

1. Planning Board Regular Meeting Agenda - Amended (PDF)

Documents:

[20160804 NCPB AGENDA AMENDED1.PDF](#)

2. Planning Board Staff Reports And Plans

Documents:

[20160804 200 INNOVATIVE WAY CUP STAFF REPORT.PDF](#)  
[20160804 200 INNOVATIVE WAY CONDITIONAL USE PLAN.PDF](#)  
[20160804 31 DANE STREET SUBDIVISION STAFF REPORT.PDF](#)  
[20160804 31 DANE ST SUBDIVISION PLAN.PDF](#)  
[20160804 200 INNOVATIVE WAY SITE PLAN STAFF REPORT.PDF](#)  
[20160804 200 INNOVATIVE WAY SITE PLAN.PDF](#)  
[20160804 117 WEST GLENWOOD STREET SITE PLAN STAFF REPORT.PDF](#)  
[20160804 117 WEST GLENWOOD ST SITE PLAN.PDF](#)  
[20160804 43 WEST HOLLIS STREET SITE PLAN STAFF REPORT.PDF](#)  
[20160804 43 WEST HOLLIS ST SITE PLAN.PDF](#)  
[20160804 2, 16 AND 26 MARSHALL ST SITE PLAN STAFF REPORT ONE YEAR EXTENSION.PDF](#)  
[20160804 2, 4 AND 26 MARSHALL ST SITE PLAN.PDF](#)



**City of Nashua**  
**Planning Department**  
229 Main Street  
Nashua, New Hampshire 03061-2019

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August 4, 2016

**AMENDED AGENDA**

To: NCPB Members

From: Planning Staff

Re: Meeting, August 4, 2016

A regular meeting of the Nashua City Planning Board will be held on Thursday, at 7:00 p.m. in the City Hall Auditorium, 3<sup>rd</sup> floor, 229 Main Street. The Planning Staff will be available at 6:30 p.m. to answer any questions the Board or Public might have concerning the following proposed agenda.

- A. Call to Order
- B. Roll Call
- C. Approval of Minutes – July 14, 2016
- D. Communications
- E. Report of Chairman, Committee, & Liaison
- F. Executive Session

**OLD BUSINESS – CONDITIONAL / SPECIAL USE PERMITS**

None

**OLD BUSINESS - SUBDIVISION PLANS**

None

**OLD BUSINESS – SITE PLANS**

None

**NEW BUSINESS – CONDITIONAL / SPECIAL USE PERMITS**

1. John J. Flatley Company (Owner) - Application and acceptance of proposed conditional use permit to allow a 7,500 sf restaurant. Property is located at 200 Innovative Way. Sheet A - Lot 798. Zoned "PI" Park Industrial and "RC" Urban Residence. Ward 8.

**NEW BUSINESS – SUBDIVISION PLANS**

2. Jean B. Makris (Owner) Raisanen Homes Elite, LLC (Applicant) - Application and acceptance of proposed two lot subdivision. Property is located at 31 Dane Street. Sheet 110 - Lot 173. Zoned "RA" Urban Residence. Ward 6.

## **NEW BUSINESS – SITE PLANS**

- 3 John J. Flatley Company (Owner) - Application and acceptance of proposed site plan amendment to NR 2165 to construct a 7,500 sf restaurant. Property is located at 200 Innovative Way. Sheet A - Lot 798. Zoned "PI" Park Industrial and "RC" Urban Residence. Ward 8.
4. Colonial Imports Corp (Owner) - Application and acceptance of proposed site plan to demolish existing residence and construct a 163 space parking lot with associated site improvements. Property is located at 117 West Glenwood Street. Sheet 132 - Lot 31. Zoned "RA" Urban Residence. Ward 7.
5. 43 West Hollis, LLC (Owner) - Application and acceptance of proposed change of use from a fabric store to a restaurant. Property is located at 43 West Hollis Street. Sheet 81 - Lot 103. Zoned "GB" General Business. Ward 4.
6. 22 Marshall Street LLC (Owner) - Application and acceptance of proposed one year extension to site plan NR 610 to construct four multi-family residential buildings (152 units total). Property is located at 2, 16, & 26 Marshall Street. Sheet 29 - Lots 65, 64, & 26. Zoned "GI" General Industrial, "GB" General Business, and "RB" Urban Residence. Ward 7.

## **OTHER BUSINESS**

1. Review of tentative agenda to determine proposals of regional impact.
2. Planning Board reappointment to the Capital Improvement Committee for a 2 year term to expire, August 1, 2018. **(Tabled from the July 14, 2016 Meeting)**
  - Laurence C. Szetela
  - Robert Canaway

## **DISCUSSION ITEM**

1. Atty. Prunier - L Crown Street Site Plan Discussion.

## **NONPUBLIC SESSION**

The Planning Board will need to make a motion to enter into a Nonpublic Session under RSA 91-A:3, II (e) for consideration or negotiation of pending claims or litigation which has been threatened in writing or filed against the public body.

## **NEXT MEETING**

September 8, 2016

## **ADJOURN**

## **WORKSHOP**

**ACCOMMODATIONS FOR THE SENSORY IMPAIRED**

**"SUITABLE ACCOMMODATIONS FOR THE SENSORY IMPAIRED  
WILL BE PROVIDED UPON ADEQUATE ADVANCE NOTICE."**

**CONDUCT AT PLANNING BOARD MEETING**

*When the meeting is called to order, the only talking allowed in the Auditorium will be remarks addressed to the Chairman. Except for the original presentation of the subject or application, each person speaking for or against shall be limited to five (5) minutes until all have been given an opportunity to be heard, at which time each person may be allowed additional time if deemed necessary by the Board or the Chairman. When you are recognized by the Chairman, proceed to the podium, using the microphone, state your name and address and then make your comments. Courtesy is shown when you reserve your comments for the proper time.*

**PLEASE BE COURTEOUS**

**By Order of the Chair**

NASHUA CITY PLANNING BOARD  
STAFF REPORT

TO: Nashua City Planning Board  
FROM: Linda Panny, Deputy Planning Manager/Development  
FOR: August 4, 2016  
RE: **New Business # 1 – Conditional Use Permit**

Owner: John J. Flatley Company  
Proposal: Conditional Use Permit for a restaurant  
Location: 200 Innovative Way  
Total Site Area: 127.963 acres  
Existing Zoning: PI-Park Industrial and RC-Urban Residence  
Surrounding Uses: Commercial and industrial

**II. Background Information:**

This site is part of the larger Gateway Hills development, formerly known as Nashua Technology Park. The Flatley Company has assembled a number of parcels over the years, which now encompass approximately 400 acres of contiguous land. The proposed restaurant is bordered by Innovative Way, a utility corridor and sidewalk/bike path and sits on approximately 2 acres of the 128 acre parcel. The applicant is scheduled to appear before the Conservation Commission on August 2, 2016 and the Zoning Board of Adjustment on August 9, 2016.

**III. Project Description:**

The proposal is for a conditional use permit to allow a restaurant in the Park Industrial Zone. Certain commercial uses are allowed conditionally in the PI Zone as part of a site plan as long as they occupy less than 25% of the gross floor area. The project is part of the larger Gateway Hills development which will ultimately include well over a million square feet of industrial floor space. There are nine approval criteria for a conditional use permit found in NRO § 190-133(F). The applicant has addressed the criteria (see attached).

**IV. Staff Recommendations and Findings:**

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in NRO Section 190-138(G). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, they should state specific reasons. If the Planning Board chooses to approve this plan, the staff recommends the following stipulation be made part of that approval:

1. Approval of the conditional use permit is contingent on the applicant receiving a Special Exception from the ZBA.



NASHUA CITY PLANNING BOARD  
STAFF REPORT

TO: Nashua City Planning Board  
FROM: Linda Panny, Deputy Planning Manager/Development  
FOR: August 4, 2016  
RE: **New Business #2 - Subdivision Plan**

**I. Project Statistics:**

Owner : Jean Makris  
Applicant: Raisanen Homes Elite, LLC  
Proposal: Two lot subdivision  
Location: 31 Dane Street  
Total Site Area: 0.391 acres (17,045 sf)  
Existing Zoning: RA Urban Residence  
Surrounding Uses: Residential

**II. Background Information:**

Currently on the lot exists a single family 1½ story home that was built in the 1940's. The driveway has curb cuts on both Robinson Road and Dane Street.

**III. Project Description:**

The purpose of this plan is to subdivide one lot into two lots. The existing home will remain and the driveway will be located on Robinson Road. The new lot will have a driveway on Dane Street. The new lot will be serviced by Pennichuck Water Works and City Sewer and have underground utilities.

According to the Stormwater Letter submitted by the applicant's engineer some of the proposed improvements will be offset by the removal of the existing driveway off Dane Street that the existing residences accesses. The new home will be constructed with an 18" crushed stone drip-line along the eaves of the building to promote infiltration and should have no measureable impact on downstream drainage conditions.

The applicant has requested two waivers. The first is to provide an existing conditions plan. The second waiver is from the requirement to construct a sidewalk; the applicant is offering to make a voluntary contribution in the amount of \$8,198.00 which is based on the frontage along Dane Street.

City Staff reviewed the plans; comments are pending.

**Staff Recommendations and Findings:**

The Planning Board should make a determination that the plan meets, or does not meet the requirements outlined in the Subdivision NRO § 190-138(G). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons

should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulation be made part of that approval:

1. The request for a waiver of § 190-212(A)(1), which requires that sidewalks be located on at least one side of the street, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation. A contribution of \$8,198.00 has been offered by the applicant in lieu of sidewalk construction; payment to be made prior to recording the plan.
2. The request for a waiver of § 190-282 B(9), which requires existing conditions plan be required, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
3. Stormwater documents will be submitted to Planning staff for review and recorded with the plan at the applicant's expense.
4. Any work within the right-of-way shall require a financial guarantee.
5. Prior to any work being conducted, a pre-construction conference shall be set up with the Planning Department.

**LEGEND:**

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- - - ABUTTING LOT LINE
- - - BUILDING SETBACK LINE
- - - EDGE OF PAVED ROAD
- - - EDGE OF GRAVEL ROAD
- STONE WALL
- - - EDGE OF TREE LINE
- - - 500' 5' CONTOUR INTERNAL
- - - 501' 1' CONTOUR INTERNAL
- - - CHAIN-LINK FENCE
- - - STOCKADE FENCE
- - - FORMER TRACT LINE
- - - OVERHEAD UTILITY LINE
- - - GAS LINE
- - - WATER LINE
- - - SEWER LINE
- - - DRAIN LINE
- 110-173 TAX MAP & LOT NUMBER

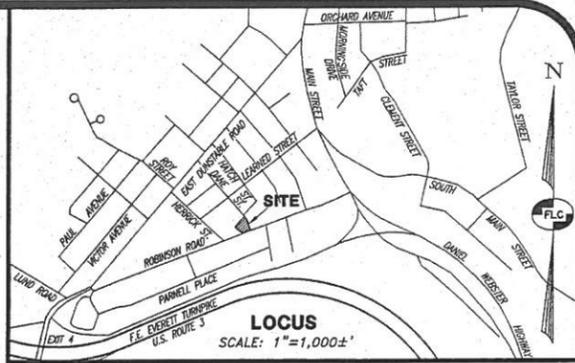
- G.B.(F) GRANITE BOUND FOUND
- D.H.(F) DRILL HOLE FOUND
- L.P.P.E.(F) IRON PIPE FOUND
- L.P.P.E.(F) IRON PIPE PER REF.PLAN
- L.P.W.(T/S) IRON PIN TO BE SET
- G.B.(S) GRANITE BOUND TO BE SET
- UTILITY POLE & CUY
- CATCH BASIN
- CATCH BASIN (LEACHING)
- SEWER MAN-HOLE (ROUND)
- SEWER MAN-HOLE (TRIANGLE)
- WATER HYDRANT
- WATER VALVE
- WATER SHUT-OFF
- GAS VALVE
- SINGLE SIGN POST

**REFERENCE PLANS:**

1. "CONSOLIDATION & LOT LINE RELOCATION - LOTS - 171, 172, 165 - ROBINSON ROAD, HATCH STREET & DANE STREET - NASHUA, N.H. - FOR: ROBERT GABRIEL & DORIS BOGGIS", SCALE 1"=20', DATED NOVEMBER 1982, BY MAYNARD & PAQUETTE, INC. RECORDED IN THE H.C.R.D. AS PLAN #15401.
2. "PLAN OF LAND - OF - J. A. SPAULDING - ON - MAIN ST. NASHUA, N.H. - FORMERLY OF GODFREY", SCALE 1"=100', DATED AUGUST 1892, BY ART SAUNDERS, C.E. RECORDED IN THE H.C.R.D. AS PLAN #145 SHEET 2.

**NOTES CONTINUED:**

12. SOIL TYPE FOR THE ENTIRE SITE IS WHC - WINDSOR-URBAN LAND COMPLEX WITH SLOPES FROM 3%-15%.
13. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THERE ARE NO KNOWN EASEMENTS, RESTRICTIONS OR ENCUMBRANCES ON THE PROPERTIES.
14. A DRIVEWAY PLAN SHALL BE APPROVED BY THE ENGINEERING DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
15. THE SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION, GRADE AND PARKING.
16. THE PROPOSED BUILDING ON LOT 2 WILL BE A 1.5 STORY RESIDENTIAL HOME WITH BASEMENT.
17. PROPOSED BUILDING CONSTRUCTION SHALL INCORPORATE A FOUNDATION DRAINAGE SYSTEM, EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT THE SPECIFIC BUILDING SITE IS LOCATED IN WELL DRAINED SOILS AND THAT SUCH A SYSTEM IS NOT REQUIRED.
18. PRIOR TO A BUILDING PERMIT BEING ISSUED, DOCUMENTS PERTAINING TO THE STORM WATER OPERATION AND MAINTENANCE AND ANY EASEMENTS SHALL BE RECORDED.
19. THE PROPOSED BUILDING SHALL BE SERVICED BY UNDERGROUND TELEPHONE, ELECTRIC, CABLE AND NATURAL GAS UTILITIES. IT SHALL ALSO BE SERVICED BY MUNICIPAL SEWER AND WATER BY PENNICHUCK WATER WORKS.
20. STREET AND UTILITY IMPROVEMENTS SHALL COMPLY WITH ALL APPLICABLE SECTIONS OF THE CITY OF NASHUA REVISED ORDINANCES (N.R.O.).
21. PUBLIC STREET RESTORATION WORK, IF ANY, SHALL BE IN ACCORDANCE WITH N.R.O. SECTION 285-13.



**NOTES:**

1. OWNER OF RECORD FOR TAX MAP 110 LOT 173 IS JEAN B. MAKRIS, 31 DANE STREET, NASHUA, NH 03060-5804. THE DEED REFERENCE FOR THE PARCEL IS VOL.1331 PG.457 DATED AUGUST 14, 1982 IN THE H.C.R.D.
  - THE APPLICANT IS RAISANEN HOMES ELITE, LLC, C/O RICHARD RAISANEN, P.O. BOX 748, NASHUA, NH 03061.
  2. THE PURPOSE OF THIS PLAN IS TO DEPICT A TWO LOT SUBDIVISION OF EXISTING TAX MAP LOT 110-173.
  3. THE TOTAL AREA OF TAX MAP PARCEL 110-173 IS 0.391 ACRES OR 17,045 SQ.FT.
  4. LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAP 110 AND 120.
  5. ZONING FOR THE PARCEL IS THE "A" URBAN RESIDENCE DISTRICT (R-A).
- |                         | REQUIRED OLD 110-173 | NEW 110-173 | NEW 110-106 |
|-------------------------|----------------------|-------------|-------------|
| MIN LOT AREA            | 7,500 SF             | 17,045 SF   | 9,491 SF    |
| MIN LOT WIDTH           | 75 FT                | 128 FT±     | 76.6 FT     |
| MIN LOT FRONTAGE        | 90 FT                | 263.96 FT±  | 176.80 FT   |
| MIN LOT DEPTH           | 90 FT                | 128 FT±     | 122 FT±     |
| MIN FRONT SETBACK       | 25 FT                | 25 FT       | 25 FT       |
| MIN SIDE SETBACK        | 10 FT                | 10 FT       | 10 FT       |
| MIN REAR SETBACK        | 25 FT                | 25 FT       | 25 FT       |
| MAX. BUILDING HEIGHT    | 35 FT                | 20 FT±      | NONE        |
| MAX. STORIES            | 2.5 ST               | 1.5         | 1.5         |
| CONSERVATION AREA       | NA                   | NA          | NA          |
| OPEN SPACE FOR EACH LOT | 50%                  | 80.5%       | 71.9%       |
6. THE SURFACE FEATURES AND BOUNDARY INFORMATION SHOWN WERE DEVELOPED FROM THE REFERENCE PLANS CITED AND A PRECISE FIELD SURVEY BY THIS OFFICE DURING THE MONTH OF JUNE 2016. HORIZONTAL ORIENTATION IS BASED ON REFERENCE PLAN #1. VERTICAL DATUM IS NASHUA CITY DATUM. REFERENCE BENCHMARK IS TOP OF A GRANITE BOUND FOUND AT THE NORTHEAST CORNER OF HATCH STREET AND DALE STREET, ELEV=81.06.
  7. JURISDICTIONAL WETLANDS WERE NOT FOUND ON THE SUBJECT PARCEL PER AN ON SITE FIELD INVESTIGATION BY CHRISTOPHER A. GUDDA, C.I.W.S. IN JUNE 2016 IN ACCORDANCE WITH THE "CORPUS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, DATED JANUARY 1987".
  8. THE SITE IS NOT LOCATED WITHIN THE WATER SUPPLY PROTECTION DISTRICT.
  9. THE SITE IS CURRENTLY SERVICED BY OVERHEAD UTILITIES AND BY MUNICIPAL SEWER AND WATER BY PENNICHUCK WATER WORKS.
  10. PERMANENT MARKERS ARE TO BE SET AT ALL LOT CORNERS AND STONE BOUNDS AT ALL POINTS OF CURVATURE AND TANGENCY ALONG THE RIGHT-OF-WAY BY A LICENSED LAND SURVEYOR.
  11. THE SUBJECT PARCEL IS NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY NO. 330097, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33011C0652E, DATED: APRIL 18, 2011.

**CERTIFICATION:**

"I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND PER THE PRECISION AND ACCURACY STANDARDS FOR AN URBAN CLASSIFICATION SURVEY AS SPECIFIED IN THE NEW HAMPSHIRE LAND SURVEYOR'S ADMINISTRATIVE RULES (LAN 503.04) AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY."

DATE: 7/28/16



**APPROVED BY NASHUA PLANNING BOARD**

CHAIRMAN: \_\_\_\_\_ DATE: \_\_\_\_\_  
SECRETARY: \_\_\_\_\_ DATE: \_\_\_\_\_

REV.	DATE	DESCRIPTION	C/O	DR	CK
A	07/21/16	NASHUA CITY DATUM, ADD UTILITIES		XXX	XXX

**SUBDIVISION PLAN**  
TAX MAP 110 LOT 173 - 31 DANE STREET  
NASHUA, NEW HAMPSHIRE  
PREPARED FOR:  
**RAISANEN HOMES ELITE, LLC**  
C/O RICHARD RAISANEN, P.O. BOX 748, NASHUA, NH 03061

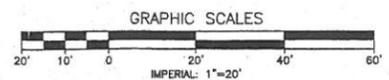
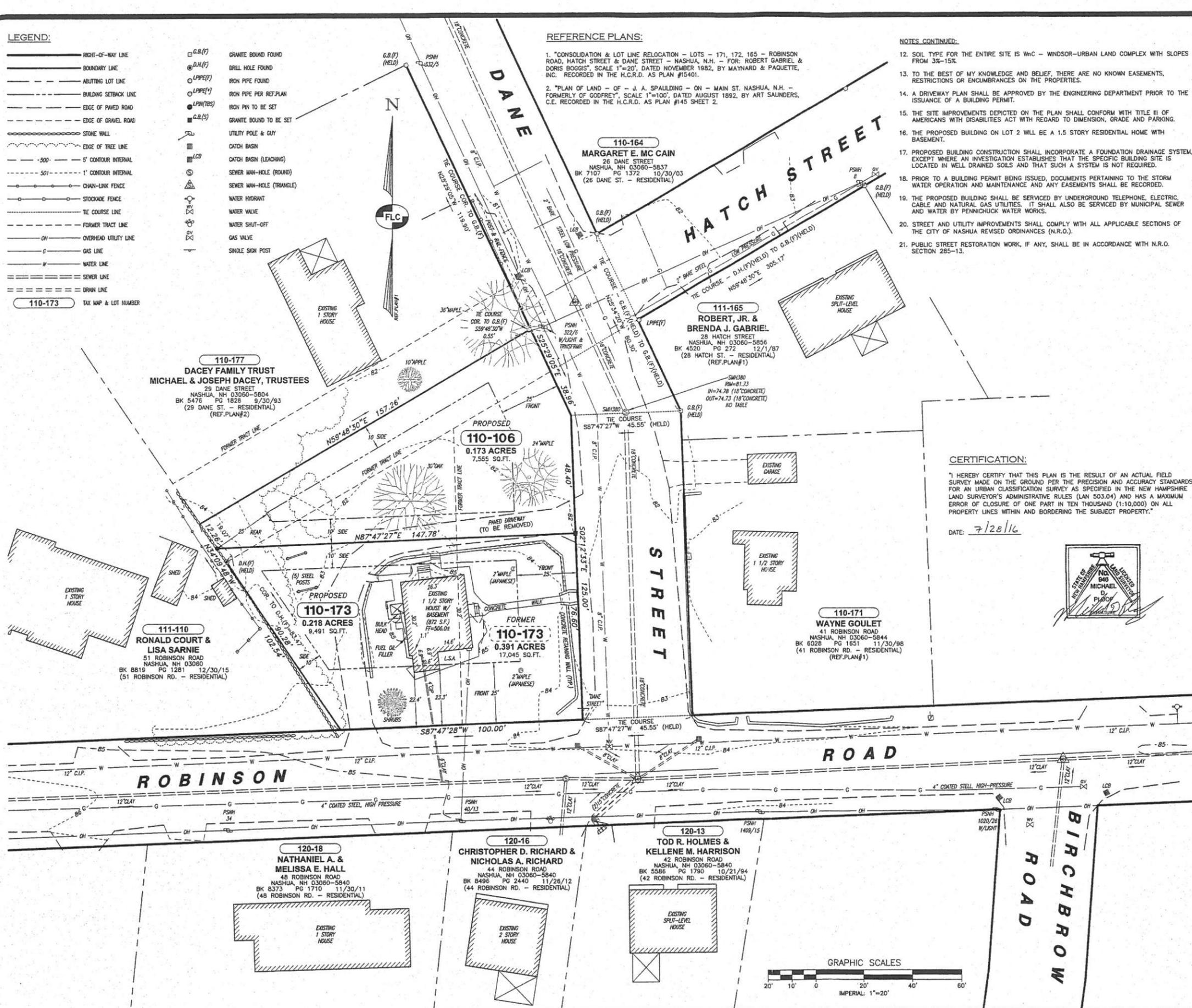
LAND OF:  
**JEAN B. MAKRIS**  
31 DANE STREET, NASHUA, NH 03060-5804

SCALE: 1" = 20' JUNE 23, 2016

Surveying + Engineering + Land Planning + Permitting + Septic Designs

**FIELDSTONE**  
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055  
Phone: (603) 672-5456 Fax: (603) 413-5456  
www.FieldstoneLandConsultants.com



NASHUA CITY PLANNING BOARD  
STAFF REPORT

TO: Nashua City Planning Board  
FROM: Linda Panny, Deputy Planning Manager/Development  
FOR: August 4, 2016  
RE: **New Business # 3– Site Plan**

Owner: John J. Flatley Company  
Proposal: Amendment to NR 2165 to construct a restaurant  
Location: 200 Innovative Way  
Total Site Area: 127.963 acres  
Existing Zoning: PI-Park Industrial and RC-Urban Residence  
Surrounding Uses: Commercial and industrial

**II. Background Information:**

This site is part of the larger Gateway Hills development, formerly known as Nashua Technology Park. The Flatley Company has assembled a number of parcels over the years, which now encompass approximately 400 acres of contiguous land. The proposed restaurant is bordered by Innovative Way, a utility corridor and sidewalk/bike path and sits on approximately 2 acres of the 128 acre parcel.

The applicant is scheduled to appear before the Conservation Commission on August 2, 2016 and the Zoning Board of Adjustment on August 9, 2016 for a special exception to allow this project to move forward. Site plan approval is contingent on receiving approval from the ZBA.

**III. Project Description:**

The proposal is to amend NR 2165 to construct a 7,500 sf restaurant with 485 seats and 152 parking spaces. Access will be provided off of Innovative Way (a private street). The existing walking/bike path adjacent to the site will be relocated. In 2015 the property was clear cut for marketing purposes. New lighting and landscaping are planned as part of this project. The proposed building will be serviced by underground utilities. A waiver has been requested for interior parking aisles as they do not meet the ordinance.

According to the applicant's engineer currently the existing stream and park drainage join in a wetland area southeast of the site. This wetland drains to an existing 54" culvert under Tara Boulevard. Soils present on the site consist are well-drained. The proposal is to have the majority of the site's stormwater collected in a closed drainage system and routed to a proposed infiltration basin located at the south end of the site. The eastern portion of the site will drain to a swale between the parking lot and the bike path that is routed to the infiltration basin as well.

In 2014 the applicant had VHB prepare a Traffic Impact Study in support of the proposed Gateway Hills development program (240,000 sf of Research and Development space which has not been constructed). After reviewing City comments, a letter was submitted to update count data in June 2016 (see attached). City Staff has reviewed the plans; comments are pending.

#### **IV. Staff Recommendations and Findings:**

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in NRO Section 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, they should state specific reasons. If the Planning Board chooses to approve this plan, the staff recommends the following stipulation be made part of that approval:

1. Prior to commencement of any site work, permit must be approved by the New Hampshire Department of Environmental Services (NHDES).
2. The request for a waiver of § 190-184(D)(1) which requires a landscape median for every ten interior parking spaces, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
3. Prior to the issuance of a building permit, stormwater documents will be submitted to the Planning Department and Corporation Counsel for review and will be recorded at the Registry of Deeds at the applicant's expense.
4. Prior to the issuance of a building permit, a recommendation from the Nashua Conservation Commission and approval from the Zoning Board of Adjustment must be obtained and all stipulations shall be incorporated herein. Approval of the site plan is conditioned on the applicant receiving a Special Exception from the ZBA.
5. Prior to the issuance of a certificate of occupancy, all site improvements will be completed.

**LEGEND:**

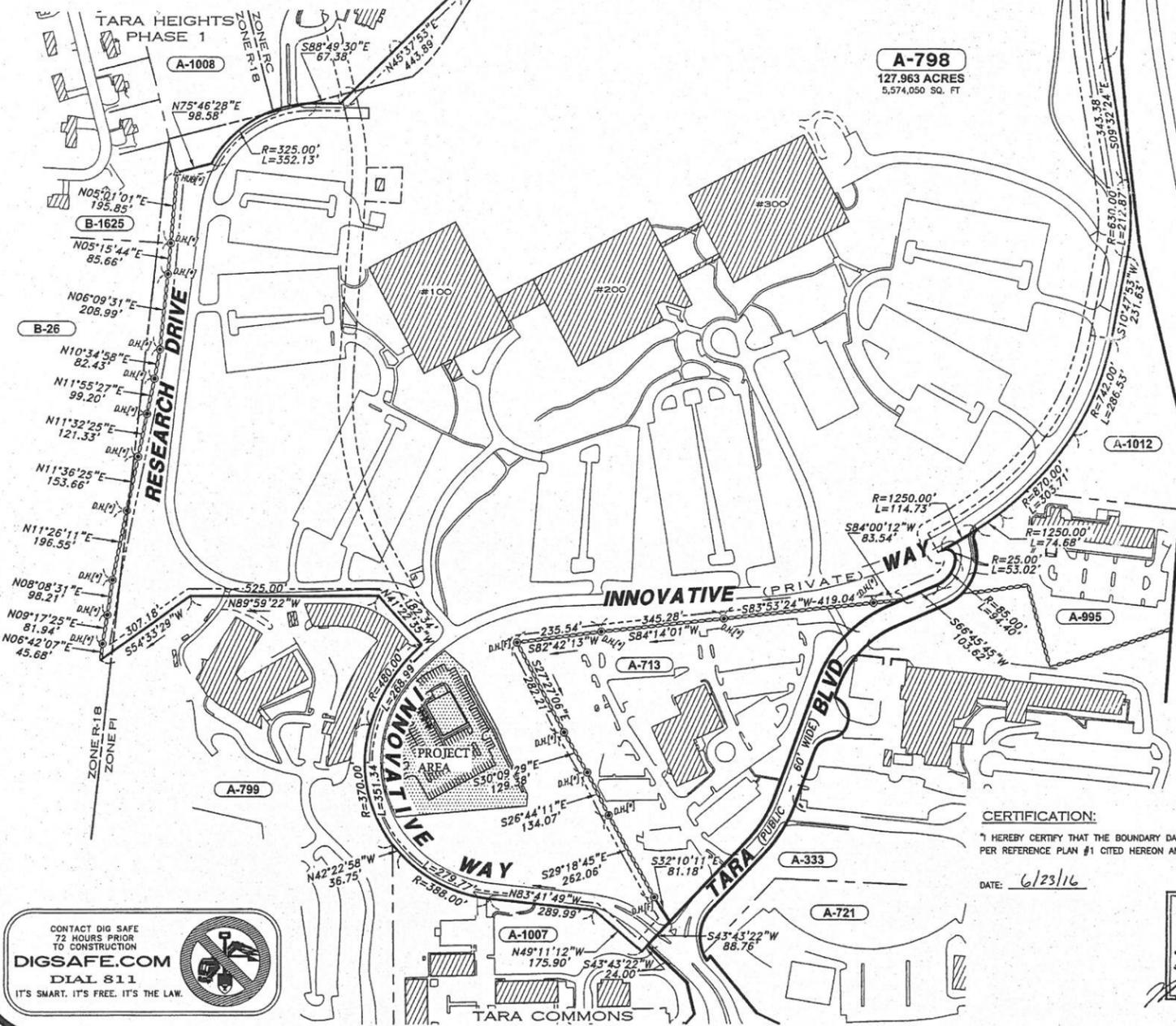
- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- - - ABUTTING LOT LINE
- MINIMUM BUILDING SETBACK LINE
- STONE WALLS
- ZONE LINE
- TAX MAP AND LOT NUMBER
- NH(PT) NH HIGHWAY BOUND FOUND
- ⊙ DH(PT) DRILL HOLE FOUND
- △ HUB(PT) HUB FOUND
- [\*] ASTERISK DENOTES PER REF. PLAN
- LPN(TBS) IRON PIN TO BE SET
- ▨ BUILDING

**LOT 798 DEVELOPMENT INFORMATION**

LOCATION	HEIGHT	DESCRIPTION
100 INNOVATIVE WAY	3 STORY	275,000 SF MANUFACTURING / OFFICE
200 INNOVATIVE WAY	3 STORY	300,000 SF MANUFACTURING / OFFICE
300 INNOVATIVE WAY	3 STORY	300,000 SF MANUFACTURING / OFFICE
TOTAL PARKING		2,090 SPACES ±

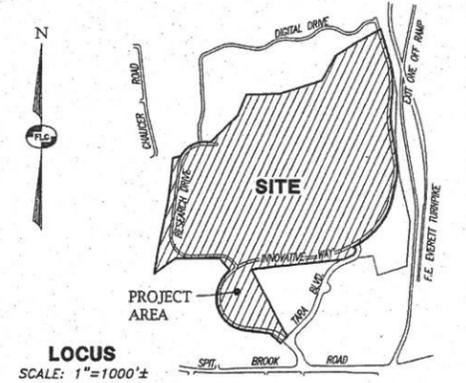
**ZONING NOTE**

DEPICTION OF THE ZONING/BUILDING SETBACKS SHOWN WERE INTERPRETED AND DEVELOPED BY FIELDSTONE LAND CONSULTANTS, PLLC PER THE CURRENT ZONING ORDINANCE. FINAL DETERMINATIONS SHOULD BE MADE BY THE PROPER ZONING AUTHORITY.



**NOTES:**

- THE OWNER OR RECORD FOR TAX MAP PARCEL A-798 IS JOHN J. FLATLEY - 50 BRAINTREE HILL OFFICE PARK, BRAINTREE, MA 02184. DEED REFERENCE TO PARCEL IS BOOK 7877 PAGE 2232.
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE SITE IMPROVEMENTS FOR A SIT DOWN RESTAURANT ON A PORTION OF TAX MAP PARCEL A-798.
- LOT A-798 AREA EXISTING: 127.963 ACRES OR 5,574,050 SQ. FT.
- PRESENT ZONING: SETBACKS: FRONT SIDE REAR MIN. FRONTAGE MIN. WIDTH  
 PI PARK INDUSTRIAL 30 FT 20 FT 20 FT 50 FT 120 FT  
 RC C-URBAN RESIDENCE 10 FT 7 FT 20 FT 50 FT 50 FT
- LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAP 'A'.
- SITE IS SERVICED BY MUNICIPAL SEWER AND WATER BY PENNICKUCK WATER WORKS.
- SITE IS NOT LOCATED WITHIN THE WATER SUPPLY PROTECTION DISTRICT.
- THE SITE IS NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), HILLSBOROUGH COUNTY, NEW HAMPSHIRE, COMMUNITY NO. 330957, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER 33011C06540 DATED: SEPT. 25, 2009.
- HORIZONTAL ORIENTATION IS BASED ON REFERENCE PLAN #1 CITED HEREON.
- THE PURPOSE OF THIS PLAN IS TO DEPICT PARKING AND BUILDING LAYOUT FOR A 280 SEAT, SIT DOWN, FULL SERVICE RESTAURANT WITHOUT DRIVE-IN OR DRIVE-THROUGH SERVICE.
- THE PROPOSED BUILDING WILL BE SERVICED BY UNDERGROUND TELEPHONE, ELECTRIC, CABLE AND GAS UTILITIES.
- PARKING CALCULATION (485 SEAT, FULL SERVICE SIT DOWN RESTAURANT):  
 MINIMUM PARKING REQUIRED: 1 SPACE PER 4 SEATS = 485/4 = 121 SPACES MIN.  
 MAXIMUM PARKING ALLOWED: 1 SPACE PER 2 SEATS = 485/2 = 243 SPACES MAX.  
 TOTAL NUMBER OF PARKING SPACES PROPOSED IS 152 SPACES INCLUDING 6 HANDICAP SPACES
- ALL LANDSCAPING SHALL BE SHOWN ON THE PLANS AND CONFORM TO THE APPLICABLE CITY OF NASHUA LAND USE CODE UNDER ARTICLE XXVII.
- ALL SIGNAGE SHALL CONFORM TO THE APPLICABLE CITY OF NASHUA REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
- SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION, GRADE AND NUMBER OF PARKING SPACES.
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN IN ANY WAY WHATSOEVER, OR TO CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
- PUBLIC STREET RESTORATION WORK SHALL BE IN ACCORDANCE WITH N.H.R.O. SECTION 285-13, LATEST EDITION.
- PROPOSED BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS, EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
- ALL LIGHTING SHALL BE AS SHOWN ON THE PLANS, DIRECTED ONTO THE SITE AND CONFORM TO APPLICABLE CITY OF NASHUA LAND USE CODE REGULATIONS.
- A PRE-CONSTRUCTION MEETING WITH THE CITY OF NASHUA PLANNING / ENGINEERING AND FIRE OFFICIALS SHALL TAKE PLACE PRIOR TO CONSTRUCTION.
- THE APPLICANT SHALL SUBMIT AN ELECTRONIC FILE OF THE SITE PLAN (PLOT) PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- PRIOR TO A BUILDING PERMIT BEING ISSUED, BONDING FOR ALL PUBLIC IMPROVEMENTS SHALL BE SUBMITTED TO, AND APPROVED BY, THE ENGINEERING DEPARTMENT AND CORPORATION COUNSEL.
- PRIOR TO A BUILDING PERMIT BEING ISSUED, DOCUMENTS PERTAINING TO THE STORM WATER OPERATION AND MAINTENANCE SHALL BE RECORDED.
- ROOF DRAIN TIE-INS AND DRAIN LINES SHALL BE INSPECTED PRIOR TO BACKFILLING AND PAVING.
- MECHANICAL APPURTENANCES SHALL NOT EXCEED 50 DECIBELS BETWEEN 7AM AND 8PM AND 45 DECIBELS AT NIGHT BETWEEN 8PM AND 7AM ALONG RESIDENTIAL ZONING DISTRICTS.
- ANY PIPE WORK WITHIN THE CITY'S RIGHT OF WAY SHALL BE PERFORMED BY A LICENSED CITY OF NASHUA DRAIN LAYER.
- UTILITIES INCLUDING ALL ELECTRIC, TELEPHONE, CABLE TELEVISION, AND OTHER COMMUNICATION LINES, BOTH MAIN AND SERVICE CONNECTIONS, SERVICING NEW DEVELOPMENTS SHALL BE PROVIDED BY UNDERGROUND WIRING WITHIN EASEMENTS OR DEDICATED PUBLIC RIGHT-OF-WAY, INSTALLED IN ACCORDANCE WITH THE BOARD OF PUBLIC WORKS SPECIFICATIONS.

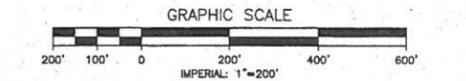


**REFERENCE PLANS:**

- "SITE DESIGN PACKAGE - LOT 798 & 995, MAP 'A' - INNOVATIVE WAY EXTENSION - AT GATEWAY HILLS 100-300 INNOVATIVE WAY - NASHUA, NEW HAMPSHIRE - PREPARED FOR: JOHN J. FLATLEY COMPANY - LAND OF: JOHN J. FLATLEY, SCALE: AS SHOWN, DATED: JANUARY 24 2013 AND LAST REVISED 7/23/13 BY THIS OFFICE, 23 SHEETS. (H.C.R.D. PLAN NUMBER 37823).
- "SITE DEVELOPMENT PLANS - LOT 44 & 1010, MAP 'A' - TARA HEIGHTS PHASE II - AT GATEWAY HILLS ELEVEN DIGITAL WAY - NASHUA, NEW HAMPSHIRE - PREPARED FOR: JOHN J. FLATLEY COMPANY - LAND OF: JOHN J. FLATLEY, SCALE: AS SHOWN, DATED: MAY 8, 2013 AND LAST REVISED 9/20/13 BY THIS OFFICE, 30 SHEETS).
- "WATER SYSTEM EASEMENT - GATEWAY HILLS - TAX MAP MAP 'A' LOT 798 - 100-300 INNOVATIVE WAY NASHUA, NEW HAMPSHIRE - PREPARED FOR: JOHN J. FLATLEY COMPANY - LAND OF: JOHN J. FLATLEY, SCALE: 1"=30', DATED: AUGUST 16, 2013 BY THIS OFFICE. (H.C.R.D. PLAN NUMBER 37800).

**LIST OF ABUTTERS**

Map A Lot 333	Map A Lot 995	Map A Lot 1010	Map B Lot 25
ATP 105 Corp. C/O United Capital Group 9 Park Place, 4th Floor Great Neck, NY 11021 Vol. 8573, Pg. 2603 (Commercial)	Tara Sutter Management LLC 50 Braintree Hill Office Park Braintree, MA 02184 Vol. 8657 Pg. 637 (Commercial - Hotel)	John J. Flatley Company 50 Braintree Hill Office Park Braintree, MA 02184 Vol. 7877 Pg. 2232 (Multi-Family)	The Huntington at Nashua C/O Hunt Community 10 Alids Street Nashua, NH 03060 Vol. 8385 Pg. 1550 (Commercial)
Map A Lot 713 John J. Flatley Company 50 Braintree Hill Office Park Braintree, MA 02184 Vol. 7913 Pg. 1011 (Commercial)	Map A Lot 1007 John J. Flatley Company 50 Braintree Hill Office Park Braintree, MA 02184 Vol. 7877 Pg. 2232 (Multi-Family)	Map A Lot 1011 John J. Flatley Company 50 Braintree Hill Office Park Braintree, MA 02184 Vol. 7877 Pg. 2232 (Multi-Family)	Map B Lot 1625 Meredith & Michael McCully Jr. 22 Chaucer Road Nashua, NH 03060 Vol. 8687 Pg. 129 (Residential)
Map A Lot 721 John J. Flatley Company 50 Braintree Hill Office Park Braintree, MA 02184 Vol. 7877 Pg. 2232 Vol. 7913 Pg. 995 (Commercial)	Map A Lot 1008 John J. Flatley Company 50 Braintree Hill Office Park Braintree, MA 02184 Vol. 7877 Pg. 2232 (Multi-Family)	Map A Lot 1012 John J. Flatley Company 50 Braintree Hill Office Park Braintree, MA 02184 Vol. 7877 Pg. 2232 (Undeveloped)	Map A Lot 799 Oracle America, Inc. P.O. Box 5200 Belmont, CA 94002 Vol. 7441 Pg. 127 (Commercial)



REV.	DATE	DESCRIPTION	JFC	NRC	CEB
A	6/23/16	MINOR REVISIONS			
			C/O	DR	CK

**OVERALL SITE PLAN**  
**RESTAURANT**  
**SITE PLAN**  
 TAX MAP A - LOT 798  
 23-43 INNOVATIVE WAY  
 NASHUA, NEW HAMPSHIRE  
 PREPARED FOR:  
**JOHN FLATLEY COMPANY**  
 50 BRAINTREE HILL OFFICE PARK BRAINTREE, MA 02184-0188 (781) 380-7731  
 LAND OF:  
**JOHN J. FLATLEY**  
 50 BRAINTREE HILL OFFICE PARK BRAINTREE, MA 02184-0188 (781) 380-7731  
 SCALE: 1" = 200' JUNE 16, 2016

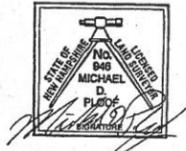
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206 Elm Street, Milford, NH 03055  
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 www.FieldstoneLandConsultants.com

FILE: 476MP39A.dwg PRJ: NO. 476.39 SHEET: MP-1 SHEET NO. 2 OF 15

**CERTIFICATION:**  
 I HEREBY CERTIFY THAT THE BOUNDARY DATA SHOWN FOR TAX MAP LOT A-798 IS PER REFERENCE PLAN #1 CITED HEREON AND IS MATHEMATICALLY CORRECT.  
 DATE: 6/23/16



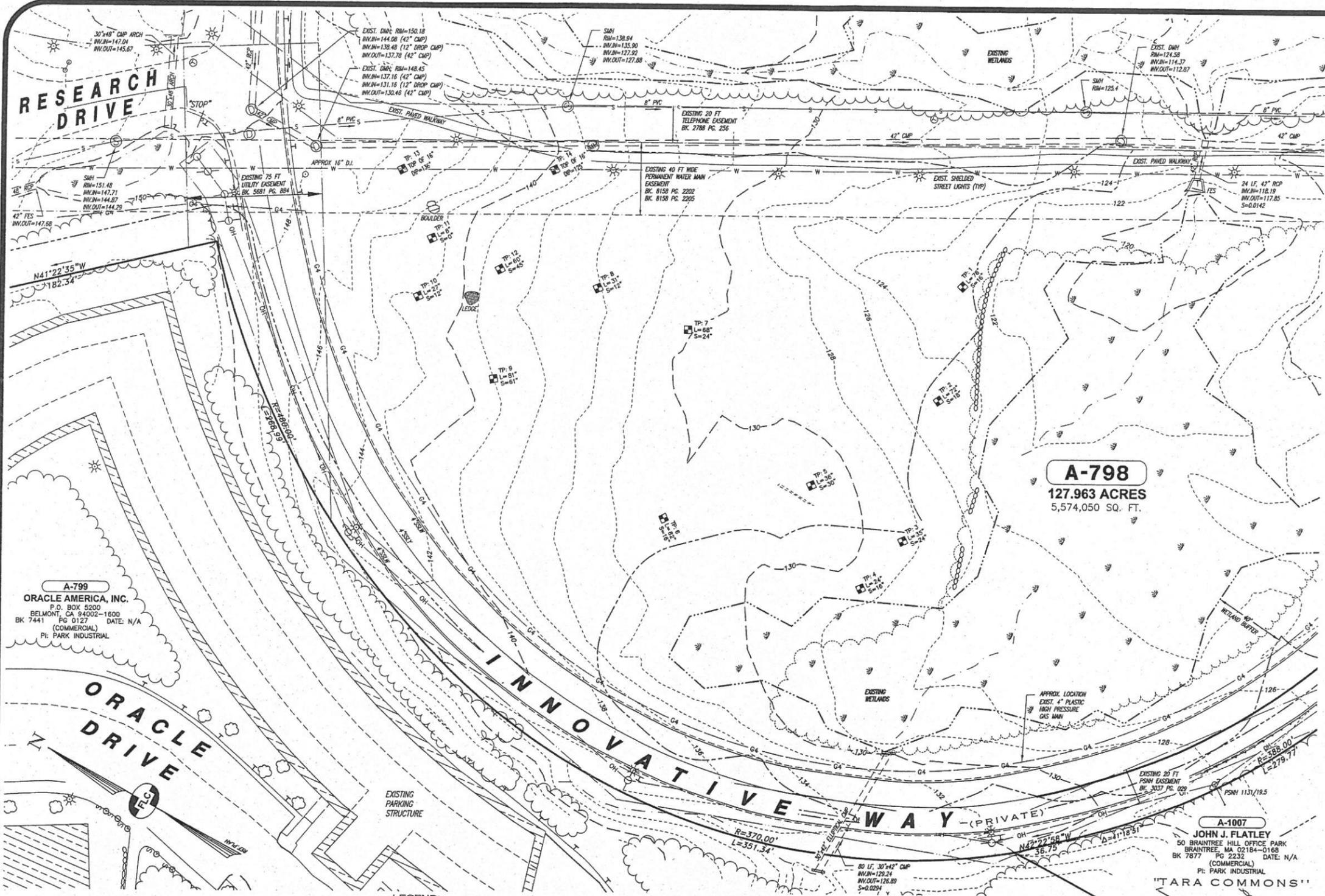
*John J. Flatley*  
 FOR JOHN J. FLATLEY COMPANY 06/23/16 DATE

*John J. Flatley*  
 FOR JOHN J. FLATLEY COMPANY 06/23/16 DATE

**APPROVED BY NASHUA PLANNING BOARD**

CHAIRMAN: \_\_\_\_\_ DATE: \_\_\_\_\_  
 SECRETARY: \_\_\_\_\_ DATE: \_\_\_\_\_

CONTACT DIG SAFE  
 72 HOURS PRIOR TO CONSTRUCTION  
**DIGSAFE.COM**  
 DIAL 811  
 IT'S SMART. IT'S FREE. IT'S THE LAW.

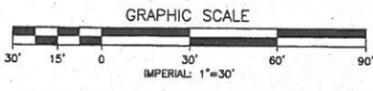


**A-799**  
**ORACLE AMERICA, INC.**  
 P.O. BOX 5200  
 BELMONT, CA 94002-1600  
 BK 7441 PG 0127 DATE: N/A  
 (COMMERCIAL)  
 PL: PARK INDUSTRIAL

**A-798**  
**127.963 ACRES**  
**5,574,050 SQ. FT.**

**A-1007**  
**JOHN J. FLATLEY**  
 50 BRANTREE HILL OFFICE PARK  
 BRANTREE, MA 02184-0168  
 BK 7877 PG 2232 DATE: N/A  
 (COMMERCIAL)  
 PL: PARK INDUSTRIAL  
 "TARA COMMONS"

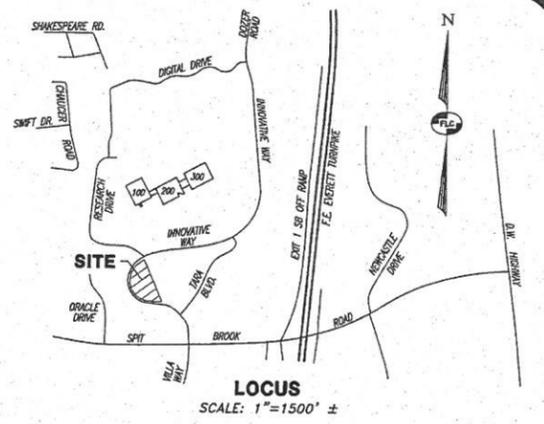
- LEGEND:**
- W WATER LINE
  - S SEWER LINE
  - O/E/T OVERHEAD UTILITIES
  - G4 GAS LINE
  - IRON PIPE
  - IRON PIN
  - DRILL HOLE
  - BOUND
  - ⊕ UTILITY MANHOLES
  - CATCH BASIN (SQUARE)
  - ⊕ DRAIN MANHOLE
  - ⊕ LIGHT POLE
  - ⊕ WATER LINE SHUT-OFF VALVE
  - ⊕ SEWER MANHOLE
  - ⊕ HYDRANT
  - ▭ BUILDING



CONTACT DIG SAFE  
 72 HOURS PRIOR  
 TO CONSTRUCTION  
**DIGSAFE.COM**  
 OR DIAL 811  
 CALL 811 - KNOW WHAT'S BELOW

**CERTIFICATION:**  
 WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE US ARMY CORPS OF ENGINEERS' 1987 WETLAND DELINEATION MANUAL Y-87-1 AND REGIONAL SUPPLEMENT FOR NORTHEAST AND NORTHCENTRAL REGION AND FIELD INDICATORS FOR HYDRIC SOILS IN NEW ENGLAND BY CHRISTOPHER A. GUIDA, C.W.S. IN OCTOBER OF 2012 AND CONFIRMED NOVEMBER OF 2015.

DATE: 6/25/16



- REFERENCE PLANS:**
- "SUBDIVISION PLAN - NASHUA TECHNOLOGY PARK - 100-300 INNOVATIVE WAY - NASHUA, NEW HAMPSHIRE - PREPARED FOR JOHN FLATLEY COMPANY - RECORD OWNER JOHN J. FLATLEY", SCALE: AS SHOWN, DATED: DECEMBER 16, 2011 AND LAST REVISED 3/22/12 BY HSI - HAYNER SWANSON, INC. (RECORDED AT THE H.C.R.D. AS PLAN #37424, 5 SHEETS).
  - "MASTER LOT LINE RELOCATION, CONSOLIDATION, DISCONTINUANCE AND DEDICATION PLAN - NASHUA TECHNOLOGY PARK - SPIT BROOK ROAD, DOZZER ROAD, INNOVATIVE WAY & TARA BOULEVARD - NASHUA, NEW HAMPSHIRE", SCALE: 1"=400, DATED: 3 APRIL 2009 AND LAST REVISED 3/23/11 BY HSI - HAYNER SWANSON, INC. (RECORDED AT THE H.C.R.D. AS PLAN #37062, 6 SHEETS).
  - "MASTER LOT LINE RELOCATION, DISCONTINUANCE, & SUBDIVISION PLAN; GATEWAY HILLS, TAX MAP A, LOTS 798 & 895, 100-300 INNOVATIVE WAY, NASHUA, NH" SCALE: 1"=300, DATED JANUARY 23, 2013, BY THIS OFFICE.

- NOTES:**
- SITE AREA: 127.963 ACRES
  - PRESENT ZONING: PI - PARK INDUSTRIAL
- | MINIMUM LOT REQUIREMENTS | REQUIRED | EXISTING  |
|--------------------------|----------|-----------|
| LOT AREA (SQ)            | 30,000   | 5,574,050 |
| LOT FRONTAGE (FT)        | 50       | 398±      |
| LOT WIDTH (FT)           | 120      | 2,500±    |
| LOT DEPTH (FT)           | 150      | 2,000±    |
- MINIMUM YARD SETBACKS**
- | FRONT YARD (FT) | REAR YARD (FT) | REAR YARD (FT) | MAX. BUILDING HEIGHT | MAX. STORIES | OPEN SPACE (%) |
|-----------------|----------------|----------------|----------------------|--------------|----------------|
| 30              | 20             | 120±           | 75                   | 5            | 20             |
| 50±             | 20             | 150±           | 25±                  | 1            | 40±            |
| 20              | 20             | 220±           |                      |              |                |
- LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAP 'A'.
  - SITE IS SERVICED BY MUNICIPAL SEWER AND WATER BY PENNICKHUCK WATER WORKS. THE PROPOSED BUILDING SHALL BE SERVICED BY UNDERGROUND TELEPHONE, ELECTRIC, CABLE AND GAS UTILITIES.
  - THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF THE SITE OF A PROPOSED RESTAURANT ON LOT A-798.

REV.	DATE	DESCRIPTION	FLC	HRC	CEB
A	6/23/16	MINOR REVISIONS			
			C/O	DR	CK

**EXISTING CONDITIONS PLAN**  
**RESTAURANT**  
**SITE PLAN**  
 TAX MAP A - LOT 798  
 23-43 INNOVATIVE WAY  
 NASHUA, NEW HAMPSHIRE  
 PREPARED FOR:  
**JOHN FLATLEY COMPANY**  
 50 BRANTREE HILL OFFICE PARK BRANTREE, MA 02184-0168 (781) 380-7731  
 LAND OF:  
**JOHN J. FLATLEY**  
 50 BRANTREE HILL OFFICE PARK BRANTREE, MA 02184-0168 (781) 380-7731  
 SCALE: 1" = 30' JUNE 16, 2016

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

206 Elm Street, Milford, NH 03055  
 Phone: (603) 672-5456 Fax: (603) 413-5456  
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FILE: 476SP38A.dwg PROJ. NO. 476.39 SHEET: EX-1 SHEET NO. 3 OF 15

RESEARCH DRIVE

A-799  
ORACLE AMERICA, INC.  
P.O. BOX 5200  
BELMONT, CA 94002-1600  
BK 7441 PG 0127 DATE: N/A  
(COMMERCIAL)  
Pl: PARK INDUSTRIAL

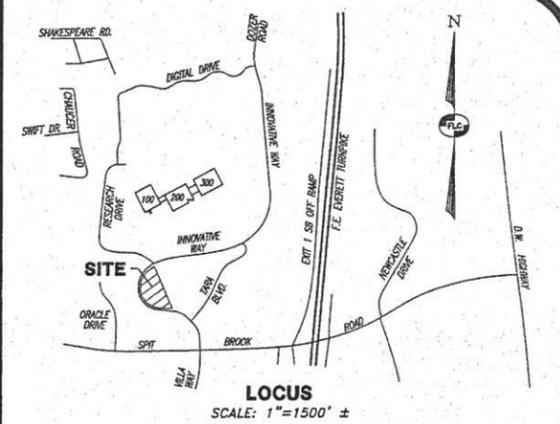
ORACLE DRIVE

PROPOSED  
7,500 SQ. FT.  
RESTAURANT  
SLAB ELEV. 139.5  
152 PARKING SPACES

A-798  
127.963 ACRES  
5,574,050 SQ. FT.

INNOVATIVE WAY (PRIVATE)

A-1007  
JOHN J. FLATLEY  
50 BRAintree HILL OFFICE PARK  
BRAintree, MA 02184-0168  
BK 7877 PG 2232 DATE: N/A  
(COMMERCIAL)  
Pl: PARK INDUSTRIAL  
"TARA COMMONS"



- REFERENCE PLANS:**
- "SUBDIVISION PLAN - NASHUA TECHNOLOGY PARK - 100-300 INNOVATIVE WAY - NASHUA, NEW HAMPSHIRE - PREPARED FOR JOHN J. FLATLEY COMPANY - RECORD OWNER JOHN J. FLATLEY", SCALE: AS SHOWN, DATED: DECEMBER 18, 2011 AND LAST REVISED 3/22/12 BY HSI - HAYNER SWANSON, INC. (RECORDED AT THE H.C.R.D. AS PLAN #37424, 5 SHEETS).
  - "MASTER LOT LINE RELOCATION, CONSOLIDATION, DISCONTINUANCE AND DEDICATION PLAN - NASHUA TECHNOLOGY PARK - SPIT BROOK ROAD, DOZER ROAD, INNOVATIVE WAY & TARA BOULEVARD - NASHUA, NEW HAMPSHIRE", SCALE: 1"=400', DATED: 3 APRIL 2009 AND LAST REVISED 3/03/11 BY HSI - HAYNER SWANSON, INC. (RECORDED AT THE H.C.R.D. AS PLAN #37082, 6 SHEETS).
  - "MASTER LOT LINE RELOCATION, DISCONTINUANCE, & SUBDIVISION PLAN; GATEWAY HILLS, TAX MAP A, LOTS 788 & 895, 100-300 INNOVATIVE WAY, NASHUA, NH SCALE: 1"=300', DATED JANUARY 23, 2013, BY THIS OFFICE.

**NOTES:**

- SITE AREA: 127.963 ACRES
- PRESENT ZONING: P1 - PARK INDUSTRIAL

MINIMUM LOT REQUIREMENTS	REQUIRED	EXISTING
LOT AREA (SQ. FT.)	30,000	5,574,050
LOT FRONTAGE (FT)	80	308±
LOT WIDTH (FT)	120	2,500±
LOT DEPTH (FT)	150	2,000±

MINIMUM YARD SETBACKS	REQUIRED	EXISTING
FRONT YARD (FT)	30	120±
SIDE YARD (FT)	20	150±
REAR YARD (FT)	20	220±
MAX. BUILDING HEIGHT	75	25±
MAX. STORIES	5	1
OPEN SPACE (%)	20	40±

- LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAP 'X'.
- SITE IS SERVICED BY MUNICIPAL SEWER AND WATER BY PENNICHUCK WATER WORKS. THE PROPOSED BUILDING SHALL BE SERVICED BY UNDERGROUND TELEPHONE, ELECTRIC, CABLE AND GAS UTILITIES.
- THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED RESTAURANT WITH ACCOMPANYING SITE IMPROVEMENTS UPON LOT 798.
- PARKING CALCULATION:

REQUIRED	MINIMUM	MAXIMUM
RESTAURANT (485 SEATS)	1 SPACE / 4 SEATS = 121 SPACES	1 SPACE / 2 SEATS = 243 SPACES

PROPOSED  
152 PARKING SPACES INCLUDING 6 HANDICAP SPACES

REV.	DATE	DESCRIPTION	FLC	NRC	CEB
A	6/23/16	MINOR REVISIONS			
			C/O	DR	CK

**SITE LAYOUT PLAN**  
**RESTAURANT**  
**SITE PLAN**  
TAX MAP A - LOT 798  
23-43 INNOVATIVE WAY  
NASHUA, NEW HAMPSHIRE  
PREPARED FOR:  
**JOHN FLATLEY COMPANY**  
50 BRAintree HILL OFFICE PARK BRAintree, MA 02184-0168 (781) 380-7731  
LAND OF:  
**JOHN J. FLATLEY**  
50 BRAintree HILL OFFICE PARK BRAintree, MA 02184-0168 (781) 380-7731  
SCALE: 1" = 30'  
MAY 25, 2016

Surveying + Engineering + Land Planning + Permitting + Septic Designs

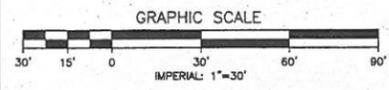
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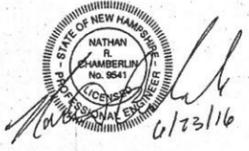
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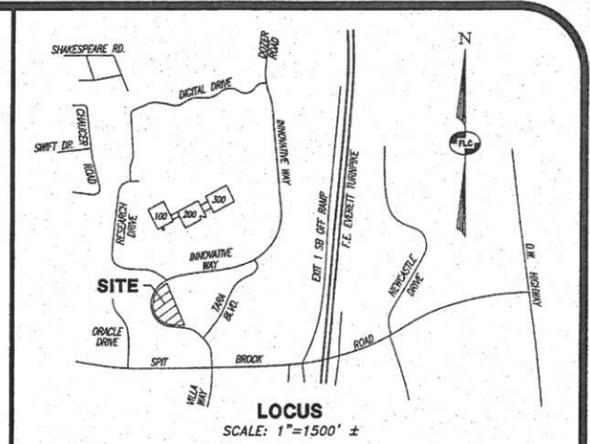
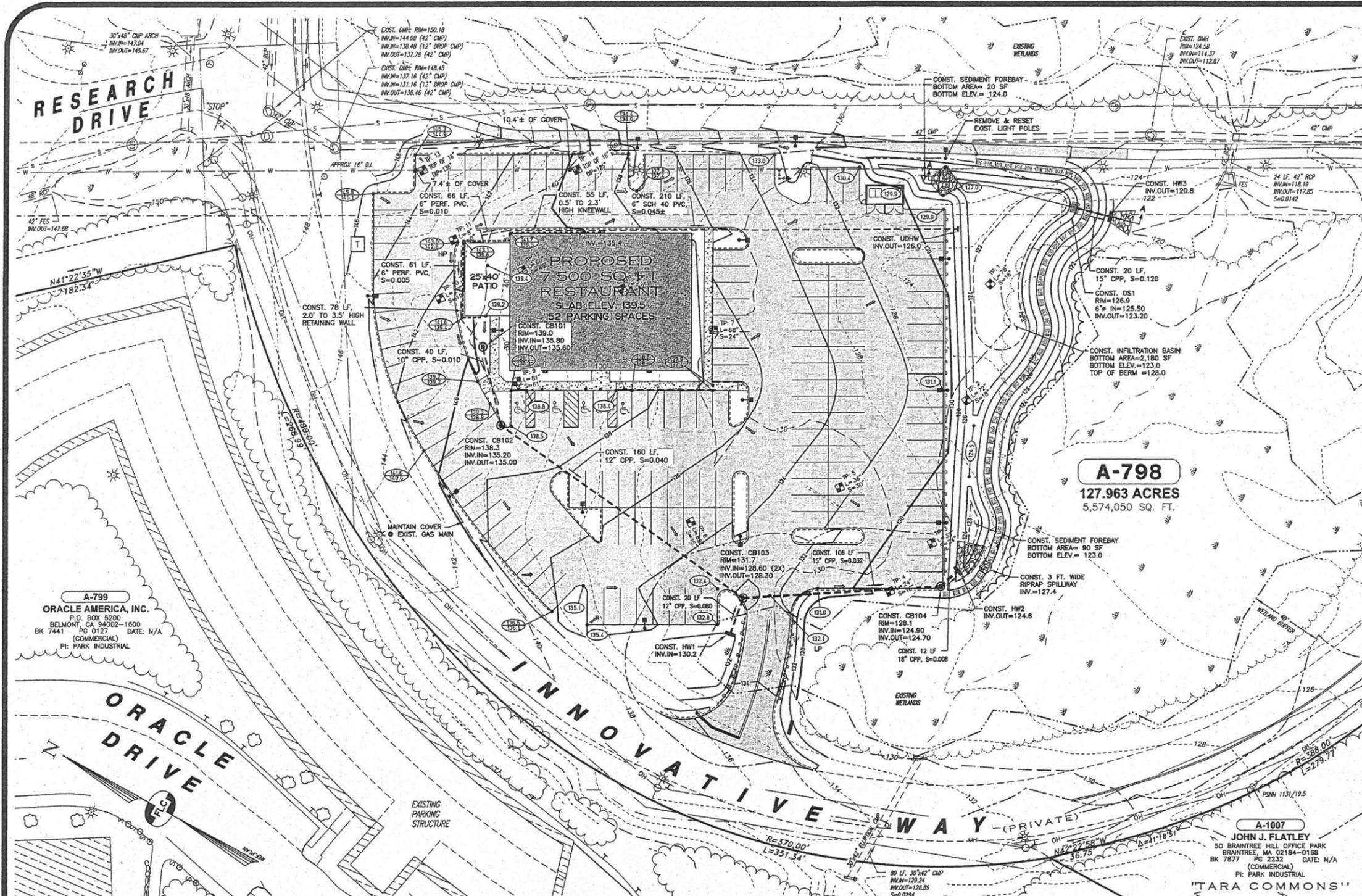
**LEGEND:**

<b>EXISTING FEATURES</b>	<b>PROPOSED FEATURES</b>
A-798 TAX MAP AND LOT NUMBER	EDGE OF PAVEMENT
RIGHT-OF-WAY LINE	CAPE COD BERM
BOUNDARY LINE	REINFORCED CONCRETE SIDEWALK AND CURB
ADJUTING LOT LINE	GUARD RAIL
MINIMUM BUILDING SETBACK LINE	BUILDING KNEE WALL
EASEMENT LINE	RETAINING WALL
WET AREA	EROSION CONTROL STONE
EDGE OF WETLANDS (BY OTHERS)	PAVEMENT AREA
EDGE OF WETLANDS (BY THIS OFFICE)	18" SOLID STOP BAR WITH SOLID WHITE WORD 5'-8" X 6'-0"
WETLAND BUFFER LINE	
STONE WALLS	
2 FT. CONTOUR	
10 FT. CONTOUR	
TREELINE	
DRAIN LINE	
WATER LINE	MISCELLANEOUS SIGN
SEWER LINE	TRAFFIC SIGN
OVERHEAD UTILITIES	RT-1 STOP SIGN
GAS LINE	R7-8 RESERVED PARKING (HANDICAP)
IRON PIPE	POLE MOUNTED LIGHT
IRON PIN	HANDICAP PARKING STALL
DRILL HOLE	TRAFFIC FLOW (NOT PAINTED ARROW)
BOUND	10 NUMBER OF PARKING SPACES
UTILITY MANHOLES	
CATCH BASIN (SQUARE)	
DRAIN MANHOLE	
LIGHT POLE	
WATER LINE SHUT-OFF VALVE	
SEWER MANHOLE	
HYDRANT	
BUILDING	



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72 HOURS PRIOR  
TO CONSTRUCTION  
**DIGSAFE.COM**  
OR DIAL 8 1 1  
CALL 811 - KNOW WHAT'S BELOW





- GENERAL CONSTRUCTION NOTES:**
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF NASHUA AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE CITY OF NASHUA DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINS AND THE MINDIT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
  - ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND THE SPECIFICATIONS NOTED ABOVE. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACT "DIGSAFE" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION (811).
  - THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE CITY DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
  - BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF NASHUA FIRE DEPARTMENT REGULATIONS.
  - ALL STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
  - ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED.

**A-798**  
127.963 ACRES  
5,574,050 SQ. FT.

**A-799**  
ORACLE AMERICA, INC.  
P.O. BOX 5200  
BELMONT, CA 94002-1600  
BK 7441 PG 0127 DATE: N/A  
(COMMERCIAL)  
PI: PARK INDUSTRIAL

**A-1007**  
JOHN J. FLATLEY  
50 BRAINTREE HILL OFFICE PARK  
BRAintree, MA 02184-0168  
BK 7877 PG 2232 DATE: N/A  
(COMMERCIAL)  
PI: PARK INDUSTRIAL  
"TARA COMMONS"

REV.	DATE	DESCRIPTION	FLC	NRC	CEB
A	6/23/16	MINOR REVISIONS	FLC	NRC	CEB
			C/O	DR	CK

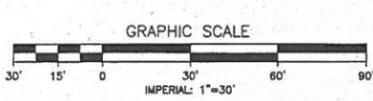
**SITE GRADING & DRAINAGE PLAN**  
**RESTAURANT**  
**SITE PLAN**  
TAX MAP A - LOT 798  
23-43 INNOVATIVE WAY  
NASHUA, NEW HAMPSHIRE  
PREPARED FOR:  
**JOHN FLATLEY COMPANY**  
50 BRAINTREE HILL OFFICE PARK BRAintree, MA 02184-0168 (781) 380-7731  
LAND OF:  
**JOHN J. FLATLEY**  
50 BRAINTREE HILL OFFICE PARK BRAintree, MA 02184-0168 (781) 380-7731  
SCALE: 1" = 30'  
JUNE 16, 2016

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

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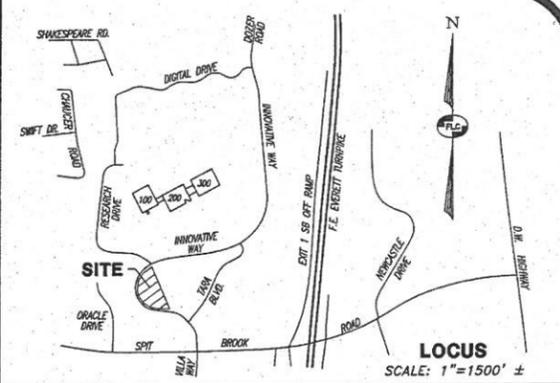
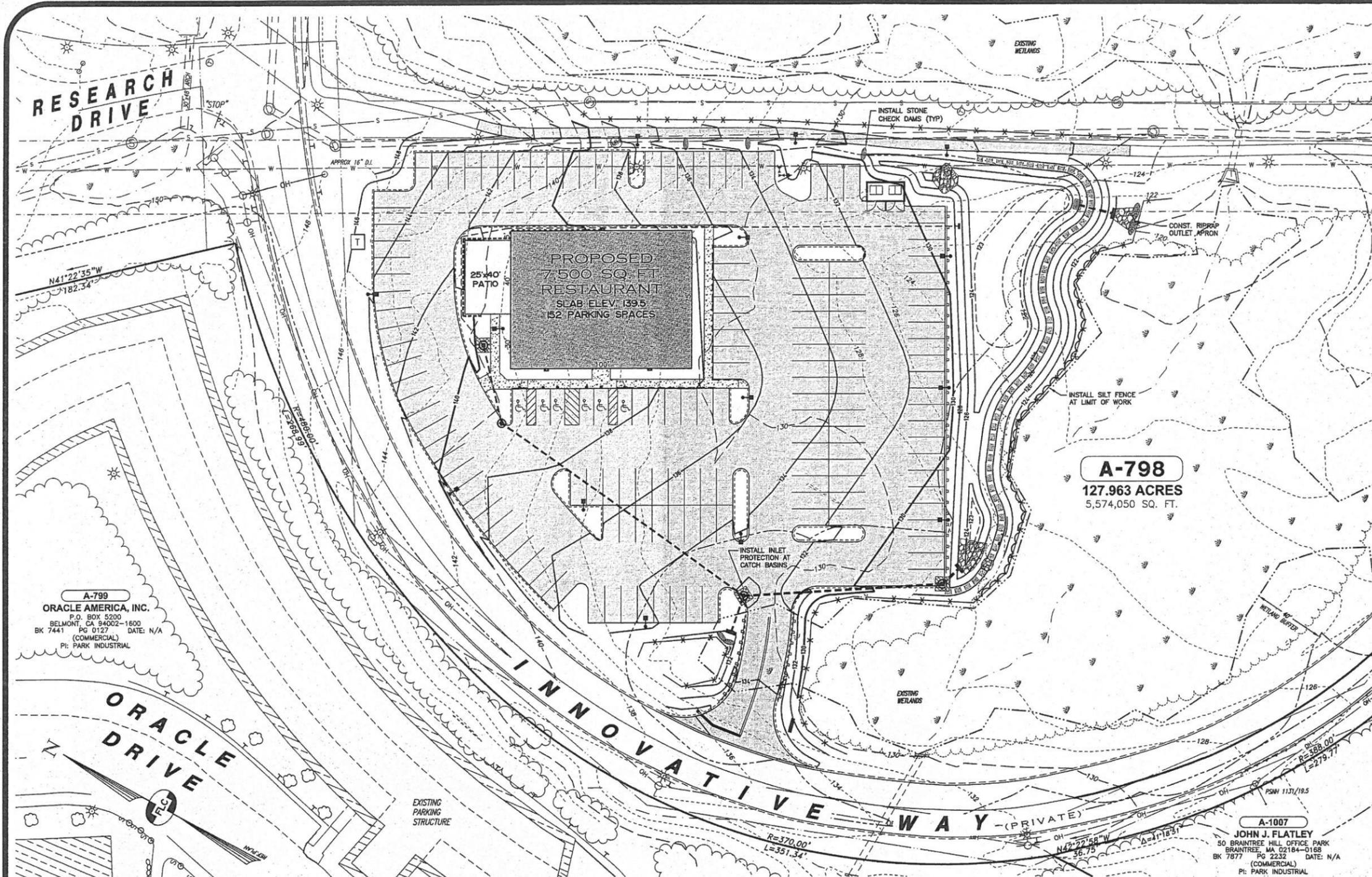
**LEGEND:**

<b>EXISTING FEATURES</b>	<b>PROPOSED FEATURES</b>	<b>PROPOSED FEATURES</b>	<b>PROPOSED FEATURES</b>
A-798 TAX MAP AND LOT NUMBER	— W — WATER LINE	— EDGE OF PAVEMENT	— 138 — 2 FT. CONTOUR
— RIGHT-OF-WAY LINE	— S — SEWER LINE	— CAPE COD BERM	— 140 — 10 FT. CONTOUR
— BOUNDARY LINE	— OH — OVERHEAD UTILITIES	— REINFORCED CONCRETE SIDEWALK AND CURB	— 124.5 — SPOT ELEVATION
— ABUTTING LOT LINE	— G — 4" GAS LINE	— GUARD RAIL	— 124.8 — SPOT ELEVATION AT CURB
— MINIMUM BUILDING SETBACK LINE	— O — IRON PIPE	— EROSION CONTROL STONE	— S — STORM WATER DRAINAGE
— EASEMENT LINE	— O — IRON PIN	— PAVEMENT AREA	— L — LIMITS OF CLEARING
— WET AREA	— O — DRILL HOLE	— FOUNDATION KNEE WALL	— S — SWALE
— EDGE OF WETLANDS (BY OTHERS)	— O — BOUND	— RETAINING WALL	— X — TEMPORARY SILT FENCE
— EDGE OF WETLANDS (BY THIS OFFICE)	— U — UTILITY MANHOLE		— — SURFACE WATER FLOW
— WETLAND BUFFER LINE	— C — CATCH BASIN (SQUARE)		— — POLE MOUNTED LIGHT
— STONE WALLS	— M — MANHOLE		
— 138 — 2 FT. CONTOUR	— L — LIGHT POLE		
— 140 — 10 FT. CONTOUR	— V — WATER LINE SHUT-OFF VALVE		
— T — TREETLINE	— S — SEWER MANHOLE		
— — DRAIN LINE	— H — HYDRANT		
	— B — BUILDING		



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STATE OF NEW HAMPSHIRE  
NATHAN R. CHAMBERLAIN  
No. 8647  
LICENSED PROFESSIONAL ENGINEER  
6/23/16



- GENERAL NOTES:**
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND THE STATE OF NEW HAMPSHIRE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
  - THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
  - BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
  - STAGING AND MATERIAL STOCKPILE AREAS AS SHOWN ARE APPROXIMATE AND SUBJECT TO CHANGE. STOCKPILE AREAS SHALL BE SURROUNDED BY SILT FENCE AND RE-SEEDED IF THEY ARE LEFT UNTOUCHED FOR MORE THAN TEN (10) DAYS.
  - THIS PROJECT IS SUBJECT TO THE REQUIREMENTS OF THE TOWN OF MERRIMACK STORMWATER MANAGEMENT STANDARDS (CHAPTER 412 OF THE TOWN'S CODE OF ORDINANCES). THE TOWN RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION.
  - STORMWATER FLOWS ARE NOT TO BE DIRECTED TO THE INFILTRATION AREAS UNTIL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
  - AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
    - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
    - A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS ESTABLISHED.
    - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.
    - OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
  - ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
    - INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
    - ALL SEEDING AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
    - SILT FENCE SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-QUARTER THE HEIGHT OF THE SILT FENCE.
  - THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.

REV.	DATE	DESCRIPTION	FLC	NRC	CEB
A	6/23/16	MINOR REVISIONS	FLC	NRC	CEB
			C/O	DR	CK

**SITE EROSION CONTROL PLAN**  
**RESTAURANT**  
**SITE PLAN**  
 TAX MAP A - LOT 798  
 23-43 INNOVATIVE WAY  
 NASHUA, NEW HAMPSHIRE  
 PREPARED FOR:

**JOHN FLATLEY COMPANY**  
 50 BRAINTREE HILL OFFICE PARK BRAintree, MA 02184-0168 (781) 380-7731  
 LAND OF:  
**JOHN J. FLATLEY**  
 50 BRAINTREE HILL OFFICE PARK BRAintree, MA 02184-0168 (781) 380-7731  
 SCALE: 1" = 30'  
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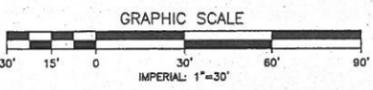
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**A-799**  
**ORACLE AMERICA, INC.**  
 P.O. BOX 5200  
 BELMONT, CA 94002-1600  
 BK 7441 PG 0127 DATE: N/A  
 (COMMERCIAL)  
 PI: PARK INDUSTRIAL

**A-798**  
**127.963 ACRES**  
**5,574,050 SQ. FT.**

**A-1007**  
**JOHN J. FLATLEY**  
 50 BRAINTREE HILL OFFICE PARK  
 BRAintree, MA 02184-0168  
 BK 7877 PG 2232 DATE: N/A  
 (COMMERCIAL)  
 PI: PARK INDUSTRIAL

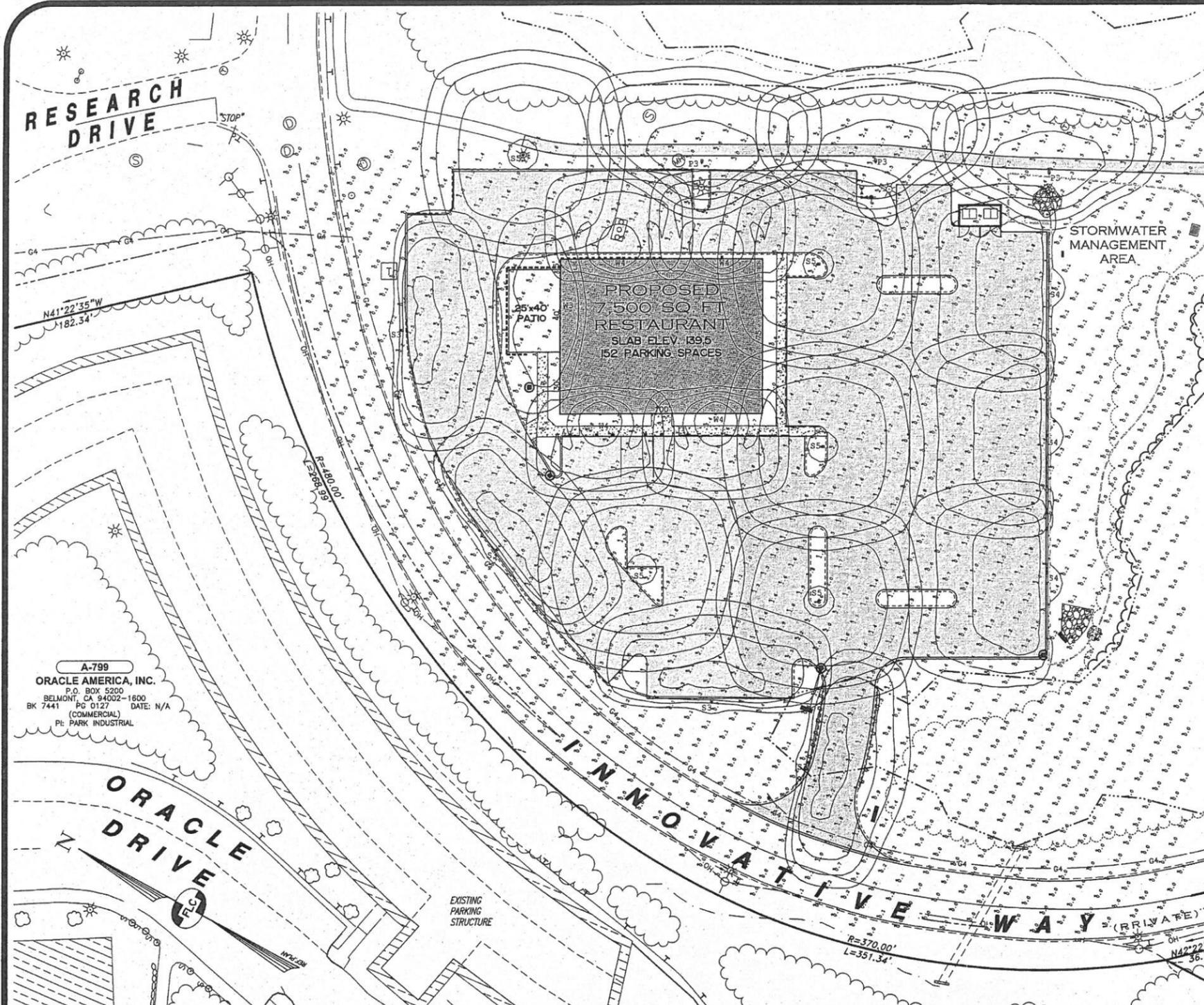


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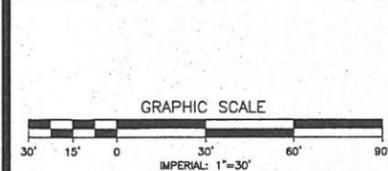
EXISTING FEATURES	LEGEND:	PROPOSED FEATURES
TAX MAP AND LOT NUMBER	WATER LINE	EDGE OF PAVEMENT
RIGHT-OF-WAY LINE	SEWER LINE	CAPE COD BERM
BOUNDARY LINE	OVERHEAD UTILITIES	REINFORCED CONCRETE SIDEWALK AND CURB
ABUTTING LOT LINE	4" GAS GAS LINE	PAVEMENT AREA
MINIMUM BUILDING SETBACK LINE	IRON PIPE	LIMITS OF CLEARING
EASEMENT LINE	IRON PIN	TEMPORARY SILT FENCE
WET AREA	DRILL HOLE	CONSTRUCTION ENTRANCE
EDGE OF WETLANDS (BY OTHERS)	BOUND	EROSION CONTROL STONE
EDGE OF WETLANDS (BY THIS OFFICE)	UTILITY MANHOLES	EROSION CONTROL MATTING
WETLAND BUFFER LINE	CATCH BASIN (SQUARE)	DRAIN INLET PROTECTION
STONE WALLS	DRAIN MANHOLE	STONE CHECK DAM
2 FT. CONTOUR	LIGHT POLE	
10 FT. CONTOUR	WATER LINE SHUT-OFF VALVE	
TREE LINE	SEWER MANHOLE	
DRAIN LINE	HYDRANT	
	BUILDING	

- CONSTRUCTION SEQUENCE:**
- INSTALL SILT FENCE, CONSTRUCTION FENCING, AND CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE.
  - CLEAR & GRUB SITE ACCORDING TO PLAN. STUMPS SHALL BE GROUND ON-SITE AND THE TAILINGS STOCKPILED FOR LATER USE FOR EROSION CONTROL.
  - PERFORM SITE GRADING OF BUILDING AND PARKING AREAS.
  - BEGIN BUILDING CONSTRUCTION. INSTALL SITE UTILITIES IN ACCORDANCE WITH THE PLAN.
  - INSTALL INLET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. INSTALLATION OF UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT IN ACCORDANCE WITH THE "SILTSACK DETAIL" THE CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED.
  - LOAM AND SEED ALL DISTURBED AREAS. COMPLETED AREAS SHALL BE STABILIZED 72 HOURS AFTER COMPLETION.
  - NO PORTION OF THE PROJECT SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR A PERIOD OF 45 TO 60 DAYS. ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED PRIOR TO WINTER CONDITIONS.
  - ALL PERMANENT STORMWATER MANAGEMENT MEASURES SHALL HAVE A HEALTHY STAND OF VEGETATION ESTABLISHED PRIOR TO DIRECTING RUNOFF INTO THEM.
  - FINAL PAVING OF PARKING LOT
  - INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES.
  - SITE LANDSCAPING ALONG WITH PERMANENT SEEDING OF DISTURBED AREAS.
  - REMOVE ANY TEMPORARY EROSION CONTROL MEASURES NOT NEEDED WHEN SITE HAS BEEN STABILIZED.





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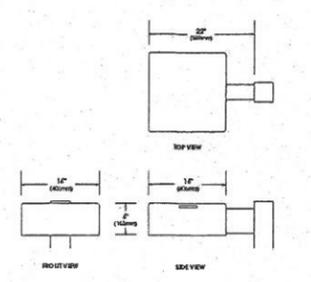
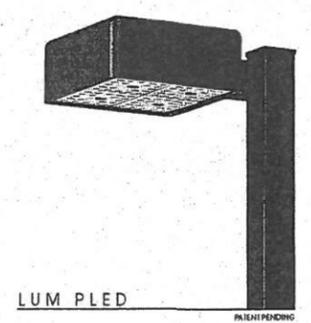
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EXISTING FEATURES		PROPOSED FEATURES	
	TAX MAP AND LOT NUMBER		WATER LINE
	RIGHT-OF-WAY LINE		SEWER LINE
	BOUNDARY LINE		OVERHEAD UTILITIES
	ABUTTING LOT LINE		GAS LINE
	MINIMUM BUILDING SETBACK LINE		IRON PIPE
	EASEMENT LINE		IRON PIN
	WET AREA		DRILL HOLE
	EDGE OF WETLANDS (BY OTHERS)		BOUND
	EDGE OF WETLANDS (BY THIS OFFICE)		UTILITY MANHOLES
	WETLAND BUFFER LINE		CATCH BASIN (SQUARE)
	STONE WALLS		DRAIN MANHOLE
	2 FT. CONTOUR		LIGHT POLE
	10 FT. CONTOUR		WATER LINE SHUT-OFF VALVE
	TREELINE		SEWER MANHOLE
	DRAIN LINE		HYDRANT
			BUILDING

StatArea 1  
 PARKING LOT AREAS  
 Illuminance (Fc)  
 Average = 1.41  
 Maximum = 4.4  
 Minimum = 0.4  
 Avg/Min Ratio = 3.53  
 Max/Min Ratio = 11.00

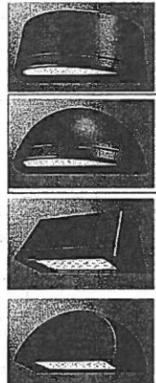
Symbol	Qty	Label	Arrangement	Description
	5	P3	SINGLE	LUM-III-40PLED-700mA-NW/ 20' AFG
	4	S3	SINGLE	LUM-III-40PLED-700mA-NW-HS/ 20' AFG
	3	S4	SINGLE	LUM-IV-PT-40PLED-700mA-NW-HS/ 20' AFG
	5	S5	SINGLE	LUM-V-SQ-M-40PLED-700mA-NW/ 20' AFG
	1	W3	SINGLE	ISS-E01-LED-E1-BL3/ 15' AFG
	4	W4	SINGLE	ISS-B02-LED-E1-BL4/ WALL MTD 15' AFG

STATE OF NEW HAMPSHIRE  
 NATHAN R. CHAMBERLIN  
 No. 9541  
 LICENSED PROFESSIONAL ENGINEER  
 6/23/16

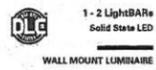


**POLE LIGHT FIXTURE SPECIFICATIONS**

McGraw-Edison



ISC/ISS/IST/ISW  
 IMPACT ELITE LED



1-2 LightBAR  
 Solid State LED  
 WALL MOUNT LUMINAIRE  
 CERTIFICATION DATA  
 UL924 Listed  
 ILMV (LM80) Compliant  
 IP68 LightBARs  
 50,000 Hr  
 DesignLight Consortium Qualified

ENERGY DATA  
 Electronic LED Driver  
 <math>v\_{LED}</math> Power Factor  
 <math>v\_{LED}</math> Total Harmonic Distortion  
 120-277VAC & 60Hz, 347V/60Hz, 480V/60Hz  
 -40°C Minimum Temperature  
 40°C Ambient Temperature Rating

SHIP PING DATA  
 Approximate Net Weight:  
 18 lbs. (8 kg)

**ORDERING INFORMATION**

Product Family	Number of LightBARs	Lamp Type	Voltage	Distribution	Color
ISC/ISS/IST/ISW Impact Elite LED Small Cylinder	601-1121 LED LightBAR	LED-Solid State Light Emitting Diodes	61-Electronic (120-277V)	BL2-Type II with Light Control	AW-Clear
ISC/ISS/IST/ISW Impact Elite LED Small Cylinder	602-1121 LED LightBAR			BL3-Type II with Light Control	BC-Bronze
ISC/ISS/IST/ISW Impact Elite LED Small Cylinder	603-1121 LED LightBAR			BL4-Type IV with Light Control	BD-Black
ISC/ISS/IST/ISW Impact Elite LED Small Cylinder	604-1121 LED LightBAR			BL5-Type V with Light Control	BE-White

**POWER AND LUMENS BY BAR COUNT**

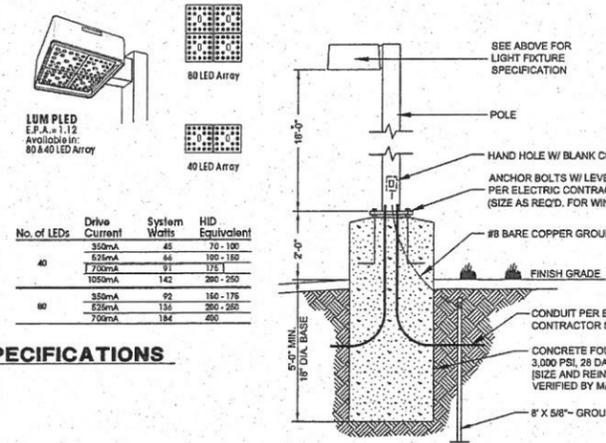
Number of LightBARs	601	602	603	604
Power (Watts)	120-277V 23W	47W	34W	50W
Current (A)	120V 0.22	0.40	0.22	0.42
Power (Watts)	277V 0.10	0.18	0.10	0.19
Current (A)	277V 0.11	0.16	0.11	0.17
Current (A)	480V 0.15	0.18	0.16	0.18

**WALL PACK SPECIFICATIONS**

Optics	Lumens	601	602	603	604
BL2	2,700	6,476	2,260	4,821	
BL3	2,700	6,465	2,231	4,482	
BL4	2,700	6,226	2,187	4,233	
BL5	2,700	6,200	2,266	4,808	
GW	2,700	6,200	2,266	4,808	
SLASL	2,700	6,200	2,266	4,808	

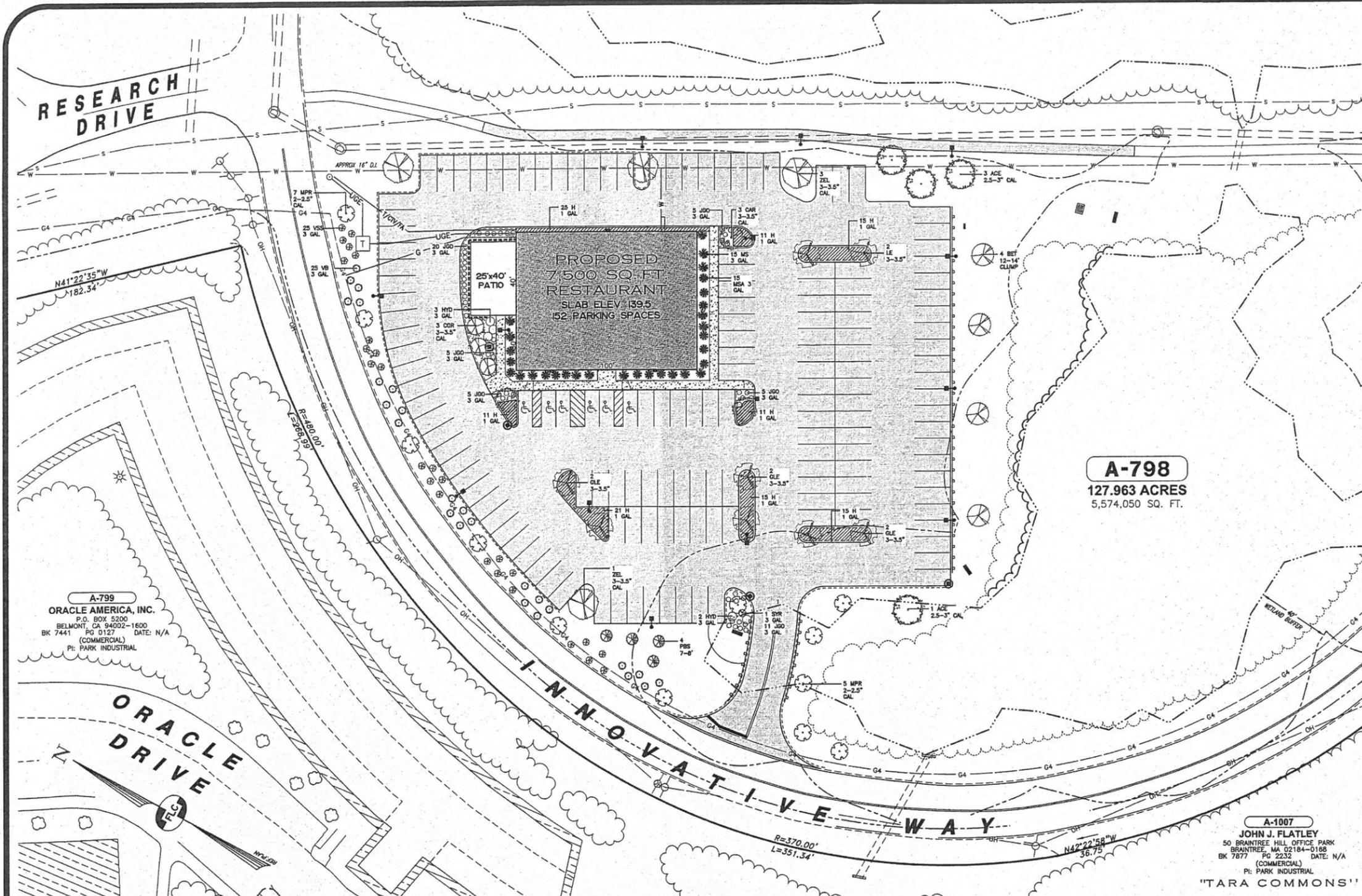
**SPEC/ORDERING INFORMATION**

MODEL	OFFIC'S	LED	MOORING	FRESH	OFFIC'S
LUM LED	TYPE I PLED	TYPE II PLED	TYPE III PLED	TYPE IV PLED	TYPE V PLED
	TYPE VI PLED	TYPE VII PLED	TYPE VIII PLED	TYPE IX PLED	TYPE X PLED
	TYPE XI PLED	TYPE XII PLED	TYPE XIII PLED	TYPE XIV PLED	TYPE XV PLED



NOTE:  
 1. LIGHT POLE FOUNDATION SHALL EXTEND 2.0 FEET ABOVE FINISH GRADE TO PREVENT VEHICLES FROM DAMAGING THE LIGHT POLE.  
 2. LIGHT POLE AND FIXTURES BY OTHERS.  
 SCALE: N.T.S.  
**LIGHT POLE FOUNDATION DETAIL**

**SITE LIGHTING PLAN**  
**RESTAURANT**  
**SITE PLAN**  
 TAX MAP A - LOT 798  
 23-43 INNOVATIVE WAY  
 NASHUA, NEW HAMPSHIRE  
 PREPARED FOR:  
**JOHN FLATLEY COMPANY**  
 50 BRAintree HILL OFFICE PARK BRAintree, MA 02184-0168 (781) 380-7731  
 LAND OF:  
**JOHN J. FLATLEY**  
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 FILE: 476SP39A.dwg PROJ. NO. 476.39 SHEET: LT-1 SHEET NO. 8 OF 15

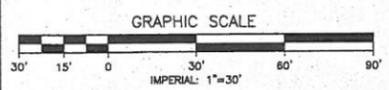


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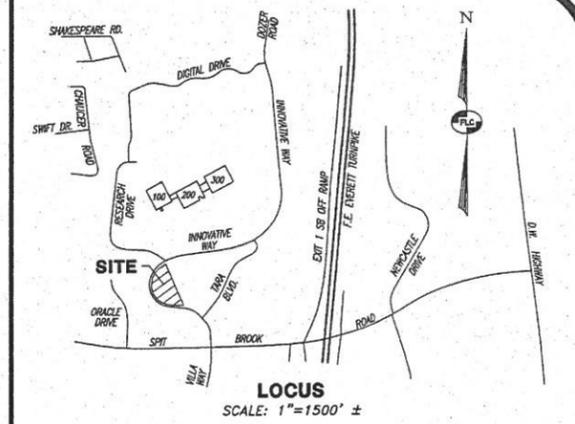
**A-798**  
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**A-1007**  
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 50 BRAINTREE HILL OFFICE PARK  
 BRAINTREE, MA 02184-0168  
 BK 7877 PG 2232 DATE: N/A  
 (COMMERCIAL)  
 PI: PARK INDUSTRIAL  
 "TARA COMMONS"

EXISTING FEATURES		LEGEND:		PROPOSED FEATURES	
	TAX MAP AND LOT NUMBER		WATER LINE		EDGE OF PAVEMENT
	RIGHT-OF-WAY LINE		SEWER LINE		CAPE COD BERM
	BOUNDARY LINE		OVERHEAD UTILITIES		REINFORCED CONCRETE SIDEWALK AND CURB
	ABUTTING LOT LINE		GAS LINE		EROSION CONTROL STONE
	MINIMUM BUILDING SETBACK LINE		IRON PIPE		PAVEMENT AREA
	EASEMENT LINE		IRON PIN		16" W SOLID STOP BAR WITH SOLID WHITE WORD 5'-0" W X 6'-0" H
	WET AREA		DRILL HOLE		STORM WATER DRAINAGE
	EDGE OF WETLANDS (BY OTHERS)		ROUND		LIMITS OF CLEARING
	EDGE OF WETLANDS (BY THIS OFFICE)		UTILITY MANHOLES		POLE MOUNTED LIGHT
	WETLAND BUFFER LINE		CATCH BASIN (SQUARE)		SINGLE
	STONE WALLS		DRAIN MANHOLE		TEMPORARY SILT FENCE
	2 FT. CONTOUR		LIGHT POLE		
	10 FT. CONTOUR		WATER LINE SHUT-OFF VALVE		
	TREELINE		SEWER MANHOLE		
	DRAIN LINE		HYDRANT		
			BUILDING		



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PLANT SYMBOLS	PLANTING LIST:	
MATERIAL LEGEND		
	ACER RUBRUM (RED SUNSET MAPLE)	4) 2.5'-3" CAL.
	BETULA NIGRA (HERITAGE RIVER BIRCH)	4) 12'-14" CLUMP
	CARPINUS B. FASTIGIATA (PYRAMIDAL EUROPEAN HORNBEAM)	3) 3'-3.5" CAL.
	CORNUS SANGUINEA (WINTER FLAME DOGWOOD)	3) #30AL 2'-3'
	CRATAEGUS VIRIDIS (WINTER KING HAWTHORN)	0) 3'-3.5" CAL.
	GLEHNSIA T.L. (SHADEMASTER HONEYLOCUST)	8) 2.5'-3" CAL.
	HYDRANGEA PANICULATA (TARDIA HYDRANGEA)	5) 3'-4" B&B
	JUNIPERUS CHINENSIS (GREY OWL JUNIPER)	3) #30AL
	NYSSA SYLVATICA (WILDPIRE TUPELO)	0) 3'-3.5" CAL.
	MALUS SPECIOSA (PRAIRIEPIRE CRABAPPLE)	12) 2'-2.5" CAL.
	PICEA PUNGENS (BLUE SELECT SPRUCE)	1) 7'-8" B&B
	PICEA GLAUCA (GLAUCA BLUE WHITE SPRUCE)	0) 7'-8" B&B
	PINUS STROBUS (WHITE PINE)	0) 6'-7'
	SYRINGA PATULA (MISS KIM LIAC)	1) 3'-4" B&B
	TILIA TOMENTOSA (STERLING SILVER LINDEN)	0) 3.5'-4" CAL.
	VIBURNUM PRUNIFOLIUM (BLACKHAW VIBURNUM)	25) 4'-5" B&B
	VIBURNUM P.T. (SUMMER SNOWFLAKE VIBURNUM)	25) 5'-6" B&B
	ZELKOVA SERRATA (GREEN VASE ZELKOVA)	4) 3'-3.5" CAL.
MISCELLANEOUS:		
GENERAL LAWN SEED (BLUE SEAL LAWN MIX 11-A) OR EQUAL		
RESTORATION SEED MIX: ROCKINGHAM SLOPE MIX OR NEW ENGLAND WARM SEASON MIX BY NEW ENGLAND WETLAND PLANTS, AMHERST, MA.		
DETENTION SEED MIXTURE: NEW ENGLAND WETLAND PLANTS, AMHERST, MA. EROSION CONTROL/RESTORATION MIX FOR MOIST SITES.		
PREMIUM BLEND PINE/HEMLOCK BARK MULCH		
	HEMEROCALLIS (DAYLILY) 124) 1 GAL.	
	MISCANTHUS SINENSIS 'LITTLE ZEBRA' (ZWART ZEBRA GRASS)	15) 3 GAL.
	MISCANTHUS SINENSIS 'YAKUSHIMA' (ZWART MADDEN GRASS)	15) 3 GAL.

REV.	DATE	DESCRIPTION	FLC	NRC	CER
A	6/23/16	MINOR REVISIONS	FLC	NRC	CER
			C/O	DR	CK

**SITE LANDSCAPING PLAN**  
**RESTAURANT**  
**SITE PLAN**  
 TAX MAP A - LOT 798  
 23-43 INNOVATIVE WAY  
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FILE: 476LS39A.dwg PROJ. NO. 476.39 SHEET: LS-1 SHEET NO. 9 OF 15

STATE OF NEW HAMPSHIRE  
 NATHAN R. CHAMBERLAIN  
 No. 9541  
 LICENSED PROFESSIONAL ENGINEER  
  
 6/23/16

NASHUA CITY PLANNING BOARD  
STAFF REPORT

TO: Nashua City Planning Board  
FROM: Linda Panny, Deputy Planning Manager/Development  
FOR: August 4, 2016  
RE: **New Business #4 – Site Plan**

**I. Project Statistics:**

Owner: Colonial Imports Corp.  
Proposal: Site plan to construct a 163 space parking lot  
Location: 117 Glenwood Street  
Total Site Area: 2.632 acres (114,641 sf)  
Existing Zoning: RA-Urban Residence  
Surrounding Uses: Commercial and residential

**II. Background Information:**

An existing single-family residence is located on a portion of the lot with the remainder undeveloped. On April 12, 2016 a Use Variance was granted by the Zoning Board of Adjustment to allow this project to move forward with the stipulation that cars cannot be unloaded to the lot at the site, or on West Glenwood Street, or from the Daniel Webster Highway.

**III. Project Description:**

The proposal is to raze the existing dwelling and construct a 163 space parking lot with associated site improvements. The parking lot will be used for vehicle storage for an auto dealer located nearby. Some of the site improvements include reconstructing West Glenwood Street, new site lighting, and stormwater management improvements. A 6' high chain link fence with a gate is being proposed. There is a 15' wide gravel easement that will be paved to the property line that benefits this lot and Lot 84.

According to the applicant's engineer, the project will add approximately 1.3 acres of impervious area and will disturb approximately 95,000 sf. Based on test pits, infiltration capabilities are limited due to poor soil conditions and shallow depths due to seasonal high groundwater. The applicant is proposing runoff from the parking lot be captured with curbing and catch basins and piped into a subsurface stormwater management area (SMA). Pipe and stone system will provide storage and detention. Underdrainage will be utilized to lower the groundwater elevations in the parking area and immediately upslope from the SMA. Prior to entering the subsurface detention system the runoff will flow through a water quality unit. Deep-sump catch basins are proposed to be used as an additional pre-treatment measure. The proposed drainage system will significantly reduce the amount of runoff sheet flowing down the hill towards the downstream residences.

A Traffic Impact Report (TIR) Worksheet was prepared and a formal TIR is not required as the trip estimates fall below the TIR threshold values.

The proposed vehicle storage lot does not fully meet the NRO landscaping plan standards and a waiver has been requested (see attached).

The plan was reviewed by City staff; comments are pending.

#### **IV. Staff Recommendations and Findings:**

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

1. The request for a waiver of NRO § 190-279(P), which requires a landscaping plan be prepared, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. Prior to the issuance of a building permit, stormwater documents will be submitted to City staff for review and approval and recorded at the Registry of Deeds at the applicant's expense.
3. All stipulations of the Zoning Board of Adjustment dated April 12, 2016 are incorporated herein.
4. Any work within the right-of-way shall require a financial guarantee.
5. Prior to the issuance of a certificate of occupancy, all site improvements will be completed.

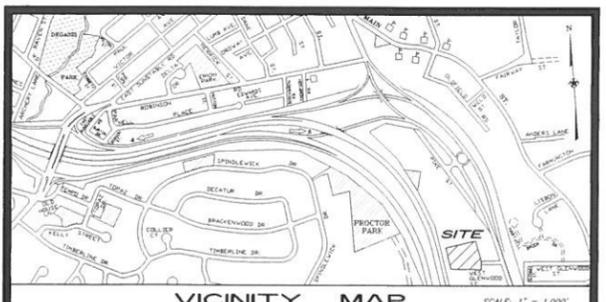
MAP 128 LOT 179  
PUBLIC SERVICE CO. OF NH  
PO BOX 270  
HARTFORD, CT 06141-0270  
BK 5311 PG 511  
ZONE: R-A URBAN RESIDENCE  
USE: UTILITY LOT

MAP 128 LOT 87  
SEAN M. AZAROWSKI  
107 WEST GLENWOOD STREET  
NASHUA, NH 03080-5216  
BK 6023 PG 755  
ZONE: R-A URBAN RESIDENCE  
USE: RESIDENTIAL

MAP 132 LOT 84  
MARILYN R. SIENKIEWICZ 2016  
REVOCABLE TRUST  
c/o MARILYN SIENKIEWICZ, TRUSTEE  
117 WEST HOBART STREET  
NASHUA, NH 03060  
BK 8870 PG 0760  
ZONE: R-A URBAN RESIDENCE  
USE: RESIDENTIAL

MAP 132 LOT 31  
MARILYN R. SIENKIEWICZ 2016  
REVOCABLE TRUST  
c/o MARILYN SIENKIEWICZ, TRUSTEE  
117 WEST HOBART STREET  
NASHUA, NH 03060  
BK 8870 PG 0760  
ZONE: R-A URBAN RESIDENCE  
USE: RAW LAND

**\* ZONING NOTE \***  
THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.



- PLAN REFERENCES:**
- COUNTRY CLUB HEIGHTS ANNEX, NASHUA, NH, OWNED BY A H CHAPMAN LAND CO. RECORDED: HC RD - PLAN No 536.
  - FINAL BOUNDARY PLAN, LAND OF SIENKIEWICZ, WEST GLENWOOD STREET, NASHUA, NEW HAMPSHIRE, PREPARED FOR JOHN & MARILYN SIENKIEWICZ, SCALE 1"=50', DATED JUNE 15, 1992, BY CUOCO & CORMIER, INC. RECORDED: HC RD - PLAN No 28735.
  - CONSOLIDATION PLAN OF LOTS A-136, A-159 & A-176, PLAN OF LAND FOR PUBLIC SERVICE COMPANY OF N.H. AND PROPERTIES INC. IN NASHUA, N.H. SCALE 1"=50', DATED 6/29/79 BY PUBLIC SERVICE CO. OF NEW HAMPSHIRE, ENGINEERING DIVISION. RECORDED: HC RD - PLAN No 12385.
  - PLAN OF JOHN C LUND ESTATE, NASHUA, N.H. SCALE 1"=200', DATED 1896, SURVEYED BY A.W. DEAN, C.E. RECORDED: HC RD - PLAN No 3058.

- NOTES:**
- TOTAL SITE AREA: 2.632 ACRES (114,641 SF)
  - PRESENT ZONING: R-A; A - URBAN RESIDENCE

MINIMUM LOT REQUIREMENTS	REQUIRED	LOT 31
-LOT AREA	7,500 SF	114,641 SF
-LOT FRONTAGE	60 FT	52.2 FT
-LOT WIDTH	75 FT	299.5 FT
-LOT DEPTH	90 FT	371.1 FT
<b>MINIMUM YARD SETBACKS</b>		
-FRONT YARD	25 FT	N/A
-SIDE YARD	15 FT	N/A
-REAR YARD	25 FT	N/A
-MAX BUILDING HEIGHT	35 FT	N/A
-MAX STORIES	2.5	N/A
-OPEN SPACE (%)	50	51
-MAX FLOOR RATIO	0.5	N/A

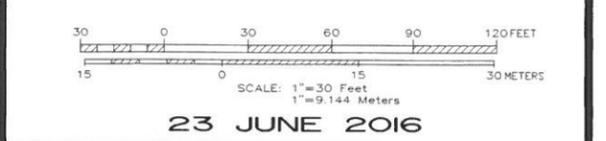
AT THE APRIL 12, 2016 MEETING, THE CITY OF NASHUA ZONING BOARD OF ADJUSTMENT APPROVED A USE VARIANCE TO CONSTRUCT A PAVED AUTOMOBILE STORAGE LOT.

    - LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAPS A, 128 AND 132.
    - PURPOSE OF PLAN: TO SHOW A PROPOSED 163 SPACE VEHICLE STORAGE PARKING LOT.
    - PUBLIC STREET RESTORATION WORK SHALL BE IN ACCORDANCE WITH N.H.R.C. SECTION 285-13, LATEST EDITION.
    - ALL LIGHTING SHALL BE AS SHOWN ON THE PLANS, DIRECTED ONTO THE SITE AND CONFORM TO APPLICABLE CITY OF NASHUA LAND USE CODE REGULATIONS.
    - A PRE-CONSTRUCTION MEETING WITH THE CITY OF NASHUA PLANNING/ENGINEERING/FIRE OFFICIALS SHALL TAKE PLACE PRIOR TO ANY WORK BEING PERFORMED.
    - HOURS OF OPERATION: MONDAY THRU SUNDAY 7 AM-6 PM
    - THE APPLICANT SHALL SUBMIT AN ELECTRONIC FILE OF THE SITE PLAN (PLOT) PRIOR TO ISSUANCE OF A BUILDING PERMIT.
    - PRIOR TO A BUILDING PERMIT BEING ISSUED, BONDING FOR ALL PUBLIC IMPROVEMENTS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEERING DEPARTMENT AND CORPORATION COUNSEL.
    - PRIOR TO A BUILDING PERMIT BEING ISSUED, DOCUMENTS PERTAINING TO THE STORMWATER OPERATION AND MAINTENANCE PLAN SHALL BE RECORDED.
    - THE PARCEL IS NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM) - HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY No. 330097, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33011C052E, MAP REVISED: APRIL 18, 2011.

No.	DATE	REVISION	BY
1	07/20/16	ADDRESS TRC COMMENTS	TEZ

**MASTER SITE PLAN**  
(MAP 132, LOT 31)  
**PROPOSED VEHICLE STORAGE LOT**  
117 WEST GLENWOOD STREET  
NASHUA, NEW HAMPSHIRE

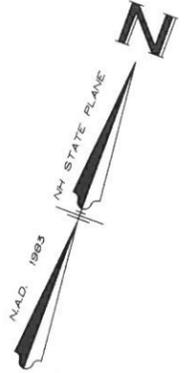
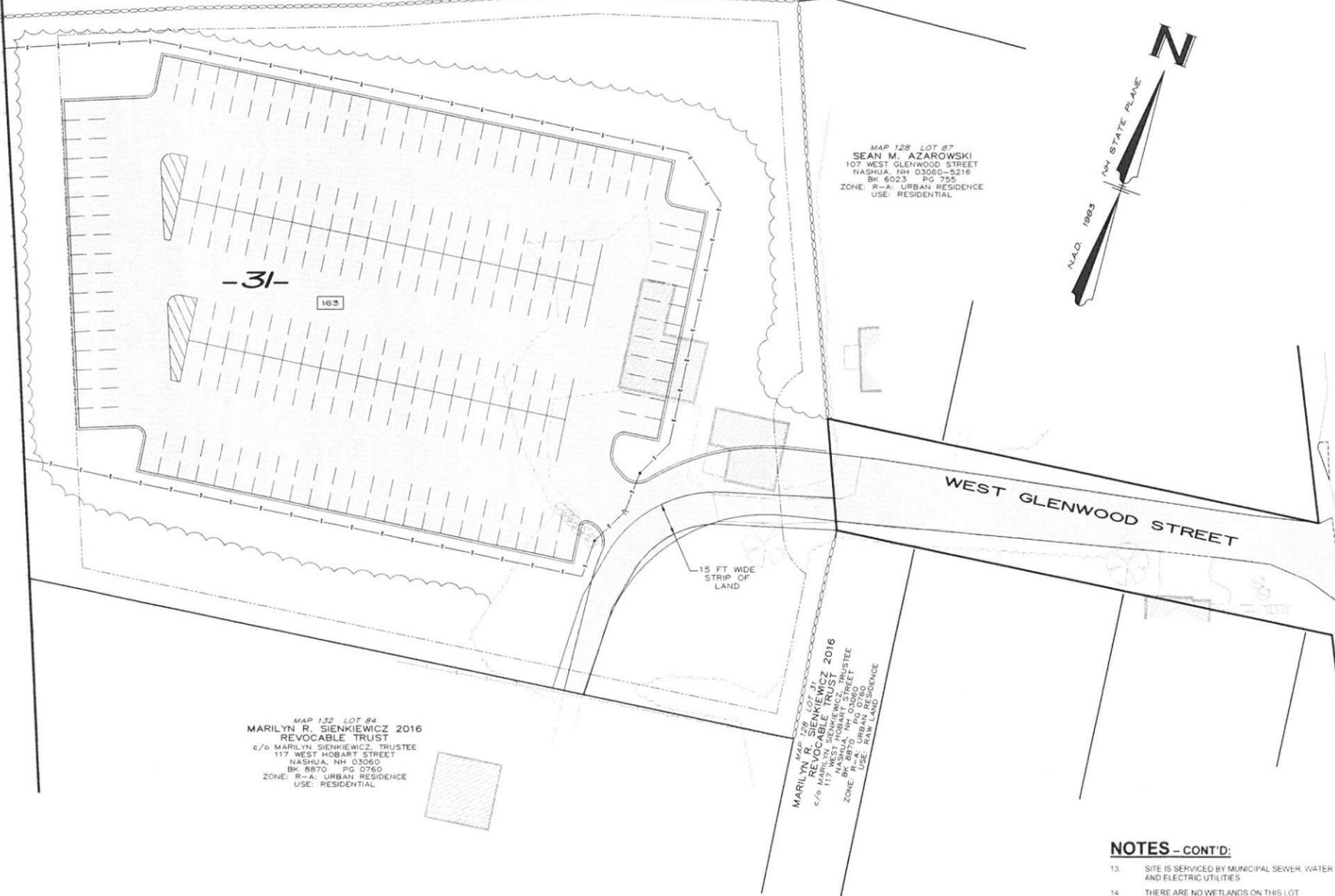
PREPARED FOR/RECORD OWNER:  
**COLONIAL IMPORTS CORP.**  
10 MARMON DRIVE NASHUA, NEW HAMPSHIRE 03060 (603) 689-1500



**HSI** Hayner/Swanson, Inc.  
Civil Engineers/Land Surveyors  
Three Congress Street Nashua, New Hampshire 03062-3301  
Tel (603) 883-2057 Fax (603) 883-5057  
www.hayner-swanson.com

F.E. EVERETT TURNPIKE

DANIEL WEBSTER HIGHWAY



**LEGEND**

- |            |                               |     |                                |
|------------|-------------------------------|-----|--------------------------------|
| ---100---  | EXISTING GROUND CONTOUR       | --- | BUILDING SETBACK LINE          |
| ---1005--- | EXISTING SPOT ELEVATION       | --- | CHAINLINK FENCE                |
| ---100---  | PROPOSED GRADE                | --- | CURBING                        |
| ---1005--- | PROPOSED SPOT GRADE           | --- | VERTICAL GRANITE CURBING       |
| ---        | STORM DRAIN & CATCH BASIN     | --- | SLOPE GRANITE CURBING          |
| ---        | STORM DRAIN & MANHOLE         | --- | STORMWATER RUNOFF DIRECTION    |
| ---        | STORM DRAIN & HEADWALL        | --- | HANDICAP PARKING SPACE         |
| ---        | SANITARY SEWER & MANHOLE      | --- | PARKING SPACE COUNT            |
| ---        | WATER MAIN & HYDRANT          | --- | STREET ADDRESS                 |
| ---        | WATER MAIN & GATE VALVE       | --- | PAVEMENT SAWCUT                |
| ---        | GAS LINE & GATE VALVE         | --- | CONCRETE                       |
| ---        | STREET LIGHT                  | --- | PROPOSED PAVEMENT              |
| ---        | UTILITY POLE WITH GUY SUPPORT | --- | RIPRAP / STONE                 |
| ---        | OVERHEAD ELECTRIC & TELEPHONE | --- | TEST PIT LOCATION & IDENTIFIER |
| ---        | SIGN                          | --- | CONIFEROUS TREE                |
| ---        | TREE LINE                     | --- | DECIDUOUS TREE                 |
| ---        | N.H. HIGHWAY BOUND            | --- | SHRUBS                         |
| ---        | STONE BOUND                   | --- |                                |
| ---        | DRILL HOLE & STONE WALL       | --- |                                |
| ---        | TEMPORARY BENCHMARK           | --- |                                |

- NOTES - CONT'D:**
- SITE IS SERVICED BY MUNICIPAL SEWER, WATER BY PENNICHUCK WATER WORKS AND TELEPHONE AND ELECTRIC UTILITIES.
  - THERE ARE NO WETLANDS ON THIS LOT.
  - ALL LANDSCAPING SHALL BE AS SHOWN ON THE PLANS AND CONFORM TO THE APPLICABLE CITY OF NASHUA LAND USE CODE UNDER ARTICLE XXVII.
  - ALL SIGNAGE SHALL CONFORM TO THE APPLICABLE CITY OF NASHUA REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
  - IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
  - PRESENT OWNER OF RECORD:  
MAP 132, LOT 31  
COLONIAL IMPORTS CORP.  
10 MARMON DRIVE  
NASHUA, NH 03060  
BK 8830, PG 2084  
ALSO SEE BK 5274, PG 45.

THE UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE SITE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

DATE: 7/15/16  
FOR COLONIAL IMPORTS CORP.

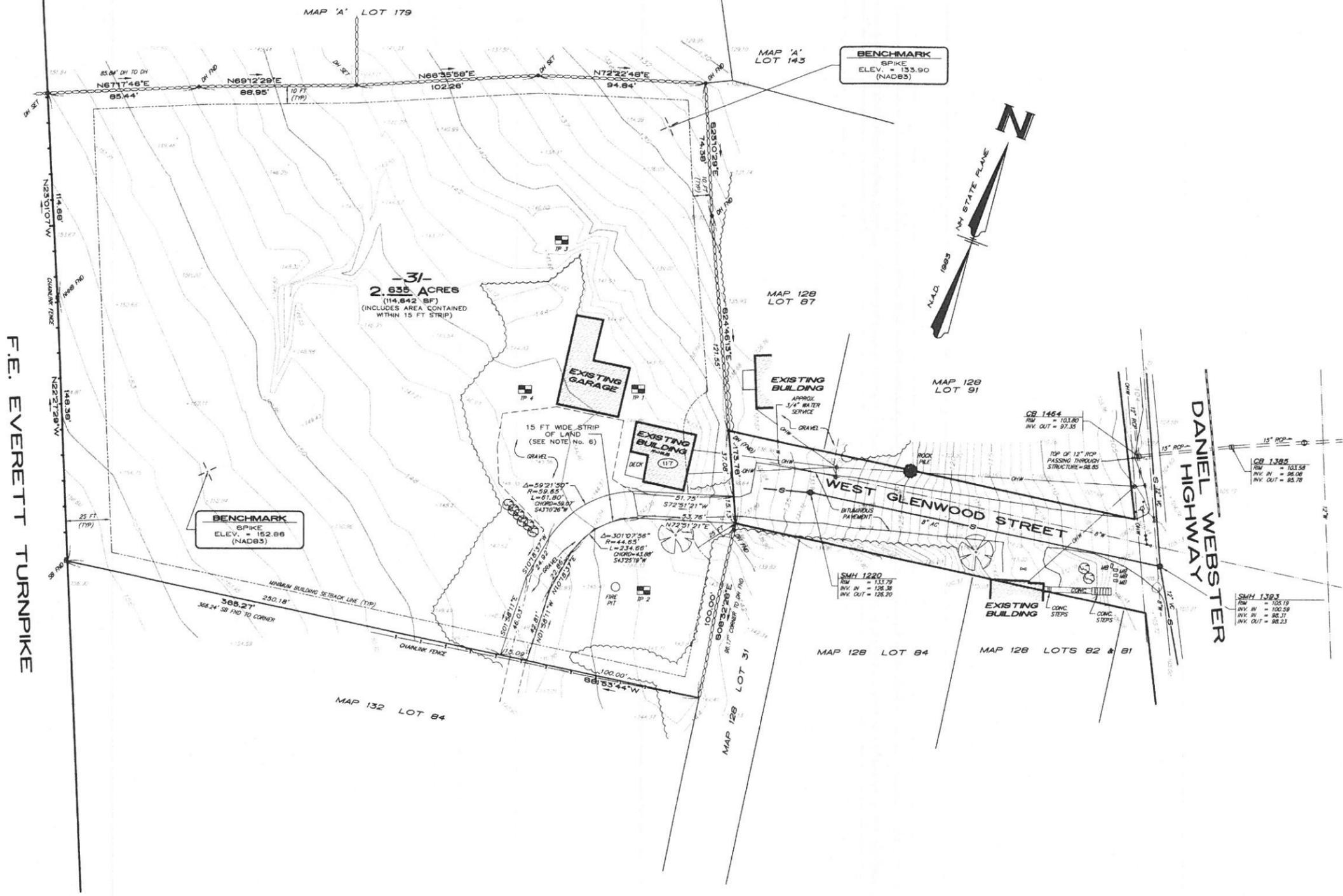
**APPROVED**  
NASHUA CITY PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_



**GENERAL NOTES:**

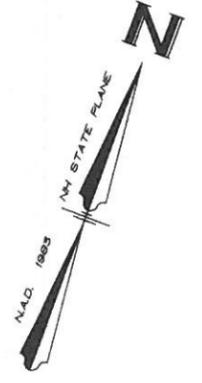
1. THE EXISTING TOPOGRAPHY, AS SHOWN ON THE PLANS, IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND ON AUGUST 20, 2015 AND MAY 5, 2016.
2. SURVEY CONTROL INFORMATION:  
HORIZONTAL DATUM: NAD83  
HORIZONTAL PROJECTION: NH STATE PLANE  
VERTICAL DATUM: NASHUA CITY DATUM  
UNITS: US SURVEY FEET
3. THE NASHUA CITY DATUM HAS BEEN USED ON THIS PROJECT.  
(NASHUA CITY DATUM TO NGVD 1929 DATUM = + 90.47)
4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
5. THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.
6. LOCATION OF FIFTEEN FOOT WIDE STRIP OF LAND AS DESCRIBED IN BOOK 8930, PAGE 2084 IS BASED UPON PHYSICAL LOCATION OF GRAVEL DRIVEWAY TO ADJOINING MAP 132, LOT 84. SAID FIFTEEN FOOT STRIP IS A RESULT OF BOOK 1543, PAGE 172 AND BOOK 1543, PAGE 454. PER THE OPINION OF CLIENT'S ATTORNEYS, PRUNIER AND PROLMAN, P.A., SAID STRIP OF LAND IS AN EASEMENT THAT BENEFITS LOTS 84 AND 31, AND NOT A FEE INTEREST.



F.E. EVERETT TURNPIKE

**BENCHMARK**  
SPIKE  
ELEV. = 152.88  
(NAD83)

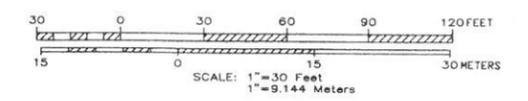
**BENCHMARK**  
SPIKE  
ELEV. = 133.90  
(NAD83)



NO.	DATE	ADDRESS TRC COMMENTS	REVISION	BY
1	07/20/16	ADDRESS TRC COMMENTS		TEZ

EXISTING CONDITIONS PLAN  
(MAP 132, LOT 31)  
**PROPOSED VEHICLE STORAGE LOT**  
117 WEST GLENWOOD STREET  
NASHUA, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:  
**COLONIAL IMPORTS CORP.**  
10 MARMON DRIVE NASHUA, NEW HAMPSHIRE 03060 (603) 889-1500



23 JUNE 2016

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www.haynerswanson.com

FIELD BOOK: 1208	DRAWING NAME: 5356SITE-EC31	5356	2 OF 9
DRAWING LOCATION: Q:\5356\DWG\5356 SITE		For Title	Sheet

**UTILITY NOTE**  
THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

**ZONING NOTE**  
THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

**CERTIFICATION**

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/09.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

DATE: 7-20-16

**SITE DEMOLITION NOTES:**

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION REMOVAL AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PAVS, WALLS, FLUMES, FOUNDATIONS, PARKING DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE GEOTECHNICAL SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATIONS OF EXISTING UTILITIES.
5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.
6. ELECTRICAL TELEPHONE, CABLE, WATER, FIBERGLASS PIPE (HEAT), FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.

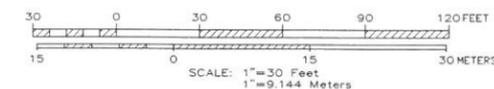
**CONSTRUCTION NOTES:**

1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF NASHUA, NEW HAMPSHIRE, BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD CONSTRUCTION BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
4. BLASTING IF NEEDED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF NASHUA FIRE DEPARTMENT REGULATIONS.
5. ALL STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
6. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED.
7. ALL DRAINAGE PIPE SHALL BE FURNISHED AND INSTALLED WITH FLEXIBLE GASKETS. JOINTS SHALL BE MADE WITH OIL RESISTANT COMPRESSION RINGS OF AN ELASTOMERIC MATERIAL CONFORMING TO ASTM C-443. MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE FOLLOWED.
8. ALL DRAINAGE PIPES SHALL BE CLASS IV 3000 D (RCP), UNLESS OTHERWISE NOTED. CATCH BASINS SHALL BE TYPE B AND HAVE 4 FT SLUMPS UNLESS OTHERWISE NOTED.
9. ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
10. DIMENSIONS TO CURB AND GUTTERS INDICATE EDGE OF PAVING UNLESS OTHERWISE NOTED.
11. EXISTING PAVEMENT SHALL BE SAWCUT AS NECESSARY. CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING PAVEMENT.
12. THE CONTRACTOR SHALL REMOVE EXISTING PAVEMENT AND BASE MATERIALS ON WEST GLENWOOD STREET WITHIN THE LIMIT OF WORK. THE ROAD SHALL THEN BE RE-CONSTRUCTED IN-KIND, INCLUDING PAVEMENT GRADES AND LIMITS.

No.	DATE	REVISION	BY
1	07/20/16	ADDRESS TRC COMMENTS	TEZ

**SITE PLAN**  
 (MAP 132, LOT 31)  
**PROPOSED VEHICLE STORAGE LOT**  
 17 WEST GLENWOOD STREET  
 NASHUA, NEW HAMPSHIRE

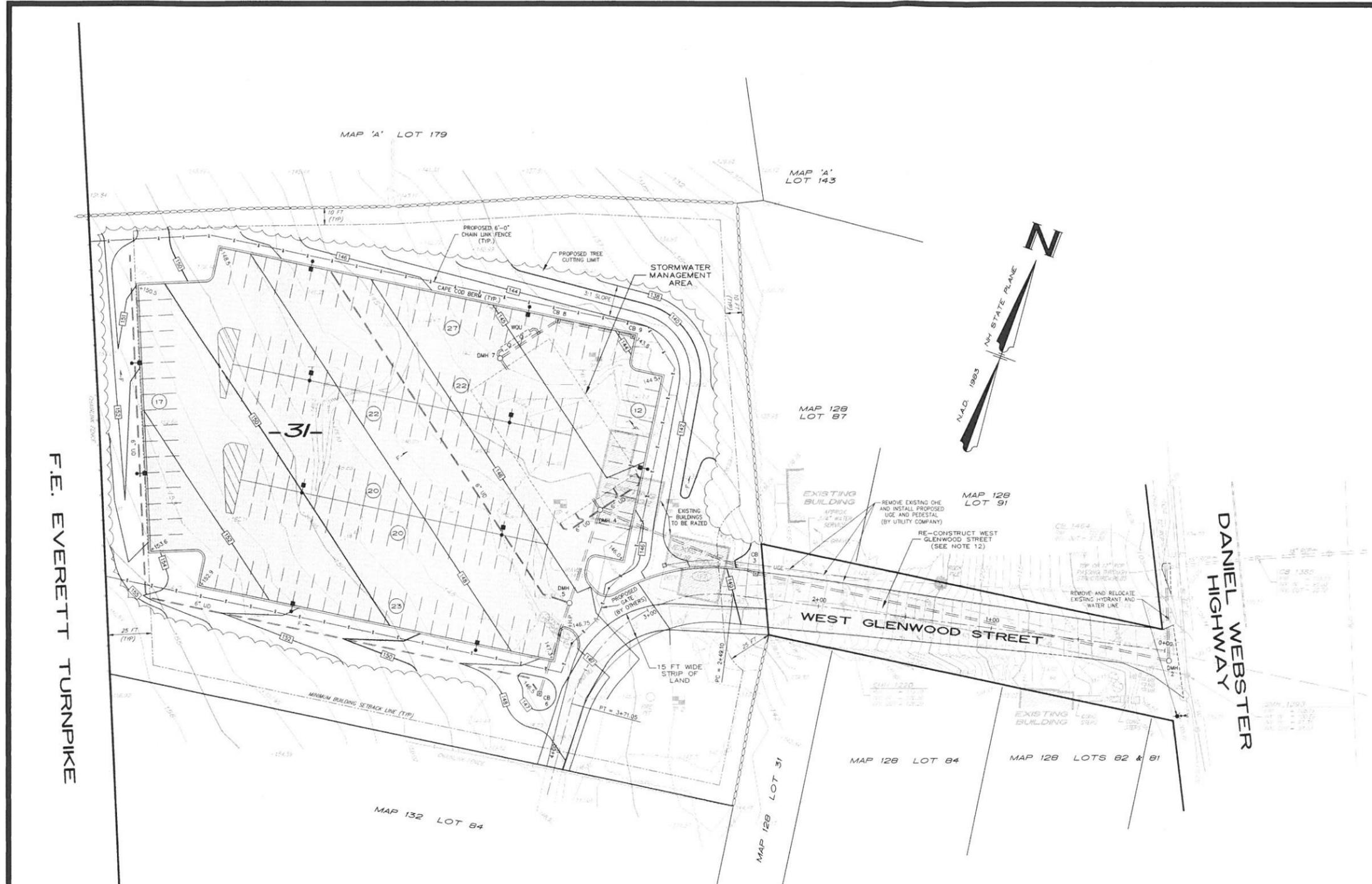
PREPARED FOR/RECORD OWNER:  
**COLONIAL IMPORTS CORP.**  
 10 MARMON DRIVE NASHUA, NEW HAMPSHIRE 03060 (603) 689-1500



23 JUNE 2016

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FIELD BOOK: 1208	DRAWING NAME: 5356/TE-F232	5356	3 OF 9
DRAWING LOCATION: Q:\5356\DWG\5356 SITE		File Number	Sheet



**CITY OF NASHUA**

**PLANNING DEPARTMENT**  
 COMMUNITY DEVELOPMENT DIVISION  
 229 MAIN STREET  
 NASHUA, NH 03060  
 ATT: ROGER HOUSTON A1CP  
 (603) 589-3114

**ENGINEERING DEPARTMENT**  
 NASHUA DEPT. OF  
 PUBLIC WORKS / ENGINEERING  
 9 RIVERSIDE STREET  
 NASHUA, NH 03062  
 ATT: JEANNE WALKER, P.E.  
 (603) 589-3147

**FIRE DEPARTMENT**  
 NASHUA FIRE DEPARTMENT  
 171 EAST HOLLIS STREET  
 NASHUA, NH 03062  
 (603) 589-3460

**UTILITY CONTACTS**

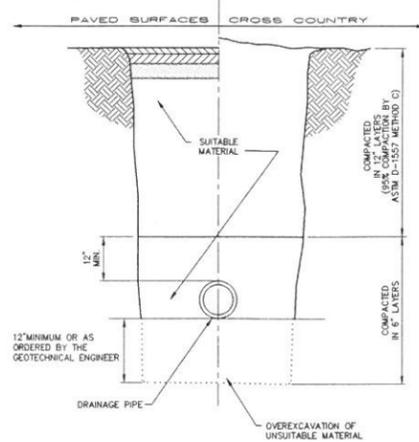
**WATER:**  
 FENNICHUCK WATER WORKS  
 25 MANCHESTER STREET  
 MERRIMACK, NH 03054  
 ATT: JOHN BOISVERT, PE  
 (603) 913-2303

**GAS:**  
 LIBERTY UTILITIES  
 11 NORTHEASTERN BLVD  
 SALEM, NH 03079  
 ATT: RYAN LAGASSE  
 (603) 327-7151

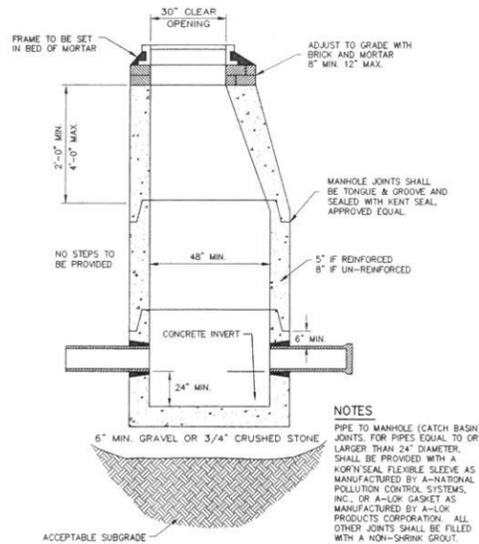
**TELEPHONE:**  
 FAIRPOINT COMMUNICATIONS  
 15 GAY STREET  
 MANCHESTER, NH 03103  
 ATT: YEW CHAI  
 (603) 645-2705

**POWER:**  
 EVERSOURCE  
 370 AMHERST STREET  
 NASHUA, NH 03060  
 ATT: BILL KELLY  
 (603) 345-8078

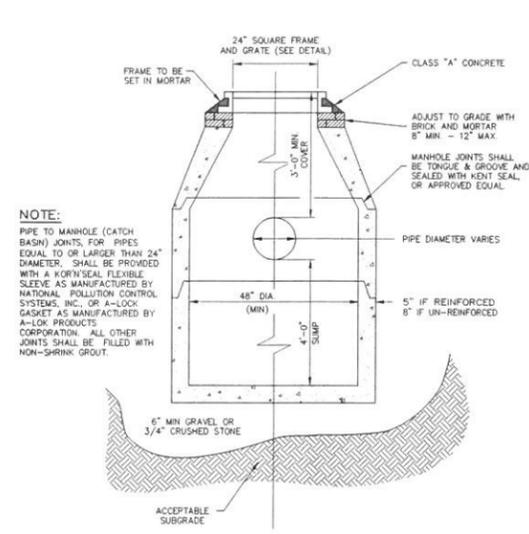




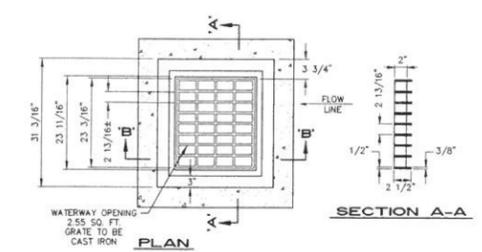
**TYPICAL DRAINAGE TRENCH SECTION**  
NOT TO SCALE



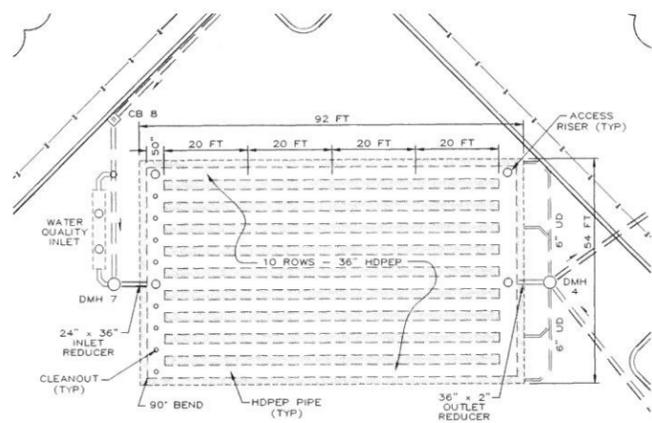
**DRAIN MANHOLE DETAIL**  
NOT TO SCALE



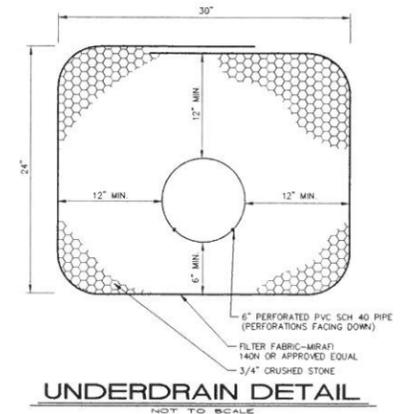
**CATCH BASIN DETAIL**  
NOT TO SCALE



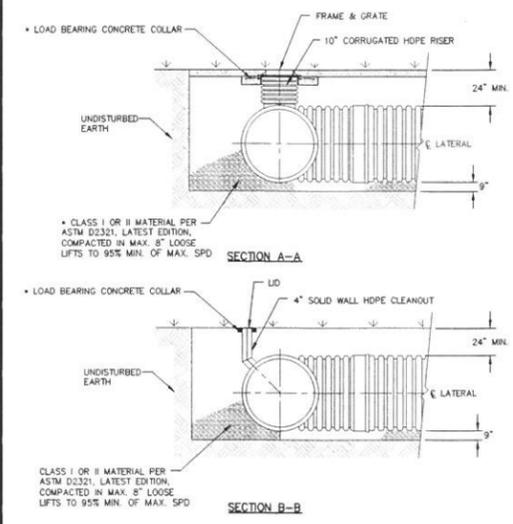
**CATCH BASIN - TYPE B FRAME AND COVER DETAIL**  
(NOT STANDARD)  
NOT TO SCALE



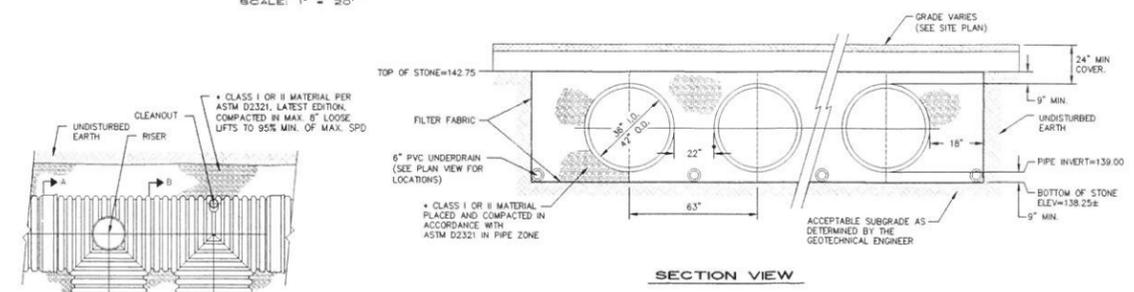
**PLAN VIEW**  
SCALE: 1" = 20'



**UNDERDRAIN DETAIL**  
NOT TO SCALE



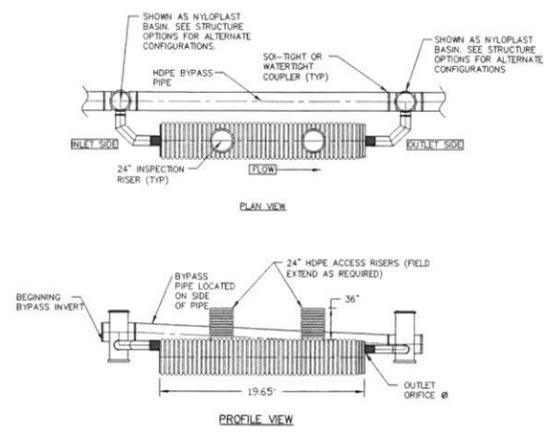
**ACCESS RISER AND CLEANOUT**



**SECTION VIEW**

- SMA NOTES:**
- ALL REFERENCES TO CLASS I OR II MATERIAL ARE PER ASTM D2321 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
  - ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION AND THE MANUFACTURER'S PUBLISHED INSTALLATION GUIDELINES. MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE PINES INTO THE BACKFILL MATERIAL WHEN REQUIRED. SEE ASTM D2321.
  - FILTER FABRIC:** A GEOTEXTILE FABRIC SHALL BE USED TO PREVENT THE MIGRATION OF PINES FROM THE NATIVE SOIL INTO THE SELECT BACKFILL MATERIAL.
  - FOUNDATION:** WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
  - SEEDING:** SUITABLE MATERIAL SHALL BE CLASS I OR II. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM SEEDING THICKNESS SHALL BE 9".
  - INITIAL BACKFILL:** SUITABLE MATERIAL SHALL BE CLASS I OR II IN THE PIPE ZONE EXTENDING NOT LESS THAN 9" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
  - MINIMUM COVER:** MINIMUM COVER OVER THE STORMWATER MANAGEMENT AREA SHALL BE 24" AND ALL STRUCTURES SHALL BE DESIGNED FOR H2O LOADING.

**STORMWATER MANAGEMENT AREA**  
NOT TO SCALE



MODEL #	MAIN PIPE DIA.	SIZE	SIEVE SIZE (CM)	TREATED FLOW RATE (GPM)	INLET Ø	OUTLET Ø	OUTLET ORIFICE Ø	ELEVATION CHANGE*
3620WQAXX	36"	140	0.0106	1.5	10"	10"	7.82"	11.9"
3620WQBYX	36"	200	0.0075	0.7	10"	10"	5.35"	11.9"

XX DENOTES A BY-PASS SIZE OF 12", 15", 18", 24", 30", 36", 42", 48", OR 60"  
XX-ØØ DENOTES UNITS WITHOUT A BY-PASS.  
\* ELEVATION CHANGE FOR UNITS WITHOUT A BY-PASS IS 2"

**WATER QUALITY UNIT (WQU)**  
NOT TO SCALE

1	07/20/16	ADDRESS TRC COMMENTS	TEZ
NO.	DATE	REVISION	BY

**DETAIL SHEET - DRAINAGE**  
(MAP 132, LOT 31)  
**PROPOSED VEHICLE STORAGE LOT**  
117 WEST GLENWOOD STREET  
NASHUA, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:  
**COLONIAL IMPORTS CORP.**  
10 MARMON DRIVE NASHUA, NEW HAMPSHIRE 03060 (603) 689-1500

**SCALE AS SHOWN**  
23 JUNE 2016

**HSI** Hayner/Swanson, Inc.  
Civil Engineers/Land Surveyors  
Three Congress Street Nashua, New Hampshire 03062-3301  
Tel (603) 883-2057 Fax (603) 883-5057  
www.haynerswanson.com

FIELD BOOK: 1208	DRAWING NAME: 5356SITE-DETI	5356	6 OF 9
DRAWING LOCATION: Q:\5356\DWG\5356 SITE			



VICINITY MAP SCALE: 1" = 2,000'

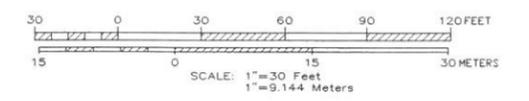
**CONSTRUCTION SEQUENCE**

1. CLEAR SITE ACCORDING TO PLAN
2. CONSTRUCT TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES INCLUDING SILT FENCES, AND STABILIZED CONSTRUCTION EXIT TO BE IN ACCORDANCE WITH THE PLANS
3. GRUB SITE ACCORDING TO PLAN
4. CUT AND DISPOSE OF ANY DEBRIS PRODUCED DURING THE CLEARING AND GRUBBING ACTIVITY
5. SITE GRADING OF PARKING LOT. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED AFTER BEING CONSTRUCTED
6. INSTALL UNDERGROUND UTILITIES AND SUBSURFACE STORMWATER MANAGEMENT AREAS. CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT IN ACCORDANCE WITH THE SILTSAK DETAIL. THE CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED
7. AS THE PARKING LOT IS COMPLETED, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED
8. NO PORTION OF THE PROJECT SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR A PERIOD OF TWO (2) MONTHS OR GREATER. ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED PRIOR TO WINTER CONDITIONS. STABILIZATION SHALL BE DEFINED AS 70% VEGETATIVE GROWTH BY NOVEMBER 1<sup>ST</sup> OR INSTALLATION OF EROSION CONTROL MATTING
9. COMPLETED AREAS SHALL BE STABILIZED 72 HOURS AFTER COMPLETION
10. LOAM AND SEED ALL DISTURBED AREAS
11. FINAL PAVING OF PARKING LOT
12. INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES
13. SITE LANDSCAPING ALONG WITH PERMANENT SEEDING OF ALL DISTURBED AREAS
14. REMOVE ANY TEMPORARY EROSION CONTROL MEASURES NOT NEEDED

No.	DATE	REVISION	BY
1	07/20/16	ADDRESS TRC COMMENTS	TEZ

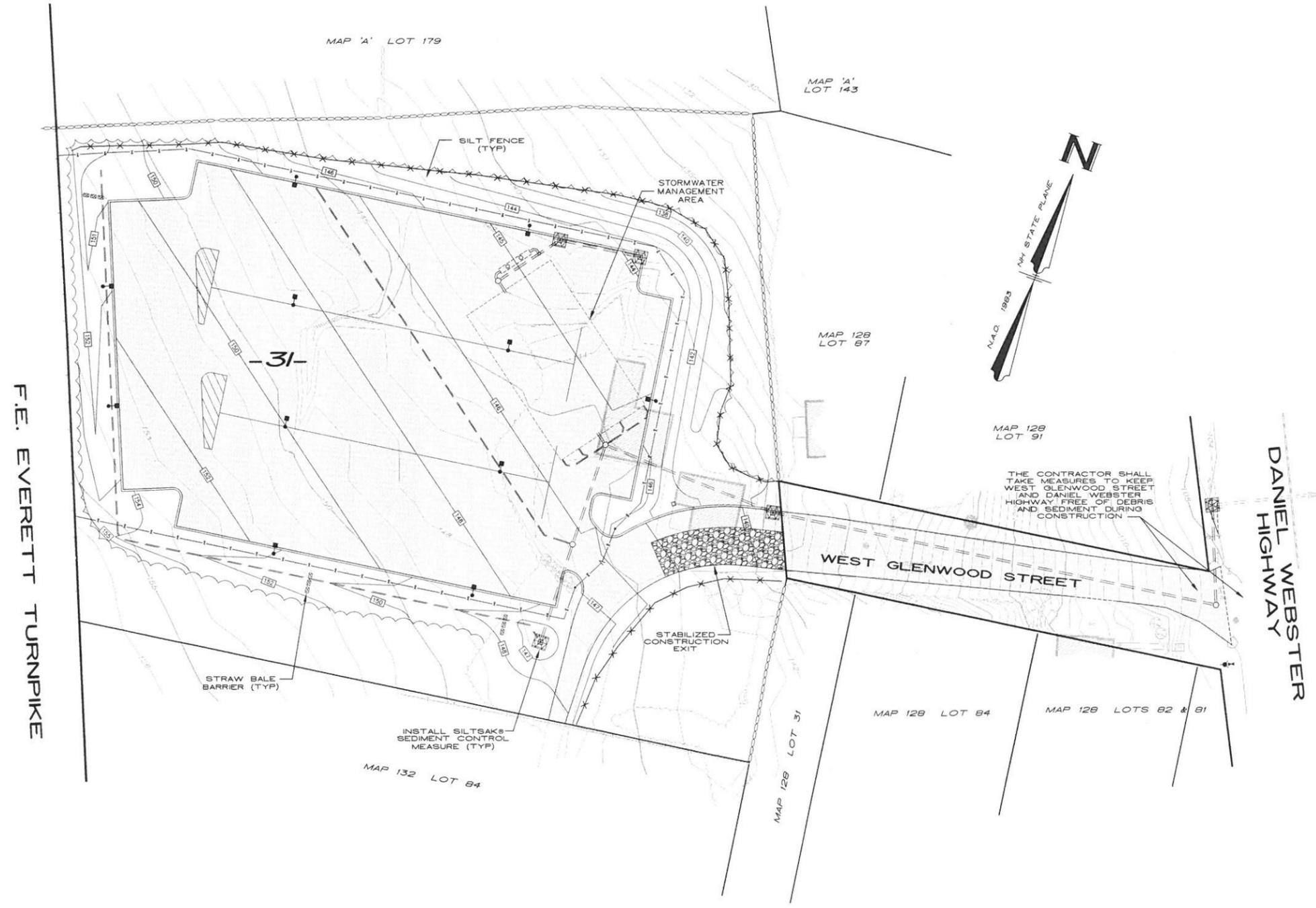
**EROSION CONTROL PLAN**  
 (MAP 132, LOT 31)  
**PROPOSED VEHICLE STORAGE LOT**  
 117 WEST GLENWOOD STREET  
 NASHUA, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:  
**COLONIAL IMPORTS CORP.**  
 10 MARMON DRIVE NASHUA, NEW HAMPSHIRE 03060 (603) 689-1500



23 JUNE 2016

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 www.hayner-swanson.com

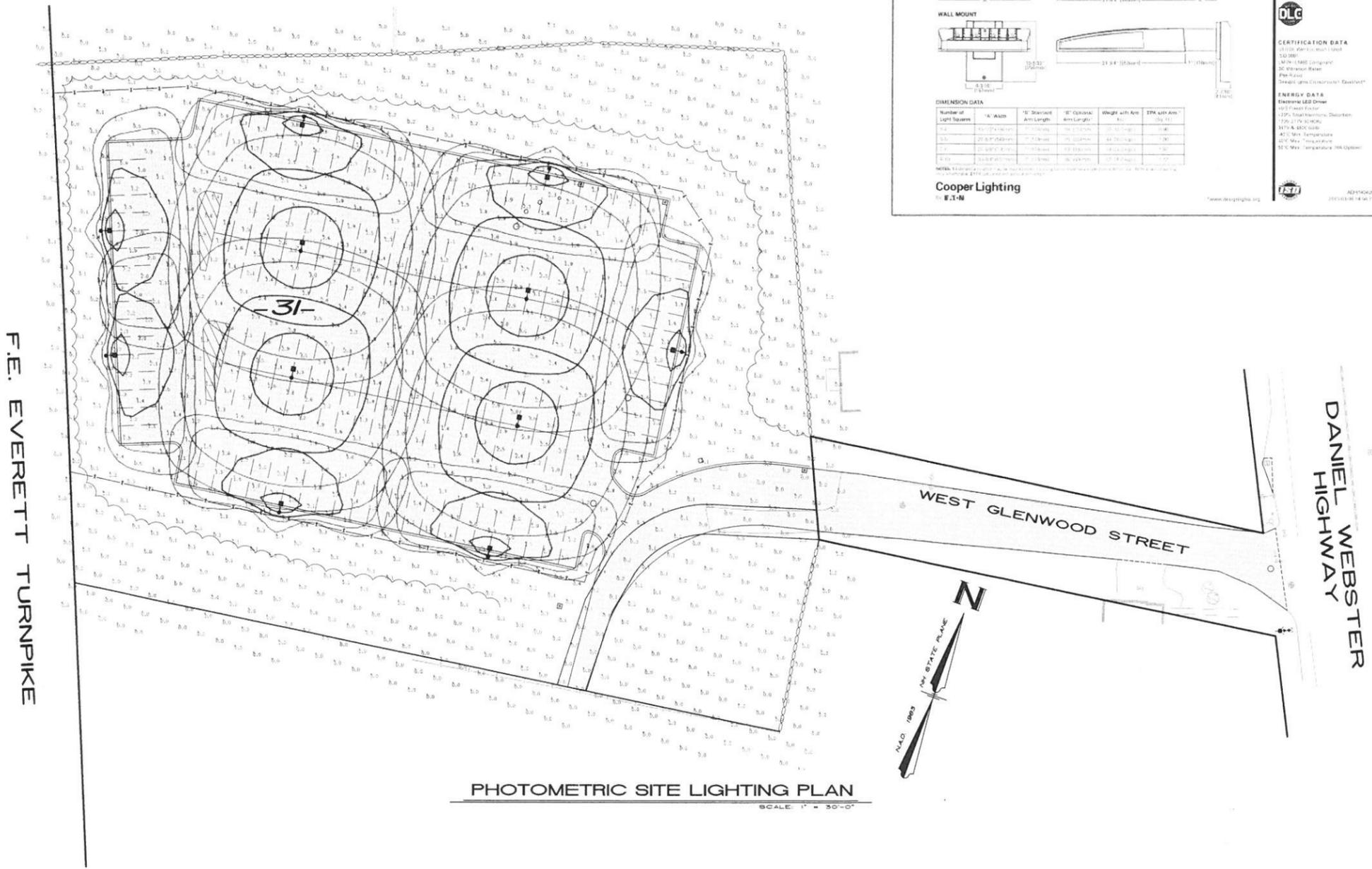


**EROSION CONTROL LEGEND**

- SILT FENCE
- STABILIZED CONSTRUCTION EXIT
- SILT-SACK INLET PROTECTION DEVICES
- STRAW BALE BARRIER

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
P3	P3	7	McGraw Edison	GLEON-AE-01-LED-E1-SL3/SSS4A17	Full Cut Off Single LED Luminaire, Type III with spill control, 4000 Kelvin, B1-U0-G2, 70 CRI - Mounted on 4" square straight steel 17 foot pole on a 3 foot exposed concrete base	LED	1	5,373	1	56
S5	S5	4	McGraw Edison	GLEON-AE-03-LED-E1-5WQ/SSS4A17	Full Cut Off Single LED Luminaire, Type V square wide, 4000 Kelvin, B4-U0-G2, 70 CRI - Mounted on 4" square straight steel 17 foot pole on a 3 foot exposed concrete base	LED	3	16,501	1	157

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lot Area	+	1.76 fc	3.8 fc	0.5 fc	7.60	3.52



**McGRAW-EDISON**

DESCRIPTION  
The GLEON™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy-conscious illumination on walkways, parking lots, roadways, building areas and other lighting applications. See table.

**CONSTRUCTION FEATURES**  
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy wall die cast aluminum end caps enclose housing and die cast aluminum heat sinks. A unique patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 30 vibration tested. Optional tool was hardware available for ease of entry into electrical chamber. Housing is IP66-rated.

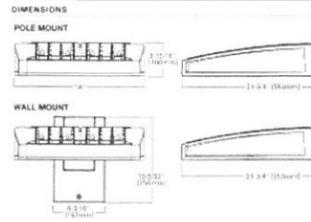
**Optics**  
Choice of 16 patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution, maximize efficiency and application specific. AccuLED Optics create consistent distributions with the scalability to meet customer application requirements. Offered standard in 4000K, 4100K, 4200K, 4300K, 4400K, 4500K, 4600K, 4700K, 4800K, 4900K, 5000K, 5100K, 5200K, 5300K, 5400K, 5500K, 5600K, 5700K, 5800K, 5900K, 6000K, 6100K, 6200K, 6300K, 6400K, 6500K, 6600K, 6700K, 6800K, 6900K, 7000K, 7100K, 7200K, 7300K, 7400K, 7500K, 7600K, 7700K, 7800K, 7900K, 8000K, 8100K, 8200K, 8300K, 8400K, 8500K, 8600K, 8700K, 8800K, 8900K, 9000K, 9100K, 9200K, 9300K, 9400K, 9500K, 9600K, 9700K, 9800K, 9900K, 10000K. For the ultimate level of spill light control, an optional house side shield accessory can be field or factory installed. The house side shield is designed to seamlessly integrate with the SL3, SL4 or AF1 optics.

**Electrical**  
LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 24V 60Hz or 480V 50Hz operation. Standard with 3-10V dimming. Shipped standard with Cooper Lighting proprietary circuit module designed to withstand 10KV of transient line surge. The GLEON LED luminaire is suitable for operation in -40°C to 80°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA High Ambient option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 530mA and 700mA drive currents.

**Mounting**  
Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during assembly. Designed for pole or wall mounting. When mounting two or more luminaires at 90° or 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table on page 3. Round pole top adapter included. For wall mounting, specify wall mount bracket option 3G vibration rated.

**Finish**  
Housing finished in super durable TGIC polyester powder coat paint. 25 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard colors include black, bronze, silver, white, dark platinum and granite metallic. RAL and custom color matches available. Consult the McGraw Edison Architectural Colors Brochure for the complete selection.

**Warranty**  
Five year warranty.



DIMENSION DATA					
Number of Light Squares	1A With Arm Length	530mA Arm Length	700mA Arm Length	Weight with Arm (lb)	IPM with Arm (in)
1	20.5" (518mm)	17.5" (443mm)	17.5" (443mm)	11.5" (287mm)	10.5"
2	27.5" (700mm)	24.5" (619mm)	24.5" (619mm)	18.5" (467mm)	17.5"
3	34.5" (876mm)	31.5" (799mm)	31.5" (799mm)	25.5" (648mm)	24.5"
4	41.5" (1054mm)	38.5" (978mm)	38.5" (978mm)	32.5" (829mm)	31.5"

Catalog #	Type
P3 & S5	
Project	Date
Comments	
Prepared by	

**GLEON GALLEON LED**

1-10 Light Squares

Solid State LED

AREA-SITE LUMINAIRE

**DLC**

CERTIFICATION DATA  
UL Listed, ETL Listed, IEC 60598-1, IEC 60598-2-2, IEC 60598-2-3, IEC 60598-2-15, IEC 60598-2-22, IEC 60598-2-23, IEC 60598-2-24, IEC 60598-2-25, IEC 60598-2-26, IEC 60598-2-27, IEC 60598-2-28, IEC 60598-2-29, IEC 60598-2-30, IEC 60598-2-31, IEC 60598-2-32, IEC 60598-2-33, IEC 60598-2-34, IEC 60598-2-35, IEC 60598-2-36, IEC 60598-2-37, IEC 60598-2-38, IEC 60598-2-39, IEC 60598-2-40, IEC 60598-2-41, IEC 60598-2-42, IEC 60598-2-43, IEC 60598-2-44, IEC 60598-2-45, IEC 60598-2-46, IEC 60598-2-47, IEC 60598-2-48, IEC 60598-2-49, IEC 60598-2-50, IEC 60598-2-51, IEC 60598-2-52, IEC 60598-2-53, IEC 60598-2-54, IEC 60598-2-55, IEC 60598-2-56, IEC 60598-2-57, IEC 60598-2-58, IEC 60598-2-59, IEC 60598-2-60, IEC 60598-2-61, IEC 60598-2-62, IEC 60598-2-63, IEC 60598-2-64, IEC 60598-2-65, IEC 60598-2-66, IEC 60598-2-67, IEC 60598-2-68, IEC 60598-2-69, IEC 60598-2-70, IEC 60598-2-71, IEC 60598-2-72, IEC 60598-2-73, IEC 60598-2-74, IEC 60598-2-75, IEC 60598-2-76, IEC 60598-2-77, IEC 60598-2-78, IEC 60598-2-79, IEC 60598-2-80, IEC 60598-2-81, IEC 60598-2-82, IEC 60598-2-83, IEC 60598-2-84, IEC 60598-2-85, IEC 60598-2-86, IEC 60598-2-87, IEC 60598-2-88, IEC 60598-2-89, IEC 60598-2-90, IEC 60598-2-91, IEC 60598-2-92, IEC 60598-2-93, IEC 60598-2-94, IEC 60598-2-95, IEC 60598-2-96, IEC 60598-2-97, IEC 60598-2-98, IEC 60598-2-99, IEC 60598-2-100.

Steel Poles	
Catalog #	Type
P3 & S5	
Project	Date
Comments	
Prepared by	

**SSS SQUARE STRAIGHT STEEL**

FEATURES  
• ASTM Grade steel base plate with ASTM A366 base cover  
• Hand hole assembly: 3" x 5" on 5" and 6" pole, and 2" x 4" on 4" pole  
• 10" OD mounting brackets  
• Drilled or laser perforated

ORDERING INFORMATION

Material	Quantity	Weight	Dimensions	Mounting Type	Notes
SSS-System	4x4	4-112	4x4	2-3/8" OD Tower 4' Long	1-3/8" Dia. 1/2" Thick
Single	8x8	4-112	8x8	2-3/8" OD Tower 4' Long	2-3/8" Dia. 1/2" Thick
Steel	8x8	4-112	8x8	2-3/8" OD Tower 4' Long	2-3/8" Dia. 1/2" Thick



**F.T.N.**

2016-06-01 10:43:12

PHOTOMETRIC SITE LIGHTING PLAN  
(MAP 132, LOT 31)  
**PROPOSED VEHICLE STORAGE LOT**  
117 WEST GLENWOOD STREET  
NASHUA, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:  
**COLONIAL IMPORTS CORP.**  
10 MARMON DRIVE NASHUA, NEW HAMPSHIRE 03060 (603) 689-1500

SCALE: 1"=30 Feet  
1"=9.144 Meters

23 JUNE 2016

YEATON ASSOCIATES, INC.  
86 Jackson Street  
Lisbon, NH 03561  
603.444.6578  
www.yeatonassociates.com  
16059E

FIELD BOOK: 1208 DRAWING NAME: 5356/TE-SL31 5356 9 OF 9  
DRAWING LOCATION: Q:\5356\DWG\5356 SITE File Number Sheet

NASHUA CITY PLANNING BOARD  
STAFF REPORT

TO: Nashua City Planning Board  
FROM: Linda Panny, Deputy Planning Manager/Development  
FOR: August 4, 2016  
RE: **New Business #5 – Site Plan**

**I. Project Statistics:**

Owner: 43 West Hollis, LLC  
Proposal: Site plan amendment for change of use to restaurant  
Location: 43 West Hollis Street  
Total Site Area: 3,642 sf (0.084 acres)  
Existing Zoning: GB – General Business  
Surrounding Uses: Commercial and residential

**II. Background Information:**

For over 40 years the building was home to Ferman’s Fabrics. In 2014 they relocated to Merrimack and the building has been vacant ever since. The structure occupies all of the lot, except for the two parking spaces at the east of the property.

**III. Project Description:**

Gate City Pizza is located directly across the street and this proposal is to expand the restaurant to this location. The use is permitted in the General Business zone; however there is not enough parking on site to meet the requirements of the zone. Parking is available in the street and NRO §190-195 does permit the planning board to allow the substitution of space within municipal parking lots within 1,000 feet of the building; the Elm Street Parking Garage is approximately 650 feet away. Outdoor seating on the Heritage Rail Trail is shown as part of this plan; however it is not proposed at this time and will require approval. The applicant is requesting a waiver from the requirement for Parking, Stormwater Management Report, Building Elevations, and Existing Conditions plan as there are no changes proposed to the exterior of the building or the site.

City Staff reviewed the plans and there are some minor outstanding issues (see attached).

**Staff Recommendations and Findings:**

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

1. The request for a waiver of NRO § 190-198, which establishes minimum parking standards, **is/is not** granted, finding that the waiver **will/will** not be contrary to the spirit and intent of the regulation.
2. The request for a waiver of NRO § 190-172, which sets building design standards, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
3. The request for a waiver of § 190-279(E), which requires an existing conditions plan, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
4. The request for a waiver of § 190-214(B), which requires a Stormwater Report, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
5. Prior to the issuance of a building permit, all comments in letter from Jeanne Walker, PE dated July 22, 2016 shall be addressed to the satisfaction of the Engineering Department.
6. Prior to outdoor seating on the Heritage Rail Trail being utilized, approval must be obtained.
7. Prior to the Chair signing the plan minor drafting corrections will be made.

**ABUTTERS:**

LOT 103/SHEET 81  
43 WEST HOLLIS, LLC  
P.O. BOX 888  
WINCHESTER, MA 01890  
ACCT. NO. 26124

LOTS 109, 110 & 154/SHEET 81  
CITY OF NASHUA  
P.O. BOX 2019  
NASHUA, NH 03061  
ACCT. NO. 55024, 50025 & 50026

LOT 81/SHEET 100  
MADELINE GINGRAS  
JACQUELINE MAYNARD  
31 WEST HOLLIS STREET  
NASHUA, NH 03060-1955  
ACCT. NO. 20362

LOT 110/SHEET 83  
LOT 1/SHEET 84  
ROMAN CATHOLIC BISHOP  
FINANCE & REAL ESTATE OFFICE  
153 ASH STREET P.O. BOX 310  
MANCHESTER, NH 03105  
ACCT. 39626 & 39634

LOT 72/SHEET 82  
RAFAEL HUNEZ  
4 EATON STREET  
NASHUA, NH 03060-3101  
ACCT. NO. 1710

LOT 71/SHEET 82  
DMT REALTY LLC  
195R CENTRAL STREET  
HUDSON, NH 03051  
ACCT. NO. 20916

LOT 64/SHEET 82  
LOUIS J. MICHAUD IRREVOCABLE TRUST  
KATHY CASTLE TRUSTEE  
228 WEBSTER STREET  
HUDSON, NH 03051-3211  
ACCT. NO. 23456

LOT 61/SHEET 82  
KEVIN MONACO  
41 MILFORD STREET  
BROOKLINE, NH 03033-2445  
ACCT. NO. 26310

LOT 57/SHEET 85  
LANDY NSALABI  
84 WALNUT STREET  
NASHUA, NH 03060-3333  
ACCT. NO. 38702

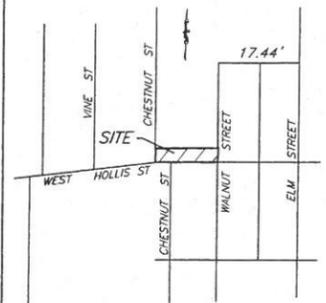
LOT 1/SHEET 83  
CLARENCE C. FROST SR.  
63 CHESTNUT STREET  
NASHUA, NH 03060-4903  
ACCT. NO. 24204

MAYNARD & PAQUETTE ENG. ASSOC., LLC  
23 EAST PEARL STREET  
NASHUA, NH 03060

**PLAN REFERNECES:**

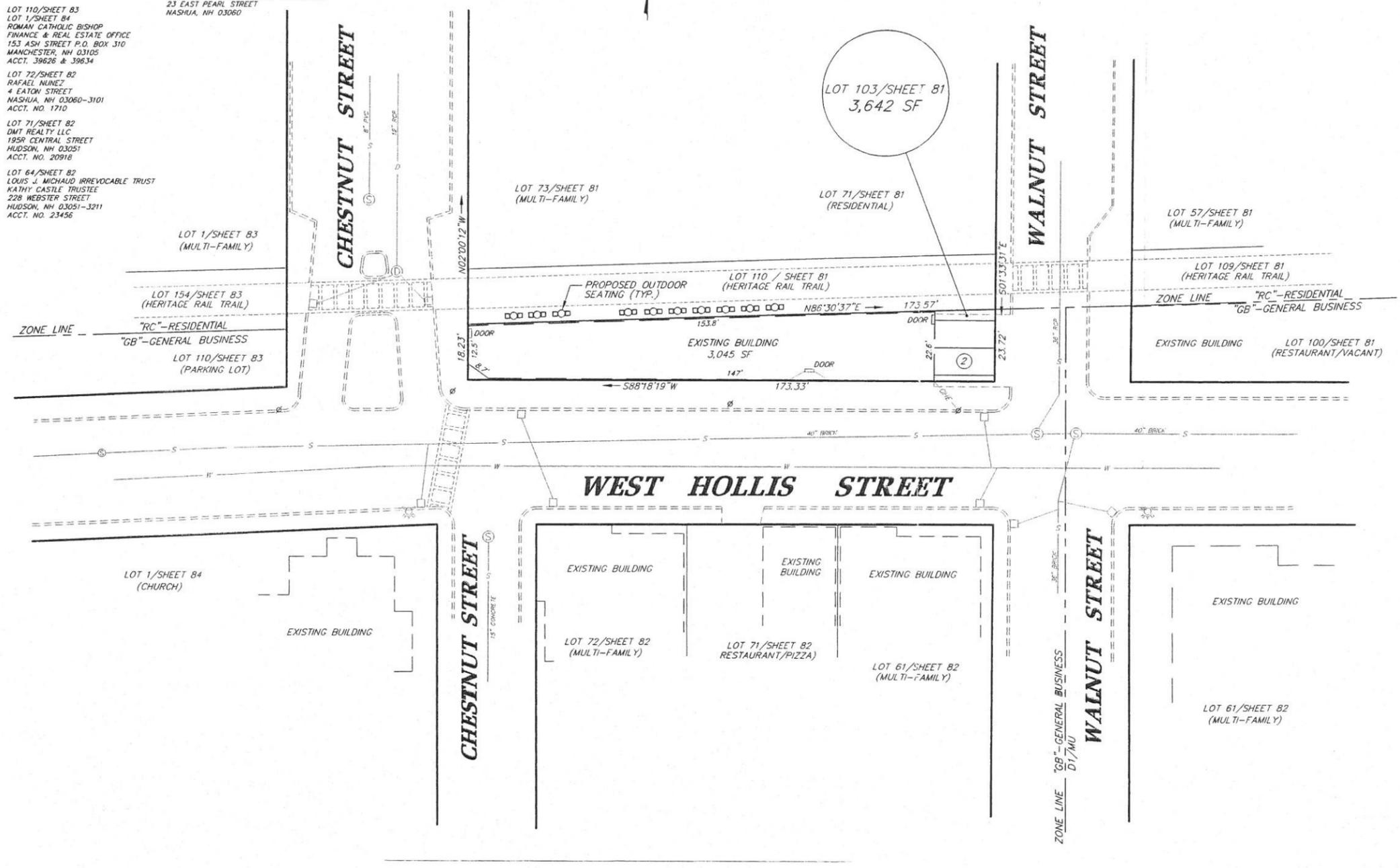
1. LAND IN NASHUA, NH - BOSTON AND MAINE RAILROAD TO VICTOR AND ANNETTE COTE, DATED: JUNE 1952; SCALE: 1"=30' H.C.R.D. NO. 840
2. LAND IN NASHUA, NH - BOSTON AND MAINE RAILROAD TO LEO LESIEUR ET UX SCALE: 1"=50'; DATED: JUNE 1952; H.C.R.D. NO. 879

- LEGEND**
- STONE BOUND FOUND
  - STONE BOUND TO BE SET
  - IRON PIPE FOUND
  - IRON PIPE TO BE SET
  - MINIMUM BUILDING SETBACK
  - - - EXISTING PAVEMENT
  - EXISTING BUILDING



**NOTES:**

1. PRESENT ZONING: "GB" - GENERAL BUSINESS
2. TOTAL LOT AREA: 3,642 S.F. (0.084 ACRES)
3. EXISTING USE: RETAIL/FURNITURE STORE (VACANT)
4. PROPOSED USE: RESTAURANT
5. THE PURPOSE OF THIS PLAN IS TO PROVIDE AN AS-BUILT SITE PLAN FOR A CHANGE OF USE FROM RETAIL/FURNITURE STORE TO RESTAURANT.
6. PARKING: 3,642 S.F. RESTAURANT (114) - 1 SPACE/4 SEATS (100 SEATS) = 25 SPACES  
TOTAL SPACES REQUIRED - 21 SPACES  
TOTAL SPACES PROVIDED - 2 SPACES ON SITE, PLUS ON STREET PARKING & PUBLIC PARKING GARAGE AND PARKING LOTS ARE LOCATED WITHIN 1,000' RADIUS OF SITE.
7. DIMENSIONAL REQUIREMENTS: NOT APPLICABLE - LOT AND BUILDING/SITE ARE PRE-EXISTING LEGAL NON-CONFORMING (VESTED/GRANDFATHERED).  
SETBACKS - FRONT= 10 FT. LOT AREA (MIN): 10,000 S.F.  
SIDE = 7 FT. LOT WIDTH (MIN): 50 FT.  
REAR = 10 FT. LOT FRONTAGE (MIN): 50 FT.  
MAX. BLDG. HEIGHT: 60 FT. LOT DEPTH (MIN): 75 FT.  
OPEN SPACE (MIN): 10%; (EXIST): 0%; (PROP): 0%
8. IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN IN ANY PLAN WAY WHATSOEVER, OR CONVERT OR ALTER A STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY OF NASHUA.
9. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATIONS OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THIS PLAN, PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND TO INTERFERE WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL MEASURES SHALL BE TAKEN BEFORE MUST FOLLOW CITY STANDARDS. NOT APPLICABLE - NO NEW SITE WORK PROPOSED.
10. SITE IMPROVEMENTS SHALL CONFORM TO TITLE 111 OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSIONS, GRADES AND NUMBER OF SPACES.
11. ALL SIGNS SHALL CONFORM TO CHAPTER 190, DIVISION 91, ARTICLE X OF THE CITY OF NASHUA REVISED ORDINANCES, AND SIGN PERMITS SHALL BE SECURED PRIOR TO INSTALLATION.
12. LIGHTING SHALL BE DIRECTED ON SITE, AWAY FROM TRAFFIC INTERFERENCE, AND SHALL CONFORM TO CHAPTER 190, DIVISION 88, ARTICLE IX OF THE CITY OF NASHUA REVISED ORDINANCES, NO NEW LIGHTING PROPOSED.
13. LANDSCAPING SHALL CONFORM TO CHAPTER 190, DIVISION 180, ARTICLE XXVII OF THE CITY OF NASHUA REVISED ORDINANCES, NO NEW LANDSCAPING PROPOSED.
14. LOT IS SERVICED BY MUNICIPAL SEWER AND PENNICKLUCK WATER WORKS.
15. THE SITE IS LOCATED WITHIN ZONE X, OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER F.I.R.M. COMMUNITY MAP NUMBER 33011006540, EFFECTIVE 9/25/2009.
16. THE SITE IS NOT LOCATED WITHIN THE WATERSHED PROTECTION DISTRICT.
17. THERE ARE NO WETLANDS ON SITE.
18. HOURS OF OPERATION - 7 DAYS, 7AM TO 1 AM
19. THIS PLAN COMPLIES WITH THE MINIMUM STANDARDS REQUIRED.



SITE PLAN LOT 103/SHEET 81  
**43 WEST HOLLIS STREET  
NASHUA, NEW HAMPSHIRE**

PREPARED FOR:  
43 WEST HOLLIS, LLC  
P.O. BOX 888  
WINCHESTER, MA. 01890  
PHONE: 617-594-3838

SCALE: 1" = 20' DATE: JUNE 20, 2016

**ENGINEERING**  
**MP**  
**ASSOCIATES**

**Maynard & Paquette**  
Engineering Associates, LLC  
Consulting Engineers and Land Surveyors  
23 East Pearl Street, Nashua, NH. 03060  
Phone: (603)883-8433 Fax: (603)883-7227

APPROVED BY THE CITY OF NASHUA  
PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

I, THE UNDERSIGNED, DO HEREBY AGREE TO PERFORM ALL THE SITE IMPROVEMENTS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE CITY OF NASHUA PLANNING BOARD.

*William J. Dewey* Manager 6-21-16  
43 WEST HOLLIS, LLC DATE

I CERTIFY THAT THIS PLAN WAS PREPARED FROM A FIELD SURVEY MADE ON THE GROUND ON JUNE 2016 AND PLAN REFERENCES 1 - 3 AND IS IN ACCORDANCE WITH THE REGULATIONS OF THE CITY OF NASHUA.

KPM	APB	RAM	D	12509
DESIGNED	DRAFTED	CHECKED	APPROVED	BOOK & PAGE
REVISION	SIZE	JOB NUMBER		

NASHUA CITY PLANNING BOARD  
STAFF REPORT

TO: Nashua City Planning Board  
FROM: Linda Panny, Deputy Planning Manager/Development  
FOR: August 4, 2016  
RE: **New Business #6 - Site Plan, One Year Extension**

**I. Project Statistics:**

Owner/Applicant: 22 Marshall Street, LLC  
Proposal: Amendment to Site Plan #NR610 for four multi-family residential buildings  
with a total of 152 units  
Location: 2, 16 & 26 Marshall Street  
Total Site Area: 5.02 acres (218,569 square feet)  
Existing Zoning: GI – General Industrial  
GB – General Business  
RB – Urban Residence  
Surrounding Uses: Commercial, industrial, and residential

**II. Background Information:**

On July 9, 2015 the Planning Board approved the site plan for construction of four multi-family residential buildings (152 units) with 15 stipulations. The staff report and approval letter are attached.

**III. Project Description:**

The purpose of this application is to extend the site plan approval. There are no changes proposed to the approved plan and no construction has begun on the property. City Staff has no concerns or objections related to this application.

**Staff Recommendations and Findings:**

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, they should state specific reasons. If the Planning Board chooses to approve this plan, staff recommends the following stipulation(s) be made part of that approval:

1. All prior conditions of approval are incorporated herein and made a part of this plan, unless otherwise determined by the Planning Board.

**NOTES (CONTINUED):**

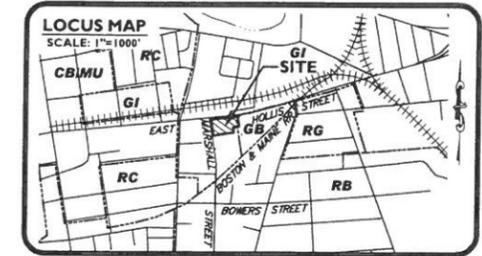
- NO WORK SHALL BE CONDUCTED PRIOR TO A PRE-CONSTRUCTION CONFERENCE WITH THE NASHUA PLANNING DEPARTMENT.
- A "USE VARIANCE" WAS GRANTED BY THE ZONING BOARD OF ADJUSTMENT TO CONSTRUCT A 112 MULTI-FAMILY RESIDENTIAL DEVELOPMENT ON LOTS 26 & 64 ON APRIL 28, 2009, AND LOT 65 ON JANUARY 13, 2015.
- ALL UTILITIES WITHIN 10' OF THE PROPOSED BUILDING TO BE INSTALLED BY BUILDING PLUMBING CONTRACTOR.

**NOTES (CONTINUED):**

- NO BASEMENT PLUMBING FIXTURES ALLOWED BELOW ELEV. 38.0.
- BUILDING NUMBERS ARE TO BE ERRECTED BEFORE THE FIRST UNIT IS OCCUPIED.
- STREET RESTORATION TO BE IN ACCORDANCE WITH NRO SEC 285-1.3.
- FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.

**NOTES (CONTINUED):**

- RESIDUAL SOIL AND GROUNDWATER CONTAMINATION EXIST AT 22 MARSHALL STREET. THE NH DEPT. OF ENVIRONMENTAL SERVICES HAS APPROVED A BROWNFIELD'S COVENANT NOT TO SUE FOR 22 MARSHALL STREET, LLC. THIS LEGAL DOCUMENT REQUIRES THE IMPLEMENTATION OF A SERIES OF CONTROL MEASURES TO PREVENT THE MIGRATION OR IMPROPER DISPOSAL OF CONTAMINATED MEDIA. FAILURE TO IMPLEMENT APPROPRIATE MEASURES TO CONTAIN AND PREVENT THE MIGRATION OF RESIDUAL SOIL AND GROUNDWATER CONTAMINATION DURING SITE RE-DEVELOPMENT COULD BE CAUSE FOR NH DES TO REScind THE BROWNFIELD'S COVENANT AND DEEM THE PARTY RESPONSIBLE LIABLE FOR THE INVESTIGATION AND REMEDIATION OF THE ENTIRE RELEASE.
- DUE TO THE PRESENCE OF GROUNDWATER CONTAMINATION AT THE SITE, THE CONTRACTOR WILL NEED TO SEEK A REMEDIATION GENERAL PERMIT (RGP) FROM EPA IN ACCORDANCE TO THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) IN ORDER TO PUMP AND DISCHARGE TREATED GROUNDWATER COLLECTED AT THE SITE. AS PART OF THIS PERMIT, THE APPLICANT WILL NEED TO INITIATE A SERIES OF TREATMENT AND MONITORING PRACTICES TO PREVENT THE RELEASE OF CONTAMINANTS. THE CONTRACTOR IS REQUIRED TO SECURE A CONTAMINATED GROUNDWATER DISCHARGE PERMIT PRIOR TO DE-WATERING ACTIVITIES.
- THE PRESENCE OF RESIDUAL GROUNDWATER CONTAMINATION AT THE SITE LIMITS THE USE OF TEMPORARY STORAGE COLLECTION AND TREATMENT BEST MANAGEMENT PRACTICES DURING SITE RE-DEVELOPMENT. THE CONTRACTOR IS DIRECTED TO COORDINATE WITH THE ENVIRONMENTAL CONSULTANT SUPERVISING THE SITE ASSESSMENT PROCESS TO DEVELOP A STORMWATER MANAGEMENT STRATEGY THAT PROVIDES EFFECTIVE TREATMENT WHILE ALSO MINIMIZING THE POTENTIAL TO HINDER THE REMEDIATION OF THE SITE OR PROMOTE THE MIGRATION OF CONTAMINATION.
- EXISTING SEWER EASEMENT TO BE EXTINGUISHED. SEWER TO BE INCLUDED IN THE PROPOSED ACCESS AND UTILITIES EASEMENT.
- ALL ELECTRIC, TELEPHONE, CABLE TELEVISION, AND OTHER COMMUNICATION LINES, BOTH MAIN AND SERVICE CONNECTION, SHALL BE UNDERGROUND WIRING. ALL UNDERGROUND UTILITIES SHALL BE INSTALLED WITHIN EASEMENT OR DEDICATED PUBLIC RIGHT OF WAY, IN ACCORDANCE WITH THE BOARD OF PUBLIC WORKS STANDARD SPECIFICATIONS.
- MECHANICAL APPURTENANCES SHALL NOT EXCEED 50 DECIBELS BETWEEN 7 AM AND 8 PM AND 45 DECIBELS FROM 8 PM TO 7 AM ALONG RESIDENTIAL ZONING DISTRICTS.
- MASTER FIRE ALARM BOX CONNECTED TO THE CITY SYSTEM AND FIRE SPRINKLER SYSTEM WILL BE REQUIRED FOR EACH BUILDING.
- EXISTING FEATURES SHOWN SCREENED.



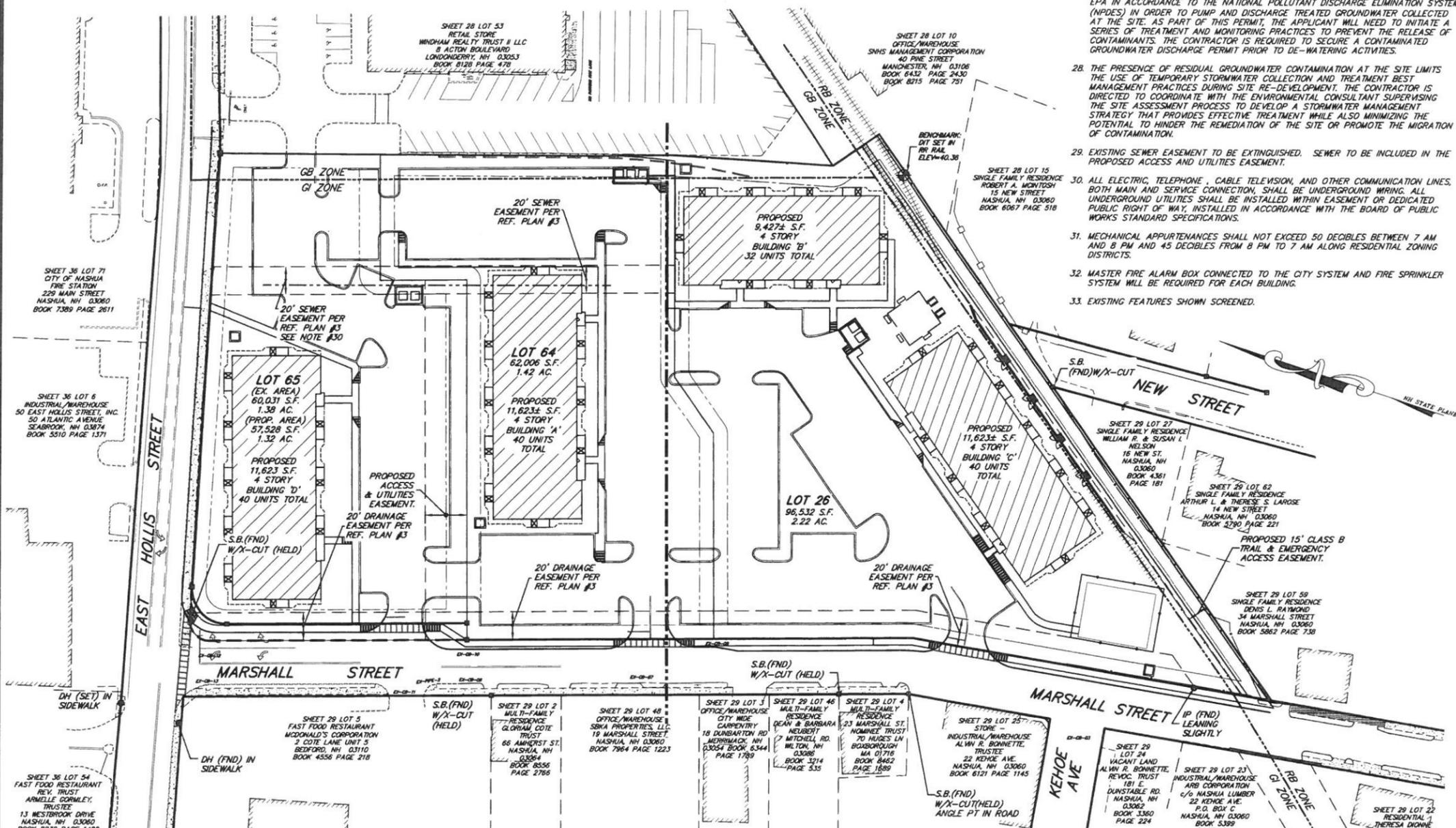
**NOTES:**

- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED REVISIONS TO NR 610, CONSTRUCTION ON SHEET 29 LOTS 26, 64 AND LOT 65.
- TOTAL SITE AREA:  
SHEET 29 LOT 26 96,532 S.F. (2.22 AC.)  
SHEET 29 LOT 64 62,006 S.F. (1.42 AC.)  
SHEET 29 LOT 65 60,031 S.F. (1.38 AC.)
- CURRENT OWNER OF RECORD:  
SHEET 29 LOTS 26, 64 & 65  
22 MARSHALL STREET, LLC.  
603 OLD MAMMOTH ROAD  
LONDONDERRY, NH 03053  
BOOK 7883 PAGE 1409 (OLD SPARTAN LAND NOW PART OF LOT 26)  
BOOK 7840 PAGE 80 (OLD BOSTON & MAINE LAND NOW PART OF LOT 26)  
BOOK 7799 PAGE 758 (LOTS 64 AND 26)  
BOOK 7799 PAGE 761 (LOT 65)
- CURRENT ZONING: "GI"-GENERAL INDUSTRIAL, "GB"-GENERAL BUSINESS, "RB"-URBAN RESIDENCE.  

ZONING REQUIREMENTS	REQUIRED	LOT 26	LOT 64	LOT 65
LOT AREA:	5,000 S.F.	96,532± S.F.	62,006± S.F.	60,031± S.F.
MIN. LOT WIDTH:	50 FT.	280± FT.	178± FT.	350± FT.
MIN. LOT FRONTAGE:	50 FT.	406± FT.	178± FT.	540± FT.
FRONT YARD SETBACK:	75 FT.	340± FT.	347± FT.	185± FT.
SIDE YARD SETBACK:	53± FT.	19± FT.	19± FT.	12± FT.
REAR YARD SETBACK:	15 FT.	21± FT.	85± FT.	102± FT.
MAX. HEIGHT:	60 FT.	< 60 FT.	< 60 FT.	< 60 FT.
MAX. STORIES:	5	4	4	4
MAX. FLOOR AREA RATIO:	2.0 MAX.	0.8±	0.7±	0.8±
LOT OPEN SPACE:	10% MIN.	35%	19%	33%

PARKING REQUIREMENTS:	REQUIRED	LOT 26	LOT 64	LOT 65
MIN. 1.5 SPACES PER UNIT x 152 UNITS =	228			
MAX. 1.9 SPACES PER UNIT x 152 UNITS =	289			
PARKING PROVIDED =	238 SPACES			
HANDICAP PARKING REQUIRED =	7			
HANDICAP PARKING PROVIDED =	8			
- ELEVATIONS ARE BASED ON THE CITY OF NASHUA DATUM. (ADD 89.77 FOR NAVD 1988 DATUM)
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING STRUCTURES SHOWN OR NOT SHOWN ON THIS PLAN PRIOR TO AND DURING CONSTRUCTION. THE DESIGN ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION CAN BE TAKEN BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE.
- THESE PLANS, PREPARED BY CUOCO & CORMIER ENGINEERING ASSOCIATES, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL AND STATE REGULATIONS.
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF NASHUA, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE ON THIS SITE PLAN IN ANY WAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING PRIOR APPROVAL FROM THE CITY.
- THIS PLAN SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT, TITLE II, AND ALL OTHER STATE OR LOCAL REGULATIONS.
- THE SITE IS SERVICED BY MUNICIPAL SEWER AND PENNICHUCK WATER WORKS.
- WAIVER REQUESTED FROM OUTDOOR SITE LIGHTING ORDINANCE, SECTION 190-89.
- ALL PROPOSED SIGNS SHALL CONFORM TO THE CITY OF NASHUA REGULATIONS. THE DEVELOPER SHALL APPLY FOR SIGN PERMITS PRIOR TO INSTALLATION (SECTION 190-93 THROUGH 190-110).
- WAIVERS REQUESTED FROM CONFORMANCE WITH ARTICLE XXVIII - LANDSCAPING
- PRIVATE GARBAGE COLLECTION SHALL BE USED FOR THIS SITE. ALL DUMPSTERS PROVIDED ON THIS SITE SHALL BE PLACED ON A CONCRETE PAD AND FULLY ENCLOSED WITHIN SOLID FENCING AT LEAST 6' HIGH
- THERE ARE NO WETLANDS LOCATED ON THE PROPERTY OR WITHIN 125 FEET.



**PLAN REFERENCES:**

- SUBDIVISION & CONSOLIDATION PLAN FOR NASHUA, NH, BOSTON AND MAINE CORPORATION, TO 22 MARSHALL STREET, LLC, DATED: JANUARY 11, 2007, REVISED: 2-28-07, SCALE: 1"=40', PREPARED BY THIS OFFICE. RECORDED HORD PLAN #35396.
- SHEET 29 LOT 26 & SHEET 28 LOT 53, FINAL LOT LINE RELOCATION PLAN, HOLLIS EAST, EAST HOLLIS AND MARSHALL STREETS, NASHUA, NH. PREPARED FOR: 22 MARSHALL STREET, LLC, DATED: JANUARY 8, 2007, REVISED: 2-28-07, SCALE: 1"=40'. PREPARED BY THIS OFFICE. RECORDED HORD PLAN # 35552.
- SHEET 29 LOT 26, SUBDIVISION PLAN, HOLLIS EAST 1 & 2 MARSHAL ST. & E. HOLLIS ST. NASHUA, NH. DATED: APRIL 15, 2005. SCALE: 1"=40'. PREPARED BY THIS OFFICE. RECORDED HORD PLAN #35252.

**OWNER'S ACKNOWLEDGMENT**

THE UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_

**APPROVED - NASHUA CITY PLANNING BOARD**

CHAIRMAN: \_\_\_\_\_ DATE: \_\_\_\_\_  
SECRETARY: \_\_\_\_\_ DATE: \_\_\_\_\_

PREPARED FOR:  
**22 MARSHALL STREET, LLC**  
603 OLD MAMMOTH ROAD  
LONDONDERRY, NH 03053  
(603) 669-6114

SCALE: 1" = 40' APRIL 22, 2015



PREPARED BY:  
**CUOCO & CORMIER**  
ENGINEERING ASSOCIATES, INC.

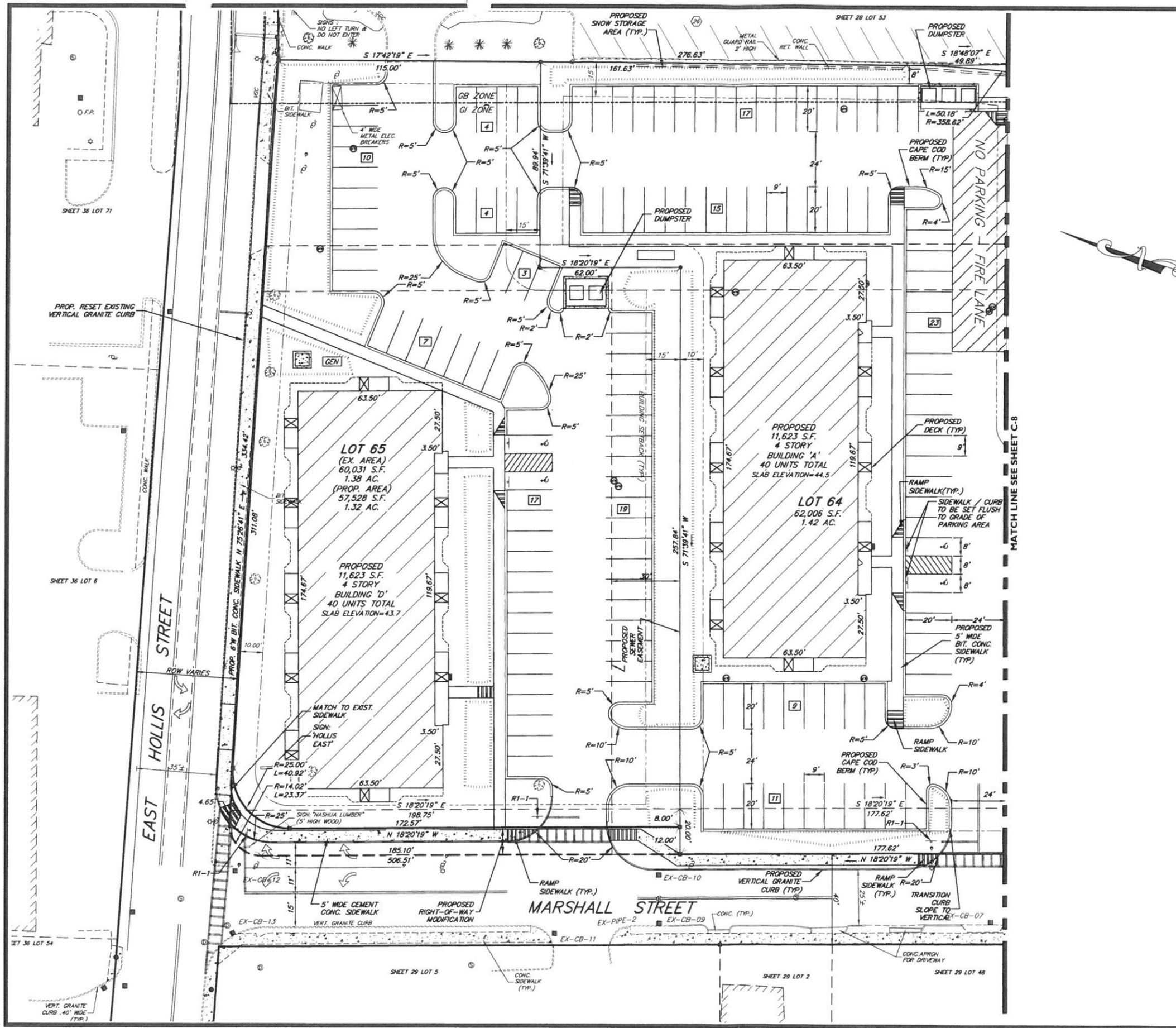
74 NORTHEASTERN BLVD, UNIT 10A  
NASHUA, NH 03063-3142 (603) 882-1812  
www.cuococormier.com

**OVERALL SITE LAYOUT PLAN**  
SHEET 29 / LOTS 26, 64 & 65  
HOLLIS EAST  
22 MARSHALL STREET  
NASHUA, NH

SHEET NO. **C-6**

LAND PLANNING SERVICES: CIVIL ENGINEERING - LAND SURVEYING - ENVIRONMENTAL SCIENCES

9142A-010-FNL-SITE-OVERALL.DWG FILE 9142



REVISION	DATE	SURVEYOR	DESCRIPTION	BY				
ENGINEER	ACH	DCP	DRAFTER	MJR	PLAN CHECK	JSR	MAP CHECK	PW

**PLAN REFERENCES:**  
SEE SHEET C-6 FOR PLAN REFERENCES.

**NOTES:**  
SEE SHEET C-6 FOR SITE PLAN NOTES.

**OWNER'S ACKNOWLEDGMENT**  
THE UNDERSIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

OWNER \_\_\_\_\_ DATE \_\_\_\_\_

**APPROVED - NASHUA CITY PLANNING BOARD**

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

**PREPARED FOR:**  
**22 MARSHALL STREET, LLC**  
603 OLD MAMMOTH ROAD  
LONDONDERRY, NH 03053  
(603) 669-6114

**SCALE:** 1" = 20'  
APRIL 22, 2015

SCALE IN FEET: 0 20 40 60 80

**PREPARED BY:**  
**CUOCO & CORMIER**  
ENGINEERING ASSOCIATES, INC.

**SITE LAYOUT PLAN (1 OF 2)**  
SHEET 29 / LOTS 26, 64 & 65  
**HOLLIS EAST**  
22 MARSHALL STREET  
NASHUA, NH

74 NORTHEASTERN BLVD, UNIT 10A  
NASHUA, NH 03063-3142 (603) 882-1812  
WWW.CUOCOANDCORMIER.COM

LAND PLANNING SERVICES: CIVIL ENGINEERING - LAND SURVEYING - ENVIRONMENTAL SCIENCES

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SHEET NO.  
**C-7**  
FILE 9142

