

1. Planning Board Regular Meeting Agenda (PDF)

Documents: [20160519 NCPB AGENDA.PDF](#)

2. Planning Board Staff Reports And Plans

Documents: [20160505 93 AND 97 DANIEL WEBSTER HIGHWAY SUBDIVISION STAFF REPORT.PDF](#), [20160505 93 AND 97 DANIEL WEBSTER HWY, STETSON ST AND WEST HOLBART ST SUBDIVISION PLAN.PDF](#), [20160519 172-174 \(180\) DANIEL WEBSTER HIGHWAY SITE PLAN STAFF REPORT.PDF](#), [20160519 172-174 \(180\) DANIEL WEBSTER HWY SITE PLAN.PDF](#), [20160519 24 TRAFALGAR SQUARE SITE PLAN STAFF REPORT.PDF](#), [20160519 24 TRAFALGAR SQ SITE PLAN.PDF](#), [20160519 3 WHIPPLE STREET SITE PLAN STAFF REPORT.PDF](#), [20160519 3 WHIPPLE ST SITE PLAN.PDF](#)



City of Nashua
Planning Department
229 Main Street
Nashua, New Hampshire 03061-2019

Planning & Zoning 589-3090
Fax 589-3119
WEB www.nashuanh.gov

May 9, 2016

AGENDA

To: NCPB Members

From: Planning Staff

Re: Meeting, May 19, 2016

A regular meeting of the Nashua City Planning Board will be held on Thursday, at 7:00 p.m. in the City Hall Auditorium, 3rd floor, 229 Main Street. The Planning Staff will be available at 6:30 p.m. to answer any questions the Board or Public might have concerning the following proposed agenda.

- A. Call to Order
- B. Roll Call
- C. Approval of Minutes – May 5, 2016
- D. Communications
- E. Report of Chairman, Committee, & Liaison
- F. Executive Session

OLD BUSINESS – CONDITIONAL / SPECIAL USE PERMITS

None

OLD BUSINESS - SUBDIVISION PLANS

None

OLD BUSINESS – SITE PLANS

None

NEW BUSINESS – CONDITIONAL / SPECIAL USE PERMITS

None

NEW BUSINESS – SUBDIVISION PLANS

1. Andrea James Realty, LLC and Bedek Realty, LLC (Owners) - Application and acceptance of proposed subdivision and lot line relocation plan. Property is located at 93 & 97 Daniel Webster Hwy and "L" West Hobart St. Sheet 128 - Lots 23, 33, & 81. Zoned "HB" Highway Business and "RA" Urban Residence. Ward 7. **(Postponed from the May 5, 2016 Meeting)**

NEW BUSINESS – SITE PLANS

2. LINRICH, LLC (Owner) - Application and acceptance of proposed site plan amendment to NR1615 to demolish one building and construct an addition to the remaining building. Property is located at 172-174 (180) Daniel Webster Highway. Sheet A - Lot 983. Zoned "HB" Highway Business and GI-General Industrial. Ward 7.
3. Trafalgar Square Trade Center, A Condominium (Owner) Pfeiffer Vacuum (Applicant) - Application and acceptance of proposed site plan amendment to NR1867 to construct a 2-story 27,745 sf building addition and associated site improvements. Property is located at 24 Trafalgar Square. Sheet G - Lot 654. Zoned "PI" Park Industrial. Ward 2.
4. BT-Newyo, LLC (Owner) - Application and acceptance of proposed site plan amendment to NR1517 to construct a 20,000 sf building and associated site improvements. Property is located at 3 Whipple Street. Sheet E - Lot 1423. Zoned "PI" Park Industrial. Ward 4.

OTHER BUSINESS

1. Review of tentative agenda to determine proposals of regional impact.

DISCUSSION ITEM

None

NONPUBLIC SESSION

The Planning Board will need to make a motion to enter into a Nonpublic Session under RSA 91-A:3, II (e) for consideration or negotiation of pending claims or litigation which has been threatened in writing or filed against the public body.

NEXT MEETING

June 2, 2016

ADJOURN

WORKSHOP

ACCOMMODATIONS FOR THE SENSORY IMPAIRED

**"SUITABLE ACCOMMODATIONS FOR THE SENSORY IMPAIRED
WILL BE PROVIDED UPON ADEQUATE ADVANCE NOTICE."**

CONDUCT AT PLANNING BOARD MEETING

When the meeting is called to order, the only talking allowed in the Auditorium will be remarks addressed to the Chairman. Except for the original presentation of the subject or application, each person speaking for or against shall be limited to five (5) minutes until all have been given an opportunity to be heard, at which time each person may be allowed additional time if deemed necessary by the Board or the Chairman. When you are recognized by the Chairman, proceed to the podium, using the microphone, state your name and address and then make your comments. Courtesy is shown when you reserve your comments for the proper time.

PLEASE BE COURTEOUS

By Order of the Chair

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda Panny, Deputy Planning Manager
FOR: May 5, 2016
RE: **New Business #4- Subdivision Plan**

I. Project Statistics:

Owners: Bedek Realty, LLC & Andrea James Realty, LLC
Proposal: Three lot subdivision and Lot Line Relocation
Location: 93 & 97 Daniel Webster Hwy and L West Glenwood St
Total Site Area: 209,232 sf
Existing Zoning: HB-Highway Business/RA - Urban Residence
Surrounding Uses: Residential and commercial

II. Background Information:

City records show Lot 33 was approved by the planning board in 2004 for a change of use from a single family home to an office. Lot 23 is home to Nashua Foreign Auto. Lot 81 is a small triangular lot which is vacant. The applicant has indicated that Sexton Avenue is an accepted City street and Stetson Street is open to the public, but was never accepted. Before the new lots get developed, the applicant would need to bring Stetson Street up to City standards. According to the applicant, West Hobart Street was a dedicated paper street that was never opened to public travel. After 20 years, it is automatically discharged per the RSA that was in affect at that time (see attached).

III. Project Description:

The purpose of this plan is to relocate the lot lines between Lots 23, 22 & 81 and subdivide Lot 23 into 3 lots, with the new lot numbers being 143 and 144 as follows:

Lot #	Old Area	New Area	Area of Exchange
23	175,261 sf	44,137 sf	-131,124 sf
143	0 sf	72,142 sf	+72,142
144	0 sf	72,389 sf	+72,389 sf
33	19,561 sf	20,564 sf	+1,204 sf
81	1,204 sf	0 sf	-1,204 sf
West Hobart St	13,206 sf	0 sf	-13,206 sf

Easements will need to be in place for the existing driveways for 93 & 97 Daniel Webster Highway. A waiver has been requested for existing conditions not shown on the plan as no new construction is proposed at this time.

City Staff reviewed the plans. A portion of the site has been clear cut and graded. Silt fencing should be put in place to prevent erosion until such time the sites get developed. There are some

outstanding comments from the Engineering Department that still need to be addressed (see attached correspondence).

Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet the requirements outlined in the Subdivision NRO § 190-138(G). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulation be made part of that approval:

1. The request for a waiver of § 190-282(B)(9), which requires an existing conditions plan, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation
2. Prior to recording the plan, all comments in a letter from Jeanne Walker, P.E. dated April 12, 2016 shall be addressed to the satisfaction of the Engineering Department.
3. Prior to recording the subdivision plan, the site plans for 93 & 97 Daniel Webster Highway shall be amended.
4. All easements will be submitted to Planning staff and Corporation Council for review and recorded with the plan at the applicant's expense.

ABUTTERS:

LOT 23/SHEET 128
BEDEK REALTY, LLC
24 APPLE TREE GREEN
NASHUA, NH 03062
ACCT. NO. 33204
BK. 8465/PG. 635

LOTS 137 & 142/SHEET 128
CHESTER A & SHIRLEY COULOMBE
68 W GLENWOOD STREET
NASHUA, NH 03060-5220
ACCT. NO. 44332 & 51934
BK. 2871/PG. 544 & PG. 8622/PG. 632

LOTS 33 & 82/SHEET 128
ANDREA JAMES REALTY LLC
24 APPLE TREE GREEN
NASHUA, NH 03062
ACCT. NO. 4296 & 25942
BK. 7234/PG. 1270, BK. 6719/PG. 2227

MAYNARD & PAQUETTE ENG. ASSOC., LLC
23 EAST PEARL STREET
NASHUA, NH 03060

LOT 75/SHEET 132
EMMA KATE LLC
354 WASHINGTON STREET
WOBBURN, MA 01801
ACCT. NO. 32750
BK. 8732/PG. 1168

LOT 78/SHEET 132
MACHOMPSON REALTY INC.
3 MARMON DRIVE
NASHUA, NH 03060-5205
ACCT. NO. 30404
BK. 7698/PG. 2367

LOT 173/SHEET A
REALTY INCOME PENNSYLVANIA PROP.
ATTN. PORTFOLIO MANAGEMENT #3000
11995 EL CAMINO REAL STE. 101
SAN DIEGO, CA 92130-2565
ACCT. NO. 30402
BK. 8355/PG. 2801

LOTS 31, 32, 38 & 84 /SHEET 132
MARILYN SIENKIEWICZ
C/O KERRY SIENKIEWICZ
344 OSGOOD ROAD
MILFORD, NH 03055-3460
ACCT. NO. 30682, 30684, 30676 & 30678
BK. 1543/PG. 172
BK. 2386/PG. 472
BK. 1813/PG. 290

LOT 68B/SHEET A
ESTATE OF WILFRED J. PIEKARSKI
10 MARMON DRIVE
NASHUA, NH 03060-5204
ACCT. NO. 33180
BK. 3511/PG. 945

F.E. EVERETT HIGHWAY

■ STONE BOUND FOUND
□ STONE BOUND TO BE SET
● IRON PIN FOUND
○ IRON PIN TO BE SET
--- MINIMUM BUILDING SETBACK
--- EXISTING BUILDING
④7 STREET ADDRESS
--- EXISTING PAVEMENT
--- EXISTING FENCE
--- EXISTING U-POLE

LEGEND

VICINITY

- NOTES:**
- PRESENT ZONING: "HB" HIGHWAY BUSINESS / "RA" URBAN RESIDENCE
 - EXISTING & PROPOSED USE:
 - THE PURPOSE OF THIS PLAN IS TO RELOCATE THE LOT LINES BETWEEN LOTS 23, 33 & 81 AND SUBDIVIDE LOT 23 INTO 3 LOTS.
 - TOTAL AREA OF PARCELS: 188,668 SF
 - LOTS ARE PRESENTLY SERVED BY PENNICHUCK WATER AND PUBLIC SEWER.
 - AREA OF EXCHANGE:

	OLD AREA	NEW AREA	AREA OF EXCHANGE
LOT 23:	175,261 SF	44,137 SF	-131,124 SF
LOT XXX:	0 SF	72,389 SF	+72,389 SF
LOT 33:	19,561 SF	20,564 SF	+1,204 SF
LOT 81:	1,204 SF	0 SF	-1,204 SF
ROAD:	13,206 SF	0 SF	-13,206 SF
TOTAL:	209,232 SF	209,232 SF	0

 - PERMANENT MARKERS ARE TO BE SET AT ALL NEW LOT CORNERS BY A LICENSED LAND SURVEYOR.
 - DIMENSIONAL REQUIREMENTS: ("HB" ZONE)

	LOT 23	LOT XXX	LOT 33
MINIMUM LOT AREA:	20,000 SF	72,142 SF	72,389 SF
FRONT YARD SETBACK:	20 FEET	32 FEET	20' MIN.
SIDE YARD SETBACK:	10 FEET	151 FEET	10' MIN.
REAR YARD SETBACK:	20 FEET	168 FEET	20' MIN.
MIN. LOT WIDTH:	100 FEET	213.35'	100.00'
MIN. LOT FRONTAGE:	80 FEET	217.72'	104.74'
MIN. LOT DEPTH:	80 FEET	167'	205'
MIN. OPEN SPACE:	20%	XXX%	XXX%

 - DIMENSIONAL REQUIREMENTS: ("RA" ZONE)

	LOT 33
MINIMUM LOT AREA:	7,500 SF
FRONT YARD SETBACK:	25 FEET
SIDE YARD SETBACK:	10 FEET
REAR YARD SETBACK:	25 FEET
MIN. LOT WIDTH:	75 FEET
MIN. LOT FRONTAGE:	60 FEET
MIN. LOT DEPTH:	90 FEET
MIN. OPEN SPACE:	50%

 - THERE ARE NO WETLANDS ON-SITE.
 - THE SITE IS LOCATED WITHIN ZONE X, OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD PLAIN, PER FIRM COMMUNITY MAP NUMBER 330110652E, EFFECTIVE DATE: SEPT. 25, 2009
 - PER RSA231:51, WEST HOBART STREET ORIGINALLY PLATTED IN 1923 BUT NEVER OPENED FOR PUBLIC TRAVEL IN 20 YEARS THUS AUTOMATICALLY DISCONTINUED IN 1943/44.

- PLAN REFERENCES:**
- COUNTRY CLUB HEIGHTS-ANNEX, NASHUA, NH; OWNED BY: A.H. CHAPMAN LAND CO. PORTLAND, ME.; SCALE: 1"=100'; DATED: APRIL 1925; BY: E.N. SHEFIELD H.C.R.D. NO. 538
 - LOT LINE REVISION PLAN LAND OF PETER T. & SHARYN L. FRASSICA AND RICHARD & MARILYN D. SEXTON; DANIEL WEBSTER HIGHWAY SOUTH, NASHUA, NH; SCALE: 1"=40'; BY: GEORGE F. KELLER, INC.; DATED: MAY 12, 1981
 - CONSOLIDATION PLAN-PREPARED FOR: STORAGE INN ASSOCIATES; MAP A/LOT 173 B SEXTON AVENUE, NASHUA, NH; BY: HAMILTON ENGINEERING ASSOC., INC.; DATED: APRIL 22, 1983; SCALE: 1"=50'; H.C.R.D. NO. 15769
 - FINAL SUBDIVISION PLAN, MAP A/LOTS 173 & 743; 14 & 16 SEXTON AVENUE NASHUA, NH; PREPARED FOR: DR. REGINALD D'AMBOISE; BY: HAMILTON ENGINEERING ASSOC., LLC; SCALE: 1"=50'; DATED: AUGUST 10, 1984; H.C.R.D. NO. 16991
 - PLAN OF B.I.S. WHOLESALE CLUB, B SEXTON AVENUE, NASHUA, NH PREPARED BY: BRADFORD SAIVETZ & ASSOCIATES, INC.; DATED: SEPT. 6, 1991 SCALE: 1"=80'; H.C.R.D. NO. 25496
 - FINAL BOUNDARY PLAN FOR LAND OF SIENKIEWICZ, WEST GLENWOOD STREET, NASHUA, NH PREPARED FOR: JOHN & MARILYN SIENKIEWICZ; SCALE: 1"=50'; DATED: SEPT. 1997 H.C.R.D. NO. 28810

SUBDIVISION/LOT LINE RELOCATION PLAN - LOTS 23, 33 & 81/SHEET 128
93 & 97 DANIEL WEBSTER HWY., STETSON STREET & WEST HOBART STREET
NASHUA, NEW HAMPSHIRE

OWNER LOT 23: BEDEK REALTY, LLC
24 APPLE TREE GREEN
NASHUA, NEW HAMPSHIRE 03062
603-888-2109

OWNER LOTS 33 & 81: ANDREA JAMES REALTY LLC
24 APPLE TREE GREEN
NASHUA, NEW HAMPSHIRE 03062
603-888-2109

SCALE: 1" = 50' DATE: MARCH 10, 2016

ENGINEERING

Maynard & Paquette Engineering Associates, LLC
 Consulting Engineers and Land Surveyors
 23 East Pearl Street, Nashua, N.H. 03060
 Phone: (603)883-8433 Fax: (603)883-7227

APPROVED BY THE CITY OF NASHUA PLANNING BOARD

SECRETARY	DATE
CHAIRMAN	DATE

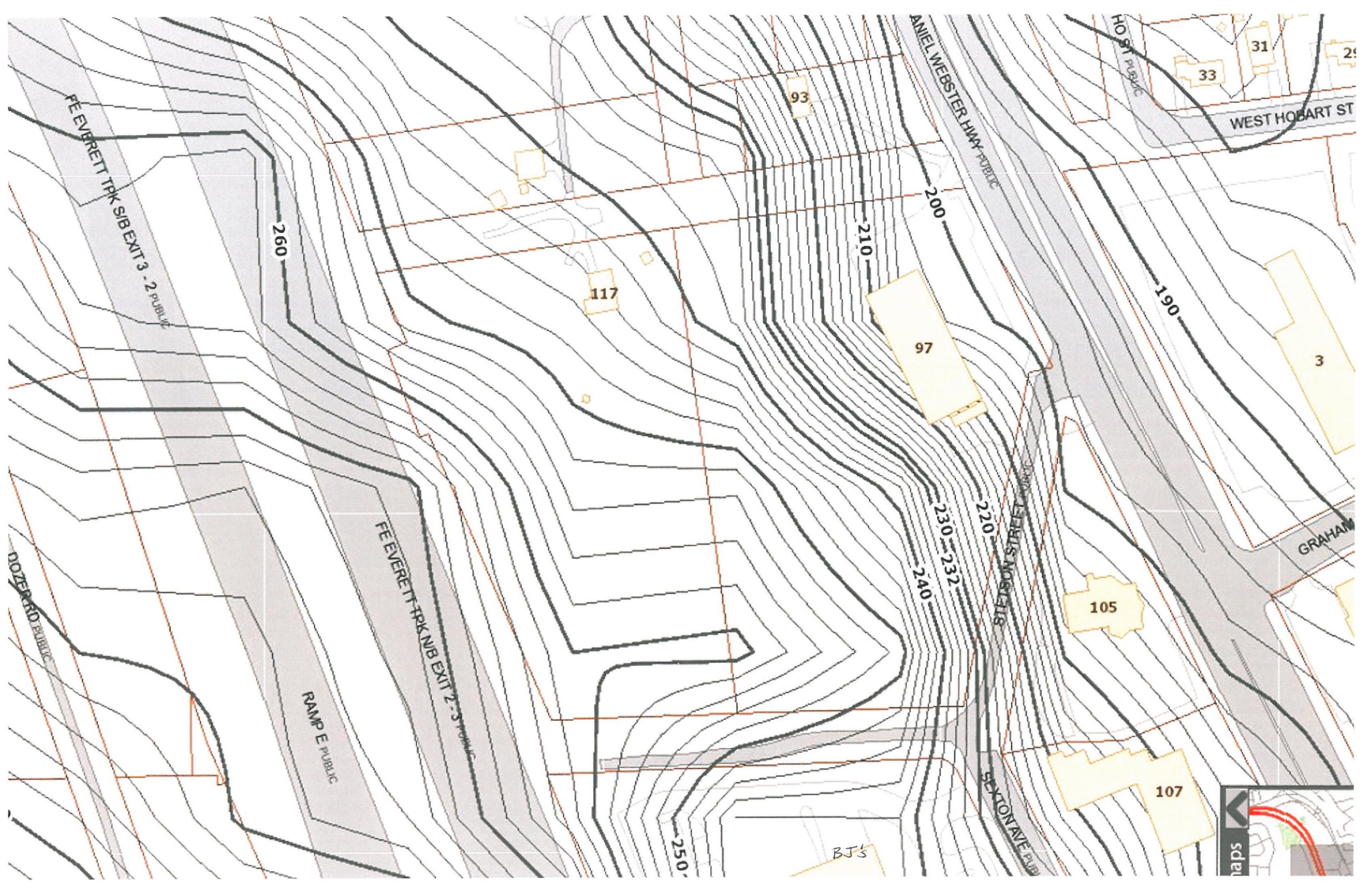
ANDREA JAMES REALTY LLC (OWNER LOTS 33 & 81) DATE

BEDEK REALTY, LLC (OWNER LOT 23) DATE

I CERTIFY THAT THIS PLAN WAS PREPARED FROM BOUNDARY INFORMATION SHOWN ON PLAN REFERENCES 1 THRU 6 AND A FIELD SURVEY MADE ON THE GROUND IN AUGUST 2015 HAVING A MAXIMUM ERROR OF CLOSURE OF 1:10,000.

KPM	APB	KPM			D	12404
DESIGNED	DRAFTED	CHECKED	APPROVED	BOOK & PAGE	REVISION	SIZE

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 NO PART OF THIS PLAN OR ANY PART THEREOF
 IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS
 WITHOUT WRITTEN PERMISSION.



FE EVERETT TRK SIB EXIT 3 - 2 PUBLIC

260

FE EVERETT TRK NB EXIT 2 - 2 PUBLIC

RAMP E PUBLIC

93

117

97

105

107

3

31

33

DANIEL WEBSTER HWY - PUBLIC

HOBART AVE

WEST HOBART ST

210

200

190

230

232

240

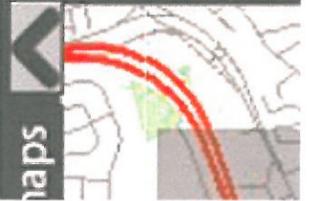
220

STETSON STREET

SEXTON AVE PUB

250

BJ'S



maps

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda Panny, Deputy Planning Manager
FOR: May 19, 2016
RE: **New Business #2 – Site Plan**

I. Project Statistics:

Owner/Applicant: LINRICH, LLC
Proposal: Demolish one building and add additions to existing building
Location: 172-174 (180) Daniel Webster Highway
Total Site Area: 5.49 acres
Existing Zoning: HB-Highway Business & GI-General Industrial
Surrounding Uses: Commercial

II. Background Information:

Lovering Volvo is located on this site in southern Nashua. The two buildings are used for sales and service of vehicles. Most of the site is developed with the rear of the parcel dropping off with a steep slope to the railroad. In 1990 the Planning Board approved the site plan and in 1999 they came before the board again for an expansion. City property records have this site listed as 172-174 Daniel Webster Highway. However, Lovering Volvo has historically used the address of 180 DW Highway and city records will be changed to reflect the 180 DW Highway address.

III. Project Description:

The proposal is to add a 24' addition to the front of one building to expand their sales area by 2,600 sf. A 960 sf addition to the south of the building is being proposed which will expand the vehicle recondition and wash bay areas. The building closest to the highway will be demolished and will become a paved vehicle display area and a landscaped island.

According to the applicant's engineer, stormwater from the upper portion of the parking lot and from the roof of the building being razed flows east to a series of catch basins located in front of the existing sales building. These basins will be relocated to the west to make room for the addition. The pavement will be regraded to divert stormwater into the new basins. The proposed additions and modifications are not expected to alter the path of stormwater flow. The improvements will not increase impervious area or the rate of runoff.

This site abuts 2 East Spit Brook Road which is 40 acres and zoned for General Business retail. There was a large retail shopping center proposed on this adjacent parcel but did not go forward in 2007. The Planning Board is aware that cross access connections adjoining sites along this corridor has been their goal for many years. This is necessary to maximize access and circulation for both the public and emergency responders. Attached is the city ordinance, § 190-209(F) (1), which requires connectivity. The City has requested that the applicant grant a public cross access easement with 2 East Spit Brook Road so that if and when that site is developed, there will eventually be a cross connection to the adjacent businesses without having to go back onto Daniel Webster Highway. This has been a routine requirement by the Planning Board to

obtain cross easements from one property owner and then obtain an easement from the other owner when the adjacent property develops. Examples of elsewhere in the City include connections between Home Depot and the Pheasant Lane Mall and Daniel Webster Square. The circulation between businesses is critical to maintain emergency access in this often congested highway, especially medical, fire and police emergencies where time is critical to save lives. It has also proven good for the businesses.

One waiver is being requested. The additions do not fully meet the NRO building design standards and a waiver has been requested (see attached).

The plan was reviewed by City staff and there are some minor Engineering comments that need to be addressed.

IV. Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

1. The request for a waiver of NRO § 190-172(B)(2), (C)(2), (D)(2-4), and E(2), which sets building design standards, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. The applicant will provide a public and emergency cross access easement to the City for future connection to the 40 acre retail property to the east, which shall be reviewed and approved by Corporation Counsel and Planning Staff prior to issuance of building permit.
3. Prior to the issuance of a building permit, all comments in letter from Jeanne Walker, PE dated May 6, 2016 shall be addressed to the satisfaction of the Engineering Department.
4. Prior to the issuance of a building permit, stormwater documents will be submitted to City staff for review and approval and recorded at the Registry of Deeds at the applicant's expense.
5. Any work within the right-of-way shall require a financial guarantee.
6. Prior to the issuance of a certificate of occupancy, all site improvements will be completed.

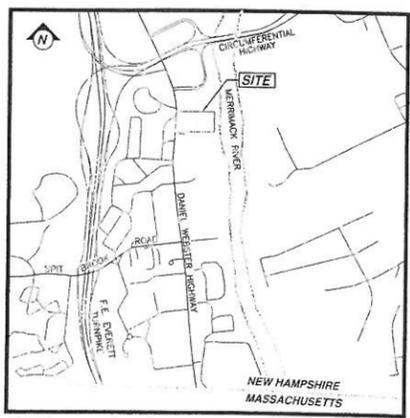
ABUTTERS:

- A-983
LNRICH LLC.
180 DANIEL WEBSTER HIGHWAY
NASHUA, NH 03060
- A-43
GREENWOOD PARK ASSOCIATION
GREAT NORTH PROPERTY MGMT.
78 NORTHEASTERN BLVD
NASHUA, NH 03062
- A-750
COMMERCIAL USE
- A-718
COMMERCIAL USE
- A-189
BLUESTONE CONDOMINIUMS
HARVARD MGMT
PO BOX 2019
MERRIMACK, NH 03054
- A-218
HAMPSHIRE CHEMICAL CORP.
THE DOW CHEMICAL CO.
WASHINGTON ST - 1790 BLDG
MIDLAND, MI 48874
- A-718
ICE KING LLC.
8 TAGGART DR
NASHUA, NH 03060-5506
- A-720
SHERWIN WILLIAMS CO.
101 PROSPECT AVE NW ST
CLEVELAND, OH 44115-0000
- A-786
WHITE DUCK REALTY, LLC.
215 SOUTH BROADWAY SUITE 314
SALEM, NH 03079
- A-999
BOSTON & MAINE CORP.
GUILFORD TRANSPORTATION IND.
IRON HORSE PARK
NORTH BILLERICA MA 01862-0000



SHEET INDEX:

SP-1	COVER SHEET
SP-2	EXISTING CONDITIONS DEMOLITION PLAN
SP-3	LAYOUT PLAN
SP-4	GRADING PLAN
LT-1	LIGHTING PLAN
D-1	SITE AND NOTES



NOTES:

- THE PURPOSE OF THIS PLAN IS TO SHOW THE IMPROVEMENTS PROPOSED FOR LOT A-983, 180 DANIEL WEBSTER HIGHWAY. IMPROVEMENTS INCLUDE: THE DEMOLITION OF THE 4,395 SF DETACHED GARAGE, THE CONSTRUCTION OF A 2,600 SF ADDITION TO THE FRONT OF THE REMAINING BUILDING TO EXPAND THE SALES AREA, A 960 SF ADDITION TO THE REAR OF THE BUILDING TO EXPAND THE VEHICLE RECONDITIONING AREA, LOT RE-GRADING AND PARKING LOT PAVING.
- THE APPLICANT AND OWNER OF RECORD: LNRICH LLC, RICHARD M. LOVERING JR. (603) 888-7073, 180 DANIEL WEBSTER HIGHWAY, NASHUA, NH 03060, H.C.R.D. BK. 5916 PG. 1273.
- SEE EXISTING CONDITIONS PLAN SP-2 FOR REFERENCE PLANS AND NOTES.
- THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY THIS OFFICE ON JANUARY 5 & JANUARY 6, 2016. VERTICAL DATUM IS ASSUMED.
- ZONING FOR LOT A-983 IS HIGHWAY BUSINESS (HB) & GENERAL INDUSTRIAL (GI).
- MINIMUM REQUIREMENTS:

	HB	GI
MIN. LOT AREA	20,000 SF	5,000 SF
MIN. LOT WIDTH	100 FT	50 FT
MIN. LOT FRONTAGE	80 FT	50 FT
MIN. LOT DEPTH	80 FT	75 FT
MIN. OPEN SPACE	20%	10%
FRONT SETBACK	20 FT	10 FT
SIDE 15' BENCH	10 FT	10 FT
REAR SETBACK	20 FT	15 FT
- FEMA (FIRM) PANEL NUMBER 53011C0452E, EFFECTIVE DATE APRIL 10, 2011, GRAPHICALLY DEPICTS THE PARCEL OUTSIDE THE 1% ANNUAL CHANCE FLOOD ZONE.
- THE PARCEL MEETS CURRENT LANDSCAPE REQUIREMENTS, NO NEW LANDSCAPING IS PROPOSED.
- EXISTING SITE LIGHTING WILL REMAIN EXCEPT IN AREA OF THE BUILDING BEING DEMOLISHED. TWO POLE MOUNTED LIGHTS ARE PROPOSED TO ILLUMINATE THIS AREA. SEE LIGHTING PLAN SHEET LT-1.
- PARKING REQUIREMENTS BASED ON BUILDING USE:

USE	CODE	REQUIRED	PROVIDED
SALES (18,000 SF)	1300 SF	13,000 / 390 =	43.3 SPACES
SERVICE (12,300 SF)	1500 SF	12,300 / 500 =	24.6 SPACES
			67.9 SPACES
- SPACES PROVIDED: 194 SPACES
- THE PARCEL IS SERVED BY MUNICIPAL SEWER AND WATER BY PENNICHUCK WATER WORKS.
- PRIOR TO ANY WORK BEING CONDUCTED A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PLANNING STAFF AND OTHER CITY DEPARTMENTS AS NECESSARY TO REVIEW THE WORK PROPOSED.
- THE PROPOSED PAVEMENT HATCH SHOWN IS THE AREA WHERE THE EXISTING PAVEMENT WILL BE REMOVED. THE BASE GRAVELS RE-GRADED AND A PAVEMENT BASE LAYER PLACED. A 1 INCH WEARING COURSE IS PROPOSED OVER THE ENTIRE UPPER PAVED PARKING AREA.

THE UNDERSIGNED COIES HEREBY AGREE TO PERFORM ALL OF THE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE PARCELS USE INDICATED ON THIS PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.

OWNER / APPLICANT: *[Signature]* 3/24/16 DATE

THIS PLAN SET COMPLIES WITH THE MINIMUM REQUIREMENTS AS DEFINED IN THE NASHUA LAND USE CODE CHAPTER.

ENGINEER: *[Signature]* 3/24/16 DATE

APPROVED BY THE NASHUA PLANNING BOARD

ON: _____ CERTIFIED BY: _____

CHAIRMAN: _____ AND _____

SECRETARY: _____

MERIDIAN LAND SERVICES, INC.
ENGINEERING | SURVEYING | PERMITTING
SOIL & WETLAND MAPPING | GIS DESIGN
31 CEDAR HOLLOW ROAD, ANDOVER, NH 03021
TEL: 603-831-1441
FAX: 603-831-1581

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GENERAL OVERVIEW PLAN

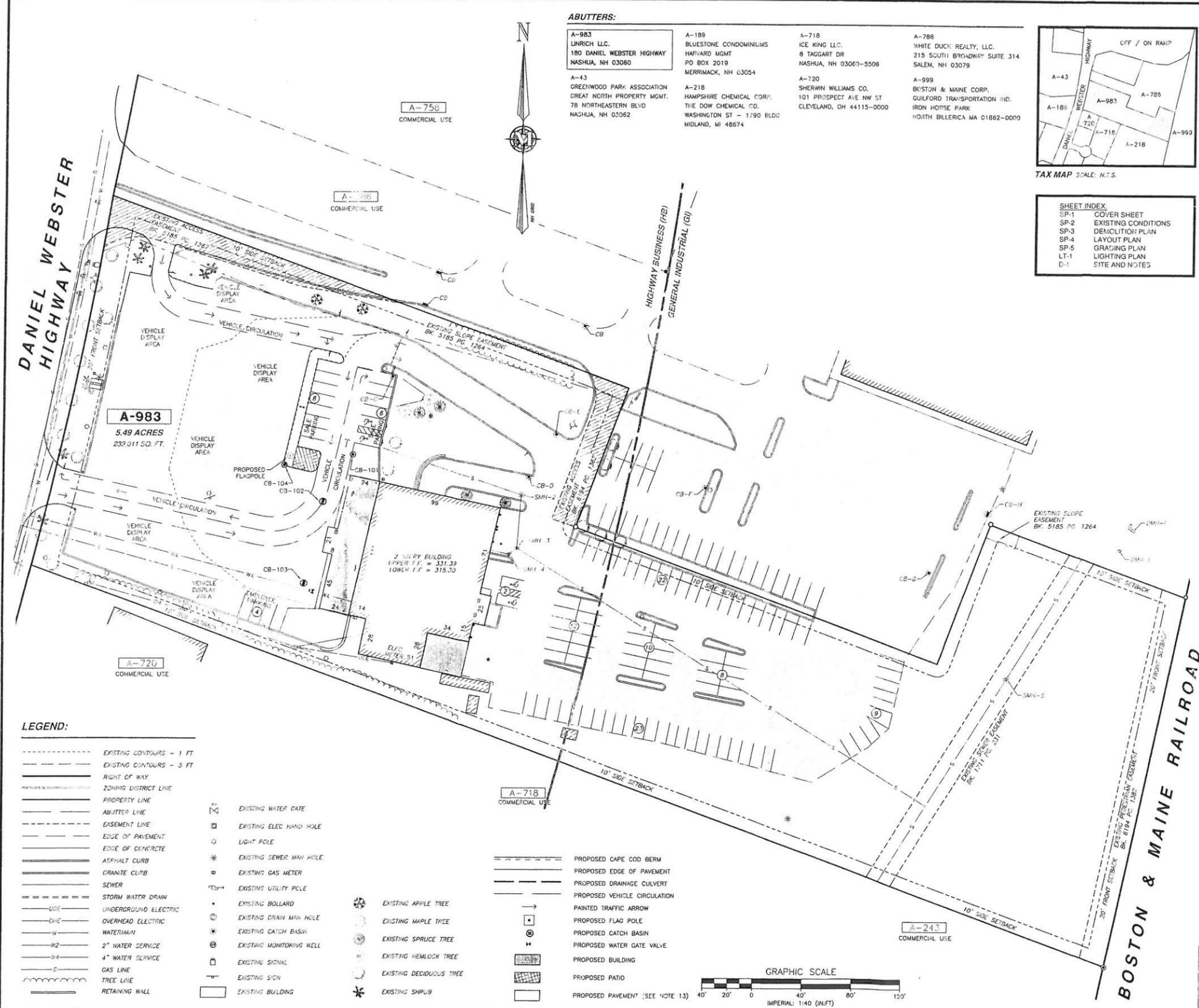
MARCH 24, 2016

LOVERING VOLVO
180 DANIEL WEBSTER HIGHWAY
LOT A-983
NASHUA, NEW HAMPSHIRE

SCALE: 1" = 40'

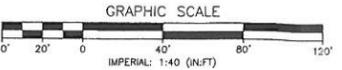
SP-1
SHEET

FILE: 974400.dwg
PROJECT: 9744.00
SHEET NO. 1 OF 7

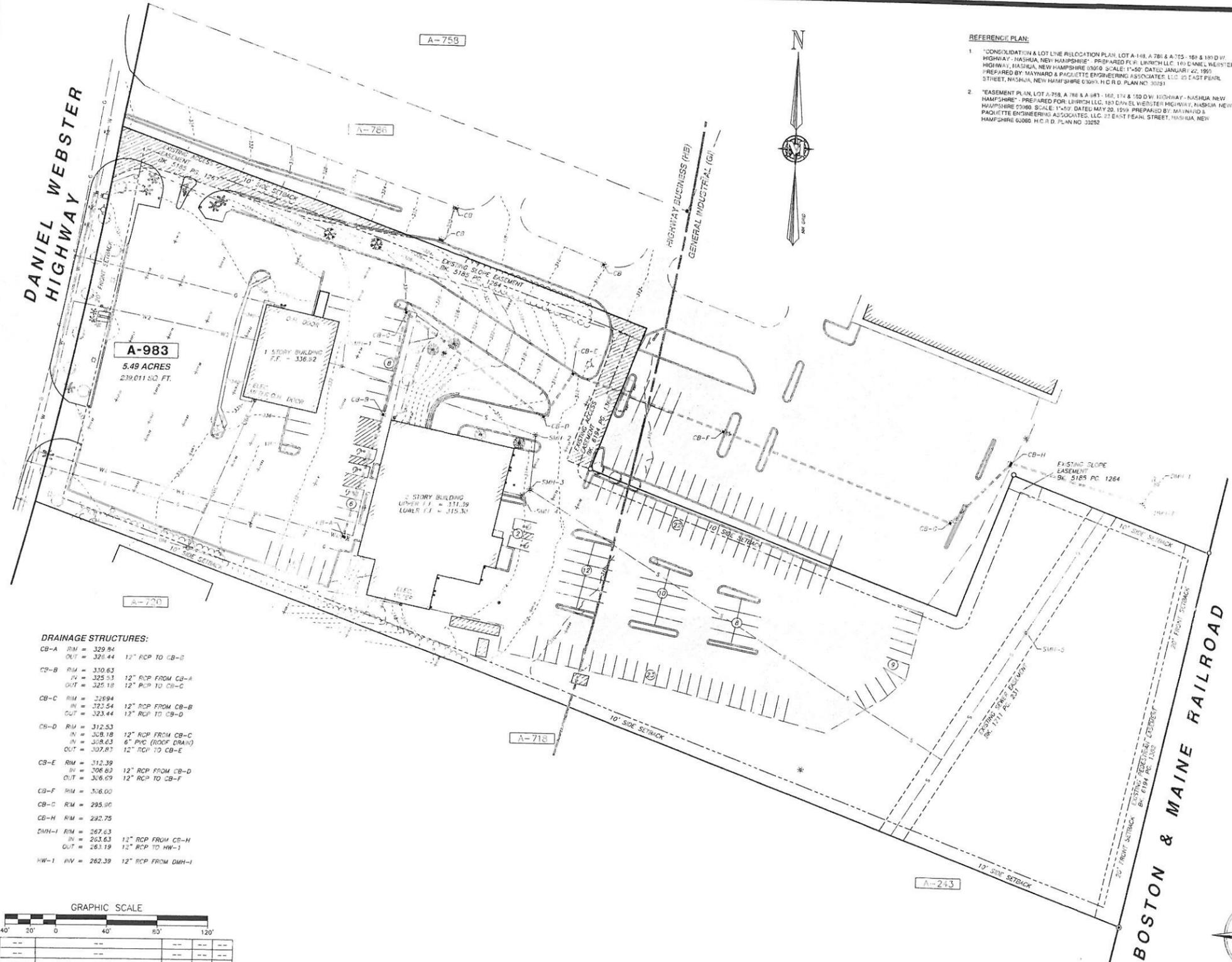


LEGEND:

---	EXISTING CONTOURS - 1 FT
---	EXISTING CONTOURS - 5 FT
---	RIGHT OF WAY
---	ZONING DISTRICT LINE
---	PROPERTY LINE
---	ABUTTER LINE
---	EASEMENT LINE
---	EDGE OF PAVEMENT
---	EDGE OF CONCRETE
---	ASPHALT CURB
---	GRANITE CURB
---	SEWER
---	STORM WATER DRAIN
---	UNDERGROUND ELECTRIC
---	OVERHEAD ELECTRIC
---	WATERMAIN
---	2" WATER SERVICE
---	4" WATER SERVICE
---	GAS LINE
---	TREE LINE
---	RETAINING WALL
---	EXISTING WATER GATE
---	EXISTING ELEC HAND HOLE
---	LIGHT POLE
---	EXISTING SEWER MAN HOLE
---	EXISTING GAS METER
---	EXISTING UTILITY POLE
---	EXISTING BOLLARD
---	EXISTING DRAIN MAN HOLE
---	EXISTING CATCH BASIN
---	EXISTING MONITORING WELL
---	EXISTING SIGNAL
---	EXISTING SIGN
---	EXISTING BUILDING
---	EXISTING APPLE TREE
---	EXISTING MAPLE TREE
---	EXISTING SPRUCE TREE
---	EXISTING HEMLOCK TREE
---	EXISTING DECIDUOUS TREE
---	EXISTING SHRUB
---	PROPOSED CAPE COD BERM
---	PROPOSED EDGE OF PAVEMENT
---	PROPOSED DRAINAGE CULVERT
---	PROPOSED VEHICLE CIRCULATION
---	PAINTED TRAFFIC ARROW
---	PROPOSED FLAG POLE
---	PROPOSED CATCH BASIN
---	PROPOSED WATER GATE VALVE
---	PROPOSED BUILDING
---	PROPOSED PATIO
---	PROPOSED PAVEMENT (SEE NOTE 13)



DANIEL WEBSTER
HIGHWAY



- REFERENCE PLAN:**
1. "CONSOLIDATION & LOT LINE RELOCATION PLAN, LOT A-148, A-786 & A-785 - 168 & 180 D W. HIGHWAY - NASHUA, NEW HAMPSHIRE - PREPARED FOR LIRNTH LLC, 180 DANIEL WEBSTER HIGHWAY, NASHUA, NEW HAMPSHIRE 03080 SCALE: 1"=50' DATED JANUARY 27, 1999. PREPARED BY MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC, 30 EAST PEARL STREET, NASHUA, NEW HAMPSHIRE 03080, H.C.R.D. PLAN NO. 30251
 2. "EASEMENT PLAN, LOT A-788, A-788 & A-883 - 168, 174 & 180 D W. HIGHWAY - NASHUA, NEW HAMPSHIRE - PREPARED FOR LIRNTH LLC, 180 DANIEL WEBSTER HIGHWAY, NASHUA, NEW HAMPSHIRE 03080 SCALE: 1"=50' DATED MAY 20, 1999. PREPARED BY MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC, 30 EAST PEARL STREET, NASHUA, NEW HAMPSHIRE 03080, H.C.R.D. PLAN NO. 30252

- NOTES - EXISTING INFORMATION**
1. THE OWNER OF RECORD OF LOT A-983 IS LIRNTH LLC, 180 DANIEL WEBSTER HIGHWAY, NASHUA, NH 03080, H.C.R.D. BK. 5116 PG. 1278
 2. THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY THIS OFFICE ON JANUARY 5 & JANUARY 6, 2016.
 3. UNDERGROUND UTILITY LINES SHOWN HEREON ARE BASED UPON FIELD LOCATIONS OF OBSERVABLE EVIDENCE AND ARE TO BE CONSIDERED APPROXIMATE. PRIOR TO ANY SITE WORK, EXCAVATING, DRILLING, TRENCHING, BACKFILLING, ETC., THE CONTRACTOR SHALL CALL DIGSAFE 1-888-344-7233.
 4. ZONING FOR LOT A-983 IS HIGHWAY BUSINESS (HB) & GENERAL INDUSTRIAL (GI) MINIMUM
- | REQUIREMENTS | HB | GI |
|-------------------|-----------|----------|
| MIN. LOT AREA | 25,000 SF | 5,261 SF |
| MIN. LOT WIDTH | 100 FT | 50 FT |
| MIN. LOT FRONTAGE | 80 FT | 30 FT |
| MIN. LOT DEPTH | 65 FT | 75 FT |
| MIN. OPEN SPACE | 20% | 10% |
| FRONT SETBACK | 40 FT | 10 FT |
| SIDE SETBACK | 10 FT | 10 FT |
| REAR SETBACK | 20 FT | 15 FT |
5. VERTICAL DATUM IS ASSUMED.
 6. THE BOUNDARY SHOWN IS PER THE REFERENCE PLANS NOTED.

- DRAINAGE STRUCTURES:**
- CB-A RIM = 329.84
OUT = 326.44 12" RCP TO CB-B
 - CB-B RIM = 330.63
IN = 325.53 12" RCP FROM CB-A
OUT = 325.18 12" RCP TO CB-C
 - CB-C RIM = 326.94
IN = 323.54 12" RCP FROM CB-B
OUT = 323.44 12" RCP TO CB-D
 - CB-D RIM = 312.53
IN = 308.18 12" RCP FROM CB-C
IN = 308.63 6" PVC (ROOF DRAIN)
OUT = 307.83 12" RCP TO CB-E
 - CB-E RIM = 312.39
IN = 306.63 12" RCP FROM CB-D
OUT = 306.09 12" RCP TO CB-F
 - CB-F RIM = 306.00
 - CB-G RIM = 295.90
 - CB-H RIM = 282.75
 - DMH-1 RIM = 267.63
IN = 263.63 12" RCP FROM CB-H
OUT = 263.19 12" RCP TO HW-1
 - HW-1 RIM = 262.39 12" RCP FROM DMH-1

GRAPHIC SCALE

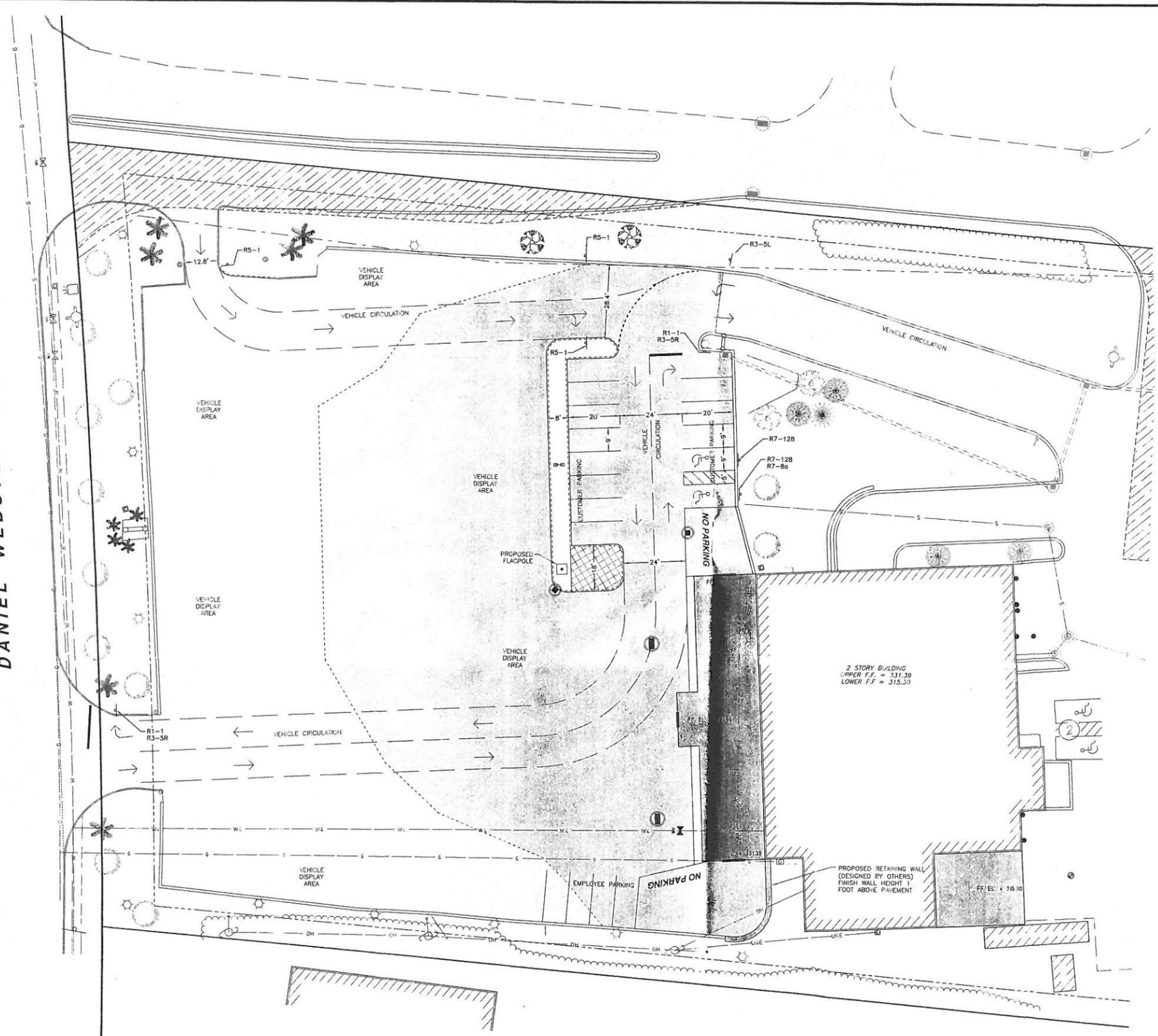
REV.	DATE	DESCRIPTION	C/O	DR	CK
D					
C					
B					
A					

EXISTING CONDITIONS TOPOGRAPHIC PLAN
PREPARED FOR:
LOVERING VOLVO
TAX LOT A-983, 180 DANIEL WEBSTER HIGHWAY
NASHUA, NEW HAMPSHIRE
SCALE: 1" = 40'
MARCH 24, 2016

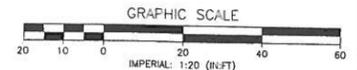


MERIDIAN
LAND SERVICES, INC.
ENGINEERING | SURVEYING | PERMITTING
SOIL & WETLAND MAPPING | SEPTIC DESIGN
31 OLD NASHUA ROAD, AMHERST, NH 03021 TEL. 603-673-1441
MERIDIANLANDSERVICES.COM FAX 603-673-1554

DANIEL WEBSTER HIGHWAY



VEHICULAR CIRCULATION NOTE:
 ARROWS AND LINES ARE FOR INFORMATIONAL PURPOSES ONLY. NO ARROWS OR CIRCULATION LINES ARE PROPOSED TO BE PAINTED.
 "NO PARKING" LETTERING AND PARKING STALL STRIPING SHALL BE PAINTED.



MERIDIAN
 LAND SERVICES, INC.
 ENGINEERING | SURVEYING | PERMITTING
 UTIL & WETLAND MAPPING | SEPTIC DESIGN
 310 CEDAR STREET, SUITE 100
 NASHUA, NH 03081
 TEL: 603-888-1144
 FAX: 603-888-1144

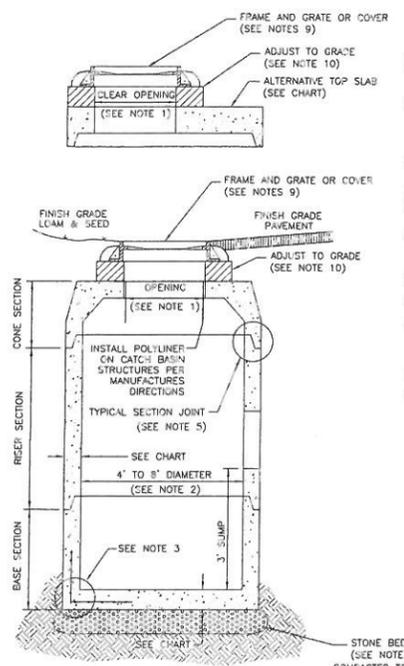


REV.	DATE	DESCRIPTION
A		
B		
C		
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E		
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LAYOUT PLAN
 MARCH 24, 2016

LOVERING VOLVO
 180 DANIEL WEBSTER HIGHWAY
 LOT A-983
 NASHUA, NEW HAMPSHIRE
 SCALE: 1" = 20'

SP-4
 SHEET
 FILE: 974400.dwg
 PROJECT: 9744.00
 SHEET NO. 4 OF 7



- GENERAL NOTES**
- CATCH BASIN STRUCTURES SHALL HAVE A CLEAR OPENING OF 24". MANHOLE STRUCTURES SHALL HAVE A CLEAR OPENING OF 36".
 - FOR STRUCTURES WITH DIAMETERS GREATER THAN 4', THE DIAMETER MAY BE CONSTANT FROM TOP TO BOTTOM WITH A FLAT SLAB TOP, OR A RISER SECTION THAT TRANSITIONS FROM A STANDARD 4' CONE SECTION TO THE LARGER DIAMETER RISER OR BASE SECTION.
 - REINFORCING STEEL SHALL CONFORM TO THE LATEST ASTM SPECIFICATION: 0.12 SQ. IN./LINEAR FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
 - CONCRETE COMPRESSIVE STRENGTH = 4000 PSI MINIMUM.
 - TYPICAL SECTION JOINT SHALL BE SEALED WITH BUTYL RUBBER AND SHALL CONFORM TO ASTM C443 SPEC. AND FED SPEC. IS-S-210A.
 - MANHOLE DESIGN SPECIFICATIONS SHALL CONFORM TO THE LATEST ASTM C478 SPEC. FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS".
 - ALL PIPING SHALL BE SEALED WITH NON SHRINK GROUT.
 - ALTERNATIVE TOP SLAB IS TO BE STEEL REINFORCED TO MEET OR EXCEED H=20 LOADING.
 - CATCH BASIN INLET GRATE AND FRAME SHALL BE NHDOT TYPE 'B', 8" IN HEIGHT, UNLESS OTHERWISE NOTED.
 - CATCH BASIN AND MANHOLE FRAMES ARE TO BE ADJUSTED TO GRADE WITH A MINIMUM OF TWO (2) COURSES OF BRICK OR ONE SOLID CONCRETE RING. SEALED IN PLACE CLASS AA CONCRETE TO 2" BELOW TOP OF GRATE OR COVER.
 - DRAINAGE STRUCTURES ARE TO BE SET ON 6" OF 3/4" STONE BEDDING.
 - ALL DRAINAGE STRUCTURES SHALL CONFORM TO NHDOT STANDARDS.

STRUCTURE THICKNESS CHART

DIAMETER (FEET)	WALL THICKNESS MIN. (INCHES)	FLOOR THICKNESS MIN. (INCHES)	SLAB TOP THICKNESS MIN. (INCHES)
4	5	6	8
5	6	8	8
6	7	8	12
8	9	10	12

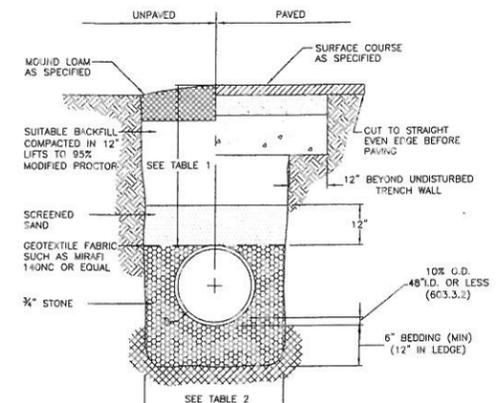


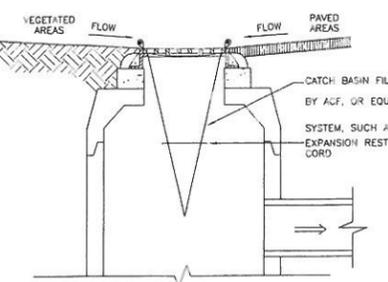
TABLE 1

LOCATION	PIPE MATERIAL	MINIMUM COVER
PAVED ROADS	ALL	3 FT.
UNPAVED ROADS	ALL	3 FT.
UNPAVED AREAS	ALL	1 FT.

TABLE 2 (206.4.1.2)

INSIDE DIAMETER	TOTAL WIDTH
12" TO 24"	1.0, + 24"
OVER 24"	2 x I.D.

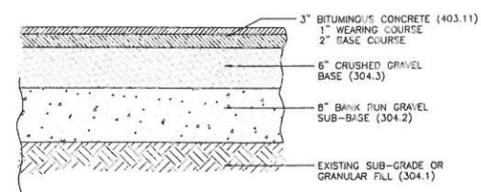
TYPICAL DRAINAGE TRENCH
(NHDOT ITEM NO.)
SEPT. 30, 2009
SCALE: NONE



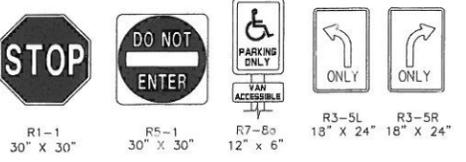
- INSTALL AND MAINTAIN SACKS IN ALL CATCH BASINS.
- TO INSTALL SACK, REMOVE CATCH BASIN GRATE AND PLACE SACK IN OPENING. HOLD OUT APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME FOR THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
- THE SACK SHOULD BE INSPECTED AFTER EVERY STORM, OR ONCE EVERY TWO WEEKS, WHICH EVER OCCURS FIRST.
- THE RESTRAINT CORD SHOULD BE VISIBLE AT ALL TIMES. IF THE CORD IS COVERED WITH SEDIMENT, THE SACK SHOULD BE EMPTIED. EMPTY THE SACK AWAY FROM THE CATCH BASIN TO PREVENT SEDIMENT FROM RE-ENTERING THE CATCH BASIN. EMPTY THE SACK PER THE MANUFACTURERS RECOMMENDATIONS.
- REPLACE THE SACK IN THE CATCH BASIN AFTER THE SACK HAS BEEN EMPTIED. ONCE CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN STABILIZED BY PAVING OR A HEALTHY VEGETATIVE COVER, REMOVE THE SACK FROM THE CATCH BASINS.

CATCH BASIN SEDIMENT FILTER
NOV. 6, 2000
SCALE: NONE

DRAINAGE STRUCTURES
AUG. 29, 2013
SCALE: NONE

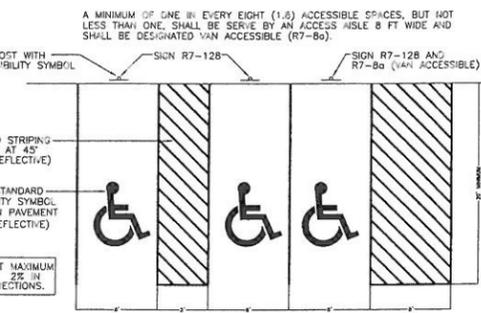


PAVEMENT - PARKING
(NHDOT ITEM NO.)
APRIL 11, 2011
SCALE: NONE

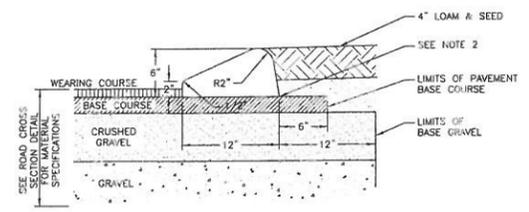


TRAFFIC SIGNS - ON SITE
NOV. 13, 2009
SCALE: NONE

TRAFFIC SIGNS - ON SITE
FEB. 6, 2008
SCALE: NONE

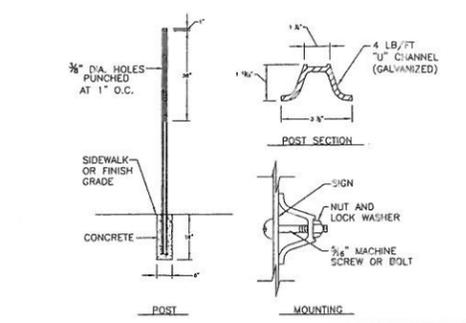


HANDICAP PARKING - STANDARD
FEB. 16, 2001
SCALE: NONE



- NOTES:**
- CURB FORM SHALL BE MILLER #1144 OR EQUAL.
 - APPLY TACK COAT PRIOR TO PLACEMENT OF CURB.
 - BITUMINOUS CURB MATERIAL SHALL MEET THE REQUIREMENTS OF NHDOT SECTION 609.
 - CAPE COD BERM DIMENSIONS SHALL MATCH THOSE GIVEN IN THIS DETAIL.
 - TO BE USED WHERE CURB DOES NOT ABUT SIDEWALK.

TYPICAL CAPE COD BERM
AUG. 28, 2013
SCALE: NONE



TRAFFIC SIGNS - ON SITE
AUG. 16, 2011
SCALE: NONE

- ALL POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE PIPRAP OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITION.
- AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.

WINTER CONSTRUCTION
OCT. 12, 2009
SCALE: NONE

- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF NASHUA, AS SET FORTH IN THE CURRENT EDITION OF THE "CITY OF NASHUA LAND USE CODE". OTHERWISE, ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION - STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. MERIDIAN LAND SERVICES, INC., AS DESIGN ENGINEER, SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
- THE OWNER AND/OR CONTRACTOR SHALL VERIFY ALL ZONING REQUIREMENTS FOR CONFORMANCE PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT "DIGSAFE" (811) 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND SPECIAL CONDITIONS OF TOWN/CITY AGENCIES, SUCH AS THE PLANNING BOARD, CONSERVATION COMMISSION, AND OTHERS, IS MANDATORY AND IS THE RESPONSIBILITY OF THE OWNER.
- ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND MERIDIAN LAND SERVICES, INC. PRIOR TO CONSTRUCTION.
- ALL DRAINAGE STRUCTURES SHALL CONFORM TO NHDOT STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENT PRIOR TO CONSTRUCTION TO ARRANGE FOR INSPECTIONS OF THE CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCURATE AS-BUILT INFORMATION OF ALL WORK, ESPECIALLY UNDERGROUND CONSTRUCTION OF UTILITY LINES, SERVICES, CONNECTIONS, ETC. AND APPROPRIATE TIES TO ABOVE GROUND PERMANENT STRUCTURES, FIELD SURVEY COORDINATES, OR SOME OTHER METHOD OF ESTABLISHING THE AS-BUILT CONDITION OF ALL CONSTRUCTION.

CONSTRUCTION NOTES
NOV. 13, 2009
SCALE: NONE

- CUT AND CLEAR TREES; DISPOSE OF DEBRIS.
- INSTALL SILT SOCKS AND SILTATION CONTROL FENCE IN LOCATIONS SHOWN ON PLANS. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS.
- PULL STUMPS AND REMOVE FROM SITE OR MULCH TO USE ON-SITE FOR EROSION CONTROL. REMOVE TOPSOIL AND STOCKPILE AWAY FROM ANY WETLAND. STABILIZE STOCKPILE IMMEDIATELY BY SEEDING. PLACE SILT FENCE AROUND THE DOWN SLOPE SIDE OF EARTH STOCKPILES.
- CONSTRUCT BASINS AND SWALES DURING INITIAL PORTION OF CONSTRUCTION, PRIOR TO ROUGH GRADING THE SITE. STABILIZE IMMEDIATELY WITH LOAM AND SEED PER THE EROSION CONTROL NOTES. DO NOT DIRECT STORM WATER RUNOFF TO PONDS AND SWALES UNTIL A HEALTHY VEGETATIVE COVER IS ESTABLISHED.
- WORK SHALL PROGRESS AS FOLLOWS:
 - ROUGH GRADE WORK AREA. ALL CUT AND FILL SLOPES SHALL BE STABILIZED UPON COMPLETION OF ROUGH GRADING PER THE EROSION CONTROL NOTES.
 - INSTALL DRAINAGE PIPES AND STRUCTURES WITHIN WORK AREA. PLACE SEDIMENT FILTERS IN CATCH BASINS UNTIL ALL NON-PAVED DISTURBED AREAS HAVE A HEALTHY VEGETATIVE COVER.
 - FINISH GRADING WORK AREA. ALL CUT AND FILL SLOPES SHALL BE LOAMED AND SEED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
 - INSTALL BASE PAVEMENT.
- WHEN ALL PARKING AREAS AND ACCESS DRIVES HAVE RECEIVED BASE PAVEMENT, INSTALL CURBING AND FINISH PAVE DRIVES, PARKING, AND SIDEWALKS.
- APPLY LOAM, COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER ANY RAINFALL OF HALF AN INCH OR MORE.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, CULVERTS, DITCHES, SILTATION FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.

CONSTRUCTION SEQUENCE
MAY 16, 2011
SCALE: NONE

MERIDIAN LAND SERVICES, INC.
ENGINEERING, SURVEYING, PERMITTING, SOIL & WETLAND MAPPING, GIS DESIGN
MERIDIANLANDSERVICES.COM
TEL: 603-871-1551
FAX: 603-871-1551

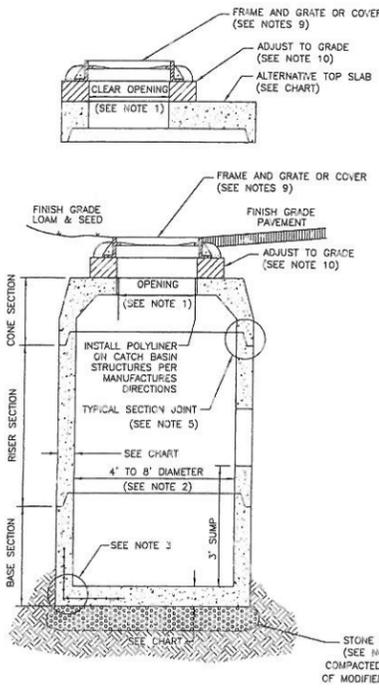


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SITE DETAILS
EROSION CONTROL AND NOTES

LOWERING VOLVO
180 DANIEL WEBSTER HIGHWAY
LOT A-983
NASHUA, NEW HAMPSHIRE

D-1
SHEET
FILE: 9744100.dwg
PROJECT: 9744.00
SHEET NO. 7 OF 7



- GENERAL NOTES**
- CATCH BASIN STRUCTURES SHALL HAVE A CLEAR OPENING OF 24" MANHOLE STRUCTURES SHALL HAVE A CLEAR OPENING OF 30"
 - FOR STRUCTURES WITH DIAMETERS GREATER THAN 4', THE DIAMETER MAY BE CONSTANT FROM TOP TO BOTTOM WITH A FLAT SLAB TOP, OR A RISER SECTION THAT TRANSITIONS FROM A STANDARD 4" CONE SECTION TO THE LARGER DIAMETER RISER OR BASE SECTION.
 - REINFORCING STEEL SHALL CONFORM TO THE LATEST ASTM SPECIFICATION: 0.12 SQ. IN./LINEAR FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
 - CONCRETE COMPRESSIVE STRENGTH = 4000 PSI MINIMUM.
 - TYPICAL SECTION JOINT SHALL BE SEALED WITH BUTYL RUBBER AND SHALL CONFORM TO ASTM C443 SPEC. AND FED SPEC. SS-5-210A.
 - MANHOLE DESIGN SPECIFICATIONS SHALL CONFORM TO THE LATEST ASTM C478 SPEC. FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS"
 - ALL PIPING SHALL BE SEALED WITH NON SHRINK GROUT.
 - ALTERNATIVE TOP SLAB IS TO BE STEEL REINFORCED TO MEET OR EXCEED H-20 LOADING.
 - CATCH BASIN INLET GRATE AND FRAME SHALL BE NHDOT TYPE 'B', 8" IN HEIGHT, UNLESS OTHERWISE NOTED.
 - CATCH BASIN AND MANHOLE FRAMES ARE TO BE ADJUSTED TO GRADE WITH A MINIMUM OF TWO (2) COURSES OF BRICK OR ONE SOLID CONCRETE RING, SEALED IN PLACE CLASS AA CONCRETE TO 2" BELOW TOP OF GRATE OR COVER.
 - DRAINAGE STRUCTURES ARE TO BE SET ON 6" OF 3/4" STONE BEDDING.
 - ALL DRAINAGE STRUCTURES SHALL CONFORM TO NHDOT STANDARDS.

STRUCTURE THICKNESS CHART			
DIAMETER (FEET)	WALL THICKNESS MIN. (INCHES)	FLOOR THICKNESS MIN. (INCHES)	SLAB TOP THICKNESS MIN. (INCHES)
4	5	6	8
5	6	8	8
6	7	8	12
8	9	10	12

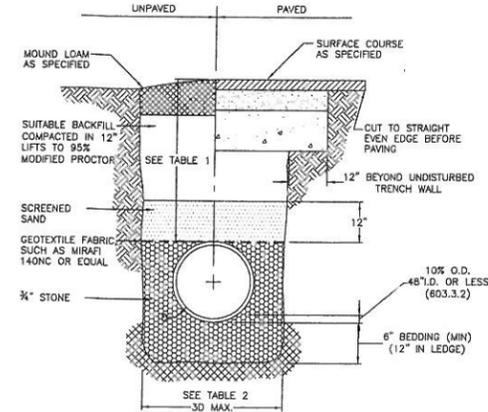
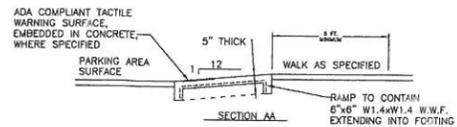


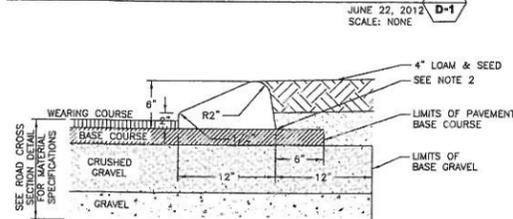
TABLE 1			TABLE 2 (208.4.1.2)	
LOCATION	PIPE MATERIAL	MINIMUM COVER	INSIDE DIAMETER	TOTAL WIDTH
PAVED ROADS	ALL	3 FT.	12" TO 24"	I.D. + 24"
UNPAVED ROADS	ALL	3 FT.	OVER 24"	2 x I.D.
DRIVEWAYS	ALL	1 FT.		
UNPAVED AREAS	ALL	2 FT.		

TYPICAL DRAINAGE TRENCH
(NHDOT ITEM NO.)



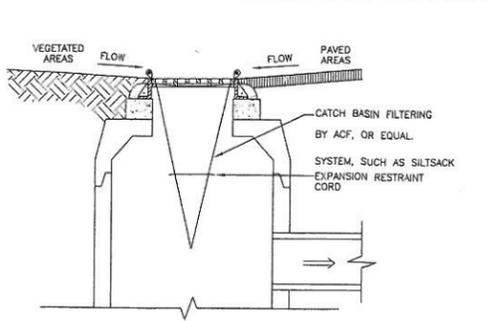
- NOTES:**
- DETECTABLE WARNINGS SHALL BE PROVIDED WHERE EVER A CURB RAMP CROSSES A VEHICULAR WAY.
 - DETECTABLE WARNINGS SHALL BE PROVIDED 24 INCHES IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE. THE DETECTABLE WARNING SHALL BE LOCATED ADJACENT TO THE CURB LINE, PLACED 6" TO 8" BEHIND THE FACE OF THE CURB JOINT.
 - DETECTABLE WARNING MATERIALS SHALL BE TEXTURED TO PROVIDE SLIP RESISTANCE AND SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES - EITHER LIGHT ON DARK OR DARK ON LIGHT. THE PREFERRED COLOR FOR A LIGHT BACKGROUND IS RED BRICK AND FOR A DARK BACKGROUND SHALL BE SAFETY YELLOW.
 - DETECTABLE WARNING SURFACES SHALL BE SURFACE MOUNTED, THIN MOLDED SHEETGOODS WHICH INCLUDES TILES OR MATS (RIGID OR FLEXIBLE, WITH TRUNCATED DOMES), BONDED AND/OR ANCHORED TO THE SURFACE OF THE RAMP. DETECTABLE WARNINGS SHALL COMPLY WITH ICC/ANSI A117.1, SECTIONS 408.13 AND 705. TRUNCATED DOMES SHALL BE ALIGNED IN A SQUARE GRID PATTERN.

HANDICAP SIDEWALK RAMPS WITH DETECTABLE WARNINGS



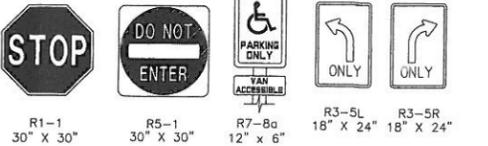
- NOTES:**
- CURB FORM SHALL BE MILLER #1144 OR EQUAL
 - APPLY TACK COAT PRIOR TO PLACEMENT OF CURB
 - BITUMINOUS CURB MATERIAL SHALL MEET THE REQUIREMENTS OF NHDOT SECTION 609
 - CAPE COD BERM DIMENSIONS SHALL MATCH THOSE GIVEN IN THIS DETAIL
 - TO BE USED WHERE CURB DOES NOT ABUT SIDEWALK

TYPICAL CAPE COD BERM



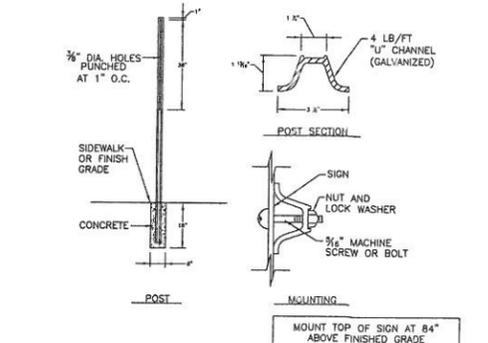
- INSTALL AND MAINTAIN SACKS IN ALL CATCH BASINS.
- TO INSTALL SACK, REMOVE CATCH BASIN GRATE AND PLACE SACK IN OPENING. HOLD OUT APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME FOR THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
- THE SACK SHOULD BE INSPECTED AFTER EVERY STORM, OR ONCE EVERY TWO WEEKS, WHICH EVER OCCURS FIRST.
- THE RESTRAINT CORD SHOULD BE VISIBLE AT ALL TIMES. IF THE CORD IS COVERED WITH SEDIMENT, THE SACK SHOULD BE EMPTIED. EMPTY THE SACK AWAY FROM THE CATCH BASIN TO PREVENT SEDIMENT FROM RE-ENTERING THE CATCH BASIN. EMPTY THE SACK PER THE MANUFACTURER'S RECOMMENDATIONS.
- REPLACE THE SACK IN THE CATCH BASIN AFTER THE SACK HAS BEEN EMPTIED. ONCE CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN STABILIZED BY PAVING OR A HEALTHY VEGETATIVE COVER, REMOVE THE SACK FROM THE CATCH BASINS.

CATCH BASIN SEDIMENT FILTER



- GENERAL NOTES:**
- ALL SIGNING AND PAVEMENT MARKINGS SHALL CONFORM TO "NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTIONS 615 AND 632, AS AMENDED, AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
 - THE CONTRACTOR IS RESPONSIBLE FOR THE LAYOUT OF ALL SIGNING AND PAVEMENT MARKINGS.

TRAFFIC SIGNS - ON SITE



TRAFFIC SIGNS - ON SITE

- ALL POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE RIPRAP OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITION.
- AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.

WINTER CONSTRUCTION

- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF NASHUA, AS SET FORTH IN THE CURRENT EDITION OF THE "CITY OF NASHUA LAND USE CODE". OTHERWISE, ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION - STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION."
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE UTILITIES SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. MERIDIAN LAND SERVICES, INC., AS DESIGN ENGINEER, SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
- THE OWNER AND/OR CONTRACTOR SHALL VERIFY ALL ZONING REQUIREMENTS FOR CONFORMANCE PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT "DIGSAFE" (811) 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND SPECIAL CONDITIONS OF TOWN/CITY AGENCIES, SUCH AS THE PLANNING BOARD, CONSERVATION COMMISSION, AND OTHERS, IS MANDATORY AND IS THE RESPONSIBILITY OF THE OWNER.
- ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND MERIDIAN LAND SERVICES, INC. PRIOR TO CONSTRUCTION.
- ALL DRAINAGE STRUCTURES SHALL CONFORM TO NHDOT STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENT PRIOR TO CONSTRUCTION TO ARRANGE FOR INSPECTIONS OF THE CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCURATE AS-BUILT INFORMATION OF ALL WORK, ESPECIALLY UNDERGROUND CONSTRUCTION OF UTILITY LINES, SERVICES, CONNECTIONS, ETC. AND APPROPRIATE TIES TO ABOVE GROUND PERMANENT STRUCTURES, FIELD SURVEY COORDINATES, OR SOME OTHER METHOD OF ESTABLISHING THE AS-BUILT CONDITION OF ALL CONSTRUCTION.

CONSTRUCTION NOTES

- CUT AND CLEAR TREES; DISPOSE OF DEBRIS.
- INSTALL SILT SOCKS AND SILTATION CONTROL FENCE IN LOCATIONS SHOWN ON PLANS. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION.
- PULL STUMPS AND REMOVE FROM SITE OR MULCH TO USE ON-SITE FOR EROSION CONTROL. REMOVE TOPSOIL AND STOCKPILE AWAY FROM ANY WETLAND. STABILIZE STOCKPILE IMMEDIATELY BY SEEDING. PLACE SILT FENCE AROUND THE DOWN SLOPE SIDE OF EARTH STOCKPILES.
- CONSTRUCT BASINS AND SWALES DURING INITIAL PORTION OF CONSTRUCTION, PRIOR TO ROUGH GRADING THE SITE. STABILIZE IMMEDIATELY WITH LOAM AND SEED PER THE EROSION CONTROL NOTES. DO NOT DIRECT STORM WATER RUNOFF TO PONDS AND SWALES UNTIL A HEALTHY VEGETATIVE COVER IS ESTABLISHED.
- WORK SHALL PROGRESS AS FOLLOWS:
A) ROUGH GRADE WORK AREA. ALL CUT AND FILL SLOPES SHALL BE STABILIZED UPON COMPLETION OF ROUGH GRADING PER THE EROSION CONTROL NOTES.
B) INSTALL DRAINAGE PIPES AND STRUCTURES WITHIN WORK AREA. PLACE SEDIMENT FILTERS IN CATCH BASINS UNTIL ALL NON-PAVED DISTURBED AREAS HAVE A HEALTHY VEGETATIVE COVER.
C) FINISH GRADING WORK AREA. ALL CUT AND FILL SLOPES SHALL BE LOAMED AND SEEDED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
D) INSTALL BASE PAVEMENT.
- WHEN ALL PARKING AREAS AND ACCESS DRIVES HAVE RECEIVED BASE PAVEMENT, INSTALL CURBING AND FINISH PAVE DRIVES, PARKING, AND SIDEWALKS.
- APPLY LOAM. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER ANY RAINFALL OF HALF AN INCH OR MORE.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, CULVERTS, DITCHES, SILTATION FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.

CONSTRUCTION SEQUENCE

MERIDIAN LAND SERVICES, INC.
ENGINEERING | SURVEYING | PERMITTING
SOIL & WETLAND MAPPING | SEPTIC DESIGN
31 OLD NASHUA ROAD, AMHERST, NH 03811
TEL: 603-671-1441
FAX: 603-671-1581
MERIDIANLANDSERVICES.COM



STATE OF NEW HAMPSHIRE
KEVIN M. ANDERSON
No. 14746
LICENSED PROFESSIONAL ENGINEER

REV.	DATE	DESCRIPTION
A	5/2/16	BUILDING SIDEWALK
B		
C		
D		
E		
F		
G		
H		

CONSTRUCTION NOTES

CONSTRUCTION SEQUENCE

TRAFFIC SIGNS - ON SITE

CONSTRUCTION NOTES

CONSTRUCTION SEQUENCE

FILE: 9744100A.dwg
PROJECT: 9744.00
SHEET NO. 7 OF 7

D-1
SHEET

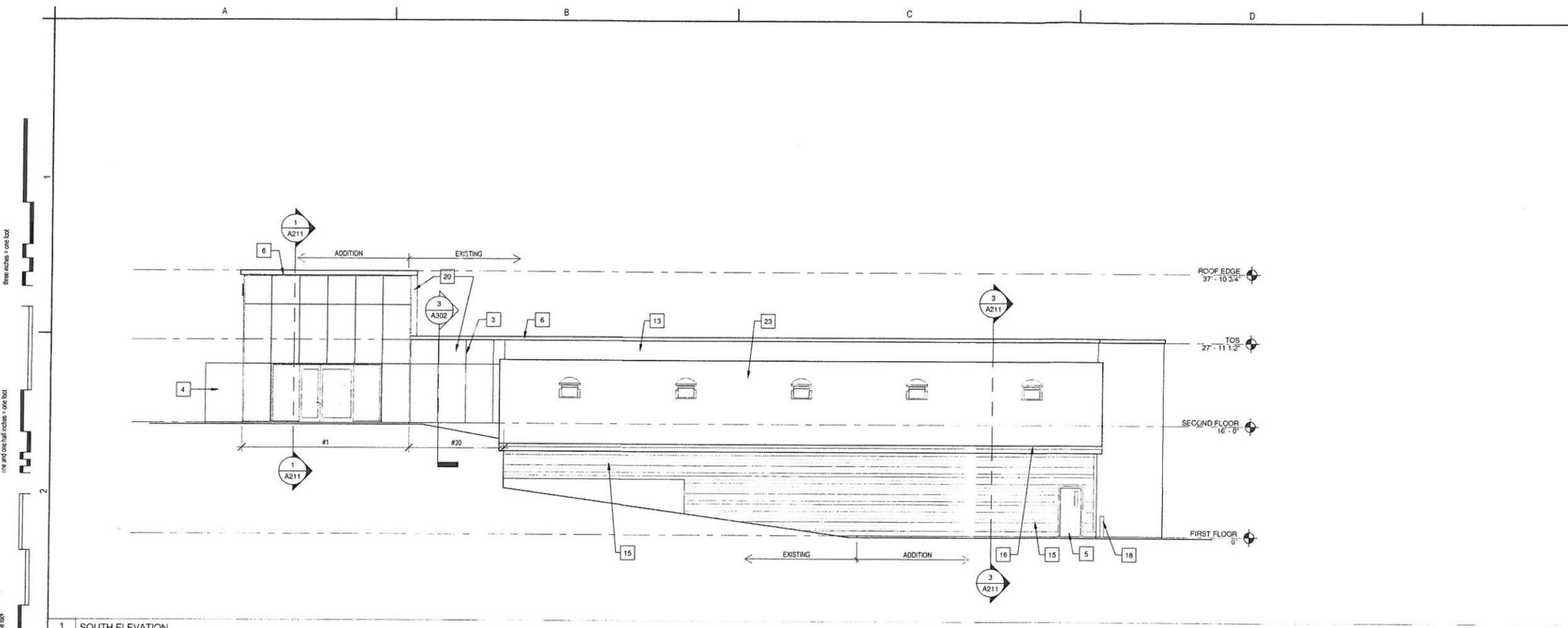
**180 DANIEL WEBSTER HIGHWAY
LOT A-983
NASHUA, NEW HAMPSHIRE**

EROSION CONTROL AND NOTES

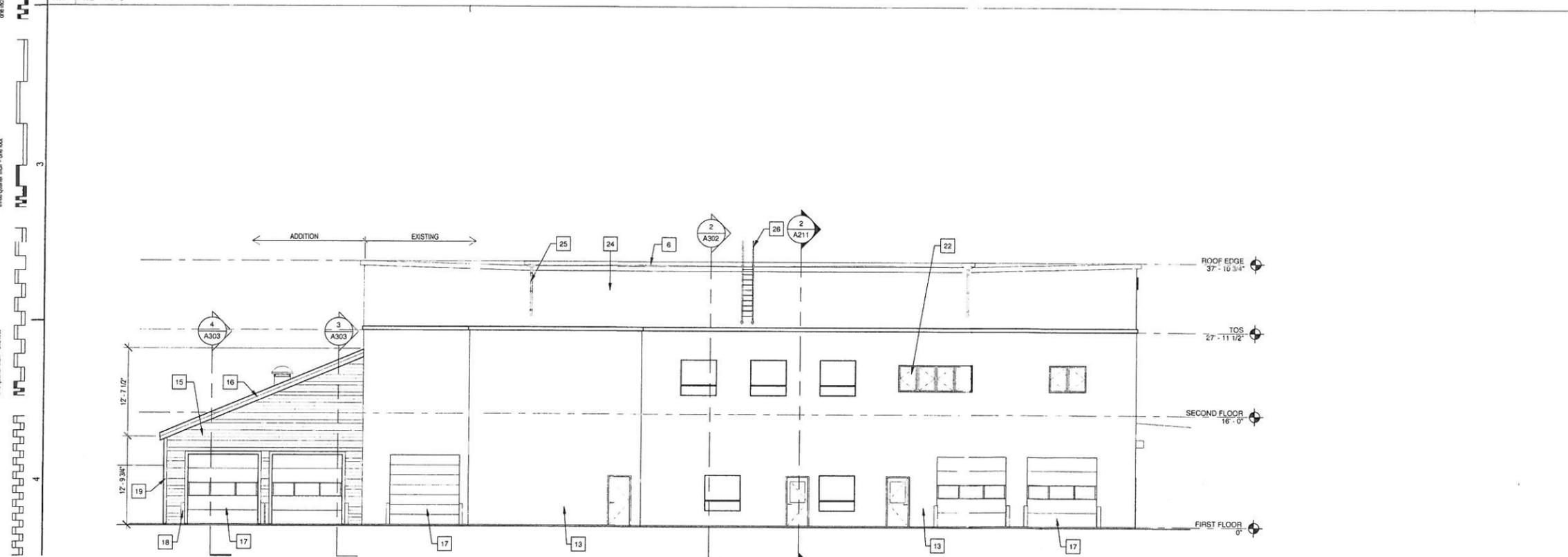
MARCH 24, 2016

SCALE: AS NOTED

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 H:\MS\9744\9744.dwg
 3/2/2016 1:27 AM By: JMA
 H:\MS\9744\9744.dwg
 3/2/2016 1:27 AM By: JMA



1 SOUTH ELEVATION
A111 1/8" = 1'-0"



GENERAL ELEVATION NOTES

1. REFER TO MECH DWGS FOR LOCATIONS OF LOUVERS AND VENTS. CONFIRM FINAL POSITION WITH ARCHITECT PRIOR TO ORDERING.

ELEVATION LEGEND

CJ CONTROL JOINT

ELEVATION KEY NOTES

- 1 BUTT GLAZED CURTAIN WALL SYSTEM GLAZED W/ TRANSLUCENT WHITE INSULATED UNITS. BLACK SEALANT JOINTS
- 2 BUTT GLAZED CURTAIN WALL SYSTEM GLAZED W/ 1/2" V. BLUE INSULATED UNITS. BLACK SEALANT
- 3 3/4" X 2 1/4" REVEAL, HORIZONTAL & VERTICAL
- 4 NATURAL WOOD ENTRANCE PORTAL BY VENDOR
- 5 GRAY STUCCO FINISH SYSTEM
- 6 8' ROOF EDGE GULLER TO MATCH PANEL #20
- 7 BUTT GLAZED STOREFRONT SYSTEM GLAZED W/ CLEAR INSULATED UNITS. BLACK SEALANT, TYP.
- 8 8' AUTOMATIC DOOR OPERER
- 9 20" HIGH LETTERING 'VOLVO' CORPORATE LOGO. WHITE ILLUMINATED
- 10 20" HIGH LETTERING 'LOVERING' STORE ID. WHITE ILLUMINATED
- 11 EXISTING BUILDING BEYOND
- 12 CLEAR ANNUALIZED ALUMINUM STOREFRONT SYSTEM W/ VEHICLE ENTRY DOORS
- 13 EXISTING CMU WALL. PTD. MEDIUM GRAY
- 14 EXISTING TO REMAIN
- 15 4' EXPOSURE. VINYL SIDING. PTD. MEDIUM GRAY
- 16 PVC TRIM. PTD. MEDIUM GRAY
- 17 OVERHEAD DOORS, WHITE
- 18 6" DIA. BOLLARD. CAUTION YELLOW
- 19 5" VINYL CORNER
- 20 ACM PANEL - SILVER
- 21 ALUMINUM ANODIZED STOREFRONT SYSTEM. GLAZED W/ CLEAR INSULATED UNITS
- 22 EXISTING WINDOWS TO REMAIN
- 23 ASPHALT SHINGLE. COLOR TO MATCH EXISTING
- 24 LIGHT GRAY MEMBRANE ROOFING FULLY ADHEARED
- 25 ROOF SCUPPER W/ LEADER
- 26 ROOF LADDER. PTD. GRAY

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ENGINEERING & CONSTRUCTION, INC.

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PO BOX 118 MILFORD, NH 03055
P. (603) 673-1441

STRUCTURAL
TF MORAN ENGINEERS
48 CONSTITUTION DRIVE
BEDFORD, NH 03110
T. (603) 472-4486

MECHANICAL
DESIGN BUILD

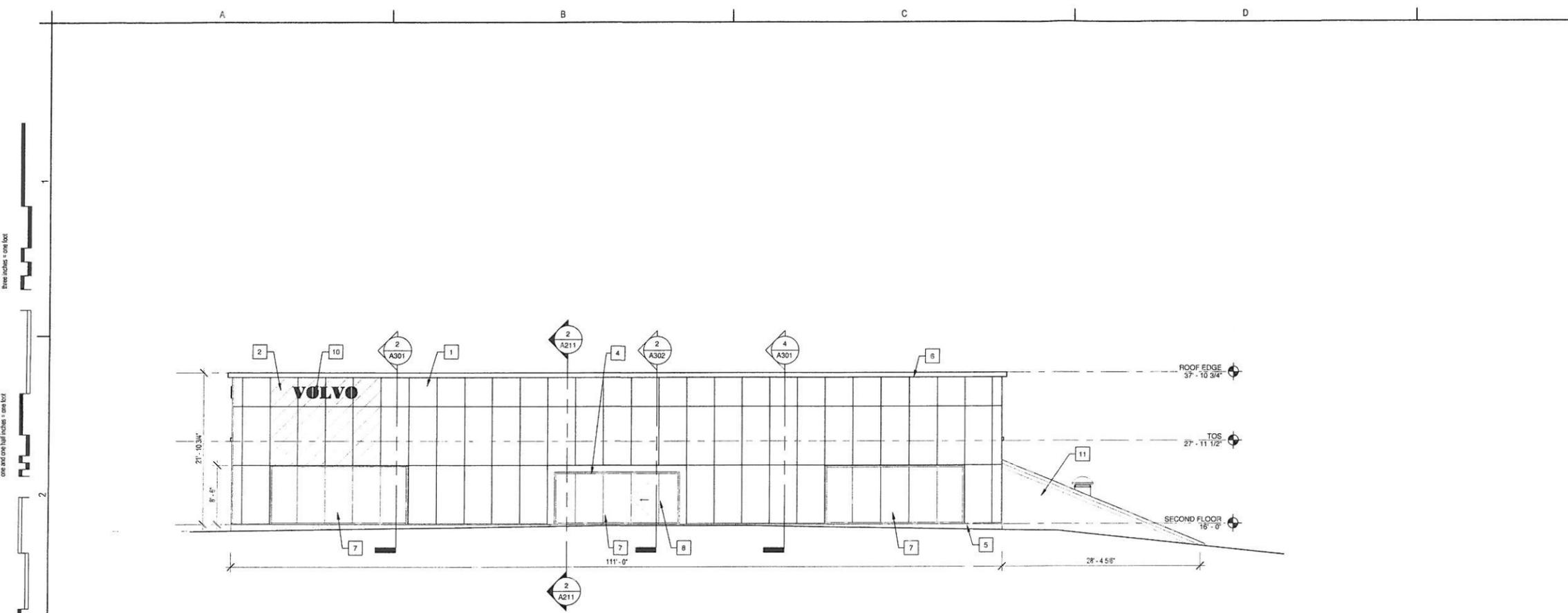
ELECTRICAL
DESIGN BUILD

PROJECT TITLE / ADDRESS
LOVERING VOLVO NASHUA
180 DANIEL WEBSTER HWY
NASHUA, NH

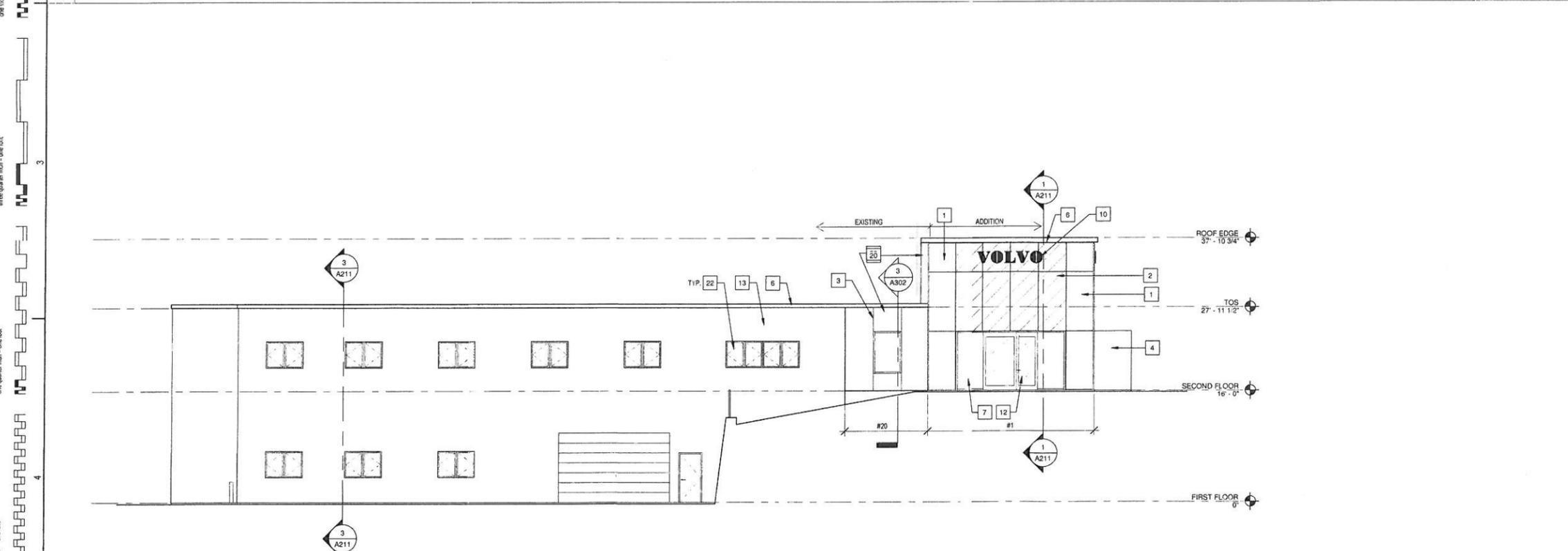
SCALE AS NOTED DWN BY: KL
JOB # 3135 CHK BY: JS

5/2/2016
NOT FOR CONSTRUCTION
SCHEMATIC DESIGN
REVISIONS:

EXTERIOR ELEVATIONS



1 WEST ELEVATION
A112 1/8" = 1'-0"



GENERAL ELEVATION NOTES

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CJ CONTROL JOINT

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- 24 LIGHT GRAY MEMBRANE ROOFING FULLY ADHERED
- 25 ROOF SCUPPER W/ LEADER
- 26 ROOF LADDER, PTD. GRAY

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MECHANICAL
DESIGN BUILD

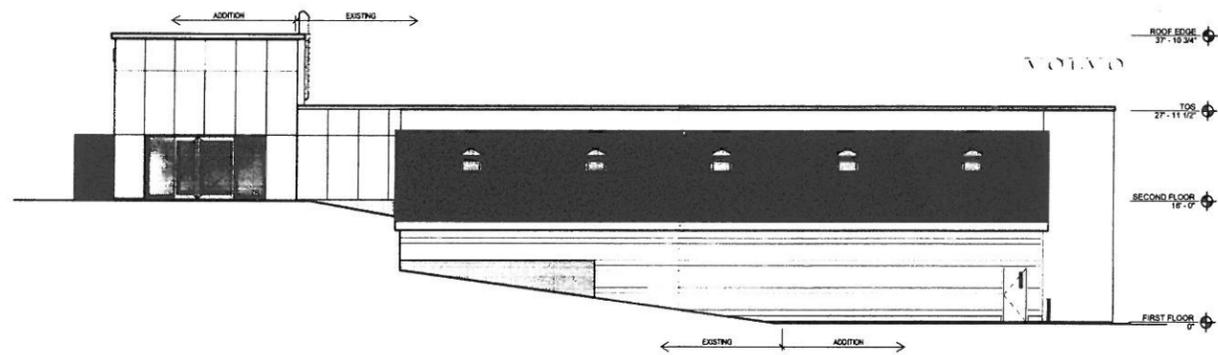
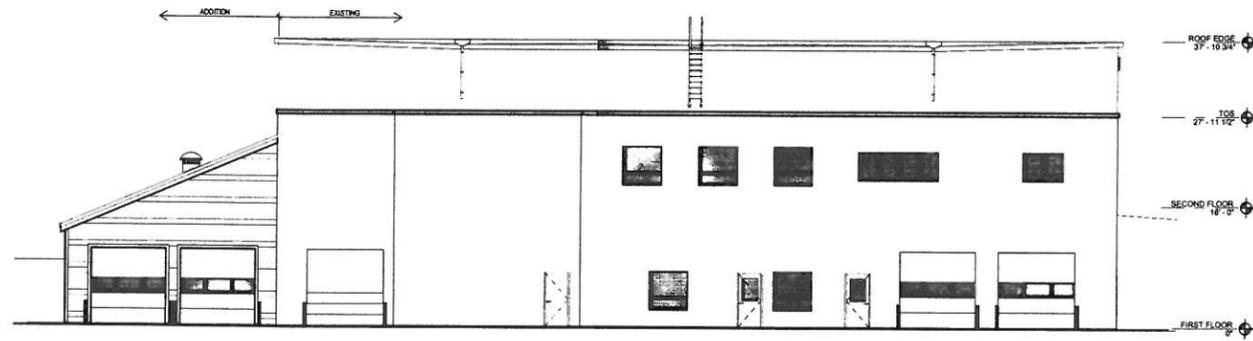
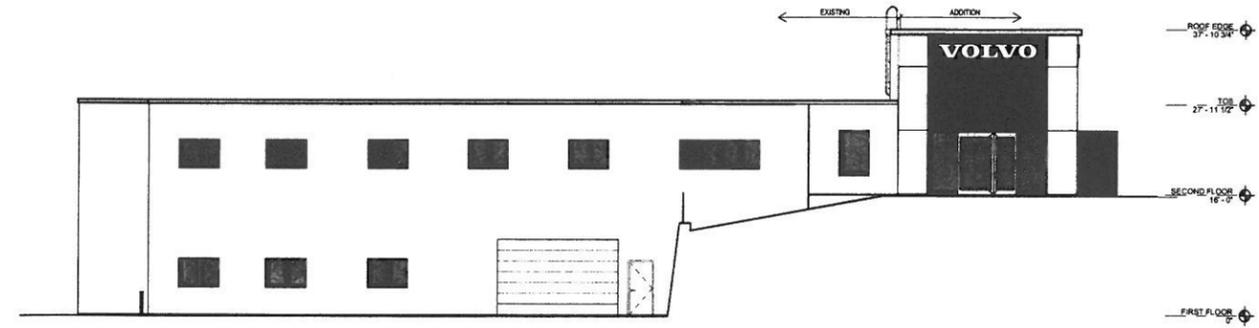
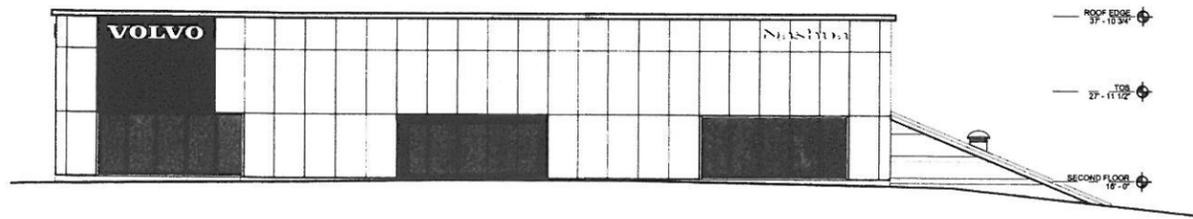
ELECTRICAL
DESIGN BUILD

PROJECT TITLE / ADDRESS
**LOVERING VOLVO
NASHUA**
180 DANIEL WEBSTER HWY
NASHUA, NH

SCALE: AS NOTED DWN BY: KL
JOB #: 3155 CHK BY: JS

5/2/2016
NOT FOR CONSTRUCTION
SCHEMATIC DESIGN
REVISIONS

EXTERIOR ELEVATIONS



Lovering Volvo Dealership Renovation
 Nashua, NH
 May 2, 2016

WARRENSTREET
 An Architecture & Engineering Design Cooperative

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda Panny, Deputy Planning Manager
FOR: May 19, 2016
RE: **New Business #3 – Site Plan**

I. Project Statistics:

Owner: Trafalgar Square Associates, LLC and TNK Associates, LLC
Applicant: Pfeiffer Vacuum
Proposal: 27,745 sf building addition
Location: 24 Trafalgar Square
Total Site Area: 20.391 acres
Existing Zoning: PI - Park Industrial
Surrounding Uses: Commercial and residential

II. Background Information:

Trafalgar Square Trade Center was approved by the City land use boards in the mid-1980s as a planned industrial development to be built in phases. In 1987, a site plan was approved for the subject property. Uses on site include office, warehousing, hotel and restaurant. The property is abutted by residential apartments to the east and various commercial properties to the south and west. Currently Pfeiffer Vacuum facility is located in this one-story 24,122 sf building.

III. Project Description:

The proposal is to amend Site Plan # NR1867 to add a partial 2-story 27,745 square foot building addition. Associated site improvements include a relocated driveway, reconfigured internal parking and loading areas, new site lighting and landscaping, utility relocations and stormwater management improvements. Access to the site is from Trafalgar Square, which is private.

A Traffic Impact Report (TIR) Worksheet was prepared and a formal TIR is not required as the trip estimates fall below the TIR threshold values. Sight distances at the new driveway location were evaluated and the applicant's traffic engineer felt that the proposed driveway location provides ample sight distance for drivers in both directions.

According to the applicant's engineer, the project will disturb approximately 80,000 sf and will result in a 1,500 sf net decrease in impervious area. The redeveloped portions of the site maintain the existing drainage patterns where possible. Runoff from the majority of the site will be captured with curbing and catch basins and piped to the existing drainage system in Trafalgar Square. The overall quality of stormwater runoff leaving the site will be improved compared with the existing condition as a result of the proposed stormwater management area. This subsurface system will provide qualitative treatment of runoff and promote groundwater recharge where none currently exists.

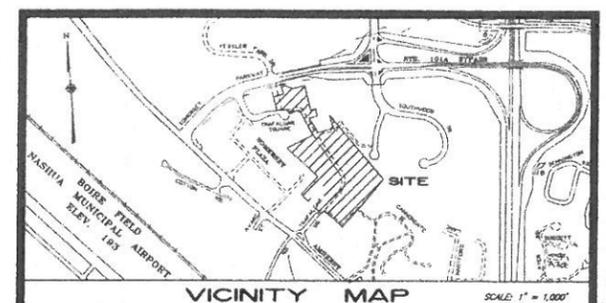
The addition does not fully meet the NRO building design standards and a waiver has been requested (see attached).

The plan was reviewed by City staff and there are no outstanding issues (see attached).

IV. Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

1. The request for a waiver of NRO § 190-172(C), which sets building design standards, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. Prior to the issuance of a building permit, stormwater documents will be submitted to City staff for review and approval and recorded at the Registry of Deeds at the applicant's expense.
3. Prior to the issuance of a certificate of occupancy, all site improvements will be completed.

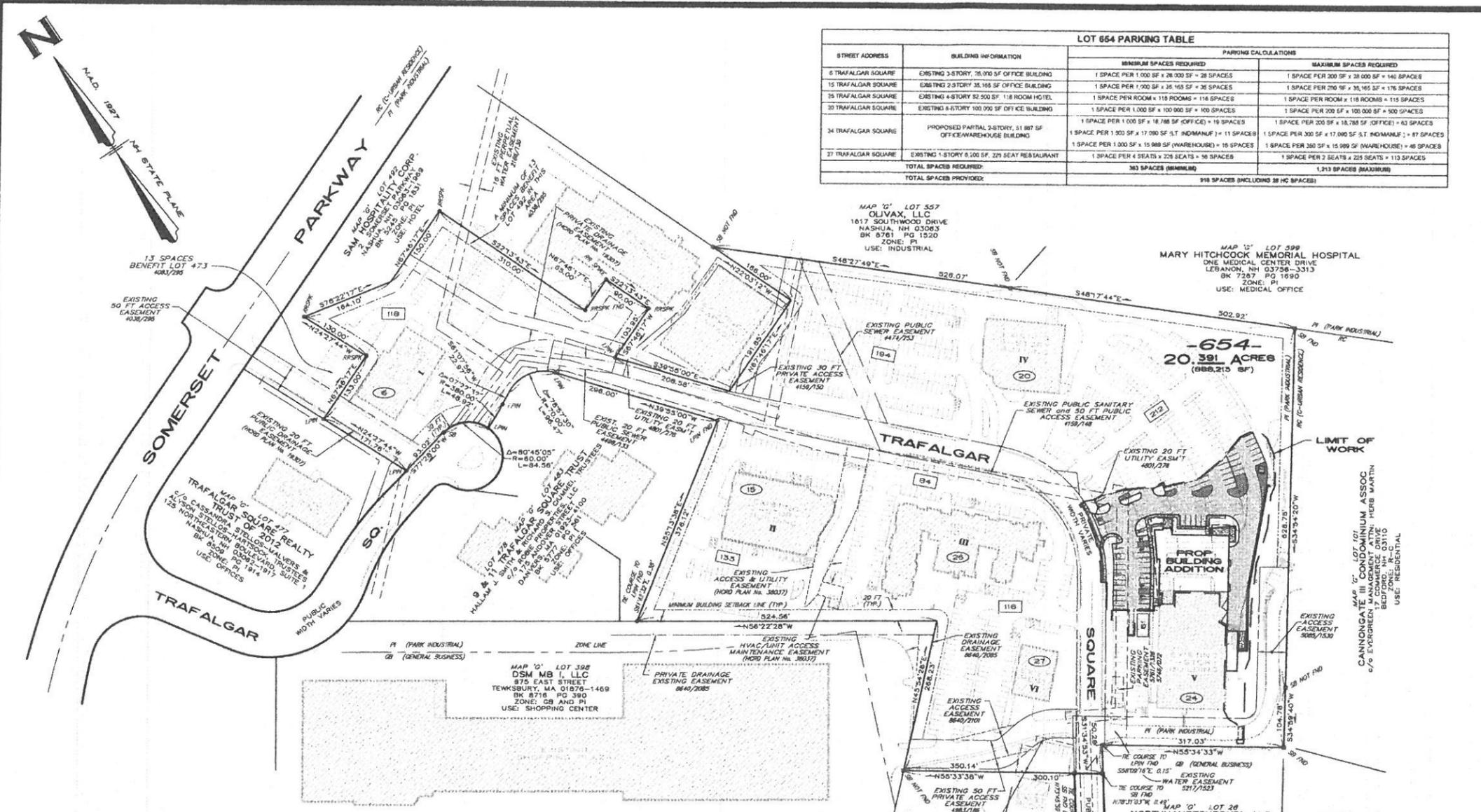


- PLAN REFERENCES:**
- CONDOMINIUM SITE PLAN (LOT 654, MAP 'G'), TRAFALGAR SQUARE TRADE CENTER, A CONDOMINIUM, NASHUA, NEW HAMPSHIRE, DECLARANT: KNT ASSOCIATES, LLC, SCALE: 1" = 100', DATED: 6 JUNE 2001 AND PREPARED BY THIS OFFICE. RECORDED: HC RD - PLAN No. 31343
 - COMMERCIAL DEVELOPMENT UNITS III & VI, TRAFALGAR SQUARE TRADE CENTER CONDOMINIUM SITE PLAN IN NASHUA, NEW HAMPSHIRE, PARCEL ID: 0000-0054, PREPARED FOR: NASHUA TTS LOGGING LLC, C/O ROBERT WALKER, SCALE: 1" = 80', DATED: FEBRUARY 12, 2014 AND PREPARED BY: HANCOCK ASSOCIATES. RECORDED: HC RD - PLAN No. 37905

- NOTES:**
- TOTAL LOT AREA: 20.391 ACRES (888,213 SF)
 - PRESENT ZONING: P1; PARK INDUSTRIAL
 - MINIMUM LOT REQUIREMENTS:
 - LOT AREA: 30,000 SF
 - LOT FRONTAGE: 50 FT
 - LOT WIDTH: 120 FT
 - LOT DEPTH: 150 FT
 - MINIMUM YARD SETBACKS:
 - FRONT YARD: 30 FT
 - SIDE YARD: 20 FT
 - REAR YARD: 20 FT
 - MAX BUILDING HEIGHT: 75 FT
 - MAX STOREYS: 6
 - MAX FLOOR RATIO: 0.5
 - (SEE PLAN REFERENCES FOR PREVIOUS ZONING APPROVALS FOR THIS LOT)
 - LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAP 'G'
 - SITE SHALL BE SERVICED BY MUNICIPAL SEWER, WATER BY PENNICHUCK WATER WORKS AND UNDERGROUND TELEPHONE, ELECTRIC AND GAS UTILITIES
 - PURPOSE OF PLAN: TO AMEND PLAN NR 1887 AND SHOW A PROPOSED PARTIAL 2-STORY, 27,45 SF BUILDING ADDITION AND ASSOCIATED SITE IMPROVEMENTS
 - PARKING: SEE PARKING TABLE
 - OPEN SPACE:
 - REQUIRED: 20%
 - PROVIDED: 31.2%
 - THERE ARE NO WETLANDS OR ASSOCIATED BUFFERS AFFECTING THE PROPOSED PROJECT.
 - ALL LANDSCAPING SHALL BE AS SHOWN ON THE PLANS AND CONFORM TO THE APPLICABLE CITY OF NASHUA LAND USE CODE UNDER ARTICLE XXVII.
 - ALL SIGNAGE SHALL CONFORM TO THE APPLICABLE CITY OF NASHUA REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
 - SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION, GRADE AND NUMBER OF PARKING SPACES
 - IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN IN ANY MANNER WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
 - PUBLIC STREET RESTORATION WORK SHALL BE IN ACCORDANCE WITH N.R.O. SECTION 286-13, LATEST EDITION.
 - ALL LIGHTING SHALL BE AS SHOWN ON THE PLANS, DIRECTED ONTO THE SITE AND CONFORM TO APPLICABLE CITY OF NASHUA LAND USE CODE REGULATIONS.
 - HOURS OF OPERATION: MONDAY thru FRIDAY: 8 AM TO 6 PM
 - THE APPLICANT SHALL SUBMIT AN ELECTRONIC FILE OF THE SITE PLAN (PLOT) PRIOR TO ISSUANCE OF A BUILDING PERMIT

LOT 654 PARKING TABLE

STREET ADDRESS	BUILDING INFORMATION	PARKING CALCULATIONS	
		MINIMUM SPACES REQUIRED	MAXIMUM SPACES REQUIRED
6 TRAFALGAR SQUARE	EXISTING 3-STORY, 26,000 SF OFFICE BUILDING	1 SPACE PER 1,000 SF x 26,000 SF = 26 SPACES	1 SPACE PER 200 SF x 26,000 SF = 130 SPACES
15 TRAFALGAR SQUARE	EXISTING 2-STORY, 35,165 SF OFFICE BUILDING	1 SPACE PER 1,000 SF x 35,165 SF = 35 SPACES	1 SPACE PER 200 SF x 35,165 SF = 176 SPACES
25 TRAFALGAR SQUARE	EXISTING 4-STORY, 92,500 SF 118 ROOM HOTEL	1 SPACE PER ROOM x 118 ROOMS = 118 SPACES	1 SPACE PER ROOM x 118 ROOMS = 118 SPACES
20 TRAFALGAR SQUARE	EXISTING 4-STORY, 100,000 SF OFFICE BUILDING	1 SPACE PER 1,000 SF x 100,000 SF = 100 SPACES	1 SPACE PER 200 SF x 100,000 SF = 500 SPACES
24 TRAFALGAR SQUARE	PROPOSED PARTIAL 2-STORY, 51,887 SF OFFICE/WAREHOUSE BUILDING	1 SPACE PER 1,000 SF x 18,786 SF (OFFICE) = 19 SPACES 1 SPACE PER 300 SF x 17,000 SF (ST. INDUSTRIAL) = 11 SPACES 1 SPACE PER 1,000 SF x 15,989 SF (WAREHOUSE) = 16 SPACES	1 SPACE PER 200 SF x 18,786 SF (OFFICE) = 94 SPACES 1 SPACE PER 300 SF x 17,000 SF (ST. INDUSTRIAL) = 11 SPACES 1 SPACE PER 300 SF x 15,989 SF (WAREHOUSE) = 16 SPACES
27 TRAFALGAR SQUARE	EXISTING 1-STORY, 6,000 SF, 225 SEAT RESTAURANT	1 SPACE PER 4 SEATS x 225 SEATS = 56 SPACES	1 SPACE PER 2 SEATS x 225 SEATS = 113 SPACES
TOTAL SPACES REQUIRED:		163 SPACES (MINIMUM)	1,213 SPACES (MAXIMUM)
TOTAL SPACES PROVIDED:		918 SPACES (INCLUDING 36 HC SPACES)	



- NOTES - CONT'D:**
- THE PARCEL IS NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE RATE MAP (FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NH, COMMUNITY NO. 330097, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 3301104000, DATED: SEPTEMBER 25, 2009
 - ROOF DRAIN TIENS AND DRAIN LINES SHALL BE INSPECTED PRIOR TO BACKFILLING AND PAVING.
 - MECHANICAL APPURTENANCES, IF ANY, SHALL BE SCREENED AND FINISHED TO MATCH THE BUILDING EXTERIOR. MECHANICAL APPURTENANCES SHALL NOT EXCEED 50 DECIBELS BETWEEN 7 AM - 8 PM AND 45 DECIBELS AT NIGHT 8 PM - 7 AM ALONG RESIDENTIAL ZONING DISTRICTS.
 - FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED. DRAINS SHALL NOT OUTLET OR FLOW OVERLAND ONTO A CITY STREET.
 - PRESENT UNIT OWNERS OF RECORD:

MAP 'G', LOT 654	(UNIT II) KSPACE HOLDINGS, LLC 6 TRAFALGAR SQUARE NASHUA, NH 03063 BK 7080, PG 2098	(UNIT III) BSP COTTON ROAD LLC C/O BRADY SULLIVAN PROPERTIES, LLC 670 N COMMERCIAL STREET, SUITE 303 MANCHESTER, NH 03101 BK 8615, PG 1031	(UNIT III) NASHUA TTS LOGGING, LLC 2 LAN DRIVE WESTFORD, MA 01886 BK 8647, PG 1241 BK 8640, PG 2124
(UNIT IV) TNW ASSOCIATES, LLC C/O THE TAMPOPO CO., INC 20 TRAFALGAR SQUARE - SUITE 602 NASHUA, NH 03063 BK 5637, PG 532	(UNIT V) TRAFALGAR SQUARE ASSOCIATES, LLC 20 TRAFALGAR SQUARE SUITE 602 NASHUA, H. 03063 BK 5761, PG 1376	(UNIT VI) RYAN DEVELOPMENT, LLC 2 LAN DRIVE WESTFORD, MA 01886 BK 8640, PG 2146	

UNIT V BUILDING INFORMATION

USE	EXISTING	PROPOSED
OFFICE (USE R07)	11,888 SF	18,786 SF
WAREHOUSING (USE W10)	5,545 SF	15,200 SF
LIGHT INDUSTRIAL/MANUFACTURING (USE I15)	8,685 SF	17,200 SF
TOTAL BUILDING AREA	26,118 SF	51,186 SF

FOR THE ASSOCIATES, LLC
G. PETER NASH, MANAGER
DATE: 5/4/16

FOR THE ASSOCIATES, LLC
SANDRA L. KORSACK, MANAGER
DATE: 05/03/2016

FOR THE ASSOCIATES, LLC
G. PETER NASH, MANAGER
DATE: 5/4/16

FOR THE ASSOCIATES, LLC
SANDRA L. KORSACK, MANAGER
DATE: 05/03/2016

FOR THE ASSOCIATES, LLC
G. PETER NASH, MANAGER
DATE: 5/4/16

FOR THE ASSOCIATES, LLC
SANDRA L. KORSACK, MANAGER
DATE: 05/03/2016

WAIVER REQUESTED:

1 NASHUA LAND USE CODE SECTION 190-172(C), NON-RESIDENTIAL BUILDING DESIGN STANDARDS

APPROVED
NASHUA CITY PLANNING BOARD

CHAIRMAN _____ DATE _____

*** ZONING NOTE ***

THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

CERTIFICATION

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN "ON THE GROUND" STANDARD PROPERTY SURVEY AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSEURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/09.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAD A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

DATE: 5/5/16

MASTER SITE PLAN (MAP 'G', LOT 654)

PROPOSED BUILDING ADDITION
24 TRAFALGAR SQUARE
NASHUA, NEW HAMPSHIRE

PREPARED FOR:
PFEIFFER VACUUM, INC.
24 TRAFALGAR SQUARE NASHUA, NEW HAMPSHIRE 03063 (603) 578-6500

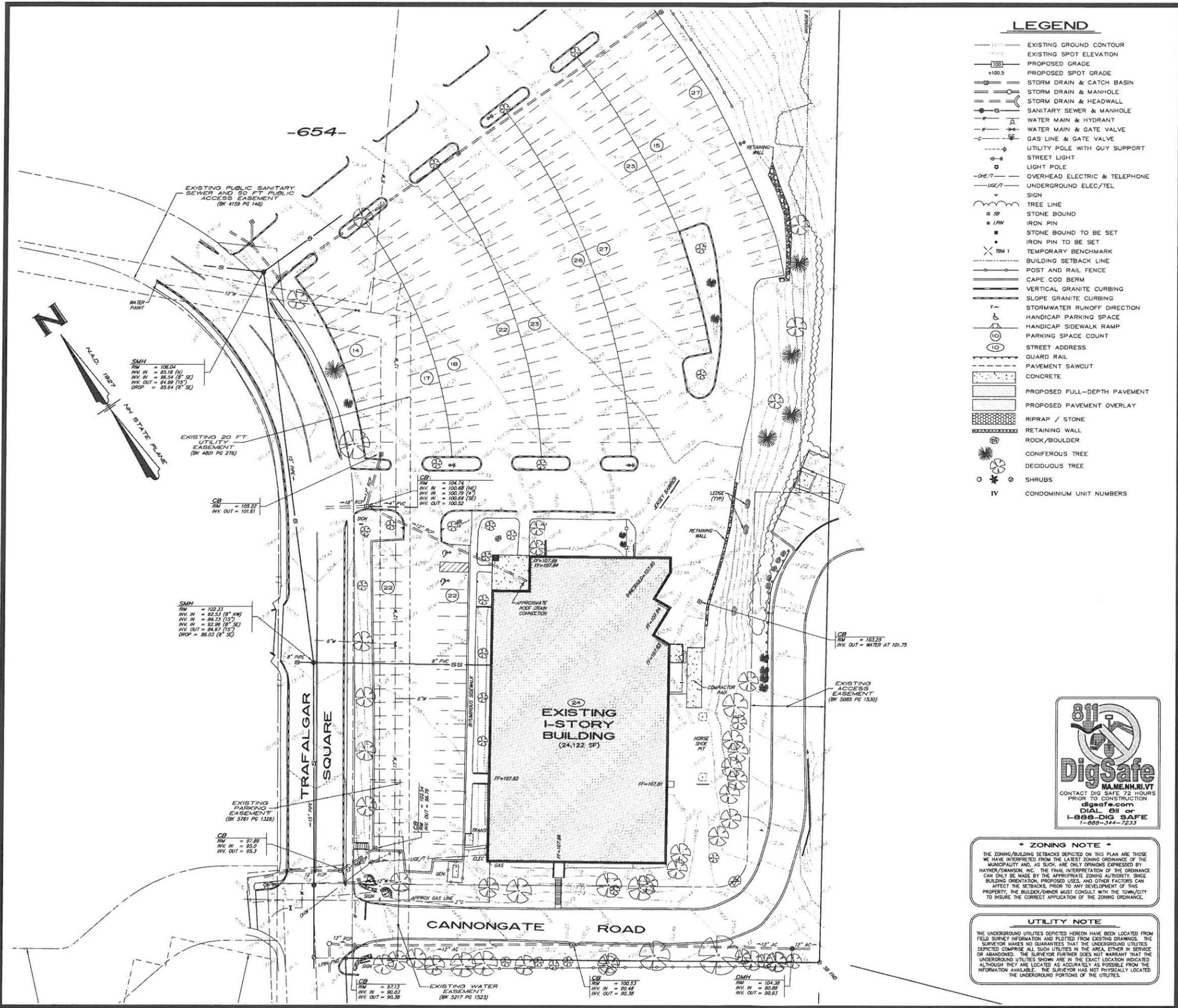
RECORD OWNERS:
**TRAFALGAR SQUARE ASSOCIATES, LLC
and TNK ASSOCIATES, LLC**
20 TRAFALGAR SQUARE, SUITE 602 NASHUA, NEW HAMPSHIRE 03063 (603) 863-2000

SCALE: 1" = 100 Feet
1" = 30.480 Meters

6 APRIL 2016

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
Three Congress Street Nashua, New Hampshire 03063-3301
Tel (603) 883-2057 Fax (603) 883-5057
www.hayner-swanson.com

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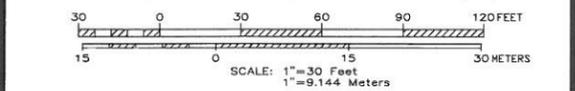


- ### LEGEND
- EXISTING GROUND CONTOUR
 - EXISTING SPOT ELEVATION
 - PROPOSED GRADE
 - PROPOSED SPOT GRADE
 - STORM DRAIN & CATCH BASIN
 - STORM DRAIN & MANHOLE
 - STORM DRAIN & HEADWALL
 - SANITARY SEWER & MANHOLE
 - WATER MAIN & HYDRANT
 - WATER MAIN & GATE VALVE
 - GAS LINE & GATE VALVE
 - UTILITY POLE WITH GUY SUPPORT
 - STREET LIGHT
 - LIGHT POLE
 - OVERHEAD ELECTRIC & TELEPHONE
 - UNDERGROUND ELEC/TEL
 - SIGN
 - TREE LINE
 - STONE BOUND
 - IRON PIN
 - STONE BOUND TO BE SET
 - IRON PIN TO BE SET
 - TBM 1
 - TEMPORARY BENCHMARK
 - BUILDING SETBACK LINE
 - POST AND RAIL FENCE
 - CAPE COD BERM
 - VERTICAL GRANITE CURBING
 - SLOPE GRANITE CURBING
 - STORMWATER RUNOFF DIRECTION
 - HANDICAP PARKING SPACE
 - HANDICAP SIDEWALK RAMP
 - PARKING SPACE COUNT
 - STREET ADDRESS
 - GUARD RAIL
 - PAVEMENT SAWCUT
 - CONCRETE
 - PROPOSED FULL-DEPTH PAVEMENT
 - PROPOSED PAVEMENT OVERLAY
 - RIPRAP / STONE
 - RETAINING WALL
 - ROCK/BOULDER
 - CONIFEROUS TREE
 - DECIDUOUS TREE
 - SHRUBS
 - IV CONDOMINIUM UNIT NUMBERS

- ### GENERAL NOTES:
- 1 THE EXISTING CONDITIONS, AS SHOWN ON THIS PLAN, ARE BASED ON AN ACTUAL TOPOGRAPHIC SURVEY MADE ON THE GROUND IN MARCH 2016
 - 2 THE NASHUA CITY DATUM HAS BEEN USED ON THIS PROJECT (NASHUA CITY DATUM TO NAVD 1988 = +89.7')
 - 3 IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
 - 4 THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER
 - 5 SURVEY CONTROL INFORMATION:
 HORIZONTAL DATUM: NAD27
 VERTICAL DATUM: NASHUA CITY DATUM
 PROJECTION: NH STATE PLANE
 UNITS: US SURVEY FEET

No.	DATE	REVISION	BY
1	05/04/16	ADDRESS TRC COMMENTS	TEZ

EXISTING CONDITIONS PLAN
 (MAP "G", LOT 654)
PROPOSED BUILDING ADDITION
 24 TRAFALGAR SQUARE
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR:
PFEIFFER VACUUM, INC.
 24 TRAFALGAR SQUARE NASHUA, NEW HAMPSHIRE 03063 (603) 578-8500
 RECORD OWNERS:
TRAFALGAR SQUARE ASSOCIATES, LLC
and TNK ASSOCIATES, LLC
 20 TRAFALGAR SQUARE, SUITE 602 NASHUA, NEW HAMPSHIRE 03063 (603) 883-2000



6 APRIL 2016

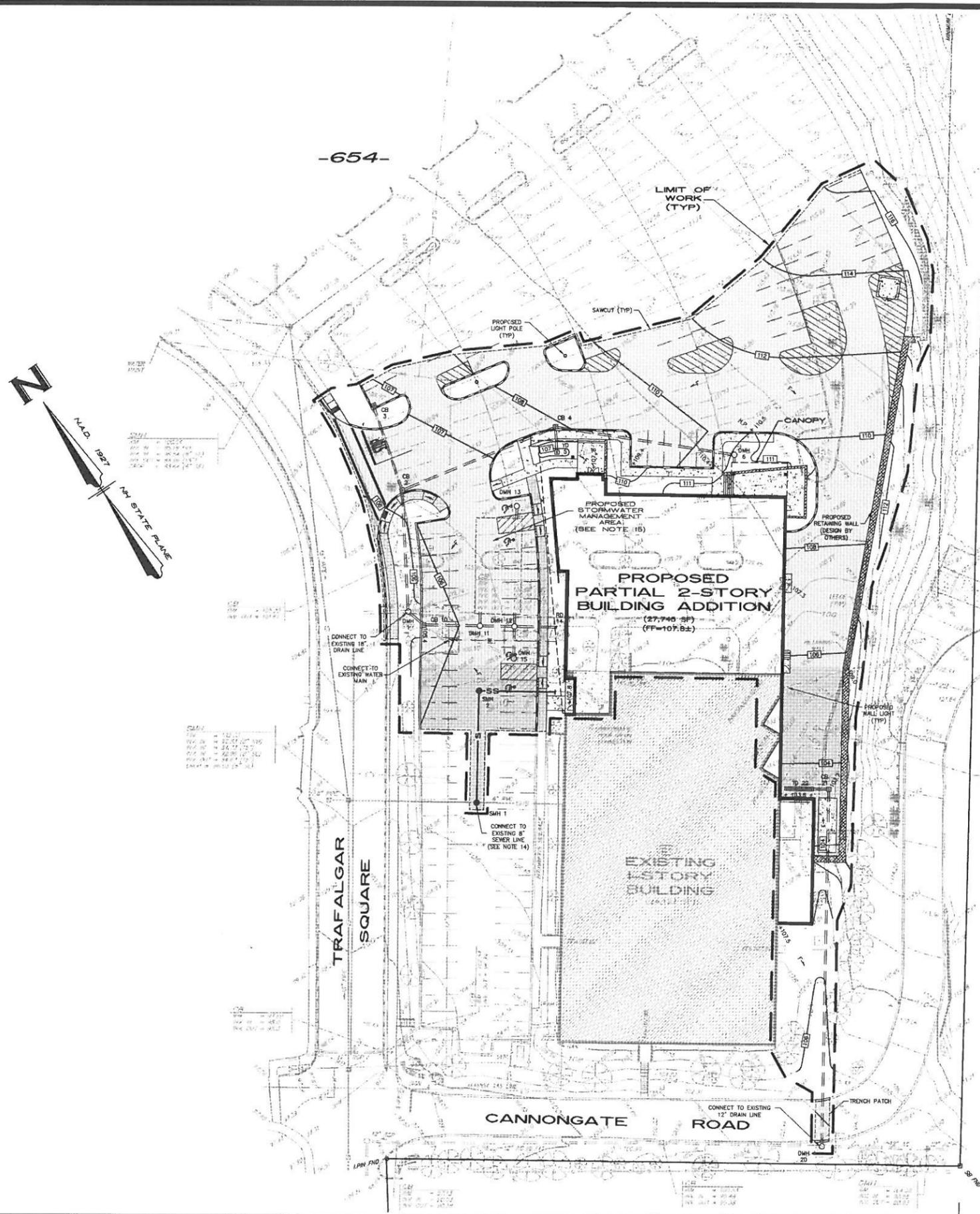
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*** ZONING NOTE ***
 THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

UTILITY NOTE
 THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.



CITY OF NASHUA

PLANNING DEPARTMENT
 COMMUNITY DEVELOPMENT DIVISION
 229 MAIN STREET
 NASHUA, NH 03060
 ATT: LINDA PANNY
 (603) 589-3110

ENGINEERING DEPARTMENT
 NASHUA DEPT. OF
 PUBLIC WORKS / ENGINEERING
 9 RIVERSIDE STREET
 NASHUA, NH 03062
 ATT: JEANNE WALKER, P.E.
 (603) 589-3147

FIRE DEPARTMENT
 NASHUA FIRE DEPARTMENT
 171 EAST HOLLIS STREET
 NASHUA, NH 03060
 (603) 589-3460

UTILITY CONTACTS

WATER:
 PENNICHUCK WATER WORKS
 25 MANCHESTER STREET
 MERRIMACK, NH 03054
 ATT: JOHN BOISVERT, PE
 (603) 913-2300

GAS:
 LIBERTY UTILITIES
 136 ELM STREET
 MANCHESTER, NH 03103
 ATT: RYAN LAGASSE
 (603) 327-7151

TELEPHONE:
 FAIRPOINT COMMUNICATIONS
 10 GAY STREET
 MANCHESTER, NH 03103
 ATT: YEW CHAI
 (603) 649-2705

POWER:
 EVERSOURCE
 370 HAMMERT STREET
 NASHUA, NH 03060
 ATT: LINDA FARRAR
 (603) 882-5894

UTILITY NOTES:

1. ALL DRAINAGE PIPE SHALL BE FURNISHED AND INSTALLED WITH FLEXIBLE GASKETS JOINTS SHALL BE MADE WITH OIL RESISTANT COMPRESSION RINGS OF AN ELASTOMERIC MATERIAL CONFORMING TO ASTM C-443 MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE FOLLOWED
2. ALL DRAINAGE PIPES SHALL BE CLASS IV 3000 D (RCP) UNLESS OTHERWISE NOTED. CATCH BASINS SHALL BE TYPE B AND HAVE 4 FT SUMPS UNLESS OTHERWISE NOTED.
3. SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH PLANS AND SPECIFICATIONS AND WITH THE REQUIREMENTS OF THE DEPARTMENT OF ENVIRONMENTAL SERVICES, WS & PCC AND ANY STRICTER REQUIREMENTS OF DIVISION 3 SANITARY SEWERS OF THE STANDARD SPECIFICATIONS OF SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, LATEST EDITION
4. SEWER SHALL BE SOLID WALL PVC UNLESS OTHERWISE REQUIRED BY THESE SPECIFICATIONS. SEWER SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY AND 18 INCHES VERTICALLY FROM WATER LINES. WHENEVER SEWER MUST CROSS WATER MAINS, SEWER SHALL BE CONSTRUCTED AS FOLLOWS:
 - [A] SEWER PIPE SHALL BE CLASS S2 DUCTILE IRON FOR A MINIMUM DISTANCE OF 9 FEET EACH SIDE OF THE CROSSING
 - [B] JOINTS SHALL BE MECHANICAL TYPE WATER PRESSURE RATED WITH ZERO LEAKAGE WHEN TESTED AT 25 POUNDS PER SQUARE INCH FOR GRAVITY SEWERS AND 1-1/2 TIMES WORKING PRESSURE FOR FORCE MAINS. JOINTS SHALL NOT BE LOCATED WITHIN 9 FEET OF THE CROSSING
5. A LICENSED DRAINLAYER SHALL INSTALL THE PROPOSED SEWER UP TO AND INCLUDING THE LAST MANHOLE (NOT INCLUDING SEWER SERVICES)
6. ALL WATER LINE, HYDRANT VALVES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE TECHNICAL SPECIFICATIONS FOR THE INSTALLATION OF MATERIALS, MAIN PIPING SERVICE CONNECTIONS IN THE PENNICHUCK WATER WORKS FRANCHISED AREAS OF NASHUA AND MERRIMACK, NEW HAMPSHIRE.
7. ALL POWER WORK SHALL CONFORM TO EVERSOURCE STANDARDS
8. ALL TELEPHONE WORK SHALL CONFORM TO FAIRPOINT COMMUNICATIONS SPECIFICATIONS
9. THE CONTRACTOR SHALL COORDINATE THE SIZE AND LOCATION OF THE PROPOSED GAS SERVICE WITH LIBERTY UTILITIES PRIOR TO CONSTRUCTION
10. THE CONTRACTOR SHALL COORDINATE THE EXACT SIZE, LOCATION AND ELEVATION OF ALL ROOF DRAINS AND SEWER SERVICE CONNECTIONS PRIOR TO THE CONSTRUCTION OF THE BUILDING
11. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION OF SITE UTILITIES TO WITHIN 5 FEET OF THE PROPOSED BUILDINGS. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING THE FINAL UTILITY SERVICE CONNECTIONS.
12. ROOF DRAIN TIE-INS AND DRAIN LINES WILL BE INSPECTED PRIOR TO BACKFILLING AND PAVING
13. ALL PIPE WORK WITHIN THE CITY OF NASHUA RIGHT-OF-WAY SHALL BE PERFORMED BY A LICENSED DRAIN LAYER.
14. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PERFORM A TEST PIT TO DETERMINE THE EXACT SIZE, LOCATION AND ELEVATION OF THE EXISTING 8" SEWER LINE AT SMH 1.
15. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PERFORM A TEST PIT TO BE WITNESSED BY THE ENGINEER AT THE SUBGRADE OF THE PROPOSED STORMWATER MANAGEMENT AREA IN ORDER TO VERIFY:
 - A. THE FIELD INFILTRATION RATE AT THE SUBGRADE OF THE PRACTICE SHALL BE GREATER THAN OR EQUAL TO THE DESIGN INFILTRATION RATE OF 6.0 INCHES PER HOUR, AND
 - B. THE SEPARATION BETWEEN THE BOTTOM OF THE PRACTICE AND THE ESTIMATED SEASONAL HIGH WATER TABLE SHALL BE A MINIMUM OF 3 FEET
 THE RESULTS SHALL BE PROVIDED TO THE CITY OF NASHUA ENGINEERING DEPARTMENT.

No.	DATE	REVISION	BY
1	05/04/16	ADDRESS TRC COMMENTS	TEZ

SITE, GRADING AND UTILITY PLAN
 (MAP 'G', LOT 654)
PROPOSED BUILDING ADDITION
 24 TRAFALGAR SQUARE
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR:
PFEIFFER VACUUM, INC.
 24 TRAFALGAR SQUARE NASHUA, NEW HAMPSHIRE 03063 (603) 578-8500
 RECORD OWNERS:
TRAFALGAR SQUARE ASSOCIATES, LLC
and TNK ASSOCIATES, LLC
 20 TRAFALGAR SQUARE, SUITE 602 NASHUA, NEW HAMPSHIRE 03063 (603) 883-2000

30 0 30 60 90 120 FEET
 15 0 15 30 METERS
 SCALE: 1"=30 Feet
 1"=9.144 Meters

6 APRIL 2016

HSI Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors
 Three Congress Street Nashua, New Hampshire 03062-3301
 Tel (603) 883-2057 Fax (603) 883-5057
 www.haynerswanson.com

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CONSTRUCTION NOTES:

1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF NASHUA AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION LATEST EDITION ARE HEREBY INCORPORATED BY REFERENCE.
2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, NASHUA, NEW HAMPSHIRE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
4. BLASTING, IF NEEDED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF NASHUA FIRE DEPARTMENT REGULATIONS.
5. ALL STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
6. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED.
7. PRIOR TO ANY WORK BEING STARTED, THE APPLICANT AND THEIR CONTRACTORS SHALL HOLD A PRE-CONSTRUCTION CONFERENCE WITH PLANNING AND ENGINEERING DEPARTMENT STAFF TO REVIEW SCHEDULING, EROSION AND TRAFFIC CONTROL, AND TREE PROTECTION.
8. FOUNDATION DRAINS, IF NECESSARY, SHALL BE COORDINATED WITH THE ARCHITECT AND ENGINEER PRIOR TO CONSTRUCTION.
9. ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
10. DIMENSIONS TO CURB AND GUTTERS INDICATE EDGE OF PAVING UNLESS OTHERWISE NOTED.
11. EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING PAVEMENT.
12. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND DETAILS.

1	05/04/16	ADDRESS TRC COMMENTS	TEZ
No.	DATE	REVISION	BY

SITE LAYOUT PLAN
(MAP "G", LOT 654)

PROPOSED BUILDING ADDITION

24 TRAFALGAR SQUARE
NASHUA, NEW HAMPSHIRE

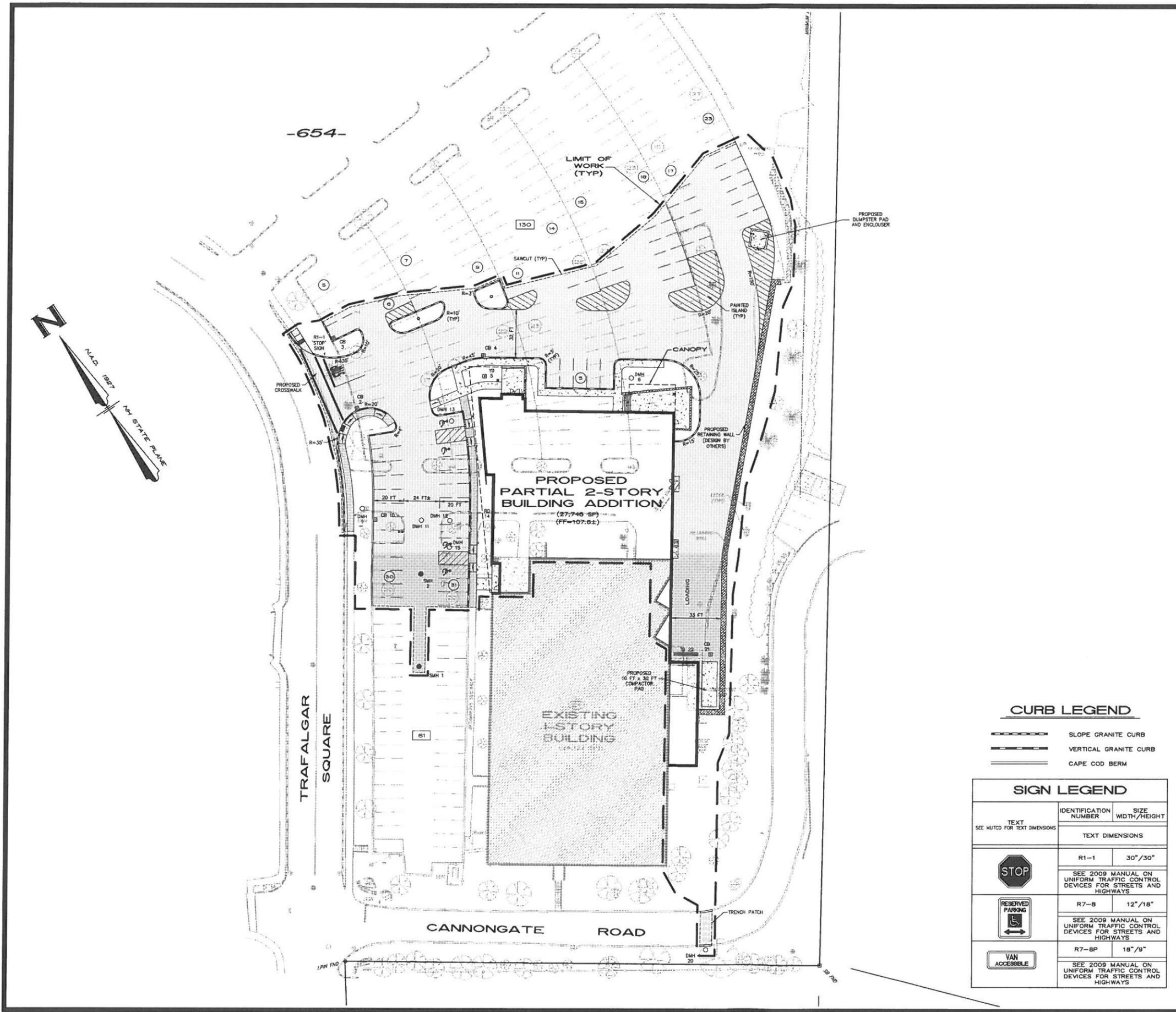
PREPARED FOR:
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24 TRAFALGAR SQUARE NASHUA, NEW HAMPSHIRE 03063 (603) 578-8500

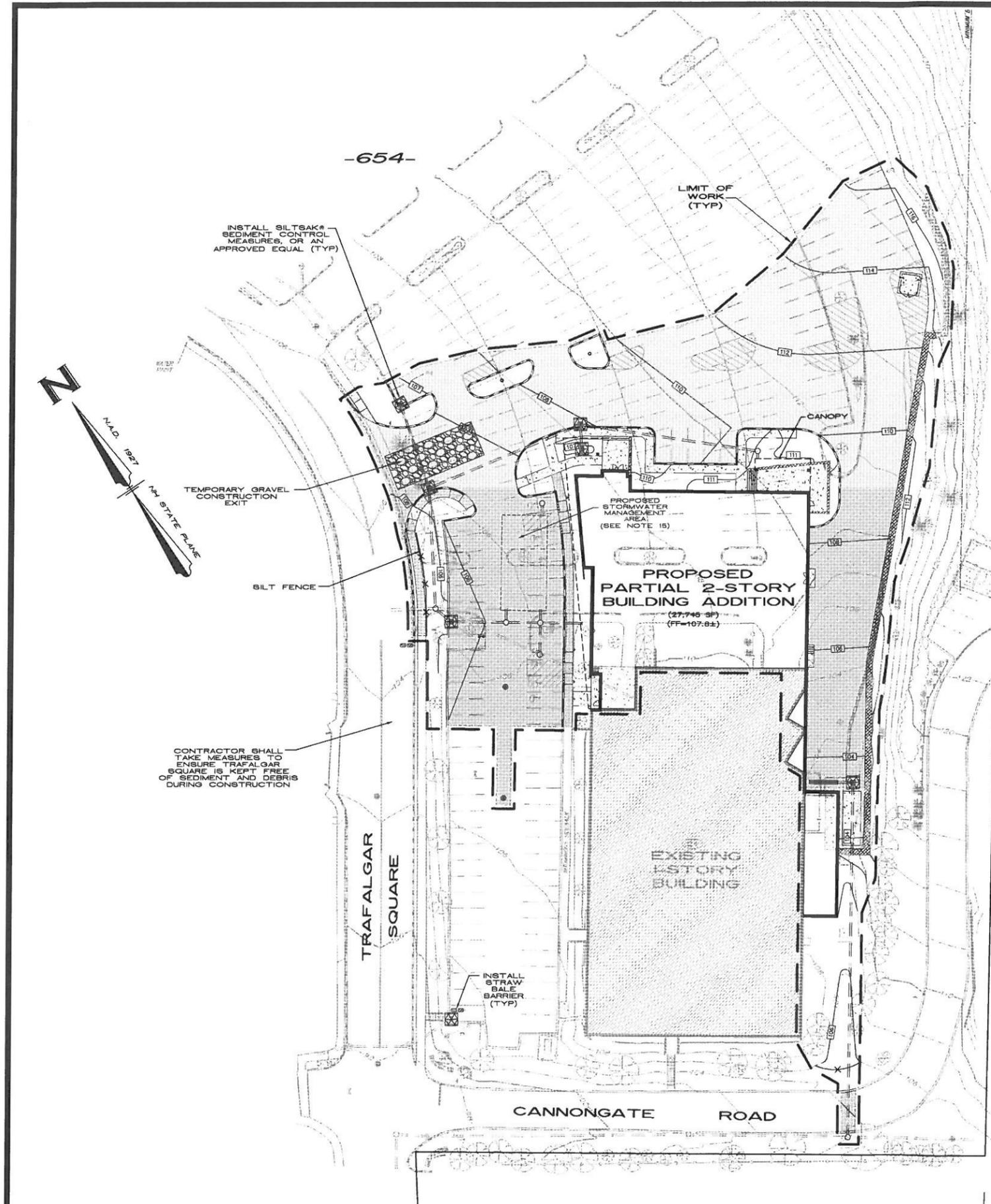
RECORD OWNERS:
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and **TNK ASSOCIATES, LLC**
20 TRAFALGAR SQUARE, SUITE 602 NASHUA, NEW HAMPSHIRE 03063 (603) 883-2000

6 APRIL 2016

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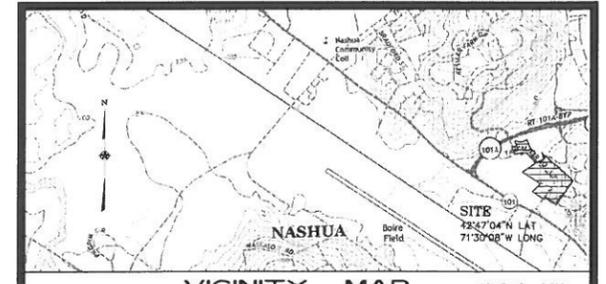
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EROSION CONTROL LEGEND

- SILT FENCE
- TEMPORARY GRAVEL CONSTRUCTION EXIT
- SILT-SAK INLET PROTECTION DEVICES
- STRAW BALE BARRIER



GENERAL NOTES:

1. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORMWATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) AND BECOME FAMILIAR WITH THEIR CONTENTS.
2. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY SITE CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
4. STOCKPILE AREAS SHALL BE SURROUNDED BY SILT FENCE AND RE-SEEDED IF THEY ARE LEFT UNTOUCHED FOR MORE THAN TEN (10) DAYS.
5. ALL MEASURES STATED ON THIS EROSION CONTROL PLAN AND IN THE STORMWATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETE PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT.
6. SILT FENCE SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM SILT FENCES WHEN IT REACHES ONE-QUARTER THE HEIGHT OF THE SILT FENCE.
7. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
8. ALL SEEDING AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED.
9. THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXIT AS CONDITIONS DEMAND.
10. THE CITY OF NASHUA RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION IF NEEDED.

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCING AND CONSTRUCT STABILIZED CONSTRUCTION EXIT AS SHOWN ON THE PLAN. INSTALL INLET PROTECTION AROUND ALL EXISTING STORM DRAIN STRUCTURES.
2. REMOVE EXISTING PAVEMENT, SIDEWALK, CURBING AND UTILITIES AS NEEDED WITHIN LIMIT OF WORK. DISPOSE OF ANY DEBRIS PRODUCED DURING THE SITE DEMOLITION ACTIVITY.
3. PERFORM SITE GRADING OF THE PROPOSED BUILDING ADDITION AND PARKING AREAS. ALL SIDE SLOPES SHALL BE LOAMED AND SEEDED AND MULCHED IMMEDIATELY AFTER BEING CONSTRUCTED.
4. BEGIN BUILDING ADDITION AND PARKING LOT CONSTRUCTION.
5. INSTALL SITE UTILITIES IN ACCORDANCE WITH THE PLAN.
6. INSTALL INLET PROTECTION AROUND ALL PROPOSED STORM DRAIN STRUCTURES. INSTALLATION OF UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT IN ACCORDANCE WITH THE 'SILTSACK DETAIL'. THE CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED.
7. PREPARE SITE FOR PAVING.
8. AS THE BUILDING ADDITION AND PARKING AREAS ARE COMPLETED, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED. NO PORTION OF THE PROJECT SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR A PERIOD OF 30 DAYS.
9. LOAM AND SEED ALL REMAINING DISTURBED AREAS. COMPLETED AREAS SHALL BE STABILIZED 72 HOURS AFTER BEING CONSTRUCTED.
10. FINAL PAVING OF PARKING LOT.
11. INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES.
12. SITE LANDSCAPING ALONG WITH PERMANENT SEEDING OF DISTURBED AREAS.
13. REMOVE ANY TEMPORARY EROSION CONTROL MEASURES NOT NEEDED.

No.	DATE	ADDRESS TRC COMMENTS	BY
1	05/04/16	ADDRESS TRC COMMENTS	TEZ

EROSION CONTROL PLAN
(MAP 'G', LOT 654)

PROPOSED BUILDING ADDITION

24 TRAFALGAR SQUARE
NASHUA, NEW HAMPSHIRE

PREPARED FOR:
PFEIFFER VACUUM, INC.

24 TRAFALGAR SQUARE NASHUA, NEW HAMPSHIRE 03063 (603) 578-8500

RECORD OWNERS:
**TRAFALGAR SQUARE ASSOCIATES, LLC
and TNK ASSOCIATES, LLC**

20 TRAFALGAR SQUARE, SUITE 602 NASHUA, NEW HAMPSHIRE 03063 (603) 883-2000

SCALE: 1" = 30 Feet
1" = 9.144 Meters

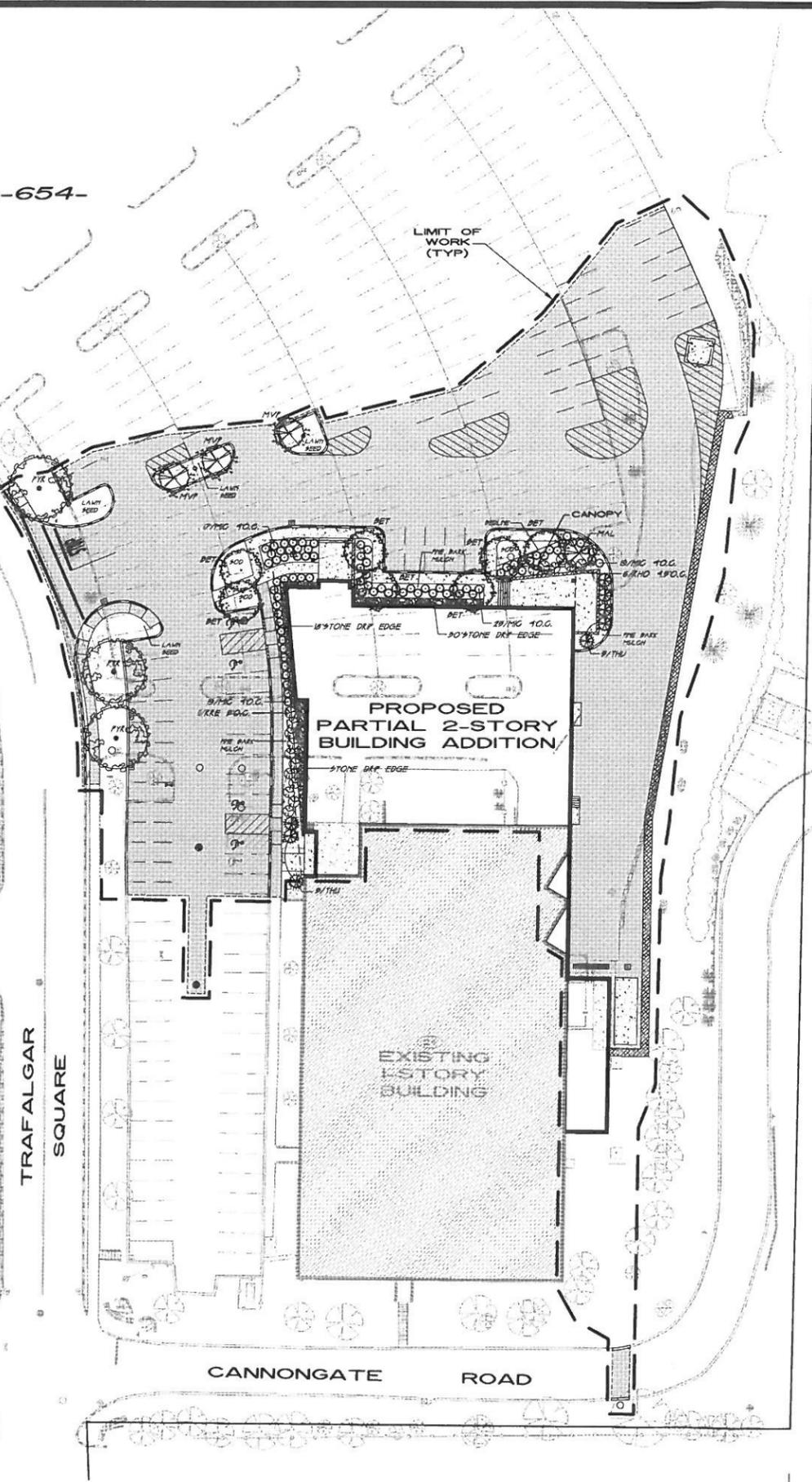
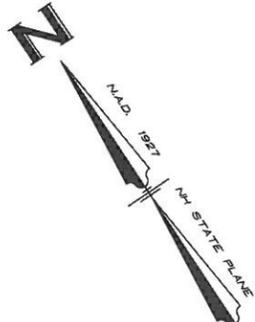
6 APRIL 2016

HSI Hayner/Swanson, Inc.

Civil Engineers/Land Surveyors
Three Congress Street, Nashua, New Hampshire 03062-3301
Tel (603) 883-2057 Fax (603) 883-5057
www.hayner-swanson.com

FIELD BOOK: 1216	DRAWING NAME: 0332-PY-ER31	0332-PV	10 OF 13
DRAWING LOCATION: R:\0332\DWG\0332-PV		File Number	Sheet

-654-



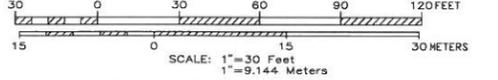
PLANT LEGEND

7/PET	PETULA NIGRA (HERITAGE RIVER BRCH)	10-2500
1/MAL	MALUS SPIEGEL (ARGENT CRABAPPLE)	3'-2.5' GAL
3/MVF	MALUS SPIEGEL (VELVET FLK CRABAPPLE)	3'-2.5' GAL
80/MG	MACRODONTA DECUSATA (RUSSIAN CYPRUS)	#3 GAL
2/PYR	PYRUS CALLERYANA (NESTOGAT FLOWERING PEAR)	2.5' GAL
6/RHO	RHODODENDRON SPECIES (WILSON LAETEV)	2'-2.5' 500
1/ARX	RHODODENDRON SPECIES (7.74 REGAL) NO SUBSTITUTION	#7 GAL
8/TIK	TRISIA O. SHARAGO (EMERALD GREEN ABBOTVITAE)	7'-800
MISCELLANEOUS:		
	BLUEGRASS 500	PER FLAN
	LAWN SEED (GRANDY SOL/DROUGHT TOLERANT BLAND)	PER FLAN
	WASHED ROUNDS 1/2" DIA. GREY ROOF BALLAST (NON-GRAINED)	PER FLAN
	PREMIUM BLEND TREE BARK MULCH (NATURAL)	ALL BEDS

- GENERAL LANDSCAPE CONTRACTOR NOTES:**
1. CONTRACTOR MUST VERIFY NO PLANTS IN TO BLACKWATER DESIGN FOR REVIEW AND VERIFICATION THAT THE PD LIST HAS BEEN ADHERED TO. FAILURE TO DO SO CAN RESULT IN THE CONTRACTOR HAVING TO FILL IN-GROUND MATERIALS IF THEY DO NOT CONFORM TO THE MATERIAL PD LIST IN SIZE AND SPECIES.
 2. CONTRACTOR SHALL NOT SUBSTITUTE OR MISFIELD PLANTS WITH CONTAINER GROWN WITHOUT THE WRITTEN CONSENT OF THE L.A.
 3. CONTRACTOR SHALL NOT SUBSTITUTE INTEND MISFIELD PLANTS WITH OTHERS WITHOUT WRITTEN APPROVAL OF THE L.A.
 4. CONTRACTOR SHALL VERIFY PLANT QUANTITIES ON THE DESIGN AND NOT RELY ON THE PD LIST QUANTITIES.
 5. ALL PLANTS PLANTED WITH WIRE BASKETS MUST HAVE THE UPPER THIRD OF THE BASKET REMOVED AND THE SIDES OF THE WIRE BASKET CUT.
 6. TREE SAUCERS ARE CONSTRUCTED WITH WATER KING PERFORATION COMPARTMENTS ARE NOT PERMISSIBLE.
 7. THE OUTER BRANCHES OF WEAVER EVERGREENS MUST BE PLANTED 1' FROM ALL BEDLINES.
 8. SUBMIT SAMPLES OF THE DRY EDGE STONE DRY EDGE BALLAST FOR APPROVAL.
 9. NOTES FINAL APPROVAL OF THE INSTALLATION FOR CONTRACTOR PAYMENT WILL NOT OCCUR IF THE PERFORATION REQUIREMENTS ARE NOT MET.
 10. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR WATERING OF THE MATERIALS I.E. 80% HUMIDITY TREES, ETC. TO PROMOTE PROPER GROWTH AND SURVIVAL THROUGH THE ONE YEAR WARRANTY PERIOD UNLESS AN IRRIGATION SYSTEM IS IN PLACE.
- ANY QUESTIONS REGARDING THE ABOVE-MENTIONED CONTACT: JOE HOGGREN 603-838-2294 BLACKWATER DESIGN LTD. 89 FROST LANE WEBSTER, NH

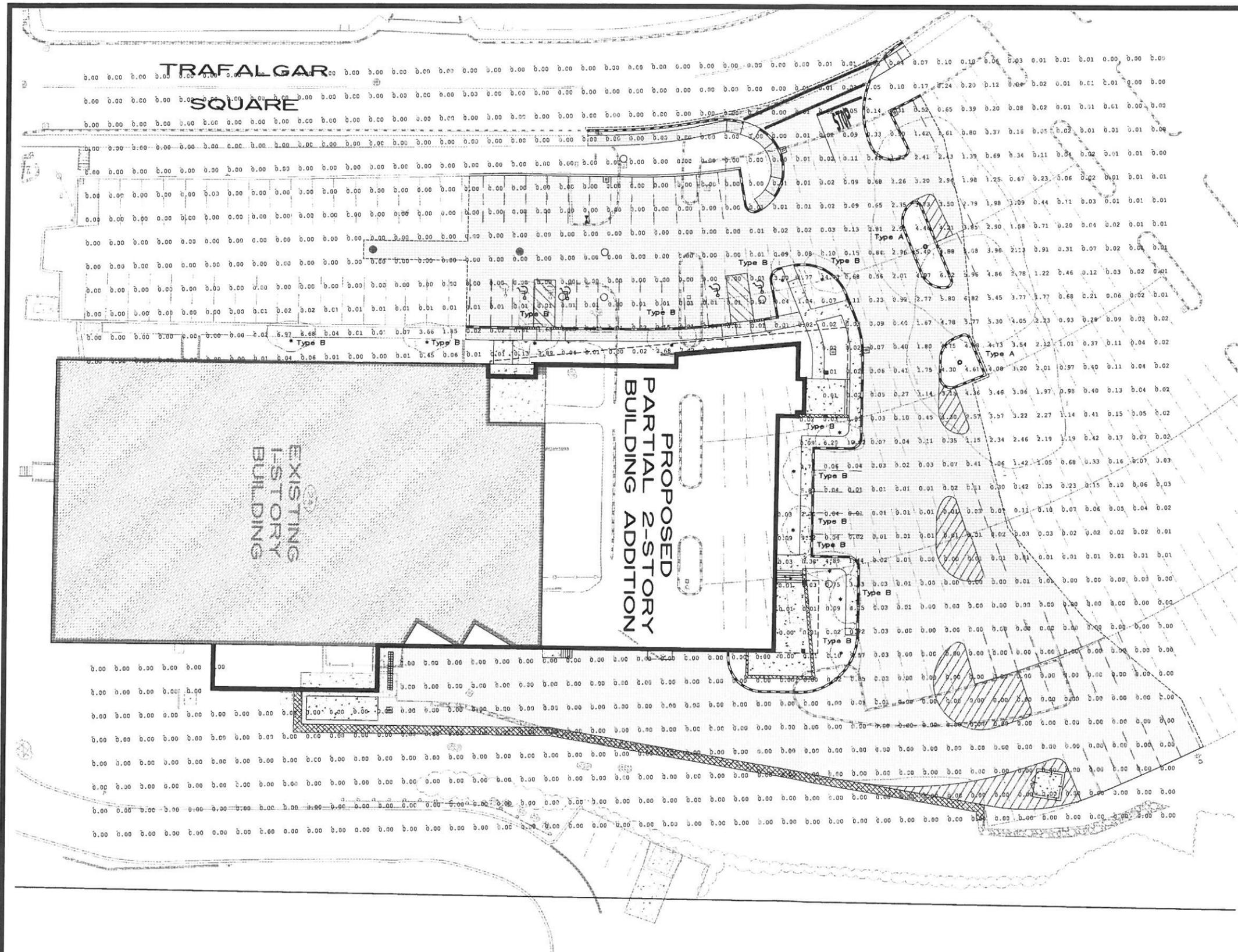
No.	DATE	ADDRESS/REV COMMENTS	REVISION	BY
1	05/04/16	ADDRESS TRC COMMENTS		TEZ

LANDSCAPE PLAN
(MAP 'G', LOT 654)
PROPOSED BUILDING ADDITION
24 TRAFALGAR SQUARE
NASHUA, NEW HAMPSHIRE
PREPARED FOR:
PFEIFFER VACUUM, INC.
24 TRAFALGAR SQUARE NASHUA, NEW HAMPSHIRE 03063 (603) 578-6500
RECORD OWNERS:
TRAFALGAR SQUARE ASSOCIATES, LLC
and TNK ASSOCIATES, LLC
20 TRAFALGAR SQUARE, SUITE 602 NASHUA, NEW HAMPSHIRE 03063 (603) 883-2000



6 APRIL 2016

PREPARED BY:
BLACKWATER DESIGN
PHONE (603) 648-6500 FAX (603) 648-6506
Land Planning - Landscape Architecture
85 Frost Lane - Webster, NH 03303



N.A.D. 1927
NEW STATE PLANE

RAZAR
(MODELS RZR, RZR-B1 and RZR-B2)

FIGURE	A	B	C	D
RZR-G	15"	28 1/2"	30"	17"
RZR	14 1/2"	26 1/2"	27 1/2"	15 1/2"
RZR-B1	11 1/2"	22"	21 1/2"	10 1/2"
RZR-B2	25 1/2"	32 1/2"	32 1/2"	16 1/2"

SPEC / ORDERING INFORMATION			
MODEL	OPTICS	LED	
		No. LEDs	DRIVE CURRENT COLOR
RZR-G	TYPE III PLED-III	120LED	350mA NW (4000K) STANDARD
RZR-B1	TYPE III PLED-III	20LED	175mA NW (4000K) STANDARD

Pole Mounted Luminaire A

SPEC / ORDERING INFORMATION			
MODEL	OPTICS	LED	
		No. LEDs	DRIVE CURRENT COLOR
RZR-B2	TYPE III PLED-III	20LED	175mA NW (4000K) STANDARD

Bollard Luminaire B

No.	DATE	REVISION	BY
1	05/04/16	ADDRESS TRC COMMENTS	TEZ

PHOTOMETRIC SIGHT LIGHTING PLAN
(MAP 'G' LOT 654)
PROPOSED BUILDING ADDITION
24 TRAFALGAR SQUARE
NASHUA, NEW HAMPSHIRE
PREPARED FOR:
PFEIFFER VACUUM, INC.
24 TRAFALGAR SQUARE NASHUA, NEW HAMPSHIRE 03063 (603) 578-8500
RECORD OWNERS:
TRAFALGAR SQUARE ASSOCIATES, LLC
and **TNK ASSOCIATES, LLC**
20 TRAFALGAR SQUARE, SUITE 602 NASHUA, NEW HAMPSHIRE 03063 (603) 883-2000

20 0 20 40 60 80 FEET
10 0 10 20 METERS
SCALE: 1"=20 Feet
1"=6.096 Meters

6 APRIL 2016

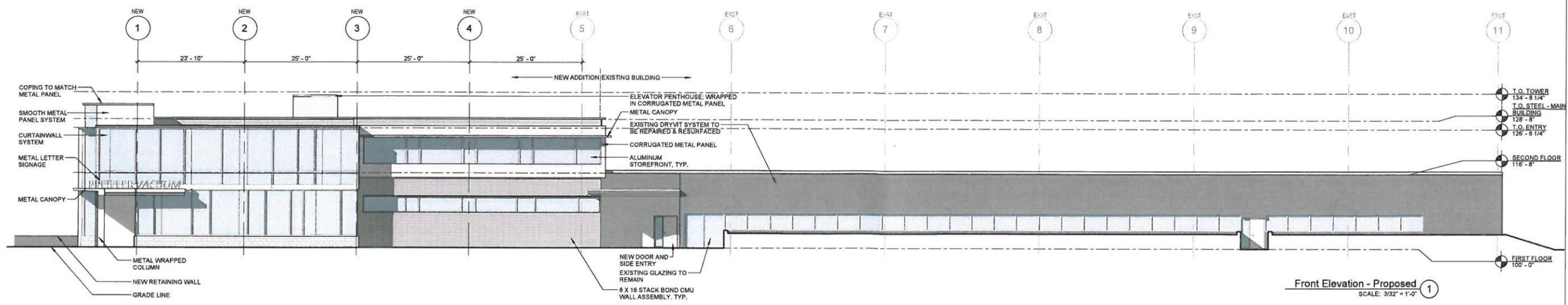
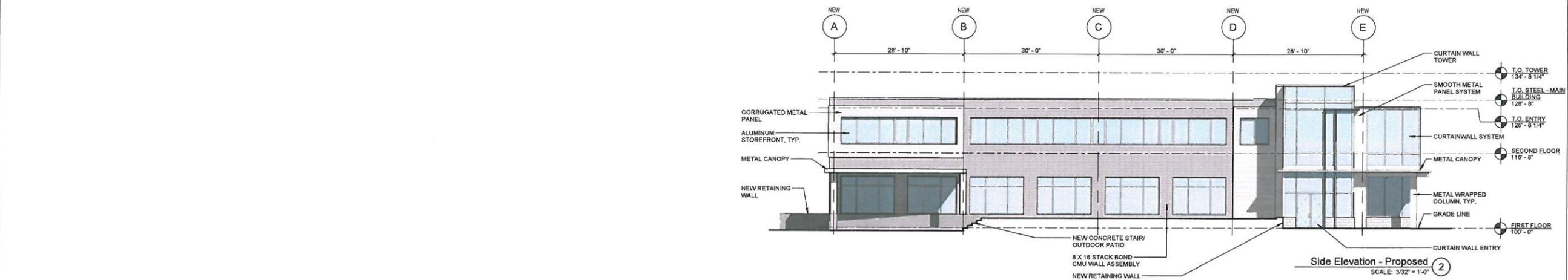
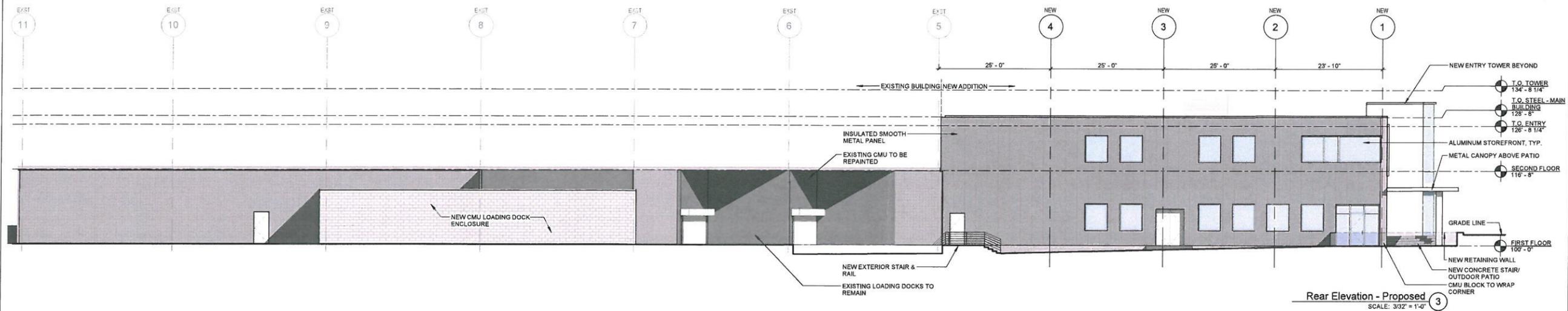
OMNI-LITE, INC.
263 WINN STREET BURLINGTON, MA. 01803
PH # 781-272-2300, FAX # 781-272-0759 www.omnilite.com

FIELD BOOK: 1216	DRAWING NAME: 0332-PV-SL-1	0332-PV	L.1
DRAWING LOCATION: R:\0332\DWG\0332-PV		File Number	Sheet

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Description	Total Watts
○	2	Type A	SINGLES	15705	0.900	RZR-G-III-120PLED-NH-350 MH=20	254.2
★	17	Type B	SINGLES	1405	0.900	RZR-B1-III-20PLED-175mA-NH MH=3	134.4

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Site	Illuminance	Fc	0.36	14.93	0.00	N.A.	N.A.

THESE DRAWINGS ARE FOR CONCEPTUAL USE ONLY AND ARE NOT INTENDED FOR CONSTRUCTION. VALUES REPRESENTED ARE AN APPROXIMATION GENERATED FROM DATA SUPPLIED BY LAMP MFG. AND TESTING LABS.



Notes:

Key Plan:

Architect's Stamp:

Project:
Pfeiffer Vacuum Facility
 24 Trafalgar Square
 Nashua, NH 03063
 Client:

Project #: 15173
 Scale: 3/32" = 1'-0"
 Issue: _____ Date: _____
 Site Plan Review - Submission 2 05/04/2016

Revisions: _____ Date: _____

Drawing Title:
 Exterior Elevations

Sheet Number:
A.201
MAUGEL ARCHITECTS

200 Ayer Road Boston | Harvard
 www.maugel.com 978.456.2800
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REDUCED SIZE PRINT



NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda Panny, Deputy Planning Manager
FOR: May 19, 2016
RE: **New Business #4 – Site Plan**

I. Project Statistics:

Owner: BT-NEWYO, LLC
Applicant: UPS
Proposal: Construct a 20,992 sf Hub building
Location: 3 Whipple Street
Total Site Area: 15.59 acres
Existing Zoning: PI - Park Industrial
Surrounding Uses: Commercial

II. Background Information:

UPS was approved by the Planning Board in 1988. The dirt parking area was intended to be used for future facility expansion.

III. Project Description:

The proposal is to add a 20,992 sf Hub building and associated parking to the existing site at 3 Whipple Street. The new building will have an address of 5 Whipple Street. UPS will be using this hub to respond to large package volumes during the peak season, October through January. It will be used some during the regular season as well. The building will have 48 bays for tractor trailer access, 2,445 sf of office space and driver conveniences. The building will be serviced by public sewer, water, and gas. Utility lines for electric and communication will be underground. This building will be separate from the existing facility.

Along with the building there will be 151 parking spaces for employees. The lot will have separate access from Whipple Street and a 6' high solid fence at the back of the lot for screening. A landscape plan has been submitted as part of this request, but the applicant will try and save as many trees as possible along Whipple Street.

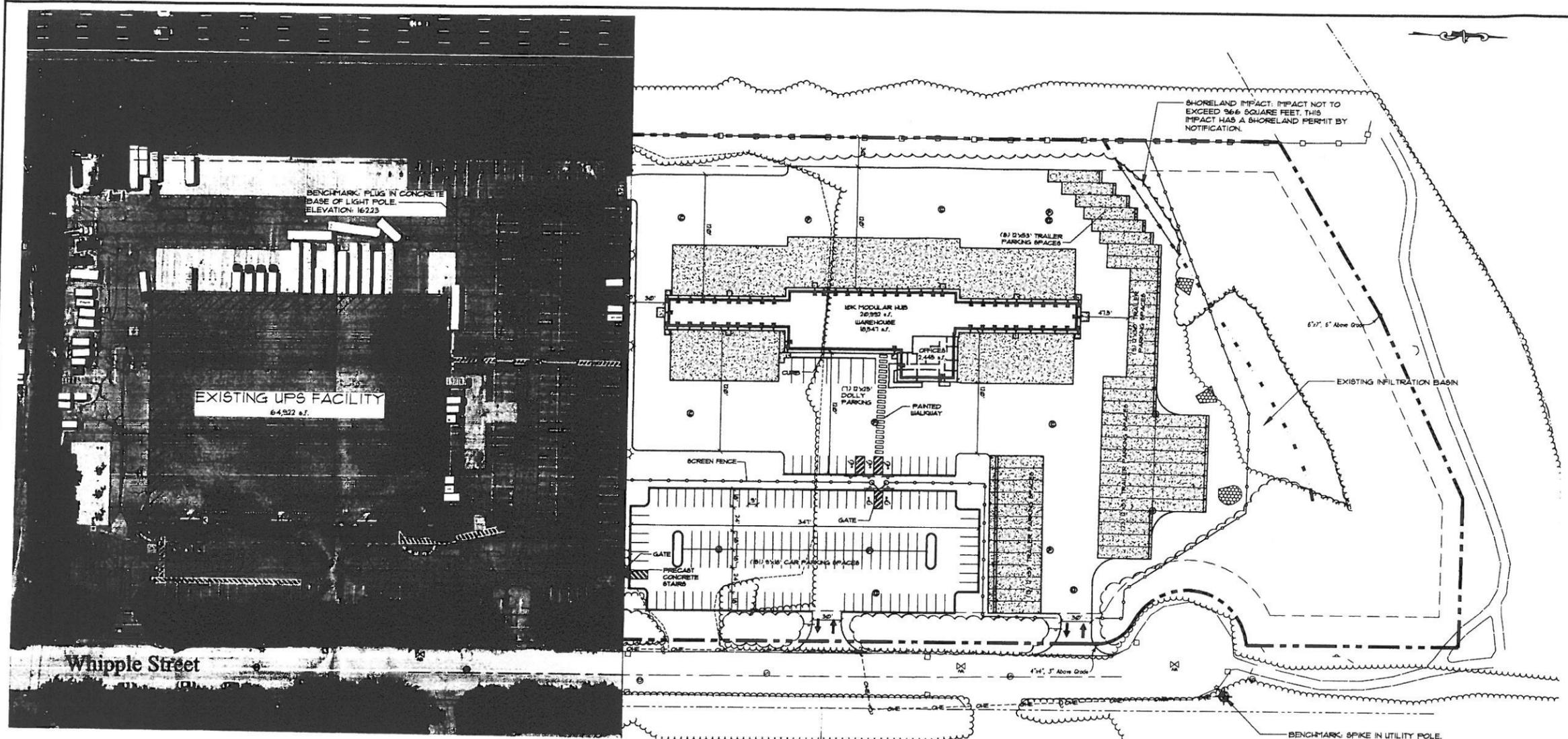
Two waivers are being requested. The hub does not fully meet the NRO building design standards and a waiver has been requested as well as a waiver from the requirement to have a landscaped island or median for every 10 parking spaces. (see attached).

The plan was reviewed by City staff and Engineering comments are pending. The Fire Department has requested that any gates or chains that are across the connecting access be maintained and kept clear of snow and debris so it can be used as emergency access.

IV. Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

1. The request for a waiver of NRO § 190-172(B) and (C), which sets building design standards, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. The request for a waiver of § 190-184(D) which requires a landscape median for every ten interior parking spaces, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
3. Prior to the issuance of a building permit, stormwater documents will be submitted to City staff for review and approval and recorded at the Registry of Deeds at the applicant's expense.
4. Prior to the issuance of a building permit, all comments in letter from Jeanne Walker, PE dated _____ shall be addressed to the satisfaction of the Engineering Department.
5. Prior to the issuance of a building permit, stormwater documents will be submitted to City staff for review and approval and recorded at the Registry of Deeds at the applicant's expense.
6. Prior to any site disturbance, the Alteration of Terrain Permit for the project shall be approved by NHDES.
7. Any gates or chains that are across the connecting access be maintained and kept clear of snow and debris so it can be used as emergency access.
8. Any work within the right-of-way shall require a financial guarantee
9. Prior to the issuance of a certificate of occupancy, all site improvements will be completed.



**PINKHAM & GREER
CIVIL ENGINEERS**
28 WAMPA AVE. PORTLAND, ME 04103
TEL: 207.761.5477 FAX: 207.726.0205



NO.	DATE	REV	DESCRIPTION
1	4/19/16		DES SUBMITTAL
2	5/2/16		REVISED PER CITY STAFF COMMENTS

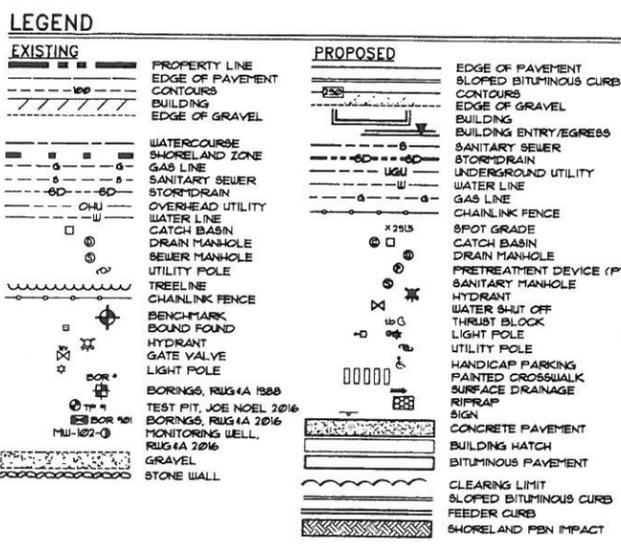
BT-NEWYO LLC
55 GLENLAKE PARKWAY
ATLANTA, GA 30328
DAVE VAN HOOK - 401-575-6014

SCALE: AS SHOWN
DATE: APRIL 6, 2016
PROJECT: 16109 / 16314

DRN BY: MJB/AVG
DES BY: TSG
CHK BY: BJC

10K MODULAR HUB
3 WHIPPLE STREET

C1



GENERAL NOTES

- A TOPOGRAPHIC SURVEY WAS COMPLETED BY CORNER POST LAND SURVEYING, INC. OF SPRINGVALE, MAINE, MARCH 16 - APRIL 5, 2016. HORIZONTAL DATUM: MAINE STATE PLANE COORDINATE SYSTEM; VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM 1988 (NAVVD88). BENCHMARK: PLUS IN CONCRETE BASE OF LIGHT POLE, ELEVATION: 16223. SPIKE IN UTILITY POLE, ELEVATION: 15515.
- BOUNDARY INFORMATION TAKEN FROM PLAN ENTITLED "COMPOSITE TOPOGRAPHIC PLAN OF MAP E, LOT 1423, 321 & 401 OWNED BY HARRIS CORPORATION, SIMON STREET, NASHUA, NH" PREPARED BY HAMILTON ENGINEERING ASSOCIATES, INC. OF NASHUA, NH.
- CONTACT DIG-SAFE (811) AND ALL AFFECTED NON-FIBER UTILITIES PRIOR TO ANY CONSTRUCTION TO VERIFY AND/OR DETERMINE THE EXACT LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE FAILURE TO LOCATE AND PRESERVE ANY AND ALL UTILITIES.
- COORDINATE UNDERGROUND POWER, TELEPHONE, GAS, WATER, & SEWER WITH THE UTILITY COMPANIES.
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
- PRIOR TO ANY WORK BEING CONDUCTED A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PLANNING STAFF AND OTHER CITY DEPARTMENTS AS NECESSARY TO REVIEW WORK PROPOSED.
- HOURS OF OPERATION: THIS IS A 24 HOUR OPERATION WITH SHIFTS FROM 2PM TO 4AM.
- ALL STORM DRAIN PIPES SHALL BE CLASS 4 REINFORCED CONCRETE PIPE.
- ALL SANITARY SEWER PIPE SHALL BE 80R 35 PCV WITH PUSH-ON JOINTS.
- THE SITE IS NOT IN A FLOOD ZONE.
- THE SITE IS SERVED BY MUNICIPAL SEWER AND PENNICK WATER WORKS.
- THE PURPOSE OF THIS PLAN IS TO BUILD A 10K MODULAR HUB FOR THE PURPOSE OF HANDLING THE INCREASED HOLIDAY VOLUME OF PACKAGES THAT UPS DEALS WITH.
- ALL LANDSCAPING SHALL BE AS SHOWN ON THE PLAN AND CONFORM TO THE APPLICABLE CITY OF NASHUA ZONING REGULATIONS.
- ALL SITE LIGHTING SHALL BE AS SHOWN ON THE PLAN, DIRECTED ONTO SITE AND CONFORM TO THE APPLICABLE CITY OF NASHUA ZONING REGULATIONS.
- ALL SIGNAGE SHALL CONFORM TO APPLICABLE CITY OF NASHUA ZONING REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
- SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM TO TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSIONS AND GRADE AND NUMBER OF SPACES.
- FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
- UTILITY INCLUDING ALL ELECTRIC, TELEPHONE, CABLE TELEVISION, AND OTHER COMMUNICATION LINES, BOTH MAIN AND SERVICE CONNECTIONS, SERVING NEW DEVELOPMENTS SHALL BE PROVIDED BY UNDERGROUND WIRING WITHIN EASEMENTS OR DEDICATED PUBLIC RIGHT-OF-WAY, INSTALLED IN ACCORDANCE WITH THE BOARD OF PUBLIC WORKS SPECIFICATIONS.
- STREET RESTORATION TO BE IN ACCORDANCE WITH NRD 705-13.
- THERE ARE NO WETLANDS ONSITE.
- LIGHT POLES AND DETAILS SHOWN ON THE LIGHTING PLANS, SHEETS L-1 THRU L-4.
- WATERS REQUESTED: 150-184(D), 150-112.
- REFERENCE PLAN NUMBER: NR 157.

ZONE INFORMATION

ZONE: PI - PARK INDUSTRIAL PERMITTED USE; TRUCK TERMINAL

SPACE STANDARDS	
MINIMUM LOT SIZE	30,000 SQ. FT.
MINIMUM STREET FRONTAGE	120 FEET
MINIMUM FRONT YARD	30 FEET
MINIMUM REAR & SIDE YARDS	20 FEET
MAXIMUM BUILDING HEIGHT	15

THE UNDER-SIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

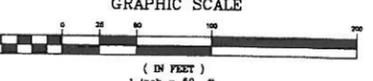
OWNER/APPLICANT _____ DATE _____

SITE PLAN INFORMATION

OWNERS NAME: BT-NEWYO
55 GLENLAKE PARKWAY
ATLANTA, GA 30328
DAVE VAN HOOK - 401-575-6014

CONTACT NAME: PINKHAM & GREER, CIVIL ENGINEERS
28 WAMPAH AVE
PORTLAND ME 04103
207-761-5242

CITY ZONING DISTRICT: PI - PARK INDUSTRIAL
FLOOD PLAN: NONE ON SITE
SITE IS NOT WITHIN THE CITY OF NASHUA HISTORIC ZONE.
PARCEL SIZE: 15.59 / 679,000 s.f.
MAXIMUM BUILDING AREA: 263,891 s.f.
PROPOSED BUILDING AREA: 21,000 s.f.
MINIMUM OPEN SPACE REQUIRED: 134,949 s.f.
OPEN SPACE PROVIDED: 204,036 s.f. / 30%
PARKING: 20 REQ'D & 50 PROVIDED
HANDICAPPED PARKING: 5 REQ'D & 5 PROVIDED



SITE PLAN, APPROVED - NASHUA CITY PLANNING BOARD

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

CITY OF NASHUA
36-38 RIVERSIDE STREET
P.O. BOX 2019
229 MAIN STREET
NASHUA, NH 03061-0000
TAX MAP SHEET 19, PARCEL 271
DEED BOOK: 2331, PAGE: 303
ZONE: P1 / USE: PUBLIC SCHOOL

LJJ REALTY LLC
1 WHIPPLE STREET
20 TRAFALGAR SQ. STE 602
NASHUA, NH 03063-0606
TAX MAP SHEET E, PARCEL 1321
DEED BOOK: 6001, PAGE: 1961
ZONE: P1 / USE: COMMERCIAL WAREHOUSE

ROUTE 3

BENCHMARK PLUG IN CONCRETE
BASE OF LIGHT POLE.
ELEVATION: 16223

BT-NEWYO, LLC
3 WHIPPLE STREET
P.O. BOX 28606
ATLANTA, GA 30258-0606
TAX MAP SHEET E, PARCEL 1423
DEED BOOK: 4793, PAGE: 135
ZONE: P1 / USE: TRUCK TERMINAL

CITY OF NASHUA
L WHIPPLE STREET
P.O. BOX 2019
229 MAIN STREET
NASHUA, NH 03061-0000
TAX MAP SHEET E, PARCEL 2193
DEED BOOK: 2146, PAGE: 141
ZONE: P1 / USE: LAND

PINKHAM & GREER
CIVIL ENGINEERS
28 WILKINSON AVE., PORTLAND, ME 04103
TEL: 207.761.5422 FAX: 207.761.4245



REV.	DATE	DESCRIPTION
2	5/1/16	REVISED PER CITY STAFF COMMENTS.
1	4/15/16	ADDED SOIL BOUNDARIES DES SUBMITTAL.

BT-NEWYO, LLC
55 GLENLAKE PARKWAY
ATLANTA, GA 30328
DAVE VAN HOOK - 401-575-6014

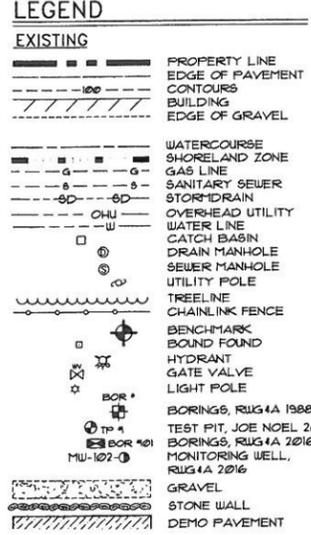
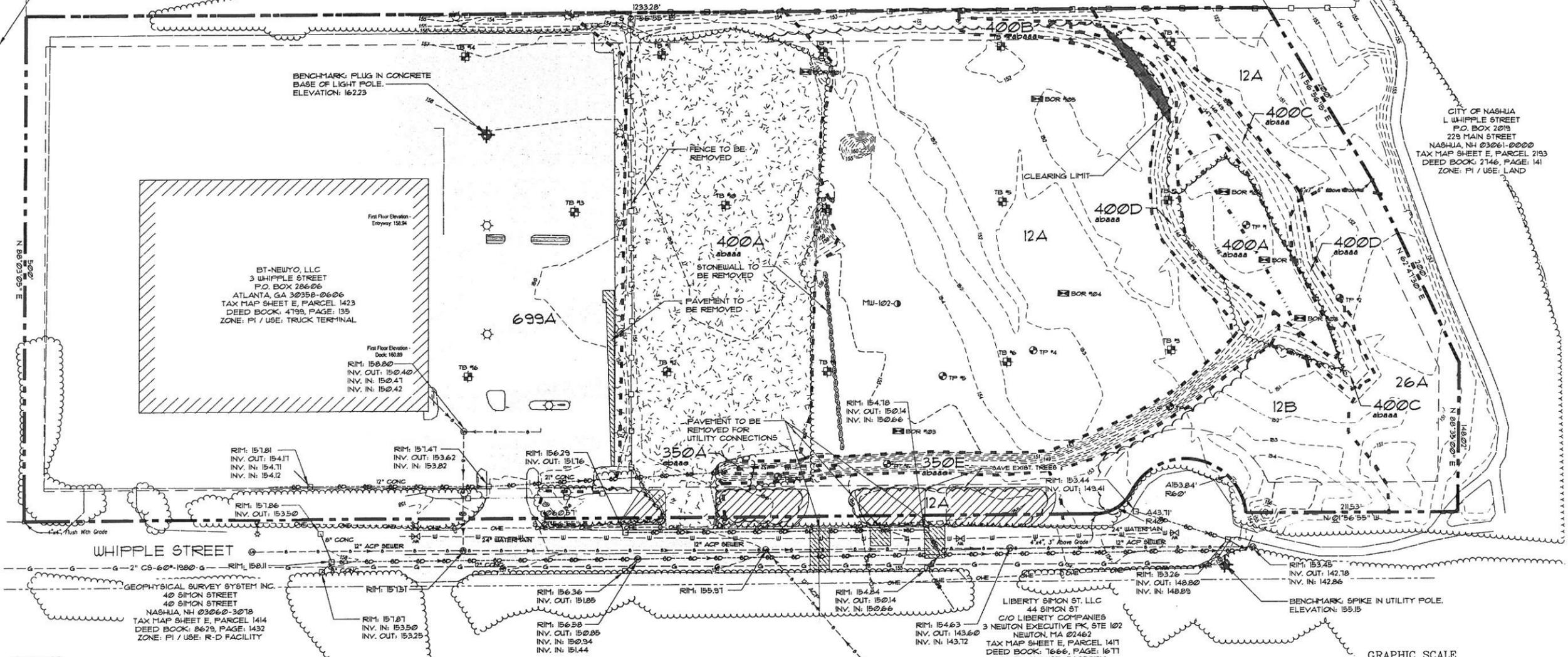
SCALE: AS SHOWN
DATE: APRIL 6, 2016
PROJECT: 16109 / 16314

DRN BY: MJB/JWG
DESG BY: TSG
CHK BY:

10K MODULAR HUB
3 WHIPPLE STREET
NASHUA, NH

EXISTING CONDITION & DEMOLITION PLAN

C2



SITE-SPECIFIC SOIL MAP NOTES

- THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR USE BY PINKHAM & GREER, CIVIL ENGINEERS FOR THE UPS FACILITY EXPANSION AND ALTERATION OF TERRAIN REQUIREMENTS. IT WAS PRODUCED BY A CERTIFIED SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A NARRATIVE REPORT THAT ACCOMPANIES THIS MAP.
- THIS DETAILED SITE-SPECIFIC SOIL MAP CONFORMS TO THE STANDARDS OF 6896N PUBLICATION NO. 3, AS AMENDED, "SITE-SPECIFIC SOIL MAPPING STANDARDS FOR NH AND VT".
- THIS MAP HAS BEEN PREPARED TO COMPLY WITH SOIL MAPPING REQUIREMENTS OF RSA 485-A:11 AND NH DES ENV-UQ 1500, ALTERATION OF TERRAIN.
- THE BASE MAP PROVIDED FOR THE SOIL MAPPING WAS PRODUCED BY PINKHAM & GREER, CIVIL ENGINEERS. IT CONTAINS THE EXISTING CONDITIONS, TEST PITS CONDUCTED BY THE UNDERSIGNED, AND SOIL BORINGS BY R.W. GILLESPIE, INC. THIS INFORMATION WAS USED TO ASSIST IN GENERATING THE SITE SPECIFIC SOIL SURVEY. SOIL MAPPING FIELDWORK WAS CONDUCTED ON MARCH 24, 2016. CHANGES TO THE SOIL MAP MAY BE MADE IF ADDITIONAL TEST PITS (BACKHOE EXCAVATED) ARE CONDUCTED THAT CONTAIN PERTINENT INFORMATION TO THE PROJECT.

SOIL LEGEND

NUMERICAL SYMBOL	SOIL MAP UNIT NAME	ALPHA SLOPE SYMBOL	RANGE
12	HINCKLEY	A	0-3%
26	WINDSOR	C	3-8%
350	UDIFORMMENTS, WET SUBSTRATUM	O	8-15%
400	UDIFORMMENTS, SANDY	E	15-25%
699	URBAN LAND	E	25-50%

DISTURBED SOIL MAPPING UNIT SUPPLEMENT

THE FIVE COMPONENTS OF THE DISTURBED SOIL MAPPING UNIT SUPPLEMENT ON THIS MAP ARE AS FOLLOWS:

SYMBOL 1: DRAINAGE CLASS
 a-EXCESSIVELY DRAINED
 d-MODERATELY WELL DRAINED
 e-SOMEWHAT POORLY DRAINED

SYMBOL 2: PARENT MATERIAL (OF NATURALLY FORMED SOIL ONLY, IF PRESENT)
 b-GLACIOPLUVIAL DEPOSITS (OUTWASH/TERRACES OF SAND OR SAND AND GRAVEL)

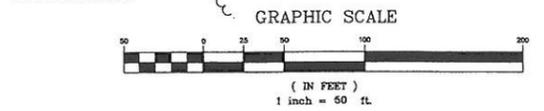
SYMBOL 3: RESTRICTIVE/IMPERVIOUS LAYERS
 a-NONE

SYMBOL 4: ESTIMATED KSAT* (MOST LIMITING LAYER EXCLUDING SYMBOL 3H ABOVE)
 a-HIGH

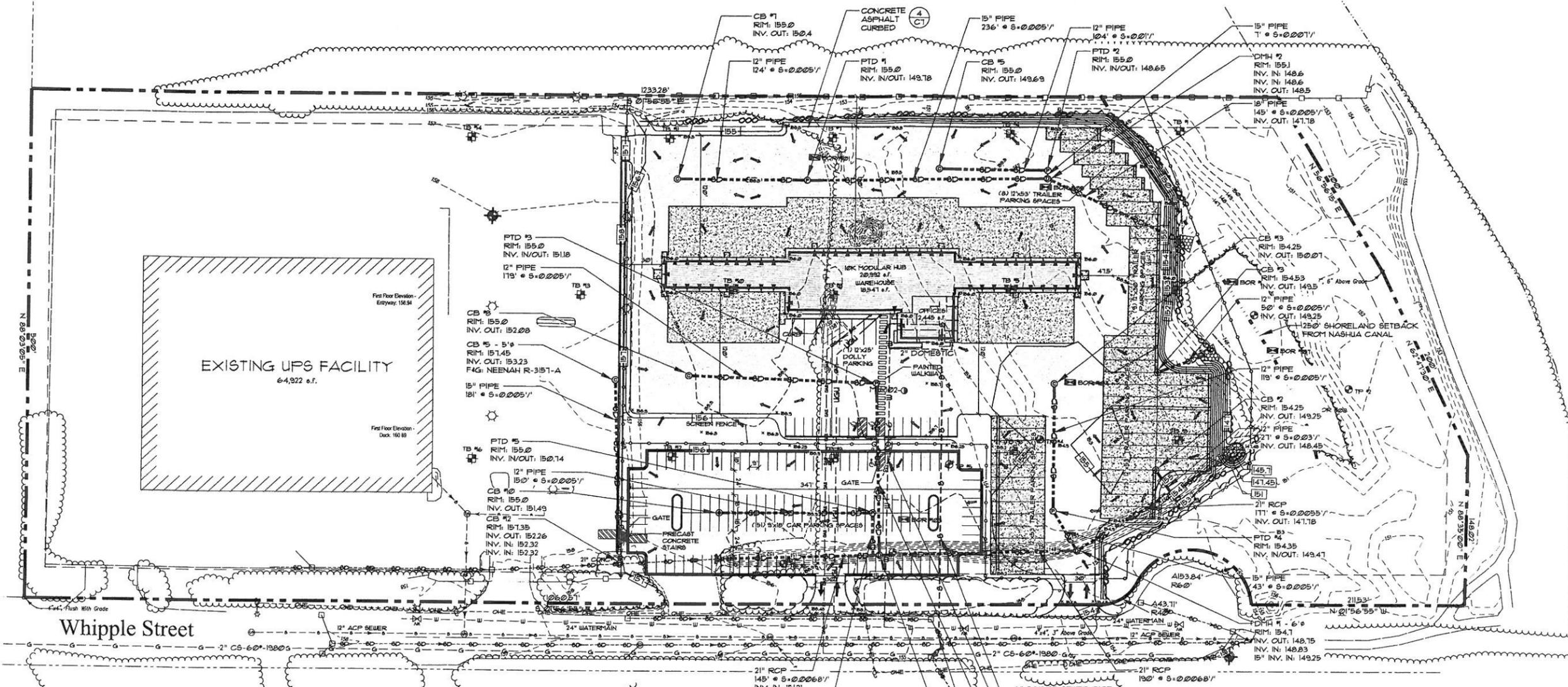
SYMBOL 5: HYDROLOGIC SOIL GROUP
 a-GROUP A
 a-NOT DETERMINED

*EXCLUDING MAN-MADE SURFACE IMPERVIOUS/RESTRICTIVE LAYERS

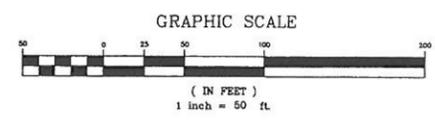
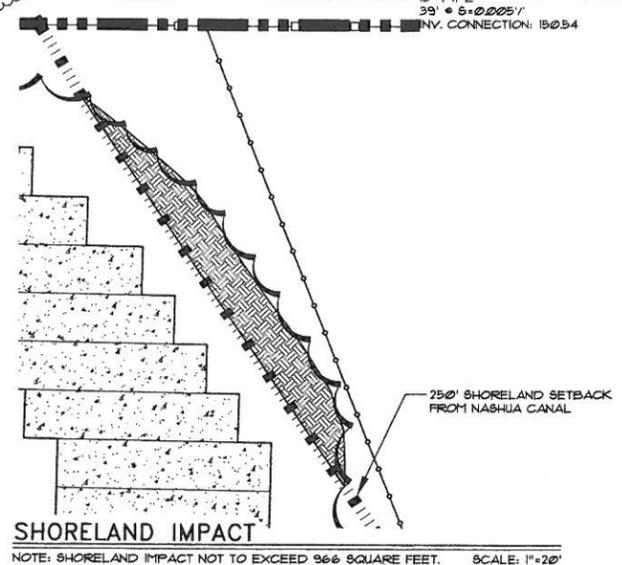
JOSEPH W. NOEL
NH CERTIFIED SOIL SCIENTIST '011



Route 3



EXISTING		PROPOSED	
[Symbol]	PROPERTY LINE	[Symbol]	EDGE OF PAVEMENT
[Symbol]	EDGE OF PAVEMENT	[Symbol]	SLOPED BITUMINOUS CURB
[Symbol]	CONTOURS	[Symbol]	CONTOURS
[Symbol]	BUILDING	[Symbol]	EDGE OF GRAVEL
[Symbol]	EDGE OF GRAVEL	[Symbol]	BUILDING ENTRY/EGRESS
[Symbol]	WATERCOURSE	[Symbol]	SANITARY SEWER
[Symbol]	SHORELAND ZONE	[Symbol]	STORM DRAIN
[Symbol]	GAS LINE	[Symbol]	UNDERGROUND UTILITY
[Symbol]	SANITARY SEWER	[Symbol]	WATER LINE
[Symbol]	STORM DRAIN	[Symbol]	GAS LINE
[Symbol]	OVERHEAD UTILITY	[Symbol]	CHAINLINK FENCE
[Symbol]	WATER LINE	[Symbol]	SPOT GRADE
[Symbol]	CATCH BASIN	[Symbol]	CATCH BASIN
[Symbol]	DRAIN MANHOLE	[Symbol]	DRAIN MANHOLE
[Symbol]	SEWER MANHOLE	[Symbol]	PRETREATMENT DEVICE (PTD)
[Symbol]	UTILITY POLE	[Symbol]	SANITARY MANHOLE
[Symbol]	TREELINE	[Symbol]	HYDRANT
[Symbol]	CHAINLINK FENCE	[Symbol]	WATER SHUT OFF
[Symbol]	BENCHMARK	[Symbol]	THRUST BLOCK
[Symbol]	BOUND FOUND	[Symbol]	LIGHT POLE
[Symbol]	HYDRANT	[Symbol]	UTILITY POLE
[Symbol]	GATE VALVE	[Symbol]	HANDICAP PARKING
[Symbol]	LIGHT POLE	[Symbol]	PAINTED CROSSWALK
[Symbol]	BORINGS, RUG 4A 1988	[Symbol]	SURFACE DRAINAGE
[Symbol]	TEST PIT, JOE NOEL 2016	[Symbol]	RIPRAP
[Symbol]	BORINGS, RUG 4A 2016	[Symbol]	SIGN
[Symbol]	MONITORING WELL, RUG 4A 2016	[Symbol]	CONCRETE PAVEMENT
[Symbol]	GRAVEL	[Symbol]	BUILDING HATCH
[Symbol]	STONE WALL	[Symbol]	BITUMINOUS PAVEMENT
[Symbol]		[Symbol]	CLEARING LIMIT
[Symbol]		[Symbol]	SLOPED BITUMINOUS CURB
[Symbol]		[Symbol]	FEEDER CURB
[Symbol]		[Symbol]	SHORELAND PEN IMPACT



PINKHAM & GREER
CIVIL ENGINEERS
28 WANKHILL AVE. PORTLAND, ME 04103
TEL: 207.761.5442 FAX: 207.761.6245



REV.	DATE	DESCRIPTION
1	4/19/16	DES SUBMITTAL
2	5/2/16	REVISED PER CITY STAFF COMMENTS

BT-NEWYO, LLC
55 GLENLAKE PARKWAY
ATLANTA, GA 30328
DAVE VAN HOOK - 401-575-6014

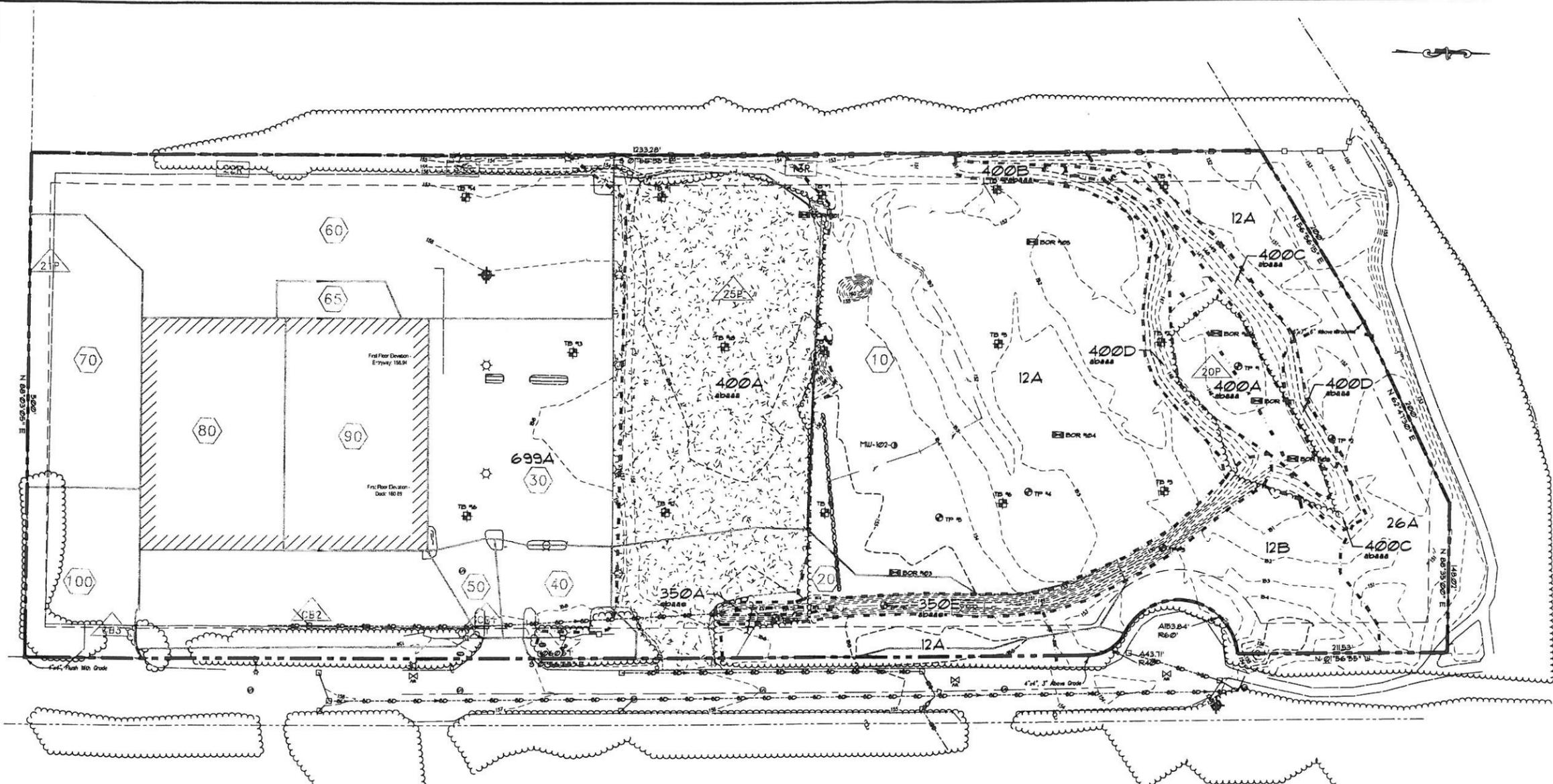
SCALE: AS SHOWN
DATE: APRIL 6, 2016
PROJECT: 16109 / 16314

DRN BY: MIBUJWG
DES BY: TSG
CHK BY: TJC

10K MODULAR HUB
3 WHIPPLE STREET

LAYOUT, GRADING &
UTILITY PLAN

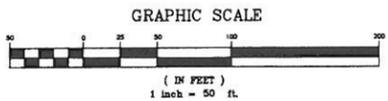
C3



- LEGEND**
- EXISTING**
- — — — — PROPERTY LINE
 - — — — — EDGE OF PAVEMENT
 - — — — — CONTOURS
 - — — — — BUILDING
 - — — — — EDGE OF GRAVEL
 - — — — — WATERCOURSE
 - — — — — SHORELAND ZONE
 - — — — — GAS LINE
 - — — — — SANITARY SEWER
 - — — — — STORM DRAIN
 - — — — — OVER-HEAD UTILITY
 - — — — — WATER LINE
 - CATCH BASIN
 - DRAIN MANHOLE
 - SEWER MANHOLE
 - UTILITY POLE
 - — — — — TREELINE
 - — — — — CHAINLINK FENCE
 - ⊕ BENCHMARK
 - ⊕ BOUND FOUND
 - ⊕ HYDRANT
 - ⊕ GATE VALVE
 - ⊕ LIGHT POLE
 - ⊕ BOR # BORINGS, RUG#A 1986
 - ⊕ TP # TEST PIT, JOE NOEL 2016
 - ⊕ BOR # BORINGS, RUG#A 2016
 - ⊕ MU-102 MONITORING WELL, RUG#A 2016
 - ▨ GRAVEL
 - ▨ STONE WALL
 - ▨ DEMO PAVEMENT
 - ▨ SOILS BOUNDARY

- DRAINAGE LEGEND**
- — — — — SUBCATCHMENT PERIMETER
 - 10S SUBCATCHMENT NUMBER
 - — — — — TIME OF CONCENTRATION (Tc) PATH
 - 10R REACH
 - 10P POND

SEE SHEET C2 FOR SOILS NOTES & LEGEND.



PINKHAM & GREER
CIVIL ENGINEERS
28 HUNTER HILL DR., SUITE 100
NASHUA, NH 03079

51314

REV.	DATE	DESCRIPTION
1	5/13/16	DESUBMISSION
2	5/13/16	REVISED PER COMMENTS

BT-NEWYO, LLC
55 GLENLAKE PARKWAY
ATLANTA, GA 30328
DAVE VAN HOOK - 401-575-6014

SCALE: AS SHOWN
DATE: APRIL 6, 2016
PROJECT: 16109716314

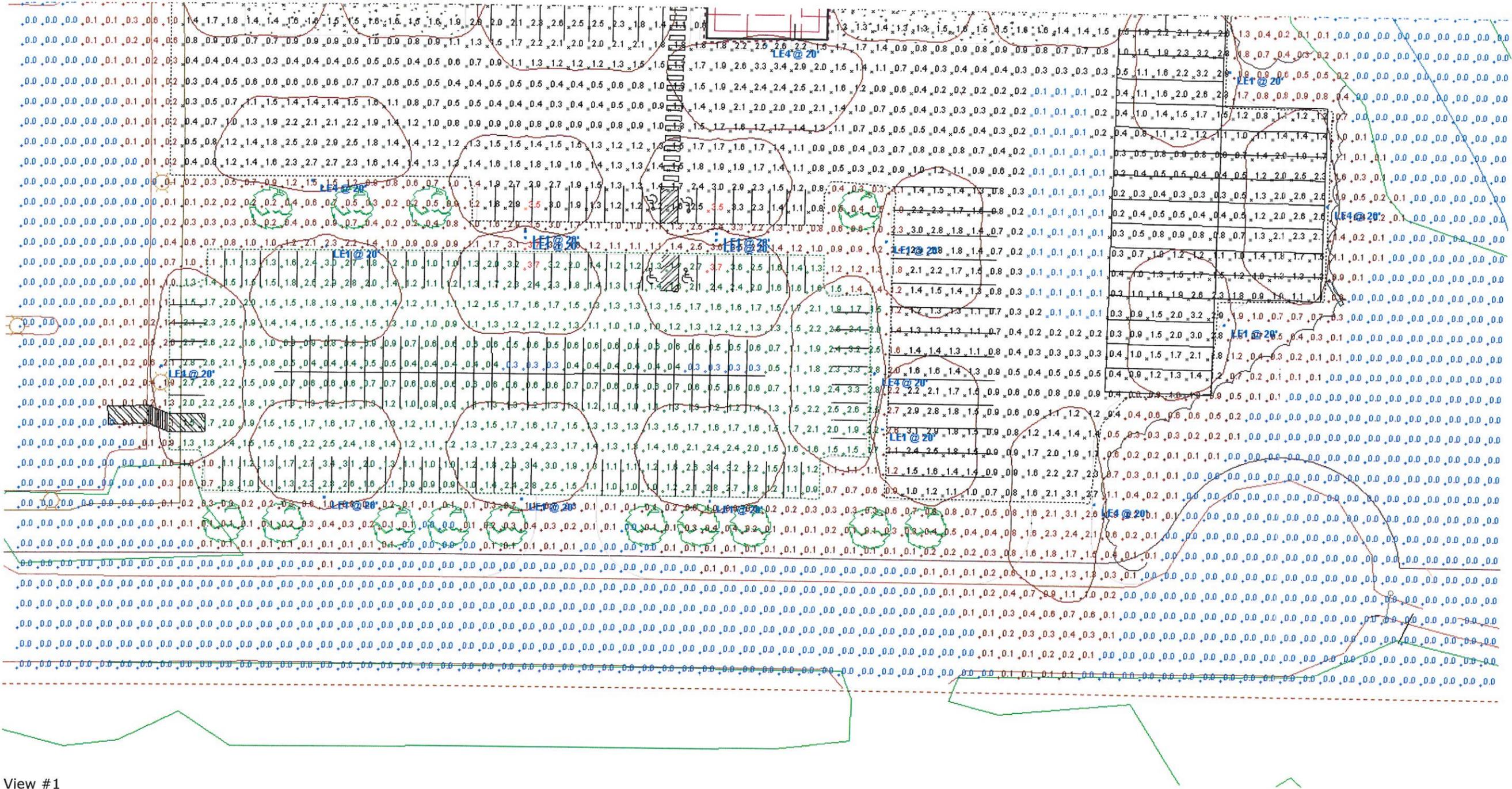
DRN BY: MBL/JWG
DESIGN BY: TRG
CHK BY: [Signature]

10K MODULAR HUB
3 WHIPPLE STREET
NASHUA, NH

DRAINAGE ANALYSIS - EXISTING CONDITIONS

D1

MAP/LOT E/1423

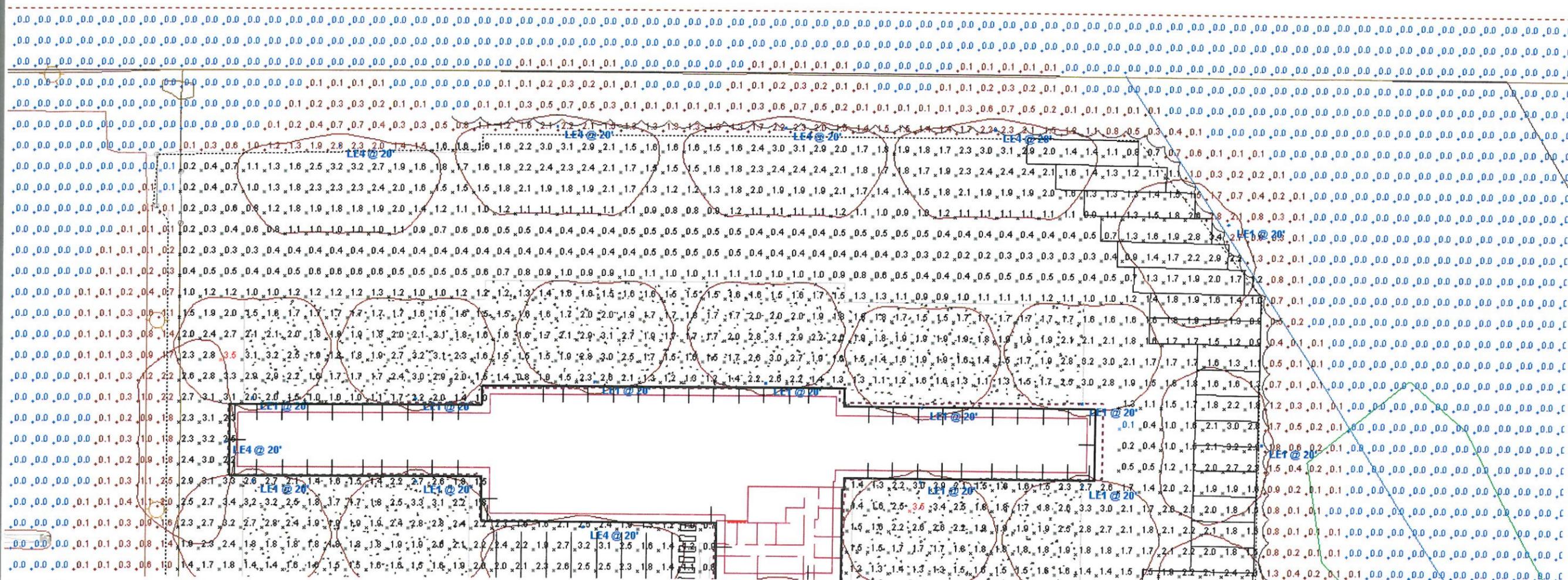


View #1



UPS Nashua, NH
Exterior Lighting
Photometric

Designer
Bennett
Engineering
Date
4/1/2016
Scale
Not to Scale
Drawing No.
L1
Summary



View #2

**UPS Nashua, NH
Exterior Lighting
Photometric**

Designer
Bennett
Engineering
Date
4/1/2016
Scale
Not to Scale
Drawing No.
L1
Summary



Luminaire Schedule

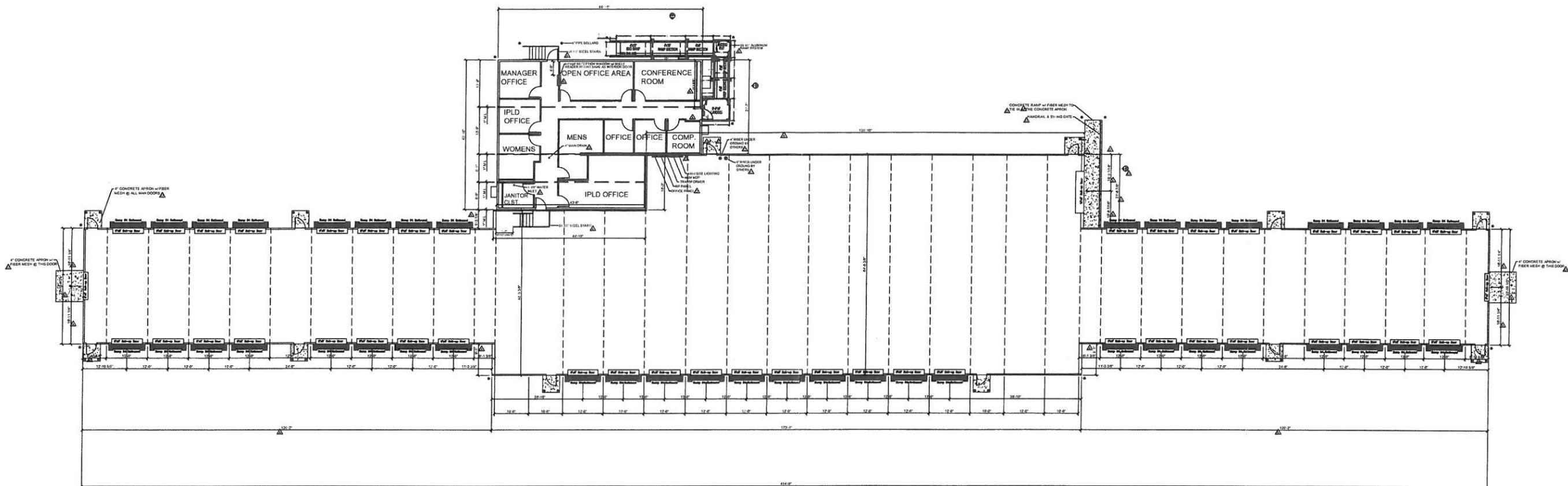
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	LE4	12	Lithonia Lighting	DSX1 LED 60C 700 40K T3M MVOLT HS	DSX1 LED WITH (2) 30 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, @ 700mA WITH HOUSE SIDE SHIELD	LED	1	DSX1_LED_60C_700_40K_T3M_MVOLT_HS.ies	9750.49	1	131
	LE1	24	Lithonia Lighting	DSX1 LED 60C 700 40K TFTM MVOLT HS	DSX1 LED WITH (2) 30 LED LIGHT ENGINES, TYPE TFTM OPTIC, 4000K, @ 700mA WITH HOUSE SIDE SHIELD	LED	1	DSX1_LED_60C_700_40K_TFTM_MVOLT_HS.ies	8901.142	1	131

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Car Parking Lot	◁	1.5 fc	3.7 fc	0.3 fc	12.3:1	5.0:1	0.4:1
Large Parking Area	×	1.4 fc	3.5 fc	0.1 fc	35.0:1	14.0:1	0.4:1
Overall Site	+	0.6 fc	3.7 fc	0.0 fc	N/A	N/A	0.2:1

**UPS Nashua, NH
Exterior Lighting
Photometric**

Designer
Bennett
Engineering
Date
4/1/2016
Scale
Not to Scale
Drawing No.
L1
Summary



OVERALL FLOOR PLAN
SCALE: 1/8" = 1'-0"

James D. Burgess
V.P. of Sales/Engineering
10601 County Road 10
Middlebury, IN 46540
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e-mail: jburgess11@msn.com

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Rev	Description	By	Date
A	REVISED PER ENGINEERING REVIEW.	MKM	1-28-16
B	REVISED PER CUSTOMER REVIEW.	IEM	2-3-16
C	REVISED PER ENGINEERING REVIEW.	IEM	2-29-16
D	REVISED PER ENGINEERING REVIEW.	IEM	3-5-16



USA Modular
Mobile & Modular Buildings
Sales & Leasing

UPS 10K HUB BUILDING

Description: 41-UNIT 10K HUB BUILDING

42-TRAILER 10K HUB BUILDING OVERALL FLOOR PLAN

Drawn By: ISAIAH MITCHELL

Date: 2-19-16

Scale: NOTED

File Name: UPS_NASHUA_NH_41-UNIT-42-TRAILER_10K_HUB-BUILDING-2016.DWG

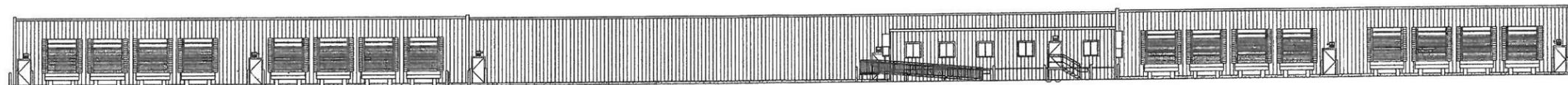
Project Name: 41-UNIT 42-TRAILER 10K HUB BUILDING

Location: NASHUA, NH.

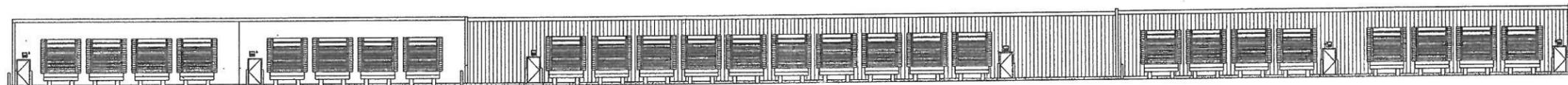
Job Number: HUB2016

Sheet:

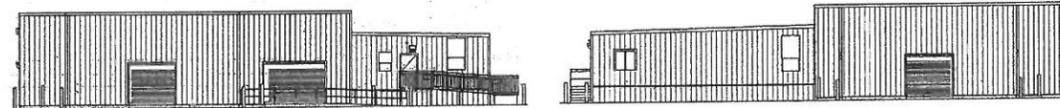
A1



① NORTH ELEVATION



② SOUTH ELEVATION



③ EAST ELEVATION

④ WEST ELEVATION

⑤ Exterior Elevations
1/16" = 1'-0"

No.	Description	Date	No.	Description	Date

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www.whitleyman.com

Drawn By:
AMP
Checked By:
PG
Rev:

EXTERIOR ELEVATIONS
USA MODULAR
UPS: 2016 DISTRIBUTION CENTER
41 VARIOUS MODULE SIZES

Serial No.	Date
t.b.d.	3-1-16
Quote No.	Scale
	1/16" = 1'-0"
Model No.	Page No.
7174	
Job No.	A1.0

3/12/2016 7:46:04 AM