
NEW JERSEY LICENSE NO. 108591  
MASSACHUSETTS LICENSE NO. 46043  
ILLINOIS LICENSE NO. 14217  
CALIFORNIA LICENSE NO. 92425  
NEW HAMPSHIRE LICENSE NO. 12681

**LIGHTING DETAILS**  
JOB No: 1978-99-001  
DATE: 09/02/2016  
DRAWN BY: AJW  
DESIGNED BY: GMR  
CHECKED BY: NES  
SHEET No: 3 OF 4

**CONSTRUCTION CHECK**  
DATE: \_\_\_\_\_  
DATE: \_\_\_\_\_  
DATE: \_\_\_\_\_

DEC Client Code: 1978 Rev: 0

Printed: 09/02/16 3:47 PM. By: mhauser. Product Ver.: 20.15 (LUS Tech). File: P:\SECPC\_PROD\1978 The Island Compounds\19-001 Lighting Plans\019789900100.dwg. --> 03 DETAILS

**THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY**

**SEC-EDG-2S/2SB-WM TYPE SC**  
Cree Edge™ Security Wall Pack Luminaire - Type II Short - Wall Mount

**SEC-EDG-2S-WM-02-E-UL-XX-700-40K**

**Product Description**  
Slim, low profile design. Luminaire also can be rugged die cast aluminum with integral, weatherlight LED driver compartments and high performance aluminum heat sink specifically designed for LED applications. Housing is rugged aluminum. Furnished with low voltage lightweight mounting box designed for installation over standard and most long hanging eaves. Secure to wall with four 3/8" (9.5mm) screws (by others). Conduit entry from top, bottom, sides and rear. Allow mounting for uplight or downlight. Designed and approved for easy through wiring. Includes wall / pole a guard.

**Performance Summary**  
Utilizes BetaLED™ Technology  
Patented NanoDie™ Product Technology  
Made in the USA of U.S. and imported parts  
CEC Minimum T0.04  
CCT: 5700K (+/- 500K) Standard, 4000K (+/- 300K)  
Limited Warranty: 10 years on luminaire / 10 years on Colorfast DataGuard™ finish

**Accessories**  
AA BR03PM  
End Cap

**Ordering Information**  
Example: SEC-EDG-2S-WM-02-E-UL-XX-700-40K  
SEC-EDG 2S WM 02 E UL XX 700 40K

**LED Chart (mm)**  
Dim: 14"  
C2 8" (203mm)  
C4 10" (254mm)  
C6 12" (305mm)  
C8 14" (356mm)  
C10 16" (406mm)  
C12 18" (457mm)

**SC1 WALL MOUNT LIGHT DETAIL**  
NOT TO SCALE

**SEC-EDG-3M/3MB-WM TYPE SE**  
Cree Edge™ Security Wall Pack Luminaire - Type II Medium - Wall Mount

**SEC-EDG-3M-WM-02-E-UL-XX-350-40K**

**Product Description**  
Slim, low profile design. Luminaire also can be rugged die cast aluminum with integral, weatherlight LED driver compartments and high performance aluminum heat sink specifically designed for LED applications. Housing is rugged aluminum. Furnished with low voltage lightweight mounting box designed for installation over standard and most long hanging eaves. Secure to wall with four 3/8" (9.5mm) screws (by others). Conduit entry from top, bottom, sides and rear. Allow mounting for uplight or downlight. Designed and approved for easy through wiring. Includes wall / pole a guard.

**Performance Summary**  
Utilizes BetaLED™ Technology  
Patented NanoDie™ Product Technology  
Made in the USA of U.S. and imported parts  
CEC Minimum T0.04  
CCT: 5700K (+/- 500K) Standard, 4000K (+/- 300K)  
Limited Warranty: 10 years on luminaire / 10 years on Colorfast DataGuard™ finish

**Accessories**  
AA BR03PM  
End Cap

**Ordering Information**  
Example: SEC-EDG-3M-WM-02-E-UL-XX-350-40K  
SEC-EDG 3M WM 02 E UL XX 350 40K

**LED Chart (mm)**  
Dim: 14"  
C2 8" (203mm)  
C4 10" (254mm)  
C6 12" (305mm)  
C8 14" (356mm)  
C10 16" (406mm)  
C12 18" (457mm)

**SE1 & SE2 WALL MOUNT LIGHTS DETAIL**  
NOT TO SCALE

**SEC-EDG-4M/4MB-WM TYPE SH**  
Cree Edge™ Security Wall Pack Luminaire - Type II Medium - Wall Mount

**SEC-EDG-4M-WM-02-E-UL-XX-350-40K**

**Product Description**  
Slim, low profile design. Luminaire also can be rugged die cast aluminum with integral, weatherlight LED driver compartments and high performance aluminum heat sink specifically designed for LED applications. Housing is rugged aluminum. Furnished with low voltage lightweight mounting box designed for installation over standard and most long hanging eaves. Secure to wall with four 3/8" (9.5mm) screws (by others). Conduit entry from top, bottom, sides and rear. Allow mounting for uplight or downlight. Designed and approved for easy through wiring. Includes wall / pole a guard.

**Performance Summary**  
Utilizes BetaLED™ Technology  
Patented NanoDie™ Product Technology  
Made in the USA of U.S. and imported parts  
CEC Minimum T0.04  
CCT: 5700K (+/- 500K) Standard, 4000K (+/- 300K)  
Limited Warranty: 10 years on luminaire / 10 years on Colorfast DataGuard™ finish

**Accessories**  
AA BR03PM  
End Cap

**Ordering Information**  
Example: SEC-EDG-4M-WM-02-E-UL-XX-350-40K  
SEC-EDG 4M WM 02 E UL XX 350 40K

**LED Chart (mm)**  
Dim: 14"  
C2 8" (203mm)  
C4 10" (254mm)  
C6 12" (305mm)  
C8 14" (356mm)  
C10 16" (406mm)  
C12 18" (457mm)

**SH1 WALL MOUNT LIGHTS DETAIL**  
NOT TO SCALE

**AREA LIGHT DETAIL**  
NOT TO SCALE

**Light Pole Foundation Schedule**

Mounting Height Above Grade "X"	25'
Pole Dia. "D"	6" Square (or per manufacturer)
# of Fixtures	Single or Double

**Notes:**  
1. CONTRACTOR TO CONFIRM ALL LIGHT POLE & FIXTURE DIMENSIONS PRIOR TO CONSTRUCTION.  
2. PROPOSED POLE IN COMBINATION WITH CONCRETE PEDESTAL TO EQUAL MOUNTING HEIGHT "X", ACTUAL POLE HEIGHT TO BE ADJUSTED ACCORDINGLY.  
3. PROPOSED CONCRETE FOUNDATION AND POLE TO BE CONSTRUCTED WITHIN SUBJECT PROPERTY UNLESS OTHERWISE NOTED. SETBACK FROM CURB IS PREFERRED BUT TO BE ADJUSTED AS NEEDED TO PREVENT ENCRoACHMENT OVER PROPERTY LINE.

**SOIL NOTES**  
1. FOOTING DESIGN BASED ON ASSUMED MAXIMUM ALLOWABLE SOILS BEARING CAPACITY OF 3,000 PSF. CONTRACTOR RESPONSIBLE TO VERIFY ADEQUACY OF ASSUMED BEARING CAPACITY PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED IF INCONSISTENCIES EXIST.  
2. SUBGRADE TO BE FREE OF ORGANICS AND BE STABLE, COMPACTED MATERIAL.

**CONCRETE NOTES**  
1. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS WITH A MINIMUM CEMENT CONTENT OF 600 POUNDS PER CUBIC YARD FOR ALL FOOTINGS.  
2. ALL CONCRETE SHALL HAVE A SLUMP OF NO GREATER THAN 4" TO WITHIN A TOLERANCE OF 1".  
3. ALL EXPOSED CONCRETE SHALL BE AIR-ENTRAINED (WITHIN 1% TOLERANCE), CONFORMING TO ASTM C620.  
4. REINFORCING FRAMEWORK AND PLACEMENT OF CONCRETE SHALL COMPLY WITH GOOD CONSTRUCTION PRACTICES AND BE IN ACCORDANCE WITH ALL LOCAL GOVERNING CODES AND REGULATIONS AS WELL AS THE ACI AND UNIFORM BUILDING CODE.

Project: 09/02/16 - 3x7 PM - By: mchambers - Product: New 2016 (US Pack)  
 File: P:\BEGC-PROJECTS\1978 The Holland Companies\1978-001\_Holland\_MH\Draw\Lighting\_Plan\01978B9001000.dwg -> 04 - DETAILS

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790 Newsum Yardley Road, Suite 425  
Newport, PA 15846  
T: 207 665 0276  
F: 207 665 0261  
www.dynamiceng.com

**TITLE: LIGHTING DETAILS**

PROJECT: **BANK OF AMERICA LIGHTING UPGRADES**  
BRANCH #142-142  
PARCEL H-124  
500 AMHERST STREET  
CITY OF NASHUA, HILLSBOROUGH COUNTY, NEW HAMPSHIRE

JOB No: 1978-99-001  
DATE: 09/02/2016  
DRAWN BY: AJW  
SCALE: (H) AS SHOWN  
DESIGNED BY: GMR  
CHECKED BY: NES  
SHEET No: 4 OF 4

MARK A. WHITAKER  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NO. 41417  
NEW HAMPSHIRE LICENSE NO. 13628  
FLORIDA LICENSE NO. 7148  
CALIFORNIA LICENSE NO. 36283

NEIL E. SANDER  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NO. 41417  
NEW HAMPSHIRE LICENSE NO. 13628  
FLORIDA LICENSE NO. 7148  
CALIFORNIA LICENSE NO. 36283

CONSTRUCTION CHECK DATE  
CONSTRUCTION CHECK DATE

DEC Client Code: 1978 Rev. # 0

NASHUA CITY PLANNING BOARD  
STAFF REPORT

TO: Nashua City Planning Board  
FROM: Linda Panny, Deputy Planning Manager/Development  
FOR: October 6, 2016  
RE: **New Business #7– Site Plan**

**I. Project Statistics:**

Owner: City of Nashua  
Applicant: Renaissance Downtowns at Nashua, LLC  
Proposal: Site plan for mixed use development  
Location: 62 & 70 Bridge Street  
Total Site Area: 9.63 acres  
Existing Zoning: GI/MU-General Industrial/Mixed Use  
Surrounding Uses: Industrial, commercial, residential

**II. Background Information:**

The site is located at the confluence of the Merrimack and Nashua Rivers and the City has owned the subject property since the 1940s. In 1947, a flood control levee was constructed along this section of the Merrimack. Over the years, other public infrastructure has been built on the property, including a sewer pump station, a flood control emergency overflow basin, a cell tower, and a recreational facility.

A plan for redevelopment of the site was approved by the Planning Board on May 2, 2013 and on August 7, 2014 the plan came before the board due to some minor modifications. On November 19, 2015 the plan came before the board for re-approval of the site plan to construct 228 units, a restaurant and a community center. On January 14, 2016 a proposed consolidation and subdivision was approved by the board for this site. On February 18, 2016 the board approved changes to the plan to show the phasing as the City and applicant worked with the Army Corps of Engineers (ACOE) regarding the 408 permit for the levee (see attached staff reports and notice of decisions).

**III. Project Description:**

The current proposal is to show some changes to the site plan since the last approval after discussion with the City and ACOE regarding the 408 permit for the levee. Phase I includes the construction of Buildings A, B, D & E with associated parking, utilities, grading, drainage, lighting, landscaping and stormwater management. Phase II consists of construction of Building C with associated parking, utilities, drainage, grading, lighting, landscaping and stormwater management and is contingent on the approval of removing the emergency overflow basin by ACOE and the City.

### **Staff Recommendations and Findings:**

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

1. The request for a waiver of § 190-193, which sets minimum dimensional requirements for parking spaces, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. The request for a waiver of § 190-199, which sets minimum dimensional requirements for loading spaces, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
3. The request for a waiver of § 190-208, which sets minimum geometric design standards for streets, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation. This is to include both the private road and Bancroft Street.
4. The request for a waiver of § 190-23F(1), which sets dimensional and density requirements, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
5. The request for a waiver of NRO § 190-198, which establishes minimum parking standards, **is/is not** granted, finding that the waiver will/will not be contrary to the spirit and intent of the regulation.
6. Signage will be posted stating “No Parking” on the private street.
7. Prior to the issuance of the first building permit, all easements will be submitted to City staff by the developer, Renaissance at Nashua, LLC, and its successors and assigns (herein referred to collectively as the “developer) for review and approval and recorded at the Registry of Deeds.
8. Stormwater documents will be submitted to City staff for review and approval and recorded prior to the issuance of first building permit.
9. Prior to the issuance of a building permit for Building C, (Phase II) the developer shall receive subdivision approval, purchase the land from the City and obtain all necessary City approvals.
10. Prior to the issuance of a building permit for Building D, a plan shall be recorded at the Registry of Deeds that separates the cell tower and levee from the residential development.

11. Prior to the issuance of a building permit, the developer will contribute \$30,000 to the City for the "East Hollis Street corridor improvements.
12. Prior to issuance of the building permit for Building "A", the final plan for the temporary traffic signal at "D" Street must be submitted and approved by Corporation Counsel, the City Engineer and the Traffic Engineer. Prior to issuance of a certificate of occupancy for any building, the left pocket will be installed at the developer's cost.
13. Prior to the issuance of a certificate of occupancy for Building A or D, the temporary traffic signal on Bridge Street must be installed at the developer's cost.
14. Within 90 days from the issuance of a building permit for Building A or D, a plan for the final design of a permanent traffic signal at "D" Street, a financial guarantee for the work to be performed and the required right-of-way or easements for its construction must be submitted and approved by Corporation Counsel, the City Engineer and the Traffic Engineer.
15. Prior to the issuance of a certificate of occupancy for Building "D", the developer shall provide financial security with inflation for this permanent signalized intersection for approval by the City Engineer and Traffic Engineer. If it is determined by the City that a full turning movement intersection solution at Bancroft Street and Bridge Street cannot be constructed within three years of the final certificate of occupancy for Building "D", the developer shall turn the temporary signal at "D" Street and Bridge Street intersection into a permanent signalized intersection at their cost.
16. Prior to issuance of building permit for Building "A", the developer shall provide legal evidence that they have the right to construct and maintain a temporary and, if needed, a permanent private roadway from the "D" street intersection at Bridge St. to the roundabout/circle on Bancroft Street; and the private roadway is to be named, posted with a street sign and built to city street standards, unless waived by the planning board, to the satisfaction by Fire Department, City Engineer, Planning Department and Corporation Counsel.
17. Prior to the issuance of a building permit for Building A, an easement plan for the current unnamed private way shall be recorded and attached to the prior site plan for Sheet 40, Lot 38 to show the private roadway from "D" Street intersection at Bridge Street to the roundabout/circle on Bancroft Street.
18. Bancroft Street future maintenance agreement shall be approved by the City prior to issuance of building permit for Building E.
19. Prior to the issuance of the first building permit all comments in an e-mail from Adam Pouliot, Fire Marshal dated September 19, 2016 shall be addressed to the satisfaction of the Fire Marshal, and all addresses shall be shown on the approved site plan.
20. Prior to the Chair signing the plan, all addresses will be shown on the plan.

21. Prior to the issuance of first building permit, all comments in a letter from Jeanne Walker, P.E., Deputy City Engineer dated September 9, 2016 shall be addressed to the satisfaction of the Engineering Department.
22. Prior to the issuance of the first building permit, all comments in an e-mail from Wayne Husband, P.E., Senior Traffic Engineer dated September 1, 2016 shall be addressed to the satisfaction of the Traffic Engineer.
23. The existing sidewalk along the property's frontage on Bridge Street will be reconstructed to the Division of Public Works' specifications prior to the issuance of a certificate of occupancy for Building A.
24. All off-site improvements identified on plan will be completed prior to the issuance of a certificate of occupancy for Building D.
25. Prior to the issuance of the certificate of occupancy for Building D, all on-site improvements shall be substantially completed, provided that paving may be completed to base course and landscaping may be completed as seasonally permitted; and further provided that a financial guarantee will be required for any work remaining.
26. Prior to the issuance of the certificate of occupancy for Building B an as-built plan locating all roads, driveways, units, buildings, utilities, and landscaping shall be completed by a professional New Hampshire licensed engineer or surveyor and submitted to Planning and Engineering Departments. The as-built plan shall include a certification by a NH licensed professional engineer that all construction was generally completed in accordance with the approved site plan and applicable regulations.
27. Bancroft Street shall remain City right-of-way/property and be constructed by the developer. The developer at their sole cost shall petition the City for acceptance with the new layout within six months of Certificate of Occupancy for Building D.
28. Prior to the Chair signing the plan, minor drafting corrections will be made.
29. Any work within the right-of-way shall require a financial guarantee.
30. The site plan and US ACOE 408 permit plan submittal shall contain materially similar infrastructure improvements.

## GENERAL INFORMATION

### OWNER

MAP 40 LOTS 34 & 48  
CITY OF NASHUA  
229 MAIN STREET  
NASHUA, NH 03060

### APPLICANT

RENAISSANCE DOWNTOWNS AT NASHUA, LLC  
RYAN PORTER  
6 MAIN STREET  
NASHUA, NH  
(603) 718-8831

### RESOURCE LIST

PLANNING/ZONING DEPARTMENT  
229 MAIN STREET  
NASHUA, NH 03061-2019  
(603) 589-3114  
ROGER HOUSTON, MANAGER

### BUILDING DEPARTMENT

229 MAIN STREET  
NASHUA, NH 03061-2019  
(603) 589-3080  
WILLIAM MCKINNEY, MANAGER/BUILDING OFFICIAL

### PUBLIC WORKS

9 RIVERDALE STREET  
NASHUA, NH 03062  
(603) 589-3140  
LISA FAUTEUX, DIRECTOR

### POLICE DEPARTMENT

9 PANTHER DRIVE  
NASHUA, NH 03062  
(603) 594-3500  
ANDREW J. LAVOIE, CHIEF

### FIRE DEPARTMENT

177 LAKE STREET FIRE STATION  
NASHUA, NH 03060  
(603) 594-3651  
BRIAN MORRISSEY, FIRE CHIEF

### ARCHITECT

DESTEFANO ARCHITECTS, PLLC  
23 HIGH STREET  
PORTSMOUTH, NH 03801  
(603) 431-8701

### GEOTECHNICAL

GEOTECHNICAL SERVICES INC.  
55 NORTH STARK HIGHWAY  
WEARE, NH 03281  
(603) 529-7766

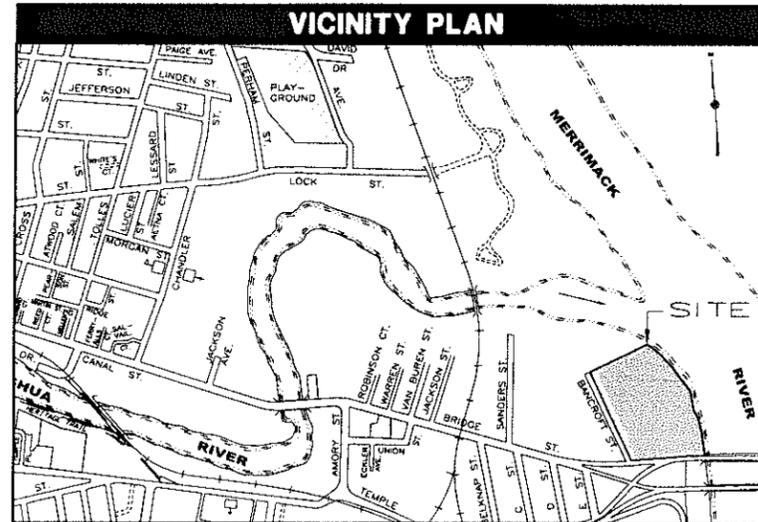
### LAND SURVEYORS

HAYNER/SWANSON, INC.  
THREE CONGRESS STREET  
NASHUA, NH 03062-3301  
(603) 883-2057

# RESIDENCES AT RIVERFRONT LANDING

62 & 70 BRIDGE STREET  
NASHUA, NEW HAMPSHIRE

OCTOBER 8, 2015  
LAST REVISED SEPTEMBER 29, 2016  
AMENDING PLAN NR1975



SCALE: 1"=2000'

### CONDITIONS OF APPROVAL (CONTINUED)

21. PRIOR TO THE ISSUANCE OF FIRST BUILDING PERMIT, ALL COMMENTS IN A LETTER FROM JEANNE WALKER, P.E., DEPUTY CITY ENGINEER DATED SEPTEMBER 9, 2016 SHALL BE ADDRESSED TO THE SATISFACTION OF THE ENGINEERING DEPARTMENT.
22. PRIOR TO THE ISSUANCE OF THE FIRST BUILDING PERMIT, ALL COMMENTS IN AN E-MAIL FROM WAYNE HUSBAND, P.E., SENIOR TRAFFIC ENGINEER DATED SEPTEMBER 1, 2016 SHALL BE ADDRESSED TO THE SATISFACTION OF THE TRAFFIC ENGINEER.
23. THE EXISTING SIDEWALK ALONG THE PROPERTY'S FRONTAGE ON BRIDGE STREET WILL BE RECONSTRUCTED TO THE DIVISION OF PUBLIC WORKS' SPECIFICATIONS PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR BUILDING A.
24. ALL OFF-SITE IMPROVEMENTS IDENTIFIED ON PLAN WILL BE COMPLETED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR BUILDING D.
25. PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY FOR BUILDING D, ALL ON-SITE IMPROVEMENTS SHALL BE SUBSTANTIALLY COMPLETED, PROVIDED THAT PAVING MAY BE COMPLETED TO BASE COURSE AND LANDSCAPING MAY BE COMPLETED AS SEASONALLY PERMITTED; AND FURTHER PROVIDED THAT A FINANCIAL GUARANTEE WILL BE REQUIRED FOR ANY WORK REMAINING.
26. PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY FOR BUILDING B AN AS-BUILT PLAN LOCATING ALL ROADS, DRIVEWAYS, UTILITIES, BUILDINGS, UTILITIES, AND LANDSCAPING SHALL BE COMPLETED BY A PROFESSIONAL NEW HAMPSHIRE LICENSED ENGINEER OR SURVEYOR AND SUBMITTED TO PLANNING AND ENGINEERING DEPARTMENTS. THE AS-BUILT PLAN SHALL INCLUDE A CERTIFICATION BY A NH LICENSED PROFESSIONAL ENGINEER THAT ALL CONSTRUCTION WAS GENERALLY COMPLETED IN ACCORDANCE WITH THE APPROVED SITE PLAN AND APPLICABLE REGULATIONS.
27. BANCROFT STREET SHALL REMAIN CITY RIGHT-OF-WAY/PROPERTY AND BE CONSTRUCTED BY THE DEVELOPER. THE DEVELOPER AT THEIR SOLE COST SHALL PETITION THE CITY FOR ACCEPTANCE WITH THE NEW LAYOUT WITHIN SIX MONTHS OF CERTIFICATE OF OCCUPANCY FOR BUILDING D.
28. PRIOR TO THE CHAIR SIGNING THE PLAN, MINOR DRAFTING CORRECTIONS WILL BE MADE.
29. ANY WORK WITHIN THE RIGHT-OF-WAY SHALL REQUIRE A FINANCIAL GUARANTEE.
30. THE SITE PLAN AND US ACDE 408 PERMIT PLAN SUBMITTAL SHALL CONTAIN MATERIALLY SIMILAR INFRASTRUCTURE IMPROVEMENTS.

## INDEX OF SHEETS

SHEET	SHEET TITLE
C-0	COVER SHEET
1 TO 3 OF 3	EXISTING CONDITIONS PLAN (BY OTHERS)
C-1.1	PHASE 1 - SITE PLAN
C-1.2	PHASE 2 - SITE PLAN
C-2	LAYOUT PLAN
C-3.1	PHASE 1 - GRADING & EROSION CONTROL PLAN
C-3.2	PHASE 2 - GRADING & EROSION CONTROL PLAN
C-4.1	PHASE 1 - DRAINAGE PLAN
C-4.2	PHASE 2 - DRAINAGE PLAN
C-5	UTILITY PLAN
C-6	SEWER PROFILES
C-7	CONCEPTUAL OFF-SITE IMPROVEMENT PLAN
C-8	LANDSCAPE PLAN
C-9	LIGHTING PLAN
C-10	FIRE TRUCK MOVEMENT PLAN
C-11	GENERAL NOTES
C-12	EROSION CONTROL NOTES & DETAILS
C-13 TO C-18	DETAILS
C-19	OVERALL PROJECT SEQUENCING PLAN
A-1 TO A-5	ARCHITECTURALS (BY OTHERS)

## PERMITS / APPROVALS

	NUMBER	APPROVED	EXPIRES
NHDES ALT. OF TERRAIN	AsT-1047	4/27/2016	4/27/2021
NHDES SHORELAND	2016-00330	3/04/2016	3/04/2021
CITY SITE PLAN	NR1975	2/18/2016	2/18/2017
NPDES SWPPP	-	PENDING	
NHDES WASTEWATER	-	PENDING	

THESE PLANS ARE PERMIT DRAWINGS ONLY AND NOT INTENDED FOR CONSTRUCTION OR BIDDING

### CONDITIONS OF APPROVAL

1. THE REQUEST FOR A WAIVER OF § 190-193, WHICH SETS MINIMUM DIMENSIONAL REQUIREMENTS FOR PARKING SPACES, IS GRANTED, FINDING THAT THE WAIVER WILL NOT BE CONTRARY TO THE SPIRIT AND INTENT OF THE REGULATION.
2. THE REQUEST FOR A WAIVER OF § 190-199, WHICH SETS MINIMUM DIMENSIONAL REQUIREMENTS FOR LOADING SPACES, IS GRANTED, FINDING THAT THE WAIVER WILL NOT BE CONTRARY TO THE SPIRIT AND INTENT OF THE REGULATION.
3. THE REQUEST FOR A WAIVER OF § 190-208, WHICH SETS MINIMUM GEOMETRIC DESIGN STANDARDS FOR STREETS, IS GRANTED, FINDING THAT THE WAIVER WILL NOT BE CONTRARY TO THE SPIRIT AND INTENT OF THE REGULATION. THIS IS TO INCLUDE BOTH THE PRIVATE ROAD AND BANCROFT STREET.
4. THE REQUEST FOR A WAIVER OF § 190-231(1), WHICH SETS DIMENSIONAL AND DENSITY REQUIREMENTS, IS GRANTED, FINDING THAT THE WAIVER WILL NOT BE CONTRARY TO THE SPIRIT AND INTENT OF THE REGULATION.
5. THE REQUEST FOR A WAIVER OF NRD § 190-198, WHICH ESTABLISHES MINIMUM PARKING STANDARDS, IS GRANTED, FINDING THAT THE WAIVER WILL NOT BE CONTRARY TO THE SPIRIT AND INTENT OF THE REGULATION.
6. SIGNAGE WILL BE POSTED STATING "NO PARKING" ON THE PRIVATE STREET.
7. PRIOR TO THE ISSUANCE OF THE FIRST BUILDING PERMIT, ALL EASEMENTS WILL BE SUBMITTED TO CITY STAFF BY THE DEVELOPER, RENAISSANCE AT NASHUA, LLC, AND ITS SUCCESSORS AND ASSIGNS (HEREIN REFERRED TO COLLECTIVELY AS THE "DEVELOPER") FOR REVIEW AND APPROVAL AND RECORDED AT THE REGISTRY OF DEEDS.
8. STORMWATER DOCUMENTS WILL BE SUBMITTED TO CITY STAFF FOR REVIEW AND APPROVAL AND RECORDED PRIOR TO THE ISSUANCE OF FIRST BUILDING PERMIT.
9. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR BUILDING C, (PHASE II) THE DEVELOPER SHALL RECEIVE SUBDIVISION APPROVAL, PURCHASE THE LAND FROM THE CITY AND OBTAIN ALL NECESSARY CITY APPROVALS.
10. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR BUILDING D, A PLAN SHALL BE RECORDED AT THE REGISTRY OF DEEDS THAT SEPARATES THE CELL TOWER AND LEVEE FROM THE RESIDENTIAL DEVELOPMENT.
11. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE DEVELOPER WILL CONTRIBUTE \$30,000 TO THE CITY FOR THE "EAST HOLLIS STREET CORRIDOR IMPROVEMENTS."
12. PRIOR TO ISSUANCE OF THE BUILDING PERMIT FOR BUILDING "A", THE FINAL PLAN FOR THE TEMPORARY TRAFFIC SIGNAL AT "D" STREET MUST BE SUBMITTED AND APPROVED BY CORPORATION COUNSEL, THE CITY ENGINEER AND THE TRAFFIC ENGINEER. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY BUILDING, THE LEFT POCKET WILL BE INSTALLED AT THE DEVELOPER'S COST.
13. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR BUILDING A OR D, THE TEMPORARY TRAFFIC SIGNAL ON BRIDGE STREET MUST BE INSTALLED AT THE DEVELOPER'S COST.
14. WITHIN 90 DAYS FROM THE ISSUANCE OF A BUILDING PERMIT FOR BUILDING A OR D, A PLAN FOR THE FINAL DESIGN OF A PERMANENT TRAFFIC SIGNAL AT "D" STREET, A FINANCIAL GUARANTEE FOR THE WORK TO BE PERFORMED AND THE REQUIRED RIGHT-OF-WAY OR EASEMENTS FOR ITS CONSTRUCTION MUST BE SUBMITTED AND APPROVED BY CORPORATION COUNSEL, THE CITY ENGINEER AND THE TRAFFIC ENGINEER.
15. PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY FOR BUILDING "D", THE DEVELOPER SHALL PROVIDE FINANCIAL SECURITY WITH INFLATION FOR THIS PERMANENT SIGNALIZED INTERSECTION FOR APPROVAL BY CITY ENGINEER AND TRAFFIC ENGINEER. IF IT IS DETERMINED BY THE CITY THAT A FULL TURNING MOVEMENT INTERSECTION SOLUTION AT BANCROFT STREET AND BRIDGE STREET CANNOT BE CONSTRUCTED WITHIN THREE YEARS OF THE FINAL CERTIFICATE OF OCCUPANCY FOR BUILDING "D", THE DEVELOPER SHALL TURN THE TEMPORARY SIGNAL AT "D" STREET AND BRIDGE STREET INTERSECTION INTO A PERMANENT SIGNALIZED INTERSECTION AT THEIR COST.
16. PRIOR TO ISSUANCE OF BUILDING PERMIT FOR BUILDING "A", THE DEVELOPER SHALL PROVIDE LEGAL EVIDENCE THAT THEY HAVE THE RIGHT TO CONSTRUCT AND MAINTAIN A TEMPORARY AND, IF NEEDED, A PERMANENT PRIVATE ROADWAY FROM THE "D" STREET INTERSECTION AT BRIDGE ST. TO THE ROUNDABOUT/CIRCLE ON BANCROFT STREET, AND THE PRIVATE ROADWAY IS TO BE NAMED, POSTED WITH A STREET SIGN AND BUILT TO CITY STREET STANDARDS, UNLESS WAIVED BY THE PLANNING BOARD, TO THE SATISFACTION BY FIRE DEPARTMENT, CITY ENGINEER, PLANNING DEPARTMENT AND CORPORATION COUNSEL.
17. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR BUILDING A, AN EASEMENT PLAN FOR THE CURRENT UNNAMED PRIVATE WAY SHALL BE RECORDED AND ATTACHED TO THE PRIOR SITE PLAN FOR SHEET 40, LOT 38 TO SHOW THE PRIVATE ROADWAY FROM "D" STREET INTERSECTION AT BRIDGE STREET TO THE ROUNDABOUT/CIRCLE ON BANCROFT STREET.
18. BANCROFT STREET FUTURE MAINTENANCE AGREEMENT SHALL BE APPROVED BY THE CITY PRIOR TO ISSUANCE OF BUILDING PERMIT FOR BUILDING E.
19. PRIOR TO THE ISSUANCE OF THE FIRST BUILDING PERMIT ALL COMMENTS IN AN E-MAIL FROM ADAM POULIOT, FIRE MARSHAL DATED SEPTEMBER 19, 2016 SHALL BE ADDRESSED TO THE SATISFACTION OF THE FIRE MARSHAL, AND ALL ADDRESSES SHALL BE SHOWN ON THE APPROVED SITE PLAN.
20. PRIOR TO THE CHAIR SIGNING THE PLAN, ALL ADDRESSES WILL BE SHOWN ON THE PLAN.

### ALTERATION OF TERRAIN CONDITIONS OF APPROVAL

1. ALL STORMWATER PRACTICES SHALL BE INSPECTED AND MAINTAINED IN ACCORDANCE WITH ENV-WQ 1507.08 AND THE PROJECT'S APPROVED INSPECTION AND MAINTENANCE (I&M) MANUAL. ALL RECORD KEEPING REQUIRED BY THE I&M MANUAL SHALL BE MAINTAINED BY THE IDENTIFIED RESPONSIBLE PARTY, AND MADE AVAILABLE TO THE DEPARTMENT UPON REQUEST.
2. THE PERMITTEE AND SELECTED CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE NH FISH & GAME DEPARTMENT TO MINIMIZE POTENTIAL IMPACTS TO BALD EAGLES DURING CONSTRUCTION. THIS MAY INCLUDE TIME OF YEAR RESTRICTIONS ON ACTIVE CONSTRUCTION AND/OR TREE CLEARING.

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Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

## SITE PLAN AMENDMENT

TAX MAP 40 LOTS 34, 50 & 51  
**COVER SHEET**  
RESIDENCES AT RIVERFRONT LANDING  
62 & 70 BRIDGE STREET  
NASHUA, NEW HAMPSHIRE

OWNED BY  
**CITY OF NASHUA**  
APPLICANT, RENAISSANCE DOWNTOWNS AT NASHUA LLC

OCTOBER 8, 2016

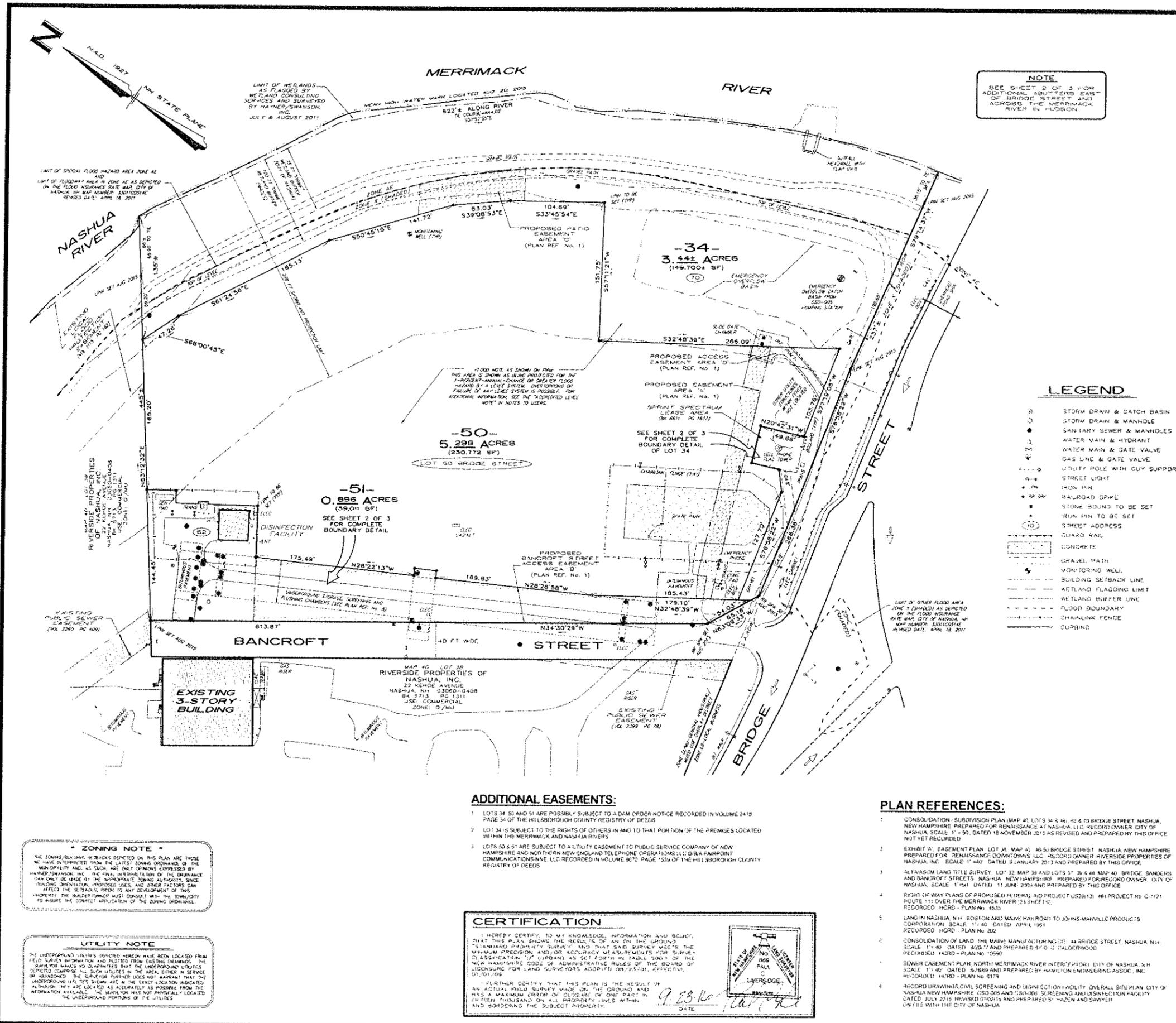


Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
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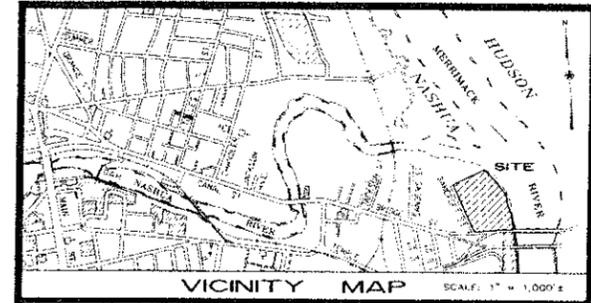
C-0



**NOTE**  
SEE SHEET 2 OF 3 FOR ADDITIONAL ADJUSTMENTS EAST OF BRIDGE STREET AND ACROSS THE MERRIMACK RIVER IN HUDSON

**LEGEND**

- STORM DRAIN & CATCH BASIN
- STORM DRAIN & MANHOLE
- SANITARY SEWER & MANHOLES
- WATER MAIN & HYDRANT
- WATER MAIN & GATE VALVE
- GAS LINE & GATE VALVE
- UTILITY POLE WITH GUY SUPPORT
- STREET LIGHT
- IRON PIN
- RAILROAD SPIKE
- STONE PIN TO BE SET
- IRON PIN TO BE SET
- STREET ADDRESS
- GUARD RAIL
- CONCRETE
- GRAVEL PATH
- MONITORING WELL
- BUILDING SETBACK LINE
- WETLAND FLAGGING LIMIT
- WETLAND BUFFER LINE
- FLOOD BOUNDARY
- CHAINLINK FENCE
- CURBING



- NOTES:**
- SITE AREA  
 LOT 34 3.44± ACRES  
 LOT 50 5.298 ACRES  
 LOT 51 0.986 ACRES
  - PRESENT ZONING:  
 GIMU: GENERAL INDUSTRIAL/MAKED USE OVERLAY DISTRICT  
 MINIMUM LOT REQUIREMENTS  
 LOT AREA 5,000 SF  
 LOT FRONTAGE 50 FT  
 LOT WIDTH 50 FT  
 LOT DEPTH 75 FT  
 MINIMUM YARD SETBACKS  
 FRONT YARD 10 FT  
 SIDE YARD 10 FT  
 REAR YARD 15 FT
  - PURPOSE OF PLAN:  
 TO SHOW THE EXISTING CONDITIONS OF LOTS 34, 50 & 51
  - LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAP 40
  - BRIDGE STREET IS A VARIABLE WIDTH, STATE OF NEW HAMPSHIRE, LIMITED ACCESS RIGHT OF WAY
  - A PORTION OF LOTS 34, 50 & 51 ARE SUBJECT TO THE STATE OF NEW HAMPSHIRE SHORELAND PROTECTION ACT (RSA 483-B)
  - A PORTION OF LOT 34 IS LOCATED IN A SPECIAL FLOOD HAZARD AREA ZONE AE AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM, HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY NO. 330097, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FILE NUMBER 330100014E, REVISED DATE APRIL 18, 2011 AND IS DEPICTED HEREON. THE REMAINDER OF LOT 34 AND LOTS 50 & 51 ARE PROTECTED BY A LEVEE SYSTEM. SEE FIRM MAP FOR ACCREDITED LEVEE NOTE.
  - SITE IS TO BE SERVICED BY MUNICIPAL SEWER AND WATER BY PENNICHUCK WATERWORKS. THE PROPOSED LOTS SHALL BE SERVICED BY UNDERGROUND TELEPHONE, ELECTRIC AND GAS UTILITIES
  - THE EXISTING PLANNETRICS AND TOPOGRAPHY AS SHOWN ON THESE PLANS, IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND BETWEEN JULY 2011 AND SEPTEMBER 2015
  - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED
  - THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER
  - SURVEY CONTROL INFORMATION  
 HORIZONTAL DATUM: NAD83  
 VERTICAL DATUM: NASHUA CITY DATUM  
 UNITS: US SURVEY FEET
  - LOT 50 SHALL HAVE AN ADDRESS OF "LOT 50 BRIDGE STREET" UNTIL SUCH TIME AS ANY UNITS ARE CONSTRUCTED AND HAVE BEEN ASSIGNED INDIVIDUAL ADDRESSES BY THE CITY OF NASHUA
  - RECORD OWNER:  
 MAP 40, LOTS 34 & 48  
 CITY OF NASHUA  
 PO BOX 2019  
 229 MAIN STREET  
 NASHUA, NH 03081  
 VOL. 1133, PG. 372 - LOT 34  
 VOL. 1133, PG. 373 - LOT 34  
 VOL. 1135, PG. 409 - LOT 48

NO.	DATE	REVISION	BY
1	3/22/15	ADD ADDRESS EASEMENT AREA TO	LUC
2	3/15/16	REVISE NOTE 5	LUC

**EXISTING CONDITIONS PLAN**  
(MAP 40, LOTS 34, 50 & 51)  
**LOT 50, 62 & 70 BRIDGE ST.**  
NASHUA, NEW HAMPSHIRE  
PREPARED FOR:  
**Renaissance At Nashua, LLC**  
9 GERHARD ROAD PLAINVIEW, NEW YORK 11803 (516) 433-9000  
RECORD OWNER:  
**CITY OF NASHUA**  
PO BOX 2019 229 MAIN ST. NASHUA, NH 03081-2019 (603) 589-3280  
SCALE: 1" = 50 FEET  
1" = 15.24 METERS  
**10 FEBRUARY 2016**

**HSI** Hayer/Swanson, Inc.  
Civil Engineers/Land Surveyors  
Three Congress Street Nashua, New Hampshire 03083-3301  
Tel (603) 883-2057 Fax (603) 883-9357  
www.hayer-swanson.com

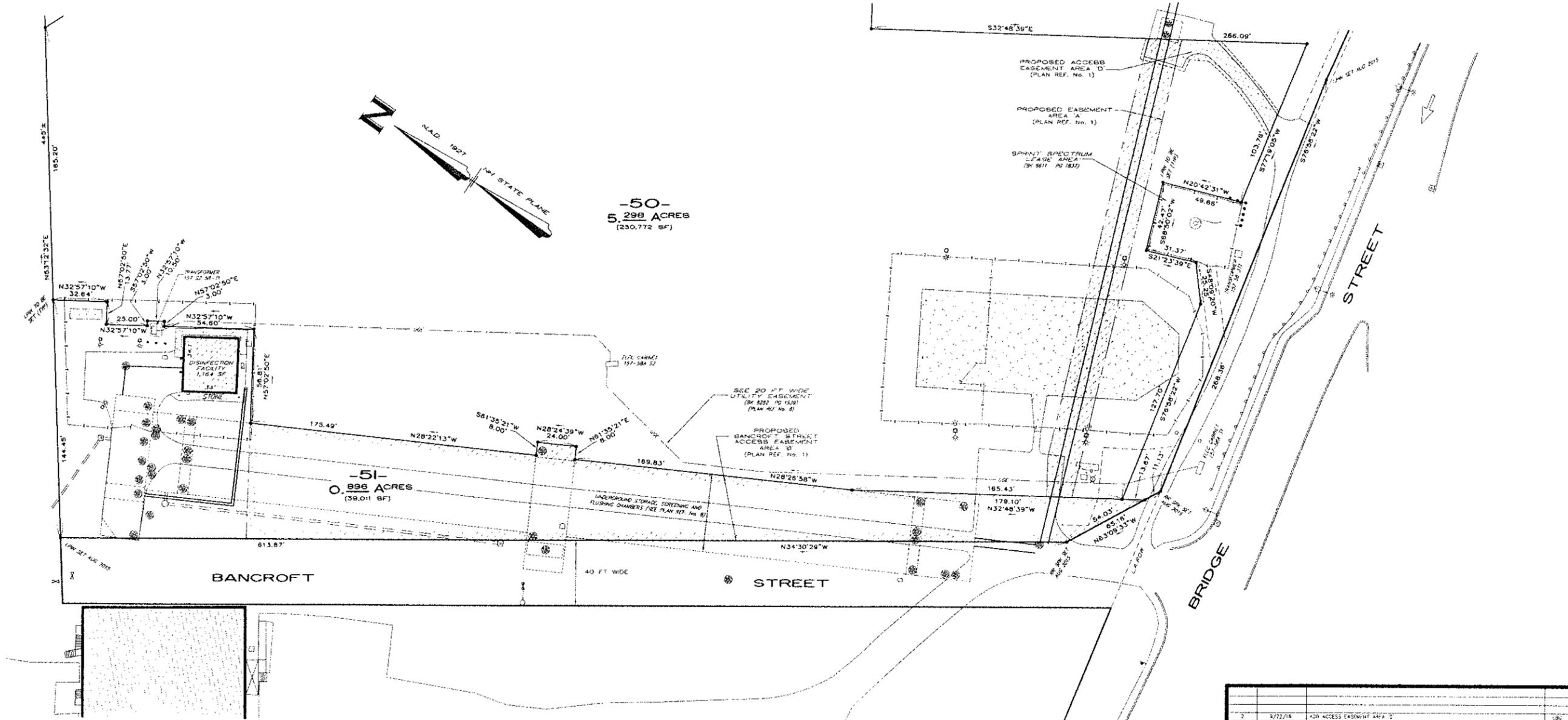
**ZONING NOTE**  
THE ZONING/SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE ZONING ORDINANCES, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE SUBMITTER MUST CONSULT WITH THE MUNICIPALITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

**UTILITY NOTE**  
THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SUBMITTER MUST CONSULT WITH THE MUNICIPALITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

- ADDITIONAL EASEMENTS:**
- LOTS 34, 50 AND 51 ARE POSSIBLY SUBJECT TO A DAM ORDER NOTICE RECORDED IN VOLUME 2418 PAGE 34 OF THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS
  - LOT 34 IS SUBJECT TO THE RIGHTS OF OTHERS IN AND TO THAT PORTION OF THE PREMISES LOCATED WITHIN THE MERRIMACK AND NASHUA RIVERS
  - LOTS 50 & 51 ARE SUBJECT TO A UTILITY EASEMENT TO PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE AND NORTHERN NEW ENGLAND TELEPHONE OPERATIONS, LLC DBA FARRINGTON COMMUNICATIONS, INC. (RECORDED IN VOLUME 907, PAGE 159 OF THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS)

- PLAN REFERENCES:**
- CONSOLIDATION / SUBDIVISION PLAN MAP 40, LOTS 34, 48, 42 & 70 BRIDGE STREET, NASHUA, NEW HAMPSHIRE, PREPARED FOR RENAISSANCE AT NASHUA, LLC, RECORD OWNER CITY OF NASHUA, SCALE 1" = 50, DATED 18 NOVEMBER 2015 AS REVISED AND PREPARED BY THIS OFFICE, NOT YET RECORDED
  - EXHIBIT A: EASEMENT PLAN, LOT 34, MAP 40, 38.50 BRIDGE STREET, NASHUA, NEW HAMPSHIRE, PREPARED FOR RENAISSANCE DOWNTOWNS, LLC, RECORD OWNER RIVERSIDE PROPERTIES OF NASHUA, INC., SCALE 1" = 40, DATED 3 JANUARY 2013 AND PREPARED BY THIS OFFICE
  - ALFASISIM LAND TITLE SURVEY, LOT 32, MAP 39 AND LOTS 31, 34 & 48 MAP 40, BRIDGE SANDERS AND BANCROFT STREETS, NASHUA, NEW HAMPSHIRE, PREPARED FOR RECORD OWNER, CITY OF NASHUA, SCALE 1" = 50, DATED 11 JUNE 2008 AND PREPARED BY THIS OFFICE
  - RIGHT OF WAY PLANS OF PROPOSED FEDERAL AID PROJECT US28131, NH PROJECT NO. C-1721 ROUTE 111 OVER THE MERRIMACK RIVER (23 SHEETS), RECORDED: HCRD - PLAN No. 4535
  - LAND IN NASHUA, NH, BOSTON AND MAINE RAILROAD TO JOHNS-MANVILLE PRODUCTS CORPORATION, SCALE 1" = 40, DATED APRIL 1991, RECORDED: HCRD - PLAN No. 202
  - CONSOLIDATION OF LAND, THE MAINE MANUFACTURING CO., 34 BRIDGE STREET, NASHUA, N.H., SCALE 1" = 40, DATED 8/26/77 AND PREPARED BY G. CALDERWOOD, RECORDED: HCRD - PLAN No. 10590
  - SEWER EASEMENT PLAN, NORTH MERRIMACK RIVER INTERSECTION, CITY OF NASHUA, N.H., SCALE 1" = 40, DATED 3/28/89 AND PREPARED BY HAMILTON ENGINEERING ASSOC., INC., RECORDED: HCRD - PLAN No. 5178
  - RECORD DRAWINGS: CIVIL SCREENING AND SLOPE SECTION FACILITY, OVERALL SITE PLAN, CITY OF NASHUA NEW HAMPSHIRE, CSO 005 AND CSO 006 SCREENING AND DISINFECTATION FACILITY, DATED JULY 2015, REVISED 07/2015 AND PREPARED BY HAZEN AND SAWYER ON FILE WITH THE CITY OF NASHUA

**CERTIFICATION**  
I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD ENGINEERING SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY REQUIREMENTS FOR SURVEY CLASSIFICATION "1" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSING FOR LAND SURVEYORS, ADOPTED 08/23/01, EFFECTIVE 01/01/09.  
I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BOUNDING THE SUBJECT PROPERTY.  
DATE: 9/23/16  
[Signature]



**ADDITIONAL ABUTTERS:**

- MAP 24 LOT 1  
B & B REALTY CORP  
171 E HOLLIS STREET  
NASHUA, NH 03060-6311  
BK 9632 PG 1756  
USE: COMMERCIAL  
ZONE: GENERAL INDUSTRIAL
- MAP 24 LOT 18  
CITY OF NASHUA  
PO BOX 2019 - 229 MAIN STREET  
NASHUA, NH 03061-2019  
BK 1126 PG 317  
USE: FLOOD CONTROL  
ZONE: GENERAL INDUSTRIAL
- MAP 24 LOT 19  
LEO M & LORRAINE J LAVOIE  
131 E HOLLIS STREET  
NASHUA, NH 03060-6319  
BK 1736 PG 228  
USE: RESIDENTIAL  
ZONE: GENERAL INDUSTRIAL
- MAP 24 LOT 47  
STATE OF NH - DEPT OF HIGH  
WAYS  
10 LEO M & LORRAINE J LAVOIE  
131 E HOLLIS STREET  
NASHUA, NH 03060-6319  
BK 2342 PG 225  
USE: DRIVEWAY  
ZONE: GENERAL INDUSTRIAL
- MAP 24 LOT 50  
GATEC TOOL & MACHINE, INC  
3 HIGHLAND STREET - APT 3  
NASHUA, NH 03064-2846  
BK 8783 PG 328  
USE: INDUSTRIAL  
ZONE: GENERAL INDUSTRIAL
- HUDSON MAP 173 LOT 1  
CYNTHIA ANN TAMPOSI  
32 WEBSTER STREET  
HUDSON, NH 03051  
BK 2009 PG 319  
USE: RESIDENTIAL  
ZONE: TOWN RESIDENTIAL
- HUDSON MAP 181 LOT 5  
SCORE HOMES, INC  
9 SCHAEFER CIRCLE  
HUDSON, NH 03051  
BK 3690 PG 470  
USE: VACANT  
ZONE: BUSINESS & TOWN RESIDENTIAL

2	3/22/16	ADP ACCESS EASEMENT AREA D	L96
1	05/13/18	REVISION 5	L96
NO.	DATE	REVISION	BY

**EXISTING CONDITIONS PLAN**  
(MAP 40, LOTS 34, 50 & 51)  
**LOT 50, 62 & 70 BRIDGE ST.**  
NASHUA, NEW HAMPSHIRE  
PREPARED FOR:  
**Renaissance At Nashua, LLC**  
9 GERHARD ROAD PLAINVIEW, NEW YORK 11803 (516) 433-9000

RECORD OWNER:  
**CITY OF NASHUA**  
PO BOX 2019 229 MAIN ST. NASHUA, NH 03061-2019 (603) 589-3260

SCALE 1" = 30 Feet  
1" = 9.144 Meters

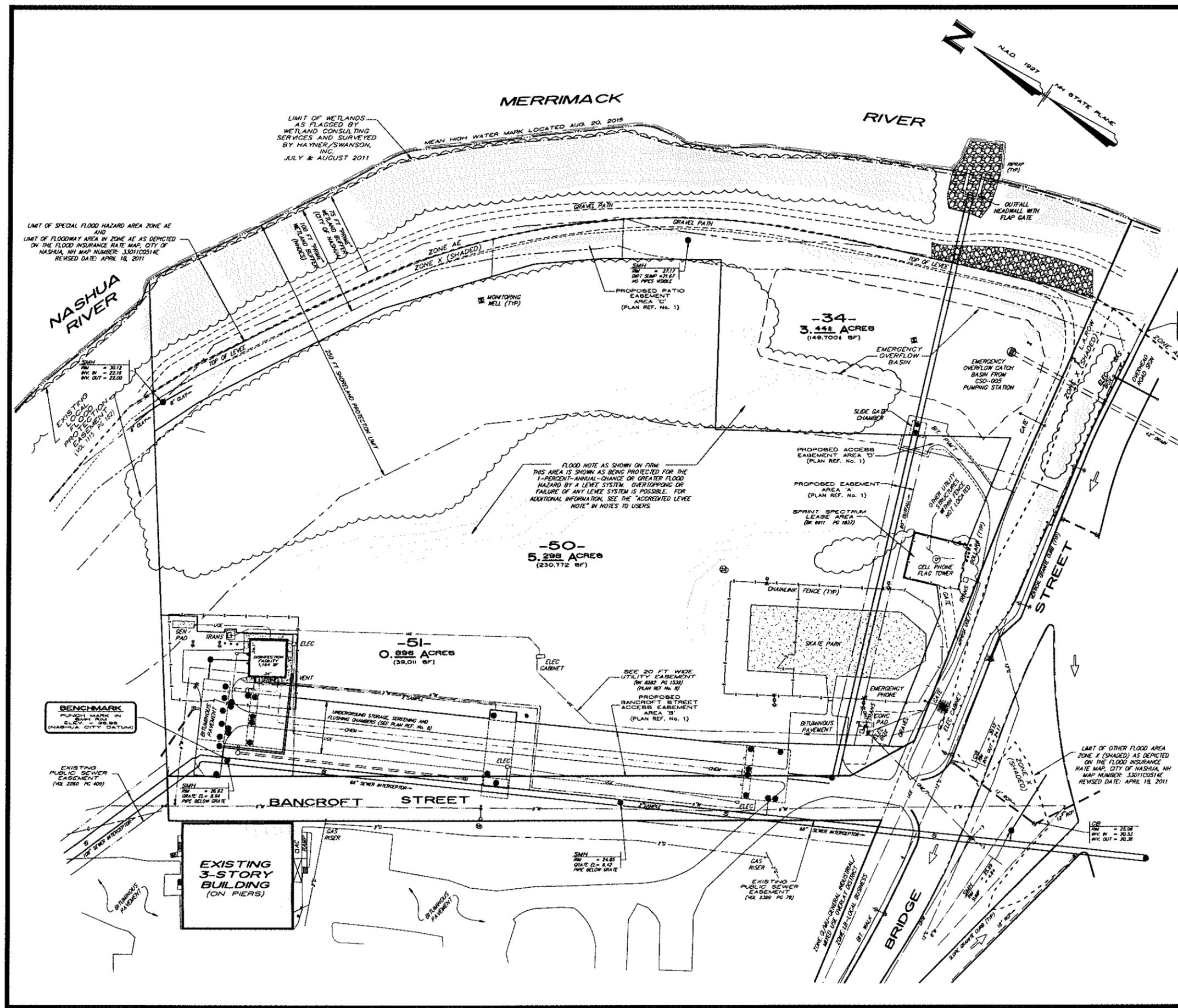
**10 FEBRUARY 2016**

**HSI Hayner/Swanson, Inc.**  
Civil Engineers/Land Surveyors  
Three Congress Street Nashua, New Hampshire 03062-3301  
Tel (603) 883-2057 Fax (603) 883-5057  
www.hayner-swanson.com

FIELD BOOK: 158 & 159	DRAWING NAME: 5128.DWG	SHEET NO: 3178	2 OF 3
DRAWING LOCATION: NASHUA, NH 03062			



2.23.16



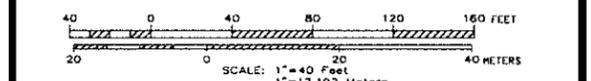
**LEGEND**

- EXISTING GROUND CONTOUR
- EXISTING SPOT ELEVATION
- STORM DRAIN & CATCH BASIN
- STORM DRAIN & MANHOLE
- SANITARY SEWER & MANHOLES
- WATER MAIN & HYDRANT
- WATER MAIN & GATE VALVE
- GAS LINE & GATE VALVE
- CHEMICAL PIPING
- UTILITY POLE WITH GUY SUPPORT
- STREET LIGHT
- OVERHEAD ELECTRIC & TELEPHONE
- UNDERGROUND ELEC./TEL. & MANHOLES
- TREE LINE
- IRON PIN
- RAILROAD SPIKE
- STREET ADDRESS
- GUARD RAIL
- CONCRETE
- MONITORING WELL
- ROCK/BOULDER
- CONIFEROUS TREE
- BUILDING SETBACK LINE
- WETLAND FLAGGING LIMIT
- WETLAND BUFFER LINE
- WIRE FENCE
- CHAINLINK FENCE
- CURBING
- VERTICAL GRANITE CURBING
- SLOPE GRANITE CURBING

No.	DATE	REVISION	BY
2	8/22/16	ADD ACCESS EASEMENT AREA 'D'	LCB
1	06/13/16	REVISE NOTE 5	LCB

**EXISTING CONDITIONS PLAN**  
 (MAP 40, LOTS 34, 50 & 51)  
**LOT 50, 62 & 70 BRIDGE ST.**  
 NASHUA, NEW HAMPSHIRE  
 PREPARED FOR:  
**Renaissance At Nashua, LLC**  
 9 GERHARD ROAD PLAINVIEW, NEW YORK 11803 (516) 433-9000

RECORD OWNER:  
**CITY OF NASHUA**  
 PO BOX 2019 229 MAIN ST. NASHUA, NH 03061-2019 (603) 589-3260



10 FEBRUARY 2016

**HISI** Hayner/Swanson, Inc.  
 Civil Engineers/Land Surveyors  
 Three Congress Street Nashua, New Hampshire 03062-3301  
 Tel (603) 883-2057 Fax (603) 883-5057  
 www.hisicons.com

**PROPOSED PARKING PER LOT**

PROPOSED SPACES -	LOT 34	0 SPACES
	LOT 50	216 SPACES (INCLUDES 84 WITHIN GARAGE)
	LOT 51	41 SPACES
<b>TOTAL</b>		<b>257 SPACES</b>

**SITE DATA (PHASE 1)**

ZONED: GENERAL INDUSTRIAL/MIXED USE OVERLAY DISTRICT (G/MU)  
 EXISTING USE: VACANT/RECREATIONAL  
 PROPOSED USE: RESIDENTIAL/RESTAURANT

**DIMENSIONAL REQUIREMENTS (LAND USE CODE R-1/12)**

MINIMUM LOT DIMENSIONS:	REQUIRED:	PROVIDED:
LOT AREA	5,000 SF	230,744.7 SF
WIDTH	50 FT	277 FT
STREET FRONTAGE	50 FT	297 FT
DEPTH	75 FT	518 FT
<b>MINIMUM YARD DIMENSIONS:</b>		
FRONT	10 FT	50 FT
SIDE	10 FT	2 FT
REAR	15 FT	82 FT
<b>MAXIMUM STRUCTURE DIMENSIONS:</b>		
STRUCTURE HEIGHT	60 FT	83.5 FT
STORIES	5 EA	3 EA
<b>MINIMUM OPEN SPACE</b>	10 %	40 %
<b>PARKING REQUIREMENTS</b>		
PARKING SPACES (SEE CALCULATION)	255 SPACES	257 SPACES
ACCESSIBLE SPACES (REQ'D BY ADA)	7 SPACES	8 SPACES
PARKING SPACE SIZE	9 FT x 20 FT	9 FT x 18 FT
ASLE WIDTH	24/22 FT	24/22 FT

**PARKING CALCULATIONS**

**REQUIRED PARKING RATIO:**

MULTI FAMILY DWELLING:	1.5 SPACE PER UNIT (MIN)	
RESTAURANT:	1 SPACE PER 4 SEATS	
RETAIL:	1 SPACE PER 300 SF	
FITNESS CLUB:	1 SPACE PER 850 SF	
OFFICE:	1 SPACE PER 1,000 SF	
CYBER LOUNGE:	1 SPACE PER 800 SF	
COMMUNITY ROOM:	1.5 SPACES PER 1,000 SF	

**TOTAL REQUIRED =**

152 DWELLING UNITS * 1.5 SPACES/UNIT	= 228 SPACES +
50 SEAT RESTAURANT * 1/4 SEATS	= 12.5 SPACES +
3,600 SF RETAIL * 1/300 SF	= 12 SPACES +
438 SF FITNESS CENTER * 1/850 SF	= 0.7 SPACES +
617 SF OFFICE * 1/1,000 SF	= 0.6 SPACES +
339 SF CYBER LOUNGE * 1/800 SF	= 0.6 SPACES +
878 SF COMMUNITY ROOM * 1/1,000 SF	= 0.8 SPACES +
<b>TOTAL REQUIRED</b>	<b>= 255 SPACES</b>

**TOTAL PROVIDED =**

OUTSIDE OF GARAGE	= 117 SPACES
WITHIN GARAGE	= 140 SPACES
<b>TOTAL PROVIDED</b>	<b>= 257 SPACES</b>

**NOTES - SEE GENERAL NOTES SHEET FOR ADDITIONAL NOTES.**

- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN IN ANY WAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
- FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE IMPROVEMENTS ASSOCIATED WITH THIS PROJECT FOR PHASE 1. PHASE 1 INCLUDES THE CONSTRUCTION OF BUILDINGS A, B, D & E WITH ASSOCIATED UTILITIES, GRADING, DRAINAGE, LIGHTING, LANDSCAPING AND STORMWATER MANAGEMENT. SEE PHASE NOTES ON INDIVIDUAL SHEETS TO ADDRESS SPECIFIC COMPONENTS FOR EACH PHASE OF WORK.
- PRIOR TO ANY WORK BEING CONDUCTED A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PLANNING STAFF AND OTHER CITY DEPARTMENTS AS NECESSARY TO REVIEW THE PROPOSED WORK.
- STREET RESTORATION TO BE IN ACCORDANCE WITH MD-285-13.
- THERE ARE NO INLAND WETLANDS LOCATED ON THE PROPERTY. THE PROPERTY BORDERS THE NASHUA AND MERRIMACK RIVERS.

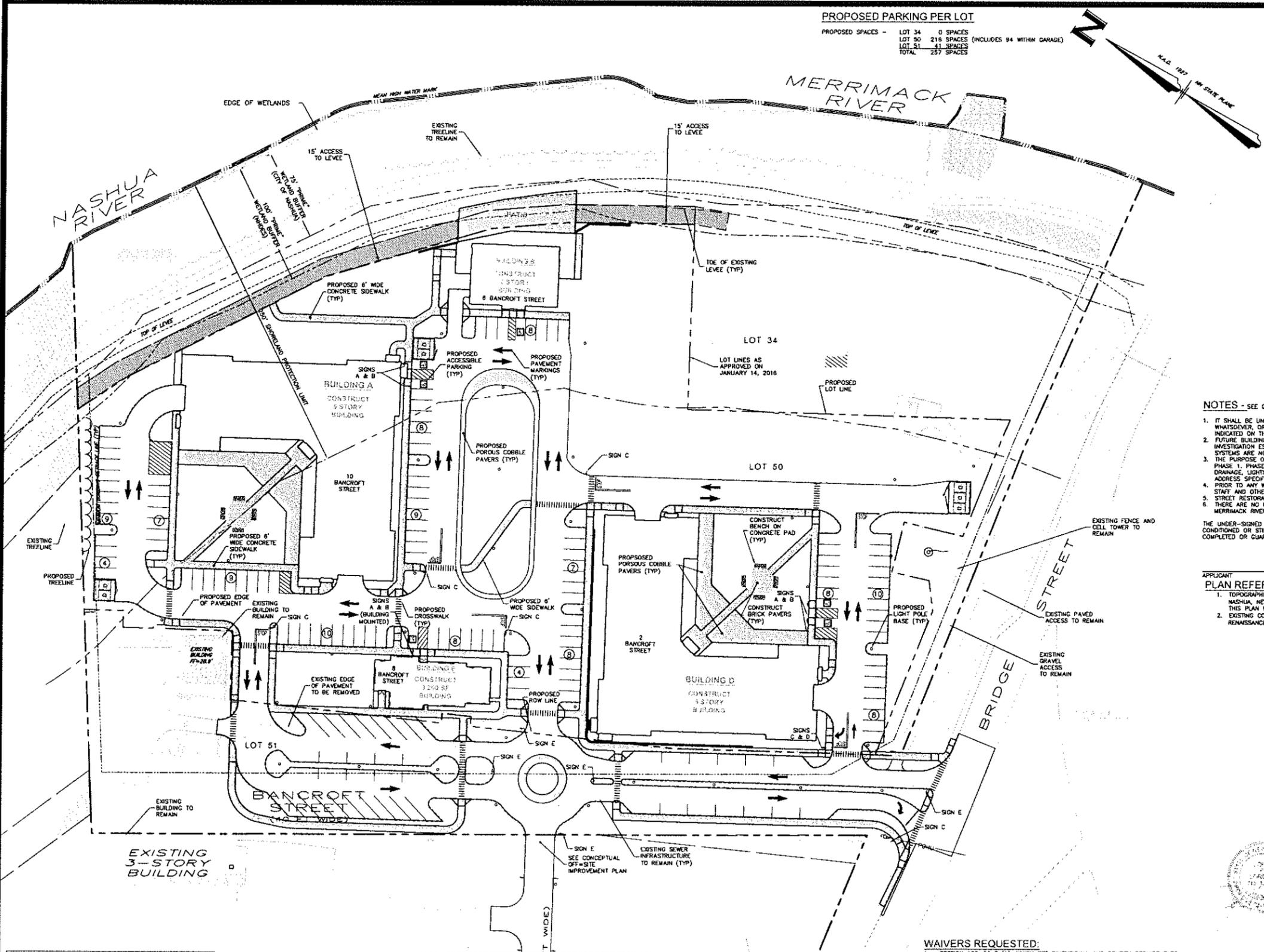
THE UNDER-SIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

**APPLICANT PLAN REFERENCES**

- TOPOGRAPHIC WORKSHEET (LOT 32, MAP 39 AND LOTS 34, 37, 38 & 48, MAP 40) BRIDGE, SANDERS & BANCROFT STREETS, NASHUA, NEW HAMPSHIRE PREPARED FOR RENAISSANCE AT NASHUA, LLC BY HAYNER/SWANSON, INC. DATED SEPTEMBER 4, 2015. THIS PLAN WAS UTILIZED TO CREATE A BASE DRAWING FOR THIS PROJECT.
- EXISTING CONDITIONS PLAN (MAP 40, LOTS 34, 50 & 51) 62 & 70 BRIDGE STREET NASHUA, NEW HAMPSHIRE PREPARED FOR RENAISSANCE AT NASHUA, LLC BY HAYNER/SWANSON, INC. DATED FEBRUARY 10, 2016.

**LEGEND**

□ SF SQUARE FEET	▨ PROPOSED PAINT
□ ACCESSIBLE PARKING	▨ EXISTING RIP RAP
— TYPICAL	▨ PROPOSED CONCRETE
— VGC VERTICAL GRANITE CURB	— PROPERTY LINE
— EXISTING UTILITY POLE	— PROPOSED EDGE OF WETLANDS
— PROPOSED UTILITY POLE	— EDGE OF WETLANDS BUFFER
— EXISTING CUY WIRE	— SETBACK LINE
— EXISTING SEWER MANHOLE	— EXISTING TREELINE
— PROPOSED SIGN	— PROPOSED TREELINE
— PROPOSED LIGHTPOLE BASE	— EXISTING QUARD RAIL
⊙ PROPOSED PARKING COUNT	— EXISTING FENCE
⊙ PROPOSED DUMPSTER	— TOP OF LEVEL
⊙ PROPOSED TRANSFORMER PAD	— ZONE LINE
	— BUFFER LINE



**APPROVED BY THE NASHUA PLANNING BOARD**

ON \_\_\_\_\_ AND \_\_\_\_\_  
 CHAIRMAN: \_\_\_\_\_ SECRETARY: \_\_\_\_\_

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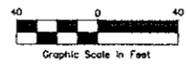


**DIRECTIONAL SIGN LEGEND**

ID	SIGN	NO./SIZE/COLOR	ID	SIGN	NO./SIZE/COLOR	ID	SIGN	NO./SIZE/COLOR	ID	SIGN	NO./SIZE/COLOR
A	RESERVED PARKING	R7-8 12" x 18" BLACK AND WHITE	C	STOP	R1-1 30" x 30" RED AND WHITE	D	DO NOT ENTER	R5-1 30" x 30" RED AND WHITE	E	VEHICLE ONLY	R4-7 24" x 30" BLACK AND WHITE
B	VEHICLE ACCESSIBLE	R7-9P 18" x 9" BLACK AND WHITE									R5-11 24" x 30" BLACK AND WHITE

**WAIVERS REQUESTED:**

A. SECTION 190-23 F (1), WHICH SET DIMENSIONAL AND DENSITY REQUIREMENTS.  
 B. SECTION 190-193, WHICH SETS MINIMUM DIMENSIONAL REQUIREMENTS FOR PARKING SPACES.  
 C. SECTION 190-198, WHICH SETS MINIMUM PARKING STANDARDS.  
 D. SECTION 190-199, WHICH SETS MINIMUM DIMENSIONAL REQUIREMENTS FOR LOADING SPACES.  
 E. SECTION 190-208, WHICH SETS MINIMUM GEOMETRIC DESIGN STANDARDS FOR STREET.



REV.	DATE	DESCRIPTION	BY	CHK
1	09/29/16	No Revisions This Sheet	JLM	JFE
2	09/26/16	Revised per Regulatory Comments	JLM	JFE
3	08/22/16	No Revisions This Sheet	JLM	JFE
4	05/11/16	Revised per Regulatory Comments	JLM	JFE
5	04/28/16	No Revisions This Sheet	JLM	JFE
6	02/08/16	Revised per Planning Department comments	JRW	JFE
7	01/13/16	Revised for Phasing	JRW	JFE
8	11/11/15	Revised per Engineering review	JRW	JFE
9	11/04/15	Revised per regulatory review comments	JRW	JFE

TAX MAP 40 LOTS 34, 50 & 51  
**SITE PLAN - PHASE 1**  
**RESIDENCES AT RIVERFRONT LANDING**  
**62 & 70 BRIDGE STREET**  
**NASHUA, NEW HAMPSHIRE**

OWNED BY  
**CITY OF NASHUA**  
 APPLICANT: RENAISSANCE DOWNTOWNS AT NASHUA LLC

SCALE: 1"=40'  
 OCTOBER 6, 2016

**TFM** Civil Engineers  
**MSC** Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists

170 Commerce Way, Suite 102  
 Portsmouth, NH 03801  
 Phone: (603) 431-2222  
 Fax: (603) 431-0910  
 www.tfmoran.com

17776 00  
 C-11

**PHASING NOTES**

- WORK TO BE COMPLETED AS PART OF PHASE 2 IS MARKED WITHIN THE "LIMIT OF PHASE 2 WORK" LINE AND INCLUDES THE FOLLOWING ITEMS:
- PAVEMENT, CURBS AND LANDSCAPED ISLANDS
- SIGNAGE AND PAVEMENT MARKINGS
- BUILDING, SIDEWALKS AND COURTYARD

**PROPOSED PARKING PER LOT**

PROPOSED SPACES	LOT 34	0 SPACES
	LOT 50	328 SPACES (INCLUDES 141 WITHIN GARAGE)
	LOT 51	41 SPACES
<b>TOTAL</b>		<b>369 SPACES</b>

**SITE DATA (PHASE 2)**

ZONED: GENERAL INDUSTRIAL/MIXED USE OVERLAY DISTRICT (GI/MU)  
 EXISTING USE: VACANT/RECREATIONAL  
 PROPOSED USE: RESIDENTIAL/RESTAURANT

**DIMENSIONAL REQUIREMENTS (LAND USE CODE 9.1/12)**

	REQUIRED:	PROVIDED:
<b>MINIMUM LOT DIMENSIONS:</b>		
LOT AREA	5,000 SF	289,382.2 SF
WIDTH	50 FT	424 FT
STREET FRONTAGE	50 FT	410 FT
DEPTH	75 FT	877 FT
<b>MINIMUM YARD DIMENSIONS:</b>		
FRONT	10 FT	50 FT
SIDE	10 FT	2 FT
REAR	15 FT	82 FT
<b>MAXIMUM STRUCTURE DIMENSIONS:</b>		
STRUCTURE HEIGHT	60 FT	63.5 FT
STORIES	3 EA	5 EA
<b>MINIMUM OPEN SPACE</b>	10 %	29% %
<b>PARKING REQUIREMENTS</b>		
PARKING SPACES (SEE CALCULATION)	369 SPACES	369 SPACES
ACCESSIBLE SPACES (REQ'D BY ADA)	8 SPACES	11 SPACES
PARKING SPACE SIZE	1 SPACE PER 1,000 SF	9 FT x 18 FT
ASILE WIDTH	24/22 FT	24/22 FT

**PARKING CALCULATIONS**

REQUIRED PARKING RATIO:

MULTI FAMILY DWELLING:	1.5 SPACE PER UNIT (MIN)	
RESTAURANT:	1 SPACE PER 4 SEATS	
RETAIL:	1 SPACE PER 300 SF	
FITNESS CLUB:	1 SPACE PER 650 SF	
OFFICE:	1 SPACE PER 1,000 SF	
CYBER LOUNGE:	1 SPACE PER 800 SF	
COMMUNITY ROOM:	1.5 SPACES PER 1,000 SF	

**TOTAL REQUIRED =**

228 DWELLING UNITS * 1.5 SPACES/UNIT	= 342 SPACES +
50 SEAT RESTAURANT * 1/4 SEATS	= 12.5 SPACES +
3,600 SF RETAIL * 1/300 SF	= 12 SPACES +
438 SF FITNESS CENTER * 1/650 SF	= 0.7 SPACES +
617 SF OFFICE * 1/1,000 SF	= 0.6 SPACES +
339 SF CYBER LOUNGE * 1/800 SF	= 0.6 SPACES +
878 SF COMMUNITY ROOM * 1.5/1,000 SF	= 1.3 SPACES +
<b>TOTAL REQUIRED =</b>	<b>369 SPACES</b>

**TOTAL PROVIDED =**

OUTSIDE OF GARAGE	= 181 SPACES
WITHIN GARAGE	= 188 SPACES
<b>TOTAL PROVIDED =</b>	<b>369 SPACES</b>

**NOTES - SEE GENERAL NOTES SHEET FOR ADDITIONAL NOTES.**

- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN IN ANY WAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
- FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOLIATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE IMPROVEMENTS ASSOCIATED WITH THIS PROJECT FOR PHASE 2. PHASE 2 CONSISTS OF CONSTRUCTION BUILDING C WITH ASSOCIATED PARKING, UTILITIES, DRAINAGE, GRADING, LIGHTING, LANDSCAPING AND STORMWATER MANAGEMENT.
- PRIOR TO ANY WORK BEING CONDUCTED A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PLANNING STAFF AND OTHER CITY DEPARTMENTS AS NECESSARY TO REVIEW THE PROPOSED WORK.
- STREET RESTORATION TO BE IN ACCORDANCE WITH NRO-285-13.
- THERE ARE NO INLAND WETLANDS LOCATED ON THE PROPERTY, THE PROPERTY BORDERS THE NASHUA AND MERRIMACK RIVERS.

THE UNDER-SIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

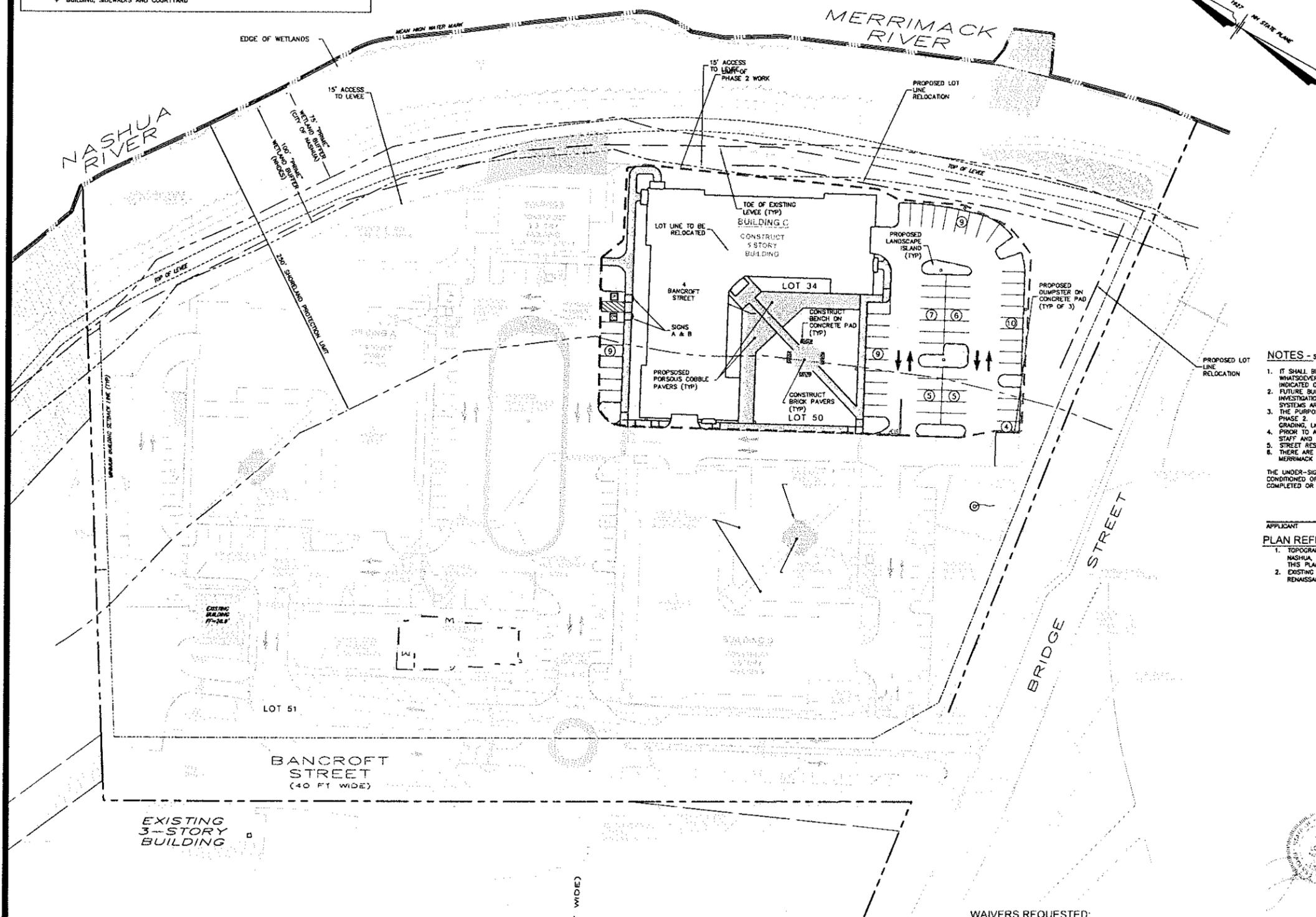
APPLICANT: \_\_\_\_\_ DATE: \_\_\_\_\_

**PLAN REFERENCES**

- TOPOGRAPHIC WORKSHEET (LOT 32, MAP 39 AND LOTS 34, 37, 38 & 48, MAP 40) BRIDGE, SANDERS & BANCROFT STREETS, NASHUA, NEW HAMPSHIRE PREPARED FOR RENAISSANCE AT NASHUA, LLC BY HAYNER/SWANSON, INC. DATED SEPTEMBER 4, 2015.
- EXISTING CONDITIONS PLAN (MAP 40, LOTS 34, 50 & 51) 82 & 70 BRIDGE STREET NASHUA, NEW HAMPSHIRE PREPARED FOR RENAISSANCE AT NASHUA, LLC BY HAYNER/SWANSON, INC. DATED FEBRUARY 10, 2018.

**LEGEND**

SF	SQUARE FEET	[Symbol]	PROPOSED PAINT
[Symbol]	ACCESSIBLE PARKING	[Symbol]	EXISTING RIP RAP
TYP	TYPICAL	[Symbol]	PROPOSED CONCRETE
VOC	VERTICAL GRANITE CURB	[Symbol]	PROPERTY LINE
[Symbol]	EXISTING UTILITY POLE	[Symbol]	PROPOSED EDGE OF WETLANDS
[Symbol]	PROPOSED UTILITY POLE	[Symbol]	EDGE OF WETLANDS BUFFER
[Symbol]	EXISTING GUY WIRE	[Symbol]	SETBACK LINE
[Symbol]	EXISTING SEWER MANHOLE	[Symbol]	EXISTING TREELINE
[Symbol]	PROPOSED SIGN	[Symbol]	PROPOSED TREELINE
[Symbol]	PROPOSED LIGHTPOLE BASE	[Symbol]	EXISTING GUARD RAIL
[Symbol]	PROPOSED PARKING COUNT	[Symbol]	EXISTING FENCE
[Symbol]	PROPOSED DUMPSTER	[Symbol]	TOP OF LEVEE
[Symbol]	PROPOSED TRANSFORMER PAD	[Symbol]	ZONE LINE
		[Symbol]	BUFFER LINE



**APPROVED BY THE NASHUA PLANNING BOARD**  
 ON \_\_\_\_\_ AND \_\_\_\_\_  
 CHAIRMAN: \_\_\_\_\_  
 SECRETARY: \_\_\_\_\_

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**DIRECTIONAL SIGN LEGEND**

ID	SIGN	NO./SIZE/COLOR	ID	SIGN	NO./SIZE/COLOR	ID	SIGN	NO./SIZE/COLOR	ID	SIGN	NO./SIZE/COLOR
A	[Symbol]	R7-B 12" x 18" BLACK AND WHITE	C	[Symbol]	R1-1 30" x 30" RED AND WHITE	D	[Symbol]	R5-1 30" x 30" RED AND WHITE	E	[Symbol]	R4-7 24" x 30" BLACK AND WHITE
B	[Symbol]	R7-BP 18" x 9" BLACK AND WHITE							F	[Symbol]	R5-11 24" x 30" BLACK AND WHITE

**WAIVERS REQUESTED:**

- SECTION 190-23 F (1), WHICH SET DIMENSIONAL AND DENSITY REQUIREMENTS.
- SECTION 190-191, WHICH SETS MINIMUM DIMENSIONAL REQUIREMENTS FOR PARKING SPACES.
- SECTION 190-198, WHICH SETS MINIMUM PARKING STANDARDS.
- SECTION 190-199, WHICH SETS MINIMUM DIMENSIONAL REQUIREMENTS FOR LOADING SPACES.
- SECTION 190-208, WHICH SETS MINIMUM GEOMETRIC DESIGN STANDARDS FOR STREET.

REV	DATE	DESCRIPTION	DR	CK
1	09/29/16	No Revisions This Sheet	JLM	JFE
2	09/26/16	Revised Per Regulatory Comments	JLM	JFE
3	8/22/16	No Revisions This Sheet	JLM	JFE
4	05/13/16	Revised per Regulatory Comments	JLM	JFE
5	04/28/16	No Revisions This Sheet	JLM	JFE
6	02/28/16	Revised per Planning Department comments	JFW	JFE
7	01/15/16	Revised for phasing	JFW	JFE
8	11/12/15	Revised per Engineering review	JFW	JFE
9	11/04/15	Revised per regulatory review comments	JFW	JFE



TAX MAP 40 LOTS 34, 50 & 51  
**SITE PLAN - PHASE 2**  
**RESIDENCES AT RIVERFRONT LANDING**  
**82 & 70 BRIDGE STREET**  
**NASHUA, NEW HAMPSHIRE**

OWNED BY  
**CITY OF NASHUA**  
 APPLICANT: RENAISSANCE DOWNTOWNS AT NASHUA, LLC  
 SCALE: 1"=40'  
 OCTOBER 8, 2016

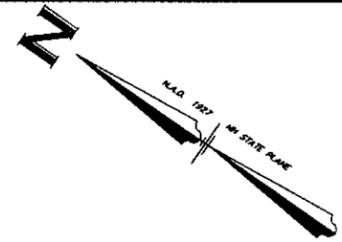
170 Commerce Way, Suite 102  
 Portsmouth, NH 03801  
 Phone (603) 431-2222  
 Fax (603) 431-0910  
 www.tfmoran.com

TFM MSC  
 Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists

17776.00  
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**PHASING NOTES**

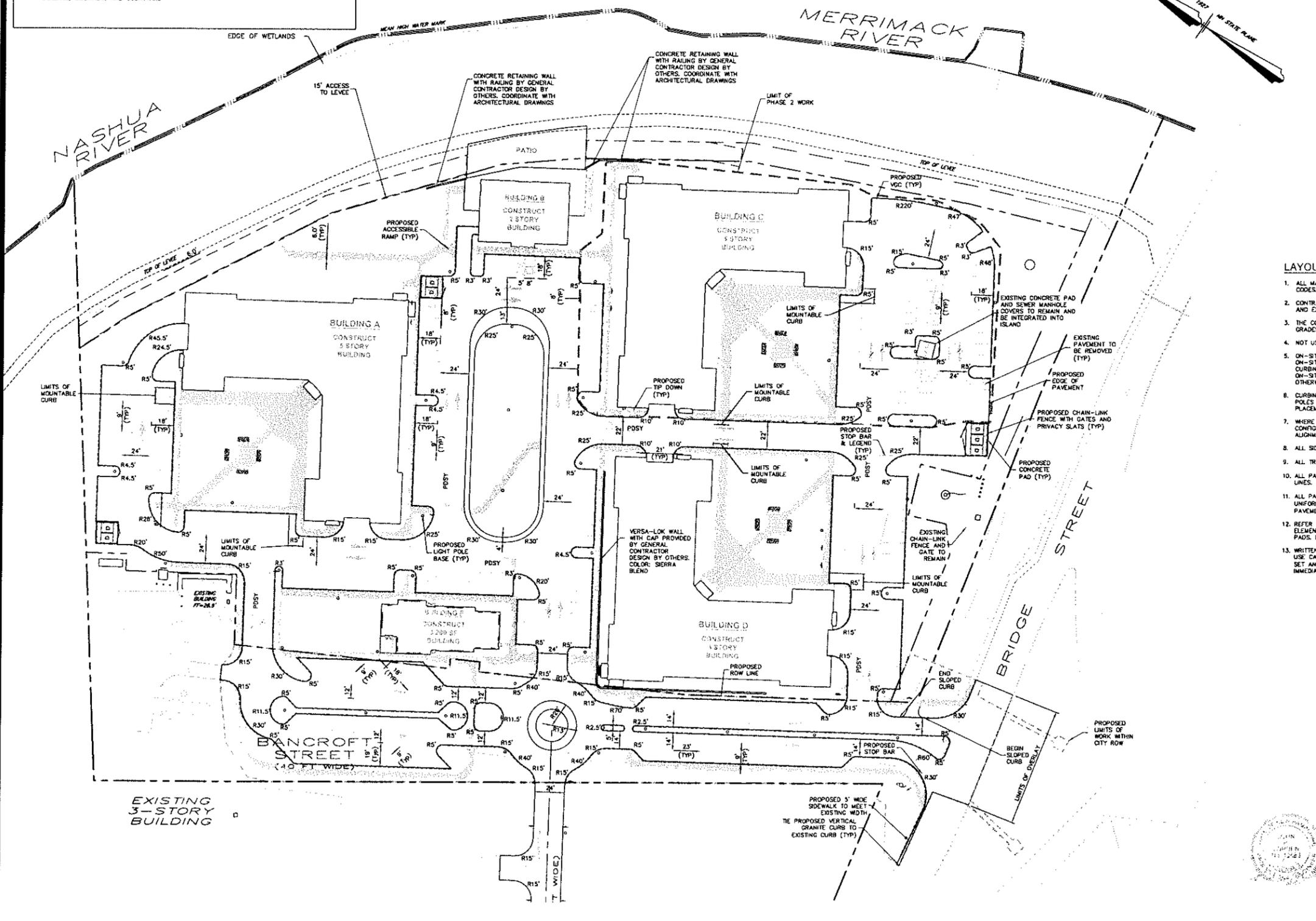
WORK TO BE COMPLETED AS PART OF PHASE 2 IS MARKED WITHIN THE "LIMIT OF PHASE 2 WORK" LINE AND INCLUDES THE FOLLOWING ITEMS:  
 - PAVEMENT, CURBING AND LANDSCAPED ISLANDS  
 - SIGNAGE AND PAVEMENT MARKINGS  
 - BUILDING, SIDEWALKS AND COURTYARD



LEGEND	
PDSY	PROPOSED DOUBLE SOLID YELLOW LINE
R	RADIUS
TYP	TYPICAL
VGC	VERTICAL GRANITE CURB
[Symbol]	PROPOSED ACCESSIBLE PARKING
[Symbol]	PROPOSED PAINTED ARROW
[Symbol]	PROPOSED LIGHT POLE BASE
[Symbol]	PROPOSED STOP BAR & LEGEND
[Symbol]	PROPERTY LINE
[Symbol]	PROPOSED PROPERTY LINE
[Symbol]	PROPOSED CONCRETE

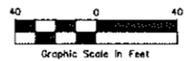
**LAYOUT & MATERIAL NOTES**

1. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY, STATE, AND FEDERAL CODES.
2. CONTRACTOR TO NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES OF PROPOSED LAYOUT AND EXISTING FEATURES.
3. THE CONTRACTOR SHALL EMPLOY A LICENSED LAND SURVEYOR TO DETERMINE ALL LINES AND GRADES.
4. NOT USED.
5. ON-SITE CURBING ADJUTING CONCRETE SIDEWALK SHALL BE MONOLITHIC CURBING. ALL OTHER ON-SITE CURBING AND CURBING IN THE CITY RIGHT-OF-WAY SHALL BE VERTICAL GRANITE CURBING UNLESS WHERE STATED. SEE GRANITE CURB DETAIL FOR RIGHT-OF-WAY VERSUS ON-SITE CURBING INSTALLATION. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
6. CURBING ALIGNMENT SHALL BE MODIFIED TO AVOID CONFLICTS WITH ALL UTILITY MANHOLES OR POLES AND OTHER CASTINGS. ALL CONFLICTS SHALL BE REVIEWED WITH THE OWNER PRIOR TO PLACEMENT OF CURB FOR APPROVAL OF MODIFIED ALIGNMENT.
7. WHERE NEW CURB MEETS EXISTING CURB OR CURBING OF A DIFFERENT MATERIAL OR CONFIGURATION, A TRANSITION PIECE SHALL BE INCLUDED SO THAT CONNECTION IS FLUSH IN ALIGNMENT, WIDTH AND REVEAL.
8. ALL SIDEWALKS TO BE CONCRETE SIDEWALKS UNLESS OTHERWISE NOTED ON PLAN.
9. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "T".
10. ALL PAINTED ISLANDS SHALL BE 4" WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY 4" WIDE LINES.
11. ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO THE LATEST EDITIONS OF "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS.
12. REFER TO ARCHITECTURAL PLANS FOR LAYOUT OF BUILDING FOUNDATIONS AND CONCRETE ELEMENTS WHICH ADJUT THE BUILDING SUCH AS STAIRS, SIDEWALKS, LOADING DOCK RAMPS AND PADS. DO NOT USE SITE PLANS FOR LAYOUT OF FOUNDATIONS.
13. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.



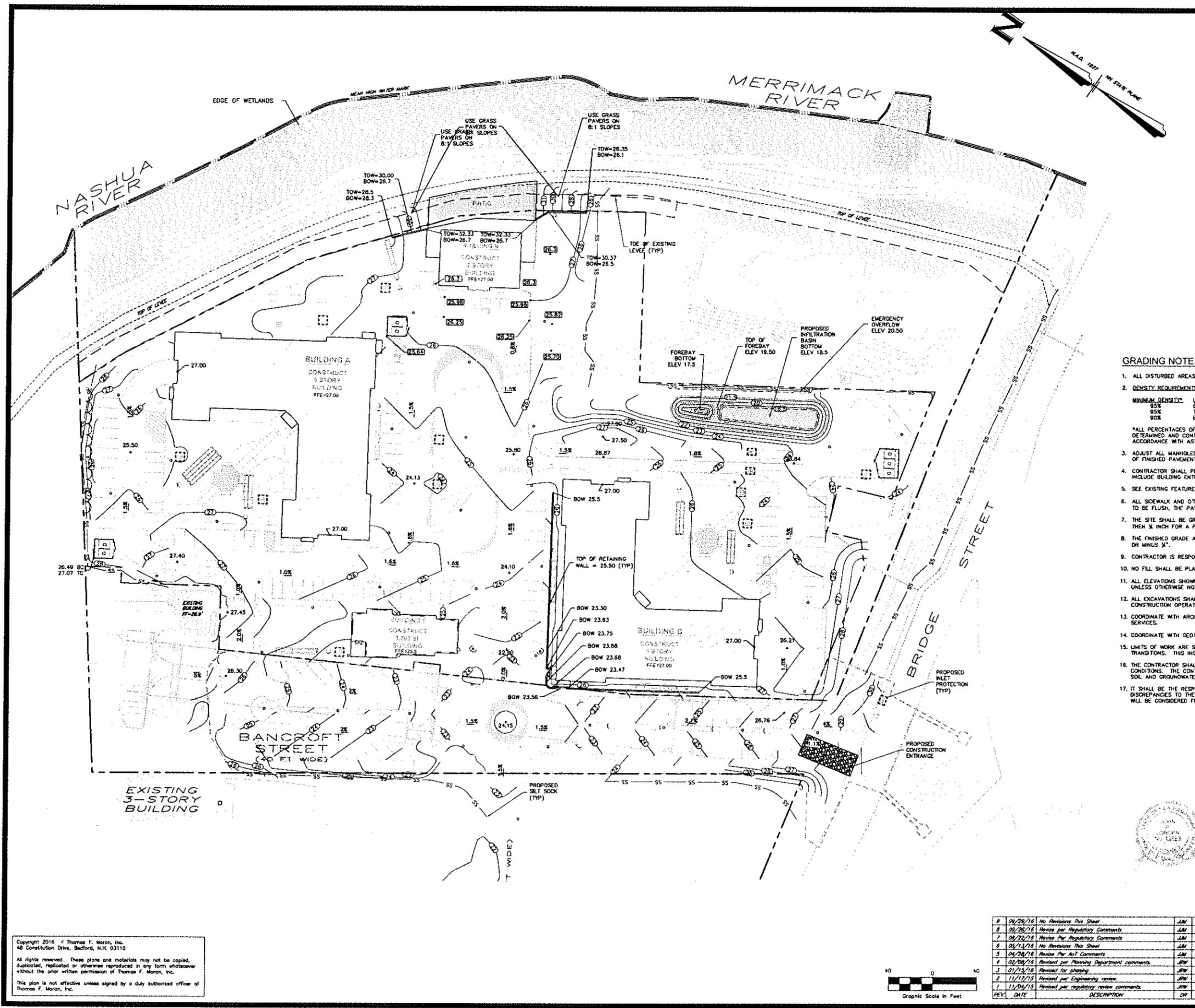
TAX MAP 40 LOTS 34, 50 & 51  
**LAYOUT PLAN**  
**RESIDENCES AT RIVERFRONT LANDING**  
**62 & 70 BRIDGE STREET**  
**NASHUA, NEW HAMPSHIRE**  
 OWNED BY  
**CITY OF NASHUA**  
 APPLICANT: RENAISSANCE DOWNTOWNS AT NASHUA LLC  
 SCALE: 1"=40'  
**OCTOBER 8, 2018**

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		Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.tfmoran.com
		17776.00	DR JLM CK JPL



LEGEND	
○	PROPOSED LIGHTPOLE BASE
⊙	EXISTING SEWER MANHOLE
⊕	PROPOSED DRAIN MANHOLE
⊞	PROPOSED CATCH BASIN
⊠	PROPOSED INLET PROTECTION
---	EXISTING CONTOUR
- - -	PROPOSED CONTOUR
SS	PROPOSED SILT SOCK

**GRADING NOTES**

- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER AND MULCH.
- DENSITY REQUIREMENTS:**  

MINIMUM DENSITY	LOCATION
95%	BELOW PAVED OR CONCRETE AREAS
95%	TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL
90%	BELOW LOAM AND SEED AREAS

\*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM D-6936.
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.
- CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS AND LOADING AREAS.
- SEE EXISTING FEATURES PLAN FOR BENCHMARK INFORMATION. VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
- ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6" WITH A TOLERANCE OF PLUS OR MINUS 3/8". WHERE SIDEWALK IS TO BE FLUSH, THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
- THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE AND SHALL NOT POND WATER DEEPER THAN 1/8" INCH FOR A PERIOD OF MORE THAN 15 MINUTES AFTER FLOODING.
- THE FINISHED GRADE AT BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH PAVEMENT WITH A TOLERANCE OF PLUS OR MINUS 3/8".
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SLOPE STABILITY DURING CONSTRUCTION.
- NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
- ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
- ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING, AND SIZE AND LOCATION OF ALL BUILDING SERVICES.
- COORDINATE WITH GEOTECHNICAL/STRUCTURAL PLANS FOR SITE PREPARATION AND OTHER BUILDING INFORMATION.
- LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS AND ALIGNMENTS.
- THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT SOIL AND GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEERS RECOMMENDED METHODS TO ADDRESS ANY SOIL AND GROUNDWATER ISSUES THAT ARE FOUND ON SITE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.

TAX MAP 40 LOTS 34, 50 & 51  
**PHASE 1 - GRADING & EROSION CONTROL PLAN**  
**RESIDENCES AT RIVERFRONT LANDING**  
**62 & 70 BRIDGE STREET**  
**NASHUA, NEW HAMPSHIRE**

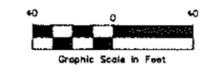
OWNED BY  
**CITY OF NASHUA**  
 APPLICANT: RENAISSANCE DOWNTOWNS AT NASHUA LLC  
 SCALE: 1"=40'  
 OCTOBER 8, 2016



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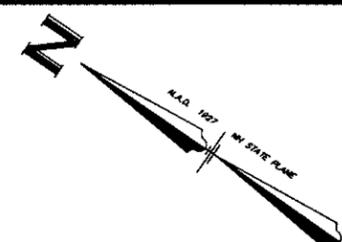
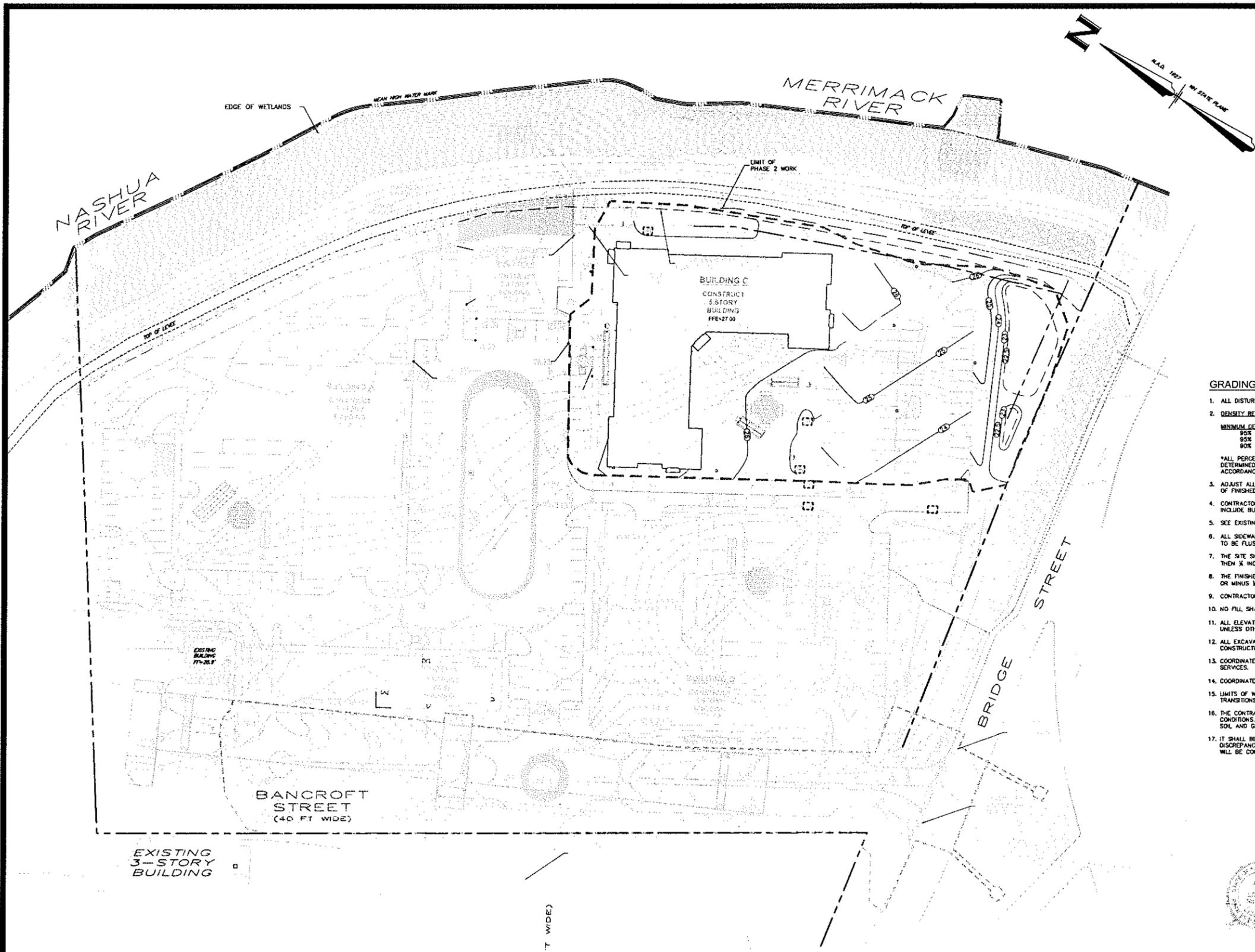
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REV.	DATE	DESCRIPTION	BY	CHK
9	09/29/16	No Revisions This Sheet	JLM	JPL
8	08/26/16	Revised per Regulatory Comments	JLM	JPL
7	08/22/16	Revised per Regulatory Comments	JLM	JPL
6	05/11/16	No Revisions This Sheet	JLM	JPL
5	04/28/16	Revised per A/E/T Comments	JLM	JPL
4	03/04/16	Revised per Planning Department comments	JLM	JPL
3	01/15/16	Revised for phasing	JLM	JPL
2	11/12/15	Revised per Regulatory review	JLM	JPL
1	11/04/15	Revised per regulatory review comments	JLM	JPL
REV.	DATE	DESCRIPTION	BY	CHK

		Civil Engineers	170 Commerce Way, Suite 102			
		Structural Engineers	Parsmouth, NH 03801			
		Traffic Engineers	Phone (603) 431-2222			
		Land Surveyors	Fax (603) 431-0910			
		Landscape Architects	www.tfmoran.com			
		Scientists				
17776.00	DR	JLM	FB			C-3.1
	CK	JPL	CAO/PLE	Grading.dwg		



LEGEND	
○	PROPOSED LIGHTPOLE BASE
⊙	EXISTING SEWER MANHOLE
⊕	PROPOSED DRAIN MANHOLE
⊞	PROPOSED CATCH BASIN
⊟	PROPOSED INLET PROTECTION
—	EXISTING CONTOUR
- - -	PROPOSED CONTOUR
—○—	PROPOSED SILT SOCK

**GRADING NOTES**

- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER AND MULCH.
- DENSITY REQUIREMENTS:**  

MINIMUM DENSITY	LOCATION
95%	BELOW PAVED OR CONCRETE AREAS
90%	TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL
90%	BELOW LOAM AND SEED AREAS

\*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM D-6938.
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TAX MAP 40 LOTS 34, 50 & 51  
**PHASE 2 - GRADING & EROSION CONTROL PLAN**  
 RESIDENCES AT RIVERFRONT LANDING  
 62 & 70 BRIDGE STREET  
 NASHUA, NEW HAMPSHIRE

OWNED BY  
**CITY OF NASHUA**  
 APPLICANT: RENAISSANCE DOWNTOWNS AT NASHUA LLC

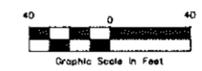
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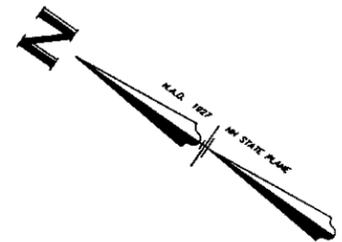


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3	01/13/16	Revised for phasing	JPL	JPL
2	11/17/15	Revised per Engineering review	JPL	JPL
1	11/24/15	Revised per regulatory review comments	JPL	JPL

		Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.tfmoran.com
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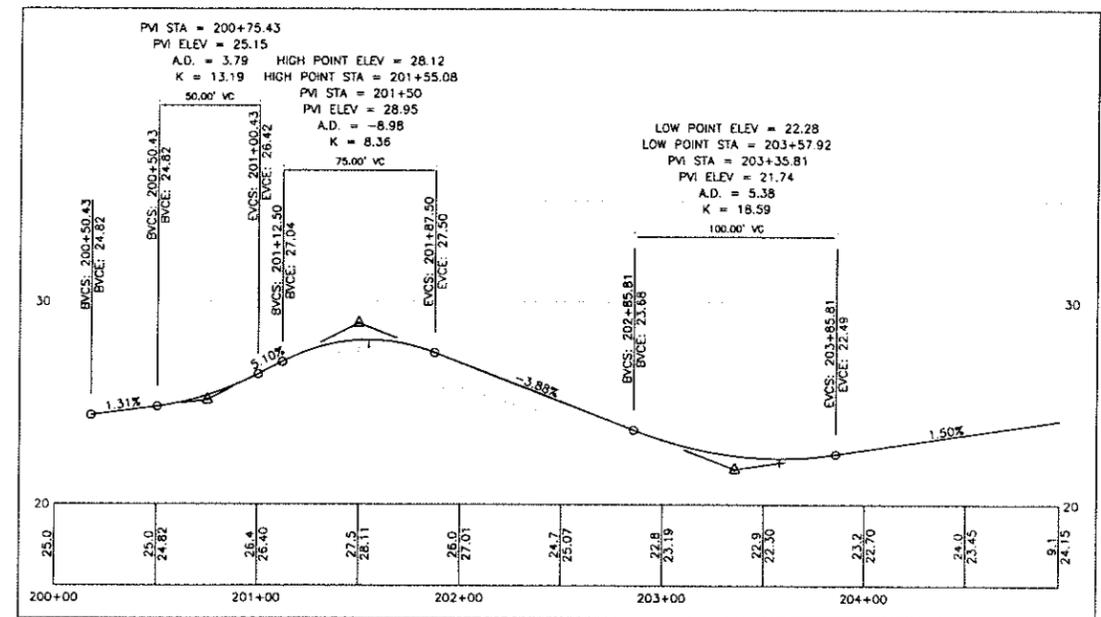
EXISTING  
3-STORY  
BUILDING

EXISTING  
1-STORY  
BUILDING



**NOTES**

1. SEE LANDSCAPE PLAN FOR LEGEND OF OFF-SITE PLANTINGS.
2. IN AREAS OF NEW PAVEMENT MARKINGS, EXISTING MARKINGS NOT TO BE INCORPORATED INTO THE NEW WORK SHALL BE ERADICATED.
3. SEE TEMPORARY SIGNALIZATION PLAN FOR MORE DETAIL.
4. SEE TYPICAL SECTION OF RIVERFRONT LANDING FOR ROADWAY DETAILS.



TAYLOR FALLS WAY  
PROFILE

**LEGEND**

SF	SQUARE FEET	POSY	PROPOSED DOUBLE SOLID YELLOW
TYP	TYPICAL	POSY	PROPOSED SINGLE SOLID WHITE
VGC	VERTICAL GRANITE CURB	---	PROPERTY LINE
SSWL	SINGLE SOLID WHITE LINE	---	EXISTING CONTOUR LINE
DSYL	DOUBLE SOLID YELLOW LINE	---	PROPOSED CONTOUR LINE
---	EXISTING UTILITY POLE	---	EXISTING OVERHEAD UTILITIES
U	PROPOSED UTILITY POLE	---	EXISTING OVERHEAD UTILITIES
W	EXISTING CUY WIRE		
W	EXISTING SEWER MANHOLE		
+	PROPOSED SIGN		
o	PROPOSED LIGHTPOLE BASE		
o	PROPOSED POLE		
■	PROPOSED CONTROL BOX		
■	PROPOSED PULL BOX		
+	PROPOSED TEMPORARY TRAFFIC SIGNAL HEAD		

**DIRECTIONAL SIGN LEGEND**

ID	SIGN	NO./SIZE/COLOR	ID	SIGN	NO./SIZE/COLOR
C	STOP	R1-1 30" x 30" RED AND WHITE	H	NO PARKING	R7-1 12" x 18" RED AND WHITE

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TAX MAP 40 LOTS 34, 50 & 51  
**OFF-SITE IMPROVEMENT PLAN**  
RESIDENCES AT RIVERFRONT LANDING  
62 & 70 BRIDGE STREET  
NASHUA, NEW HAMPSHIRE

OWNED BY  
**CITY OF NASHUA**  
APPLICANT, RENAISSANCE DOWNTOWNS AT NASHUA LLC

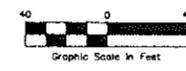
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OCTOBER 8, 2016

**MSC**  
Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
www.mscengineers.com

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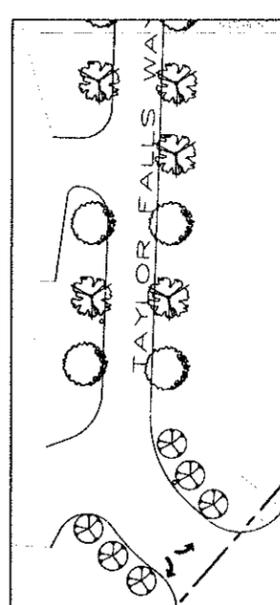
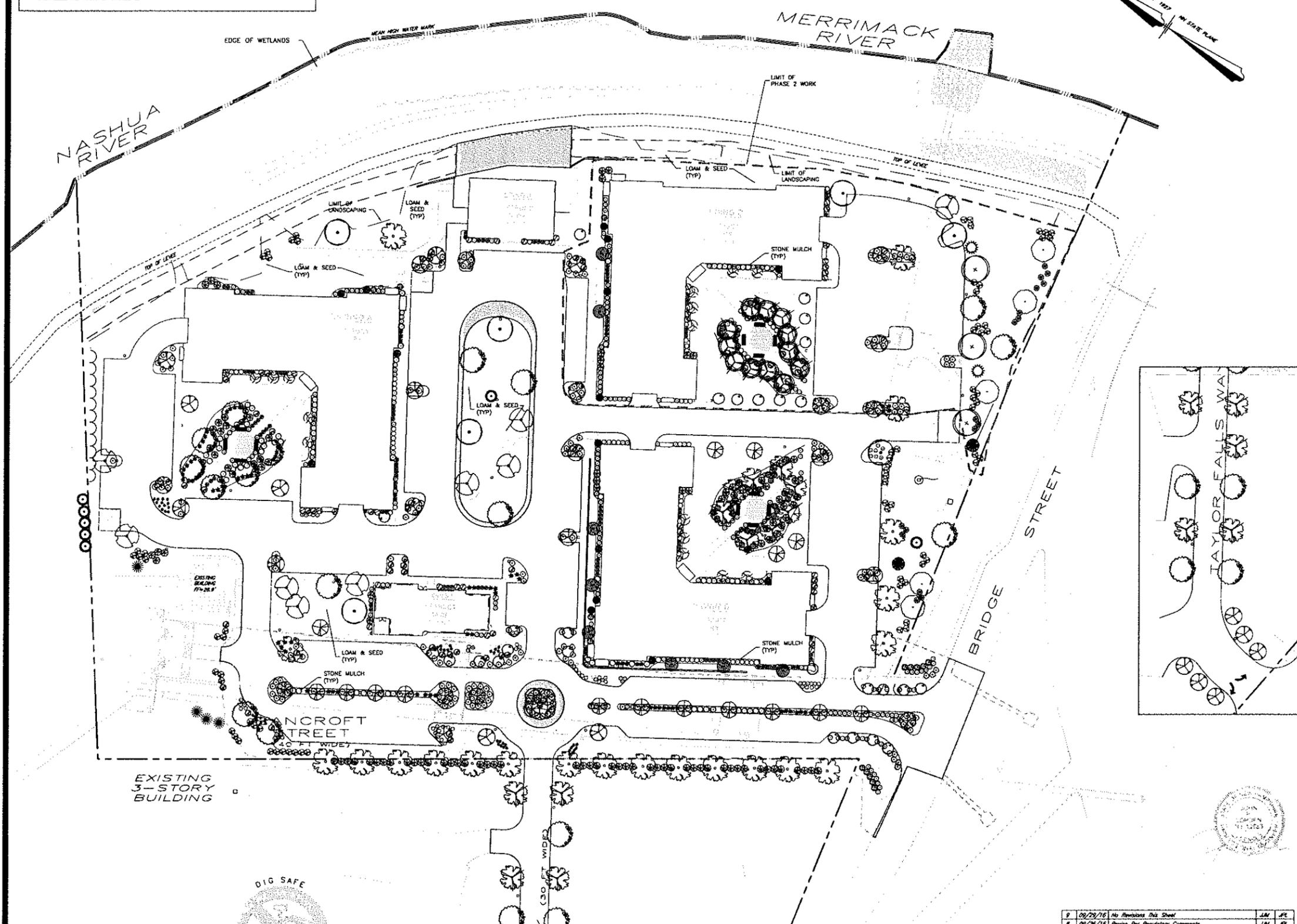
**PHASING NOTES**

- DISTURBED AREAS WITHIN THE "LIMIT OF PHASE 2 WORK" LINE SHALL BE LOAM AND SEEDS AS PART OF THE INITIAL PHASE.
- ALL OTHER LANDSCAPING SHOWN WITHIN THE "LIMIT OF PHASE 2 WORK" LINE SHALL BE INSTALLED AS PART OF PHASE 2.

**LANDSCAPE LEGEND**

QUANTITIES SHOWN REPRESENT COMBINED PHASE 1 AND PHASE 2 WORK

SYMBOL	QTY	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
	21	ACER RUBRUM RED MAPLE	2 1/2" TO 3" CAL.	B&B
	17	ACER SACCHARUM SUGAR MAPLE	2 1/2" TO 3" CAL.	B&B
	24	AMELANCHER X G. ROBIN HILL ROBIN HILL SERVICEBERRY	2" TO 2 1/2" CAL.	B&B
	16	BETULA LENTA BLACK BIRCH	10' TO 12' CLUMP	B&B
	27	CORNUS FLORIDA WHITE FLOWERING DOGWOOD	2" TO 2 1/2" CAL.	B&B
	30	PYRUS C. 'CHANTICLEER' CHANTICLEER FLOWERING PEAR	2" TO 2 1/2" CAL.	B&B
	5	FAGUS GRANIFOLIA AMERICAN BEECH	2 1/2" TO 3" CAL.	B&B
	9	PLATANUS OCCIDENTALIS AMERICAN SYCAMORE	2 1/2" TO 3" CAL.	B&B
	8	AMELANCHER CANADENSIS SHADBLOW SERVICEBERRY	2" TO 2 1/2" CAL.	B&B
	7	QUERCUS ALBA WHITE OAK	2 1/2" TO 3" CAL.	B&B
	15	SYRINGA RETICULATA JAPANESE TREE LILAC	2" TO 2 1/2" CAL.	B&B
	3	TILIA A. 'REDMOND' REDMOND LINDEN	2 1/2" TO 3" CAL.	B&B
	22	LIRODENDRON TUJIFIFERA TULIP TREE	2 1/2" TO 3" CAL.	B&B
	2	PINUS SYLVESTRIS SCOTCH PINE	6" TO 7"	B&B
	2	PINUS STROBUS WHITE PINE	6" TO 7"	B&B
	7	PICEA GLAUCA WHITE SPRUCE	6" TO 7"	B&B
	4	ABIES BALSAMEA BALSAM FIR	6" TO 7"	B&B
	85	AZALEA 'GRARD'S CRIMSON' GRARD'S CRIMSON AZALEA	18" TO 24"	CONT.
	126	CORNUS SERICEA 'SANTII' SANTII RED DOGWOOD	2" TO 2 1/2"	CONT.
	54	FORSYTHIA 'LYNWOOD GOLD' LYNWOOD GOLD FORSYTHIA	2" TO 2 1/2"	CONT.
	78	ILEX GLABRA 'DENSE' DENSE INKBERRY	2" TO 2 1/2"	CONT.
	101	ITEA VIRGINICA 'HENRY'S GARNET' HENRY'S GARNET SWEETGUM	18" TO 24"	CONT.
	206	JUNIPERUS H. 'BAR HARBOR' BAR HARBOR JUNIPER	18" TO 24"	CONT.
	19	MYRTICA PENNSYLVANICA NORTHERN BAYBERRY	2" TO 2 1/2"	CONT.
	19	PHYSOCARPUS O. 'SUMMER WINE' SUMMER WINE NINEBARK	2" TO 2 1/2"	CONT.
	64	PINUS M. 'MUGO' COMPACT MUGO PINE	18" TO 24"	CONT.
	24	RHODODENDRON 'P.M.' P.M. RHODODENDRON	2" TO 2 1/2"	CONT.
	56	RHODODENDRON CAROLINIANUM CAROLINA RHODODENDRON	2" TO 2 1/2"	CONT.
	82	SPIRAEA X B. 'ANTHONY WATERER' ANTHONY WATERER SPIREA	18" TO 24"	CONT.
	227	TAXUS M. 'DENSE SPREADING' DENSE SPREADING YEW	18" TO 24"	CONT.
	17	VACCINIUM CORYMBOSUM Highbush Blueberry	2" TO 2 1/2"	CONT.
	15	VEBURNUM TRILOBUM AMERICAN CRANBERRYBUSH	3" TO 4"	CONT.
	60	LUCEANthemum X SUPERBUM SHASTA DASTY	1 GAL.	CONT.
	48	RUDEBECKIA SUBTOMENTOSA SWEET CONEFLOWER	1 GAL.	CONT.



EXISTING 3-STORY BUILDING

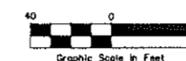


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**LEGEND**

	EXISTING TREELINE
	PROPOSED TREELINE

- LANDSCAPE NOTES**
1. SEE DETAILS FOR ADDITIONAL NOTES.
  2. SEE GENERAL NOTES SHEET FOR LANDSCAPE REQUIREMENTS.
  3. SEE OFF-SITE SHEET FOR PROPOSED LANDSCAPING OFF-SITE.
  4. LANDSCAPING HAS BEEN DESIGNED PER NASHUA REGULATIONS AND IS CONSIDERED AS CONFORMING WITH PLANNING BOARD APPROVAL.



REV#	DATE	DESCRIPTION	BY	CHK
0	09/29/16	No Revisions This Sheet	JLM	JFL
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62 & 70 BRIDGE STREET  
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C-B  
Landscape.dwg

**PHASING NOTES**

- WALL MOUNTED LIGHTING ON BUILDING C AND LIGHT POLE BASES, POLES AND FIXTURES SHOWN WITHIN THE "LIMIT OF PHASE 2 WORK" LINE SHALL BE CONSTRUCTED AS PART OF PHASE 2.

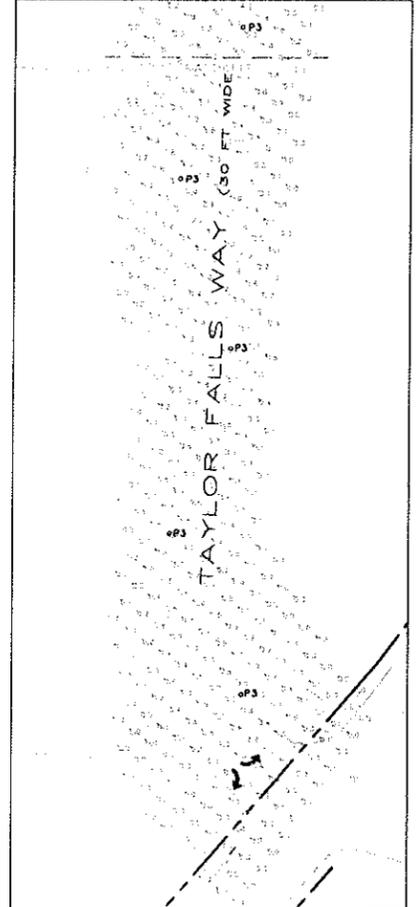
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o P5	22	P5	SINGLE	SOUTH-70W60C3K-LWV-V-FA-TM-BK/4.512-A-125-14-PC-BLK-COVER
W	8	W	SINGLE	ISS-ED1-LED-E1-BL4/ WALL MTD 14' AFG

**PAVED DRIVES AND PARKING LIGHTING**

ILLUMINANCE (Fc)

- AVERAGE = 1.61
- MAXIMUM = 5.3
- MINIMUM = 0.4
- AVG/MIN RATIO = 4.03
- MAX/MIN RATIO = 13.75

**OFF-SITE LIGHTING**



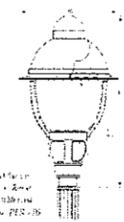
**ISC/ISS/IST/ISW  
IMPACT ELITE LED**

1 - 2 Light/DAB,  
Road Side LED

WALL MOUNT LUMINAIRE

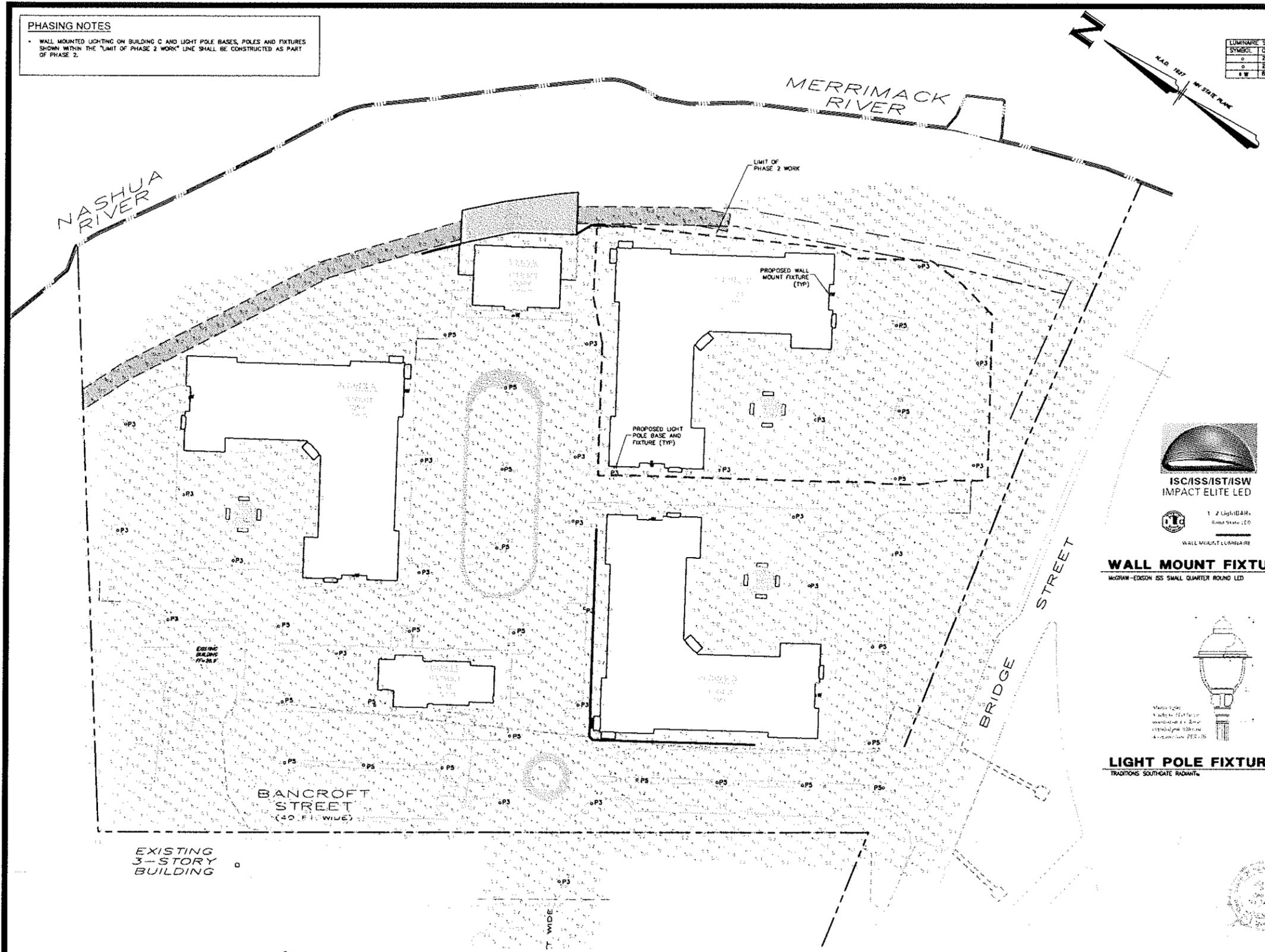
**WALL MOUNT FIXTURE (W)**

MCGRAW-EDISON ISS SMALL QUARTER ROUND LED



**LIGHT POLE FIXTURE (P3 & P5)**

TRADITION SOUTHGATE ROADWAY



EXISTING  
3-STORY  
BUILDING

BANCROFT STREET  
(40 FT WIDE)

BRIDGE STREET

TAYLOR FALLS WAY (30 FT WIDE)

TAX MAP 40 LOTS 34, 50 & 51

**LIGHTING PLAN**

**RESIDENCES AT RIVERFRONT LANDING**

**62 & 70 BRIDGE STREET**

**NASHUA, NEW HAMPSHIRE**

OWNED BY  
**CITY OF NASHUA**

APPLICANT: RENAISSANCE DOWNTOWNS AT NASHUA LLC

SCALE: 1"=40'

OCTOBER 6, 2016

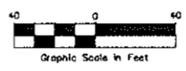
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CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION



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1	11/04/15	No revisions this sheet.	JLM	JFL

**TFM** **MSC**

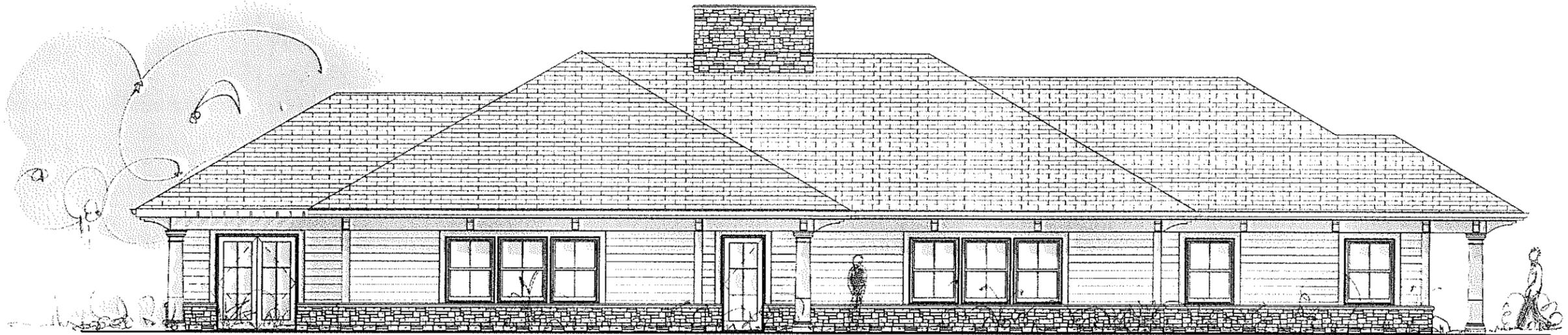
Civil Engineers  
Structural Engineers  
Traffic Engineers  
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Scientists

170 Commerce Way, Suite 102  
Parsippany, NJ 03801  
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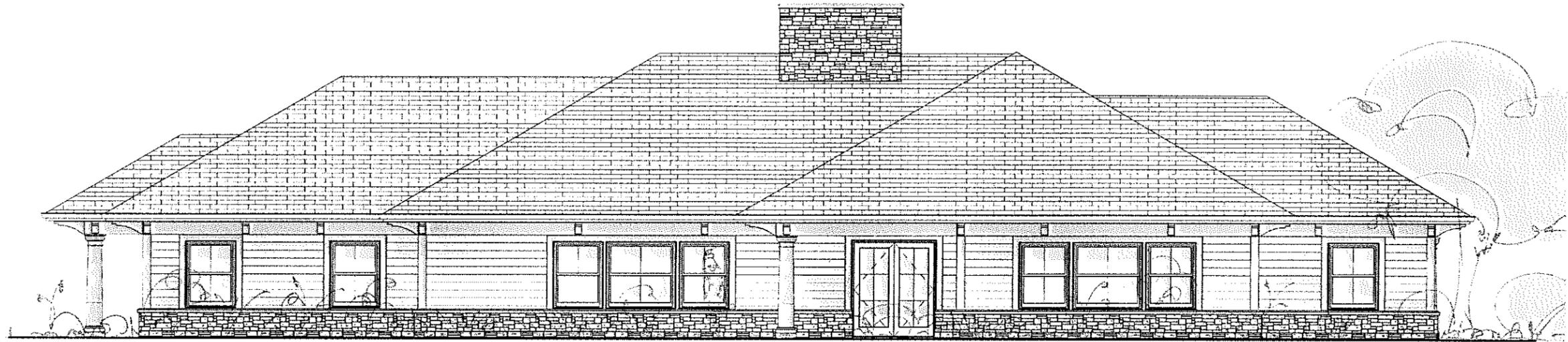
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DATE: JLM, JFL  
CHECKED: JFL, JAD/FILE  
Lighting.dwg

C-9



NORTHWEST



SOUTHEAST



SOUTH



NORTH

SCHEMATIC DESIGN FOR  
THE RESIDENCES AT RIVERFRONT LANDING

LEASING OFFICE/CLUBHOUSE ELEVATIONS

BRIDGE STREET, NASHUA, NEW HAMPSHIRE

1/8" = 1'-0"

19 NOVEMBER 2015

PROJECT NO. 201532



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WEST



EAST

SCHEMATIC DESIGN FOR  
THE RESIDENCES AT RIVERFRONT LANDING

BRIDGE STREET, NASHUA, NEW HAMPSHIRE

ELEVATIONS

1/8" = 1'-0"

19 NOVEMBER 2015

PROJECT NO. 201532

**D|A**  
DE STEFANO ARCHITECTS

A-2

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SOUTH



NORTH

SCHEMATIC DESIGN FOR  
THE RESIDENCES AT RIVERFRONT LANDING

BRIDGE STREET, NASHUA, NEW HAMPSHIRE

ELEVATIONS

1/8" = 1'-0"

19 NOVEMBER 2015

PROJECT NO. 201532



A-3

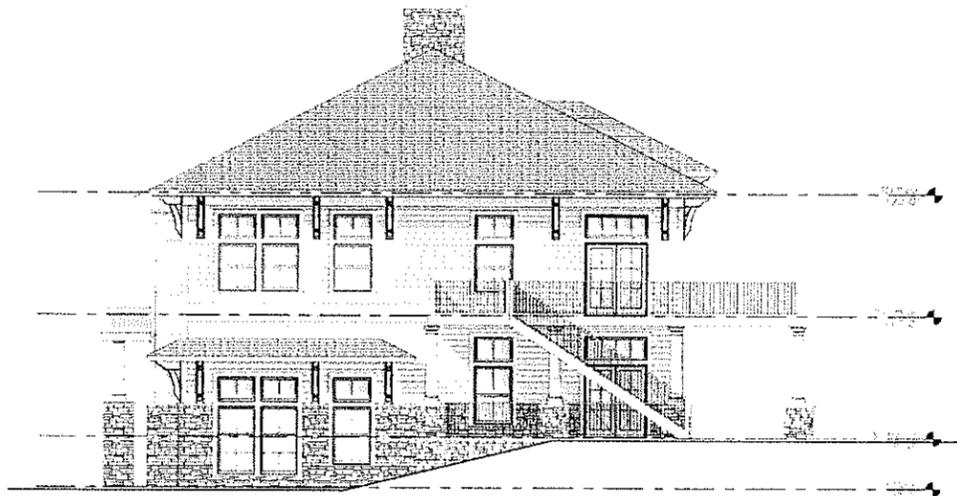
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LEFT ELEVATION



BACK ELEVATION



RIGHT ELEVATION



FRONT ELEVATION

SCHEMATIC DESIGN FOR  
THE RESIDENCES AT RIVERFRONT LANDING

BRIDGE STREET, NASHUA, NEW HAMPSHIRE

BUILDING B ELEVATIONS

1/8" = 1'-0"

19 NOVEMBER 2015

PROJECT NO. 201532

D/A  
DESIGN ARCHITECTS

A-5

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