

1. Planning Board Regular Meeting Agenda - Amended (PDF)

Documents: [20160407 NCPB AGENDA AMENDED.PDF](#)

2. Planning Board Staff Reports And Plans

Documents: [20160407 323 AND 327 DANIEL WEBSTER HWY SITE PLAN STAFF REPORT.PDF](#), [20160407 323 AND 327 DANIEL WEBSTER HWY SITE PLAN.PDF](#), [20160407 221 AND 225 DANIEL WEBSTER HWY SITE PLAN STAFF REPORT.PDF](#), [20160407 221 AND 225 DANIEL WEBSTER HWY SITE PLAN.PDF](#), [20160407 482 AMHERST STREET SITE PLAN STAFF REPORT.PDF](#), [20160407 482 AMHERST ST SITE PLAN.PDF](#), [20160407 367 AMHERST STREET SITE PLAN STAFF REPORT.PDF](#), [20160407 367 AMHERST ST SITE PLAN.PDF](#), [20160407 311 DANIEL WEBSTER HWY SITE PLAN STAFF REPORT.PDF](#), [20160407 311 DANIEL WEBSTER HWY SITE PLAN.PDF](#), [20160407 149 DANIEL WEBSTER HWY SITE PLAN STAFF REPORT.PDF](#), [20160407 149 DANIEL WEBSTER HWY SITE PLAN.PDF](#)



**City of Nashua**  
**Planning Department**  
229 Main Street  
Nashua, New Hampshire 03061-2019

Planning & Zoning 589-3090  
Fax 589-3119  
WEB [www.nashuanh.gov](http://www.nashuanh.gov)

March 31, 2016

**AMENDED AGENDA**

To: NCPB Members

From: Planning Staff

Re: Meeting, April 7, 2016

A regular meeting of the Nashua City Planning Board will be held on Thursday, at 7:00 p.m. in **Room 208, 2<sup>rd</sup> floor**, 229 Main Street. The Planning Staff will be available at 6:30 p.m. to answer any questions the Board or Public might have concerning the following proposed agenda.

- A. Call to Order
- B. Roll Call
- C. Approval of Minutes – March 17, 2016
- D. Communications
- E. Report of Chairman, Committee, & Liaison
- F. Executive Session

**OLD BUSINESS – CONDITIONAL / SPECIAL USE PERMITS**

None

**OLD BUSINESS - SUBDIVISION PLANS**

None

**OLD BUSINESS – SITE PLANS**

None

**NEW BUSINESS – CONDITIONAL / SPECIAL USE PERMITS**

None

**NEW BUSINESS – SUBDIVISION PLANS**

None

**NEW BUSINESS – SITE PLANS**

1. Scupp Realty, LLC & Jordan's Furniture, Inc. (Owners) - Application and acceptance of proposed site plan amendment to NR1592 to add a 1,104 sf addition to the overhead walkway. Property is located at 323 & 327 Daniel Webster Highway. Sheet A - Lots 384 & 729. Zoned "HB" Highway Business. Ward 7.

**NEW BUSINESS – SITE PLANS (continued)**

2. Linear Retail Nashua #1 LLC (Owner) - Application and acceptance of proposed site plan amendment to NR1459 to reconstruct intersections and minor site improvements. Property is located at 221 & 225 Daniel Webster Highway. Sheet A - Lot 190 & 761. Zoned "GB" General Business and "HB" Highway Business. Ward 8.
3. On In Two Management, Inc. (Owner) - Application and acceptance of proposed site plan amendment to NR 1449 to remove a condition of approval. Property is located at 482 Amherst Street. Sheet H - Lot 75. Zoned "AI" Airport Industrial and "HB" Highway Business. Ward 2.
4. Southland Corporation (Owner) Core States Group (Applicant) - Application and acceptance of proposed amendment to NR 1057 to remove existing fueling dispensers, concrete pad, and gas canopy and install new dispensers, islands, canopy and pad. Property is located at 367 Amherst Street. Sheet G - Lot 652. Zoned "GB" General Business. Ward 2.
5. Costco Wholesale Corp (Owner) Andrea James Realty, LLC (Applicant) - Application and acceptance of proposed site plan amendment to NR 1659 to show previously approved lot line relocation. Property is located at 311 Daniel Webster Highway and "L" Costco Drive, Sheet A - Lots 793 & 989. Zoned "HB" Highway Business. Ward 7.
6. James A. & Marilyn H. Forest (Owners) Friendly's Ice Cream, LLC (Applicant) - Application and acceptance of proposed site plan amendment to NR 1816 to add a drive thru window with associated site improvements. Property is located at 149 Daniel Webster Highway. Sheet A - Lot 746. Zoned "GB" General Business. Ward 7.

#### **OTHER BUSINESS**

1. Review of tentative agenda to determine proposals of regional impact.

#### **DISCUSSION ITEM**

None

#### **NONPUBLIC SESSION**

The Planning Board will need to make a motion to enter into a Nonpublic Session under RSA 91-A:3, II (e) for consideration or negotiation of pending claims or litigation which has been threatened in writing or filed against the public body.

#### **NEXT MEETING**

May 5, 2016

#### **ADJOURN**

#### **WORKSHOP**

#### **ACCOMMODATIONS FOR THE SENSORY IMPAIRED**

**"SUITABLE ACCOMMODATIONS FOR THE SENSORY IMPAIRED  
WILL BE PROVIDED UPON ADEQUATE ADVANCE NOTICE."**

**CONDUCT AT PLANNING BOARD MEETING**

*When the meeting is called to order, the only talking allowed in the Auditorium will be remarks addressed to the Chairman. Except for the original presentation of the subject or application, each person speaking for or against shall be limited to five (5) minutes until all have been given an opportunity to be heard, at which time each person may be allowed additional time if deemed necessary by the Board or the Chairman. When you are recognized by the Chairman, proceed to the podium, using the microphone, state your name and address and then make your comments. Courtesy is shown when you reserve your comments for the proper time.*

**PLEASE BE COURTEOUS**

**By Order of the Chair**

NASHUA CITY PLANNING BOARD  
STAFF REPORT

TO: Nashua City Planning Board  
FROM: Linda Panny, Planner I  
FOR: April 7, 2016  
RE: **New Business #1– Site Plan**

**I. Project Statistics:**

Owners: Schupp Realty, LLC & Jordan’s Furniture, Inc.  
Proposal: Site plan amendment for building addition  
Location: 323 & 327 Daniel Webster Highway  
Total Site Area: 1.14 acres  
Existing Zoning: HB-Highway Business  
Surrounding Uses: Commercial

**II. Background Information:**

The parcels received Planning Board approval on September 3, 2015 for a lot line relocation and site plan to demolish the 4,150 sf existing building on Lot 384 and construct a 23,000 sf, two-story addition that will be connected to the Jordan’s Furniture building on the adjacent Lot 729. (See attached approval letters and staff report).

**III. Project Description:**

The proposed change to the site is to amend the previously approved plan to add a 1,104 sf addition to the proposed second story overhead walkway. All prior conditions of approval shall remain in effect.

Two waivers are being requested. Seventy-two parking spaces are shown on the plan. A minimum of 88 spaces are required by City Ordinance. The building is designed to blend with the existing Jordan’s Furniture Store. The roof elevation as currently proposed is 4 VF higher than previously viewed and approved by the Board. As the design does not meet all of the City’s building design standards, a waiver has been requested.

City Staff reviewed the plans. There are some Engineering comments that still need to be addressed.

**IV. Staff Recommendations and Findings:**

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

1. The request for a waiver of NRO § 190-198, which establishes the minimum number of required parking spaces, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. The request for a waiver of NRO § 190-172, which establishes building design standards, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
3. Prior to the issuance of a building permit, all comments found in a letter from Jeanne Walker, PE dated March 14, 2016 will be resolved to the satisfaction of the Engineering Department.
4. All prior conditions of approval are incorporated herein and made a part of this plan, unless otherwise determined by the Planning Board.

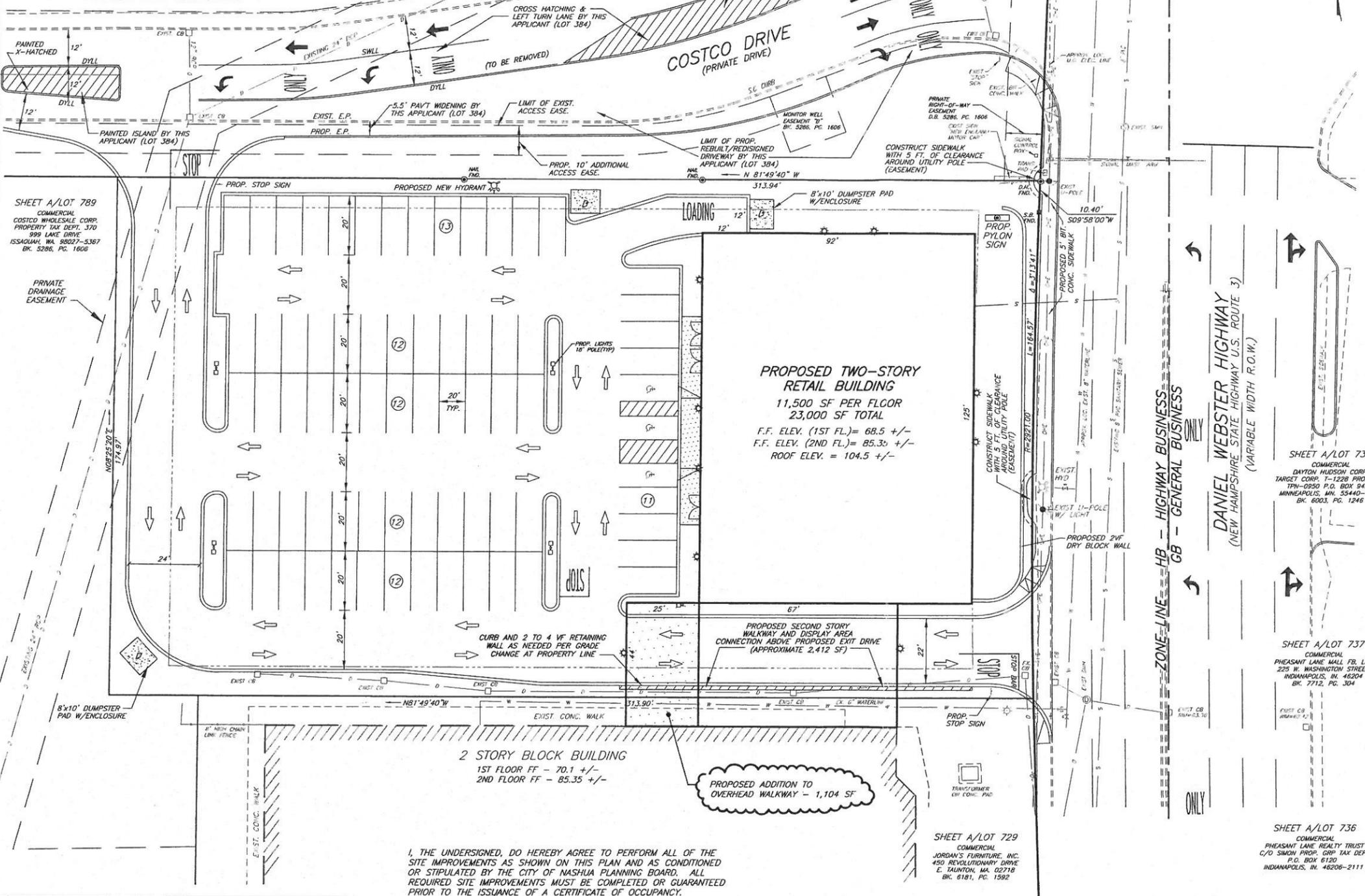
**PLAN REFERENCES**

1. SUBMISSION PLAN, DANIEL WEBSTER HIGHWAY, NASHUA, NEW HAMPSHIRE FOR: COSTCO WHOLESALE CORP.; BY: ALLAN H. SWANSON, INC.; DATED: JULY 10, 1991; LAST REVISED AUGUST 9, 1991; H.C.R.D. NO. 28187
2. EASEMENT PLAN, DANIEL WEBSTER HIGHWAY, NASHUA, NEW HAMPSHIRE FOR: COSTCO WHOLESALE CORP.; BY: ALLAN H. SWANSON, INC.; DATED: AUGUST 21, 1991; H.C.R.D. NO. 25406
3. DANIEL WEBSTER HIGHWAY SIDEWALK IMPROVEMENTS MASSACHUSETTS STATE LINE TO SILVER DRIVE; DATED: JANUARY 2008; BY: CITY OF NASHUA ENGINEERS OFFICE
4. SITE PLAN - JORDAN'S FURNITURE EXPANSION, NASHUA, NEW HAMPSHIRE; BY: ANDERSON-NICHOLS; DATED: MARCH 6, 1990; NR1592
5. SITE PLAN - 323 DANIEL WEBSTER HIGHWAY, NASHUA, NEW HAMPSHIRE FOR: ANDREA JAMES REALTY, LLC; BY: MAYNARD & PAQUETTE ENG. ASSOC., LLC DATED: APRIL 8, 2008; LAST REVISED - JULY 7, 2008; NR1592
6. SITE PLAN - 323 & 327 DANIEL WEBSTER HIGHWAY, NASHUA, NEW HAMPSHIRE FOR: ANDREA JAMES REALTY, LLC, & JORDAN'S FURNITURE, INC.; BY: MAYNARD & PAQUETTE ENG. ASSOC., LLC; DATED: MAY 13, 2015; NR1592

SHEET A/LOT 793  
COMMERCIAL  
COSTCO WHOLESALE CORP.  
PROPERTY TAX DEPT. 370  
999 LAKE DRIVE  
ISSAQUOIA, WA 98027-5367  
BK. 5286, PG. 1606

SHEET A/LOT 734  
COMMERCIAL  
MACY DEPARTMENT STORES CO.  
PROPERTY TAX DEPT.  
7 W SEVENTH STREET  
CINCINNATI, OH 45202

SHEET A/LOT 532  
COMMERCIAL  
HAUSBERGER ASSOCIATES  
41 SHELLEY DRIVE  
NASHUA, NH 03062  
BK. 4771, PG. 203



**PROPOSED TWO-STORY RETAIL BUILDING**  
11,500 SF PER FLOOR  
23,000 SF TOTAL  
F.F. ELEV. (1ST FL.) = 68.5 +/-  
F.F. ELEV. (2ND FL.) = 85.3 +/-  
ROOF ELEV. = 104.5 +/-

**2 STORY BLOCK BUILDING**  
1ST FLOOR FF - 70.1 +/-  
2ND FLOOR FF - 85.35 +/-

PROPOSED ADDITION TO OVERHEAD WALKWAY - 1,104 SF

I, THE UNDERSIGNED, DO HEREBY AGREE TO PERFORM ALL OF THE SITE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE CITY OF NASHUA PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

*Andrea James Realty, LLC*  
ANDREA JAMES REALTY, LLC (OWNER LOT XXX)

*Jordan's Furniture, Inc.*  
JORDAN'S FURNITURE, INC. (OWNER LOT 729)

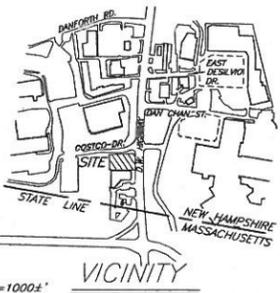
I CERTIFY THAT THIS PLAN WAS PREPARED FROM BOUNDARY INFORMATION SHOWN ON PLAN REFERENCE 1 - 4 AND A FIELD SURVEY MADE ON THE GROUND IN APRIL 2015 HAVING A MAXIMUM ERROR OF CLOSURE OF 1:10,000.

**LEGEND**

- STONE BOUND FOUND
- STONE BOUND TO BE SET
- IRON PIN FOUND
- IRON PIN TO BE SET
- MINIMUM BUILDING SETBACK
- EXISTING BUILDING
- EXISTING OVERHEAD ELECTRIC
- EXISTING SANITARY SEWER
- EXISTING WATERLINE
- EXISTING STORM DRAIN
- PROPOSED SANITARY SEWER
- PROPOSED WATERLINE
- PROPOSED STORM DRAIN

**NOTES:**

1. PRESENT ZONING: HB - HIGHWAY BUSINESS
2. TOTAL LOT AREA: 49,529 S.F. (1.136 ACRES)
3. EXISTING USE: RETAIL AUTOMOTIVE SALES
4. PRESENT RETAIL (USE 116) @ 1/300 S.F. = 88 SPACES (MIN)
5. THE PURPOSE OF THIS PLAN IS TO AMEND NR1592, BY ADDING A 1,104 SF ADDITION TO THE PROPOSED SECOND STORY OVERHEAD WALKWAY.
6. ON-SITE PARKING: 26,516 S.F. RETAIL (USE 116) @ 1/150 S.F. = 177 SPACES (MAX) 26,516 S.F. RETAIL (USE 116) @ 1/150 S.F. = 177 SPACES (MAX) TOTAL PROPOSED: 72 SPACES (INCL. 3 H/C SPACES)
7. DIMENSIONAL REQUIREMENTS:  
SETBACKS - FRONT = 20 FT. SIDE = 10 FT. REAR = 20 FT.  
LOT AREA (MIN): 20,000 S.F.  
LOT WIDTH (MIN): 100 FT.  
LOT DEPTH (MIN): 60 FT.  
FLOOR AREA (MAX): 0.75  
MAX. BLDG. HEIGHT: 60 FT.  
OPEN SPACE (MIN): 20% (EXIST); 8
8. HOURS OF OPERATION: STORE - 7 A.M. TO MIDNIGHT; DELIVERIES - NO RESTRICTIONS
9. IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN IN ANY PLAN WAY WHATSOEVER, OR CONVERT OR ALTER A STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY OF NASHUA.
10. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATIONS OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THIS PLAN, PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND TO INTERFERE WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL MEASURES SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK.
11. SITE IMPROVEMENTS SHALL CONFORM TO TITLE 111 OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSIONS, GRADES AND NUMBER OF SPACES.
12. PERMANENT MARKERS ARE TO BE SET AT ALL LOT CORNERS AND STONE BOUNDS AT ALL POINTS OF CURVATURE AND TANGENCY ALONG THE RIGHT-OF-WAY BY A LICENSED LAND SURVEYOR.
13. ALL SIGNS SHALL CONFORM TO CHAPTER 190, DIVISION 91, ARTICLE X OF THE CITY OF NASHUA REVISED ORDINANCES, AND SIGN PERMITS SHALL BE SECURED PRIOR TO INSTALLATION.
14. LIGHTING SHALL BE DIRECTED ON SITE, AWAY FROM TRAFFIC INTERFERENCE, AND SHALL CONFORM TO CHAPTER 190, DIVISION 88, ARTICLE IX OF THE CITY OF NASHUA REVISED ORDINANCES.
15. LANDSCAPING SHALL CONFORM TO CHAPTER 190, DIVISION 190, ARTICLE XXVII OF THE CITY OF THE NASHUA REVISED ORDINANCES.
16. LOT IS SERVED BY MUNICIPAL SEWER AND PENNICKUCK WATER WORKS.
17. ALL NEW BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AND SOIL INVESTIGATION BY A PROFESSIONAL ENGINEER ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
18. PRIOR TO ANY WORK BEING CONDUCTED ON SITE A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PLANNING STAFF AND OTHER CITY DEPARTMENTS AS NECESSARY TO REVIEW THE PROPOSED WORK.
19. THE SITE IS LOCATED WITHIN ZONE X, OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD PLAIN, PER F.I.R.M. COMMUNITY MAP NUMBER 3301100654D, EFFECTIVE 9/25/2009.
20. THE SITE IS NOT LOCATED WITHIN THE WATERSHED PROTECTION DISTRICT.
21. SEE CITY OF NASHUA PLANS OF ROADWAY AND TRAFFIC SIGNAL IMPROVEMENTS ON DANIEL WEBSTER HIGHWAY AND SPIT BROOK ROAD, PHASE II (FEED NO. C-315) AND C-316 (FEED NO. C-313) DANIEL WEBSTER HIGHWAY, COSTCO DRIVE, ETC. - NO IMPROVEMENTS BY CITY PROPOSED AT THIS TIME.
22. STREET RESTORATION SHALL BE IN ACCORDANCE WITH CHAPTER 285, DIVISION 13, ARTICLE II OF THE CITY OF NASHUA REVISED ORDINANCE.
23. ROOF DRAIN AND STORM DRAIN CONNECTIONS INTO THE PUBLIC DRAINAGE SYSTEM TO BE INSPECTED PRIOR TO BACKFILLING AND PAVING.
24. ALL CURBING WITHIN THE PUBLIC RIGHT-OF-WAY TO BE VERTICAL GRANITE.
25. THERE ARE NO WETLANDS ON SITE.
26. ON JUNE 9, 2015 THE CITY OF NASHUA ZONING BOARD OF ADJUSTMENT GRANTED THE FOLLOWING VARIANCE REQUEST: REQUEST A VARIANCE TO ENCROUGH 10 FEET INTO THE 10 FOOT REQUIRED LEFT SIDE YARD SETBACK AT 323 DW HIGHWAY; AND 10 FEET INTO THE 10 FOOT RIGHT SIDE YARD SETBACK AT 327 DW HIGHWAY; TO CONSTRUCT A SECOND STORY BUILDING ADDITION CONNECTION BETWEEN JORDAN'S FURNITURE AND A PROPOSED NEW BUILDING AT 323 DW HIGHWAY.
27. INSTALLATION AND DISCONNECTION (IF NECESSARY) OF EXISTING/PROPOSED SEWER CONNECTION MUST FOLLOW CITY STANDARDS.
28. THIS PLAN COMPLIES WITH THE MINIMUM REQUIREMENTS.



- STIPULATION OF APPROVAL:**
1. THE REQUEST FOR A WAIVER OF NRO 190-198, WHICH ESTABLISHES THE MINIMUM NUMBER OF REQUIRED PARKING SPACES, IS GRANTED.
  2. THE REQUEST FOR A WAIVER OF NRO 190-172, WHICH ESTABLISHES BUILDING DESIGN STANDARDS, IS GRANTED.
  3. THE REQUEST FOR A WAIVER OF NRO 190-89, WHICH ESTABLISHES MINIMUM LIGHTING STANDARDS, IS GRANTED.
  4. THE REQUEST FOR A WAIVER OF NRO 190-184, WHICH ESTABLISHES THE MINIMUM LANDSCAPE STANDARDS FOR PARKING LOTS, IS GRANTED.
  5. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, ALL COMMENTS FOUND IN AN EMAIL FROM FIRE MARSHALL CYNTHIA BAUTISTA DATED 6/24/2015 WILL BE RESOLVED TO THE SATISFACTION OF THE FIRE DEPARTMENT.
  6. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, ALL COMMENTS FOUND IN A LETTER FROM JEANNE WALKER, PE DATED 6/22/2015 WILL BE RESOLVED TO THE SATISFACTION OF THE ENGINEERING DEPARTMENT.
  7. PRIOR TO THE CHAIR SIGNING THE PLAN, MINOR DRAFTING CORRECTIONS WILL BE MADE.
  8. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, STORMWATER DOCUMENTS AND ALL EASEMENTS WILL BE SUBMITTED TO CITY STAFF FOR REVIEW AND APPROVAL AND RECORDED AT THE REGISTRY OF DEEDS AT THE APPLICANTS EXPENSE.
  9. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, A FINANCIAL GUARANTEE SHALL BE POSTED FOR ALL OFF-SITE IMPROVEMENTS IN ACCORDANCE WITH NRO 190-143.
  10. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, ALL ON-SITE IMPROVEMENTS WILL BE COMPLETED.

**323 & 327 DANIEL WEBSTER HWY. NASHUA, NEW HAMPSHIRE**

OWNER: (LOT 384)  
SCUPP REALTY, LLC  
FORMERLY ANDREA JAMES REALTY, LLC  
24 APPLE TREE GREEN  
NASHUA, NEW HAMPSHIRE 03062  
(603) 888-2109

OWNER: (LOT 729)  
JORDAN'S FURNITURE, INC.  
45 REVOLUTIONARY DRIVE  
E. TAUNTON, MA. 02718

DATE: FEBRUARY 23, 2016  
SCALE: 1" = 20'

**Engineering Associates, LLC**  
Consulting Engineers and Land Surveyors  
23 East Pearl Street, Nashua, NH 03060  
Phone: (603)883-8433 Fax: (603)883-7227

RAM	APB				D	12033
DESIGNED	DRAFTED	CHECKED	APPROVED	BOOK & PAGE	REVISION	SIZE

NO.	DATE	BY	REVISION

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 MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC  
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NASHUA CITY PLANNING BOARD  
STAFF REPORT

TO: Nashua City Planning Board  
FROM: Linda Panny, Planner I  
FOR: April 7, 2016  
RE: **New Business #2 - Site Plan**

**I. Project Statistics:**

Owners: Linear Retail Nashua LLC  
Proposal: site plan amendment  
Location: 221 & 225 Daniel Webster Hwy  
Total Site Area: 281,078 sf (6.45 acres)  
Existing Zoning: GB-General Business and HB-Highway Business  
Surrounding Uses: Commercial and Residential

**II. Background Information:**

The original site plan for this property was approved on October 15, 1987 and permitted the construction of the shopping center known as the Daniel Webster Plaza. Minor amendments to the site plan have been approved over the years. More recently, in 2015 they received planning board approval for a lot line relocation plan (see attached approval letter).

**III. Project Description:**

The purpose of this plan is to show the parking lot reconfiguration following the lot line relocation. Improvements to the site include a new detectable warning marking at crosswalk along the Daniel Webster Highway and the addition of a turn pocket at the Royal Ridge Drive intersection. The entire driveway along the connector road will be repaved and re-stripped. New landscaping will be added. Parking spaces will be shifted on site, but still exceed the minimum required. One waiver is being requested as part of this application to show the existing conditions.

According to the applicant's engineer, there is a small increase in impervious area (approximately 160 sf). There are three existing catch basins which will handle the increase equally based on grades.

The plan was reviewed by City staff and there are no outstanding comments.

**Staff Recommendations and Findings:**

The Planning Board should make a determination that the plan meets, or does not meet the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulation be made part of that approval:

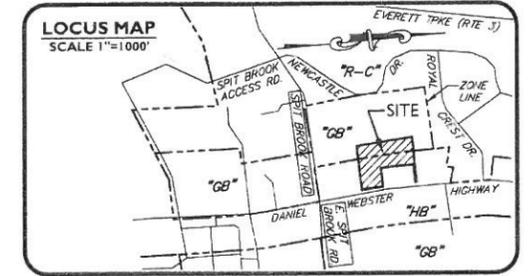
1. The request for a waiver of § 190-279(J)), which requires an existing conditions plan, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. Prior to the chair signing the plan, the lot line relocation plan approved on November 5, 2015 will be recorded.
3. Any work within the right-of-way shall require a financial guarantee.

# DANIEL WEBSTER PLAZA

## 221 & 225 DANIEL WEBSTER HIGHWAY

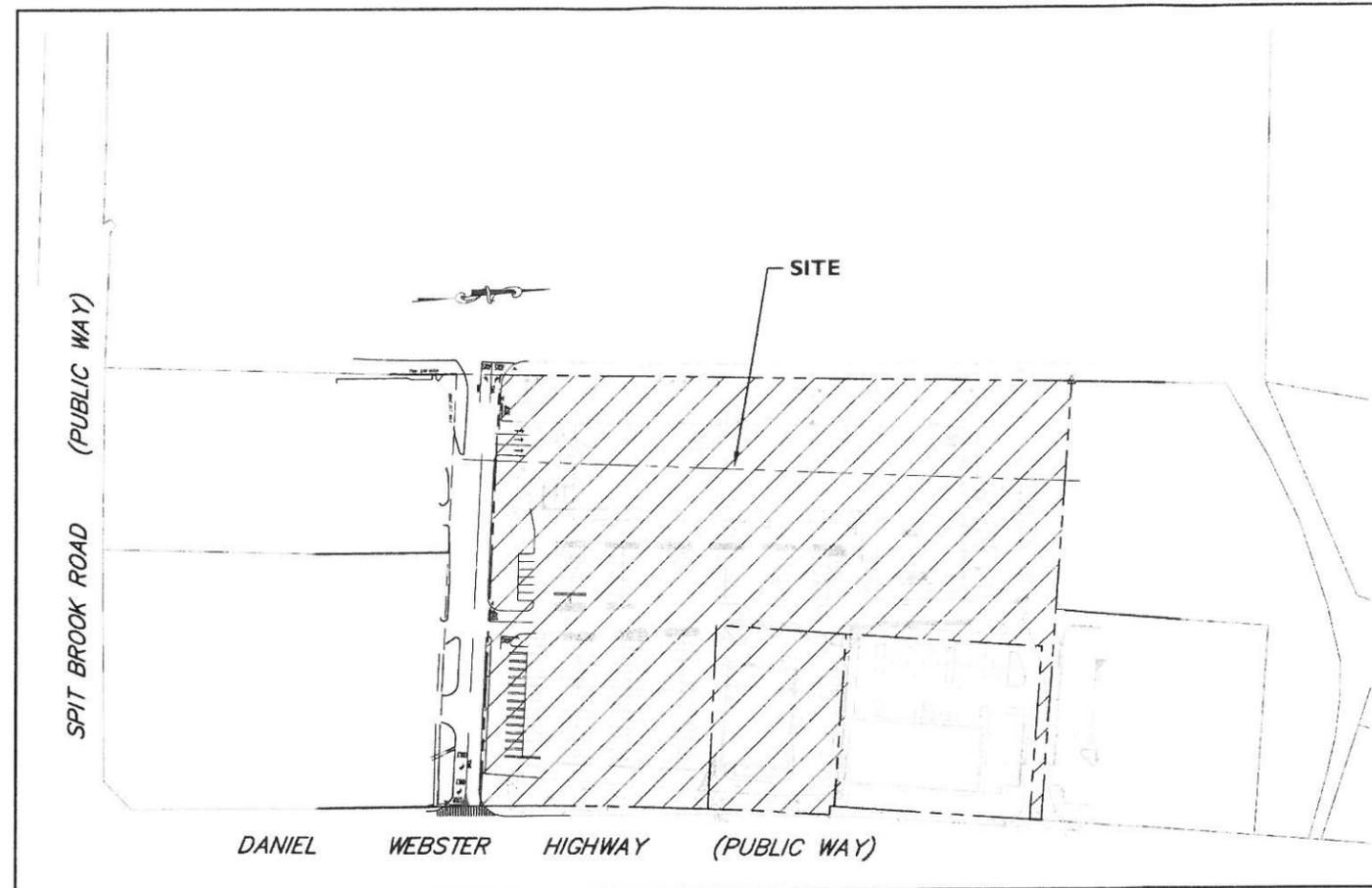
### NASHUA, NH

## AMENDED SITE PLAN



**GENERAL NOTES:**

1. ALL LANDSCAPING SHALL BE AS SHOWN ON THE PLAN AND CONFORM TO THE APPLICABLE CITY OF NASHUA ZONING REGULATIONS.
2. ALL SITE LIGHTING SHALL BE AS SHOWN ON THE PLAN, DIRECTED ONTO SITE AND CONFORM TO THE APPLICABLE CITY OF NASHUA ZONING REGULATIONS.
3. ALL SIGNAGE SHALL CONFORM TO APPLICABLE CITY OF NASHUA ZONING REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
4. SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM TO TITLE 111 OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSIONS AND GRADE AND NUMBER OF SPACES. ALL ZONING VARIANCES AND SPECIAL EXCEPTIONS THAT APPLY TO THE SITE (WETLANDS, FLOOD HAZARD, USE, DIMENSIONAL), DATE OF APPROVAL AND STIPULATIONS.
5. "IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN AND ANY WAY WHATSOEVER, OR CONVERT OR ALTER AND STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY."
6. "FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED."
7. PRIOR TO ANY WORK BEING CONDUCTED A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PLANNING STAFF AND OTHER CITY DEPARTMENTS AS NECESSARY TO REVIEW WORK PROPOSED.
8. UTILITIES INCLUDING ALL ELECTRIC, TELEPHONE, CABLE TELEVISION, AND OTHER COMMUNICATION LINES, BOTH MAIN AND SERVICE CONNECTIONS, SERVICING NEW DEVELOPMENTS SHALL BE PROVIDED BY UNDERGROUND WIRING WITHIN CASEMENTS OR DEDICATED PUBLIC RIGHT-OF-WAY, INSTALLED IN ACCORDANCE WITH THE BOARD OF PUBLIC WORKS SPECIFICATIONS.
9. STREET RESTORATION TO BE IN ACCORDANCE WITH NRO 285-13.
10. THE SITE IS SERVICED BY MUNICIPAL SEWER AND THE PENNICHUCK WATER WORKS.
11. THERE ARE NO WETLANDS LOCATED ON THE PROPERTY. THE PROPERTY IS LOCATED IN A ZONE "X", AREA DETERMINED TO BE OUTSIDE THE .2% ANNUAL CHANCE FLOOD. FIRM MAP NO. 33011C0514E, DATED APRIL 18, 2011.



DRAWING DATE	LAST REVISION	DRAWING NUMBER	DRAWING DESCRIPTION
02/24/16	03/18/16		COVER SHEET
11/23/15	03/18/16	C-1	PARKING LOT IMPROVEMENT PLAN
02/24/16	02/24/16	LS-1	UPDATED LANDSCAPE PLAN

**REFERENCE DOCUMENTS**

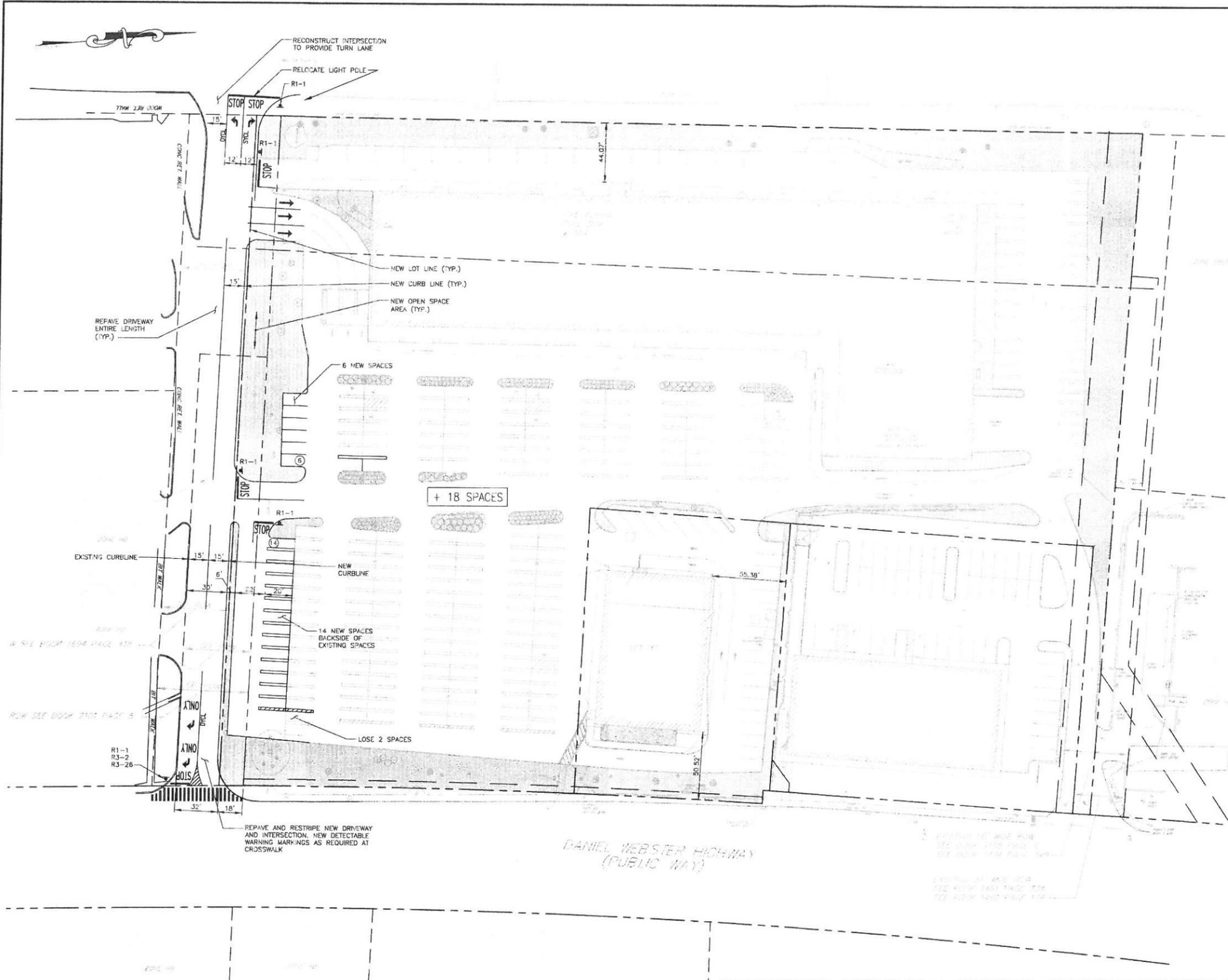
1. LOT LINE ADJUSTMENT PLAN SET FOR TAX LOTS A-190, A-30 AND A-791 PREPARED BY WSP AND RJOc OCTOBER 21, 2015.
2. AMENDED SITE PLAN SET FOR 221 AND 225 DANIEL WEBSTER HIGHWAY PREPARED BY CUOCO & CORMIER, LAST REVISED 9/24/13.
3. SITE PLAN SET FOR 221 AND 225 DANIEL WEBSTER HIGHWAY PREPARED BY CUOCO & CORMIER, LAST REVISED 6/22/09.

**PREPARED FOR:**  
**LINEAR RETAIL NASHUA #1, LLC**  
**FIVE BURLINGTON WOODS DRIVE**  
**BURLINGTON, MA 01803**  
**(781) 273-5665**

**PREPARED BY:**  
**RJO'CONNELL**  
**& ASSOCIATES, INC.**  
**CIVIL ENGINEERS, SURVEYORS**  
**& LAND PLANNERS**  
**80 MONTVALE AVENUE**  
**STONEHAM, MA 02180**  
**PHONE: 781-279-0180**  
**FAX: 781-279-0173**



Drawing name: C:\NH\Nashua\Linear\Daniel Webster Plaza\Main\Parking Lot Improvement DWP.dwg  
Mar 21, 2016 16:10pm



ZONING DISTRICTS: HIGHWAY BUSINESS(HB)/GENERAL BUSINESS(GB)

DIMENSIONAL REQUIREMENT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	20,000 SF	272,114 SF	281,078 SF
MINIMUM LOT WIDTH	100 FT	245 FT	263 FT
MINIMUM FRONTAGE	80 FT	245 FT	263 FT
MINIMUM LOT DEPTH	80 FT	498 FT	NC
MINIMUM FRONT SETBACK	20 FT	50.5 FT	NC
MINIMUM SIDE SETBACK	10 FT	55.3 FT	NC
MINIMUM REAR SETBACK	20 FT	44 FT	NC
MAXIMUM HEIGHT	60 FT	62.3 FT*	NC
MAXIMUM STORIES	5	2	NC
OPEN SPACE PERCENTAGE	20	20.3	20.0
MAXIMUM FLOOR AREA RATIO	0.75	.22	NC
PARKING SPACES	216	280	298

\*PRE-EXISTING CLOCK TOWER  
 NOTE: SITE IS IN BOTH THE HIGHWAY BUSINESS(HB AND THE GENERAL BUSINESS(GB) ZONES. ZONING LAW PERMITS THE OWNER TO FOLLOW THE ZONING REQUIREMENTS OF THE LARGER AREA ZONE.

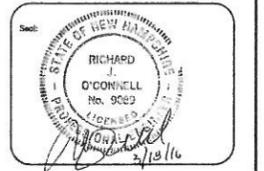
	EXISTING	NEW
LOT AREA LOTS 190 & 761	281,078 S.F.±	281,078 S.F.±
OPEN SPACE	62,074 S.F.(22.1%)	56,271 S.F.(20.0%)

NOTES:  
 1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PARKING LOT RECONFIGURATION FOLLOWING THE LOT LINE ADJUSTMENT OF SEPTEMBER 21, 2015.  
 2. FOR ADDITIONAL NOTES SEE COVER SHEET.

- REFERENCES:
- "LOT LINE ADJUSTMENT PLAN", PREPARED BY WSP TRANSPORTATION & INFRASTRUCTURE AND DATED, SEPTEMBER 23, 2015, REVISED OCTOBER 21, 2015.
  - "ALTA/ACSM LAND TITLE SURVEY", PREPARED BY HAYNER/SWANSON, INC., DATED, FEBRUARY 23, 2007 AND REVISED APRIL 30, 2007.
  - "SITE PLAN SP-1", PREPARED BY R.J. O'CONNELL & ASSOCIATES, INC. DATED, JULY 30, 2009.
  - "221 AND 225 DANIEL WEBSTER HIGHWAY AMENDED SITE PLAN", PREPARED BY CUOCO & CORMIER ENGINEERING ASSOCIATES, INC., AND DATED AUGUST 15, 2013 AND REVISED SEPTEMBER 24, 2013.
  - PARKING AND LAND USE INFORMATION AS PROVIDED BY LINEAR RETAIL.

LAND USE	TENANTS	SF/SEATS	RATIO	REQ. SPADES
OFFICE/INDUSTRIAL	FIDELITY	7,759 SF	1/1,000	8
RETAIL	LENS CRAFTERS	3,900 SF	1/300	13
	LA-Z BOY FURNITURE	19,000 SF	1/300	63
	SLEEPY'S SHOWROOM	10,000 SF	1/300	33
	LUMBER LIQUIDATORS	1,000 SF	1/300	3
OFFICE WITH DRIVE THRU	TD BANK	3,174 SF	1/300	11
FITNESS/RECREATION	KOKO FITNESS CLUB	2,500 SF	1/650	4
PERSONAL SERVICE	CASSANDRA'S	5,000 SF	1/500	10
WAREHOUSE	LUMBER LIQUIDATORS	9,340 SF	1/1,000	9
	SLEEPY'S WAREHOUSE	8,660 SF	1/1,000	9
RESTAURANT	CHIPOTLE	61 SEATS	1/4	15
	NYAJ	220 SEATS	1/4	55
RESTAURANT W/ DRIVE THRU	STARBUCKS	1,900 SF	1/75	25
TOTAL PARKING SPACES REQUIRED				259
TOTAL PARKING SPACES PROVIDED				298

Revision	Date
1	03/18/16
2	03/24/16



Designed by: JJS  
 Drawn by: WJH  
 Checked by: RJO  
 Scale: 1"=40'  
 Date: 11/23/2015

Prepared for:  
**LINEAR RETAIL**  
 781-273-5665

Prepared by:  
**RJO'CONNELL & ASSOCIATES, INC.**  
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS  
 80 MONTVALE AVE  
 STONEHAM, MA 02180  
 781-279-0180  
 FAX: 781-279-0173

Project Name:  
**DANIEL WEBSTER PLAZA NASHUA, NH**  
 Drawing Name:  
**PARKING LOT IMPROVEMENT PLAN**

Drawing No.:  
**C-1**  
 Project No.:  
**14078**

**OWNER'S ACKNOWLEDGMENT**  
 THE UNDER-SIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

OWNER \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED CITY OF NASHUA PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

I HEREBY CERTIFY THAT THIS PLAN IS IN ACCORDANCE WITH THE CITY OF NASHUA SITE PLAN REGULATIONS.

*RJ O'Connell*  
 3-19-16  
 DATE

NOTES: SHRUB SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS IT BORE TO NURSERY OR FIELD GRADE. SHRUB SHALL BE PLANTED PLUMB AND REMAIN SO AFTER WATERING. RAISE AND REPLANT ANY SHRUBS WHICH SETTLE MORE THAN 1" AFTER PLANTING AND WATERING IN.

PRUNE SHRUBS AS DIRECTED BY THE LANDSCAPE ARCHITECT. REMOVE ALL DEADWOOD AND WEEDS.

3" SETTLED BARK MULCH IN SAUCER PLANT SAUCER. 3" CONTINUOUS NO SAUCER WHERE SHRUBS OCCUR IN BEDS.

FINISH GRADE

LOOSE OR CRACKED ROOTBALLS WILL NOT BE ACCEPTED

REMOVE ALL SYNTHETIC BURLAP & LACING COMPLETELY CUT AND REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL

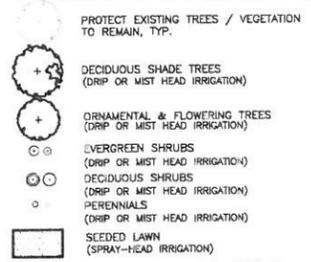
PLANTING SOIL MIX: BACKFILL IN LOOSE LIFTS OF 6"-8" DEPTH. TOP 6" BACKFILL: 1/3 LOAM, 1/3 COMPOSTED MANURE & 1/3 PEAT MOSS. SETTLE WITH THOROUGH WATER SOAKING TWICE IN FIRST 24 HOURS AFTER PLANTING

MOUND OF SOIL IN CENTER OF PLANT PIT TO SUPPORT BALL AT REQUIRED ELEVATION

COMPACTED OR UNDISTURBED SUITABLE SUBGRADE OR SATISFACTORY ORDINARY FILL

PLANT MATERIAL LIST - DANIEL WEBSTER PLAZA, NASHUA, NH.						
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
<b>DECIDUOUS AND ORNAMENTAL TREES</b>						
ZS	2	ZELKOVIA SERRATA "GREEN VASE"	GREEN VASE ZELKOVA	2 1/2"-3"	CAN	6' HIGH BRANCHING
<b>SHRUBS</b>						
JS	23	JUNIPERUS CHINENSIS "SEAGREEN"	SEAGREEN JUNIPER	18"-24"	CAN	
CS	23	CORNUS SERICEA "ALLIANS COMPACTA"	ALLIANS COMPACT DOGWOOD	#5	CAN	
VC	6	VIBURNUM CARLESII	KOHEANSPOICE VIBURNUM	2 1/2"-3"	B&B	
<b>PERENNIALS AND GROUNDCOVER</b>						
HH	17	HEMEROCALLIS "HAPPY RETURNS"	HAPPY RETURNS DAYLILIES	1 GAL	GAL	YELLOW
IS	20	IRIS SIBERICA "CAESAR'S BROTHER"	CAESARS BROTHERS IRIS	1 GAL	GAL	
VM	5	VINCA MINOR	MYRTLE	FLAT	FLAT	(50) INDIVIDUAL PLANTS PER FLAT

**GRAPHIC LEGEND**



**LANDSCAPE NOTES:**

LOAM DEPTHS SHALL BE AS FOLLOWS:  
 A. LAWN AREAS - 6" ROLLED THICKNESS  
 B. PLANT BEDS - 1'-0" LOAM DEPTH IN THE PLANTED AREA WITH 2" MULCH.  
 C. ISOLATED PLANTED ISLANDS - 1'-0" LOAM DEPTH

LAWN GRASS  
 (VALLEY GREEN SEED, LTD. WILMINGTON, MA.)  
 LANDSCAPE/UTILITY MIXTURE FOR SUN/SHADE:  
 ENCHANTED PERENNIAL RYEGRASS  
 CREEPING RED FESCUE  
 GOLDRUSH KENTUCKY BLUEGRASS

**GENERAL NOTES:**

- CONTRACTOR SHALL MAKE A SITE VISIT PRIOR TO BIDDING TO EXAMINE EXISTING CONDITIONS FOR THEMSELVES. CONTRACTOR TO FAMILIARIZE THEMSELVES W/ DESIGN DOCUMENTS NOTES & DETAILS AND THE NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, CURRENT EDITION.
- CONTRACTOR SHALL NOTIFY / COORDINATE WITH THE CITY OF NASHUA, PRIOR TO PLANT MATERIAL INSTALLATION.
- PRIOR TO THE PRE-CONSTRUCTION MEETING THE CONTRACTOR SHALL CONTACT DIG SAFE @ 1-888-344-7233 TO HAVE THE EXISTING UTILITIES MARKED.
- All contractors shall inspect site prior to bidding to verify existing conditions for themselves.
- The Contractor shall supply all plant material in quantities sufficient to complete the planting shown on the drawings. See specification.
- All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock", published by the American Association of Nurserymen, inc. ANSI Z60.1-Current Edition.
- All plants to be balled in burlap or container grown. No plastic burlap.
- All plants to be approved by the Landscape Architect.
- State location of all proposed plant material for approval of Landscape Architect prior to commencement of planting.
- The landscape contractor shall guarantee all plant materials for one (1) full year from date of acceptance.
- Heal all construction scars with naturalized grass, lawn or mulch as indicated by drawings and/or as directed by Landscape Architect.
- "Dry Roots" shall be added to all new tree planting pits. All new loam shall be tested and amended as stated in the loam report. Provided by loam supplier.
- Landscape Contractor shall submit a watering schedule program for the (60) day maintenance period for review by the Landscape Architect & to Owner for all proposed plant material.
- Protect existing plant material within construction limits. Provide watering program for all proposed plant material during construction.

**GENERAL IRRIGATION NOTES:**

- The design/build irrigation sub-contractor shall coordinate / tie into existing irrigation system for the new irrigation areas shown on the plan to provide a complete system, which includes new and existing planted areas. Shop drawings shall be provided at a suitable scale to illustrate that the designated plant materials will be irrigated by either spray heads, mist heads or drip irrigation tubing.
- Irrigation to be coordinated with General Contractor to locate the necessary PVC sleeving to complete irrigation program.
- All lawn areas shall be spray head irrigated. The heads shall be located for head to head coverage with absolutely no over spray onto the pavement.
- All trees, shrubs and ground cover shall be drip irrigated / irrigated with shrub mist heads.
- The irrigation layout and all of the components shall conform to the specifications. The specifications call for shop drawings to be submitted for approval, as well as conformance to the materials specified.
- The Contractor shall be extremely careful during the installation process not to disturb new or existing plant materials. The Contractor is to coordinate his work with other sub-contractors. Sleeving under pavements must be available and in the proper location prior to paving.
- The irrigation Contractor shall conform to any local codes or ordinances that may be required to complete the work.
- This irrigation alternate shall include the cost of connecting to either the building water mains down stream of the back flow preventer of the irrigation well.
- The irrigation contractor shall test water source for water quality including minerals that may cause staining of concrete and granite pavement and curbs.
- Irrigation Contractor shall coordinate with the City of Nashua for sewer abatement meter requirements, model type and locations prior to shop drawing preparation.

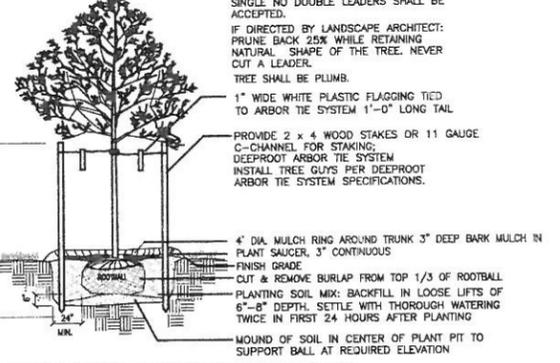
NOTE: CONTRACTOR MAY USE PLASTIC TREE GUYING CHAIN IF APPROVED BY L.A. C-CHANNEL (SEE BELOW)

INSTALL TREE GUYS PER DEEPROOF ARBOR TREE SYSTEM SPECIFICATIONS.

4' DIA. MULCH RING AROUND TRUNK 3" DEEP BARK MULCH IN SAUCER

ROOTBALL

TREE PIT



NOTES: TREE SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS IT BORE TO ORIGINAL GRADE BEFORE DIGGING

TREE SHALL HAVE A STRAIGHT TRUNK & SINGLE NO DOUBLE LEADERS SHALL BE ACCEPTED.

IF DIRECTED BY LANDSCAPE ARCHITECT: PRUNE BACK 25% WHILE RETAINING NATURAL SHAPE OF THE TREE. NEVER CUT A LEADER.

TREE SHALL BE PLUMB.

1" WIDE WHITE PLASTIC FLAGGING TIED TO ARBOR TREE SYSTEM 1'-0" LONG TAIL

PROVIDE 2 x 4 WOOD STAKES OR 11 GAUGE C-CHANNEL FOR STAKING; DEEPROOF ARBOR TREE SYSTEM; INSTALL TREE GUYS PER DEEPROOF ARBOR TREE SYSTEM SPECIFICATIONS.

4' DIA. MULCH RING AROUND TRUNK 3" DEEP BARK MULCH IN PLANT SAUCER, 3" CONTINUOUS

FINISH GRADE

CUT & REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL

PLANTING SOIL MIX: BACKFILL IN LOOSE LIFTS OF 6"-8" DEPTH. SETTLE WITH THOROUGH WATERING TWICE IN FIRST 24 HOURS AFTER PLANTING

MOUND OF SOIL IN CENTER OF PLANT PIT TO SUPPORT BALL AT REQUIRED ELEVATION

**3 DECIDUOUS TREE PLANTING AND STAKING**

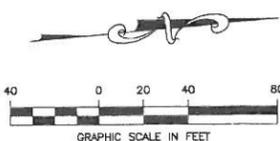
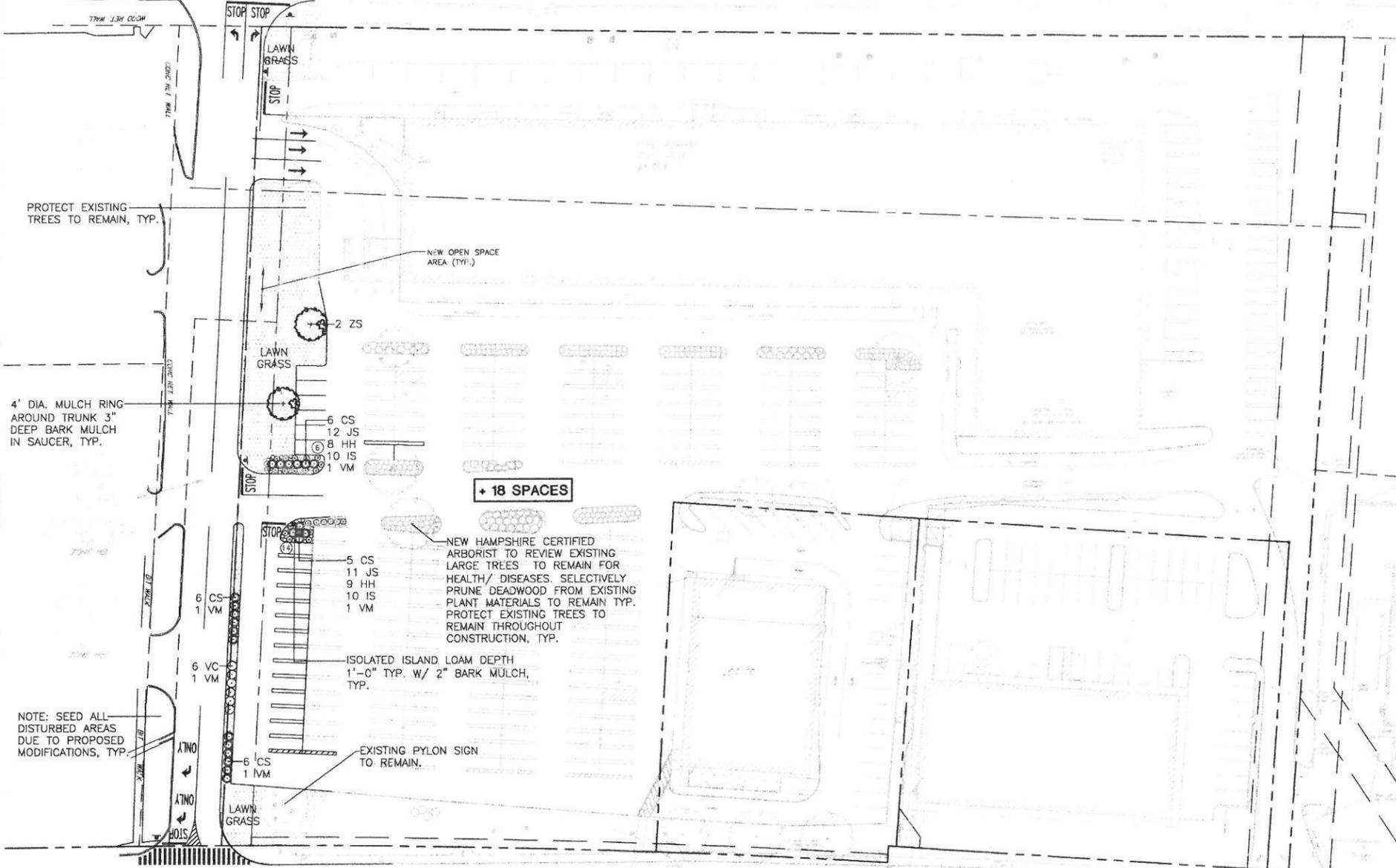
SCALE: N.T.S.

**1 PERENNIAL & LAWN GRASS**

SCALE: N.T.S.

**2 TYPICAL SHRUB PLANTING**

SCALE: N.T.S.



**OWNER'S ACKNOWLEDGMENT**

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OWNER \_\_\_\_\_ DATE \_\_\_\_\_

**APPROVED CITY OF NASHUA PLANNING BOARD**

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

DESIGNED BY: WFF  
 DRAWN BY: WFF  
 CHECKED BY: WFF  
 SCALE: 1"=40'  
 DATE: 02/22/2016



Prepared for:  
**LINEAR RETAIL**

Prepared by:  
**WILLIAM FLEMING ASSOCIATES**

Prepared by:  
**RJO'CONNELL & ASSOCIATES, INC.**  
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS  
 80 MONTVALE AVE  
 STONEHAM, MA 02180  
 TEL: 781-279-0180  
 FAX: 781-279-0173

Project Name:  
**DANIEL WEBSTER PLAZA NASHUA, NH**

Drawing Name:  
**LANDSCAPE PLAN**

Drawing No.:  
**L-1**  
 Project No.: 14078

NASHUA CITY PLANNING BOARD  
STAFF REPORT

TO: Nashua City Planning Board  
FROM: Linda Panny, Planner I  
FOR: April 7, 2016  
RE: **New Business #3 - Site Plan**

**I. Project Statistics:**

Owner/Applicant: On In Two Management, Inc.  
Proposal: Amendment to Site Plan to remove a condition of approval  
Location: 482 Amherst Street  
Total Site Area: 4.38 acres  
Existing Zoning: HB-Highway Business, AI-Airport Industrial  
Surrounding Uses: Commercial and Industrial.

**II. Background Information:**

The existing building on the site has been built in stages with construction starting in 1975; the property has been used for car sales and service since that time. Building additions were constructed in 1981 and 2002. The site has been home to Sunnyside Acura since 1987. In 2015 planning board approval was given for a 7,163 sf addition. Construction is ongoing.

**III. Project Description:**

On May 2, 2002 Sunnyside Acura appeared before the board for an addition to the building. One of the conditions of approval was for a cross access easement with the abutter at Sheet H, Lot 22 (see attached approval letter). The owner of Lot 22 has refused to grant a cross access easement. The applicant recognizes the need to allow emergency vehicles to access these adjacent properties and requests that the Board amend the condition to require an easement to the City of Nashua for emergency vehicles and release the Easement recorded at the Registry in 2003 by Release of Easement and replace it with an emergency access easement.

Staff has no concerns regarding this application.

**IV. Staff Recommendations and Findings:**

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

1. Prior to the Chair signing the plan, easement documents will be submitted to Planning staff for review and recorded at the Registry of Deeds at the applicant's expense.



NASHUA CITY PLANNING BOARD  
STAFF REPORT

TO: Nashua City Planning Board  
FROM: Linda Panny, Planner I  
FOR: April 7, 2016  
RE: **New Business #4- Site Plan**

**I. Project Statistics:**

Owners: Southland Corporation/7-Eleven  
Applicant: Core States Group  
Proposal: Site plan to install new fueling dispensers and canopy  
Location: 367 Amherst Street  
Total Site Area: 36,095 sf (0.829 acres)  
Existing Zoning: GB-General Business  
Surrounding Uses: Commercial

**II. Background Information:**

According to assessing records the existing convenience store and gas station was built in the 1980s and is home to 7-Eleven. They received Zoning Board approval for a special exception for the gas pumps and Planning Board approval in 1983.

**III. Project Description:**

This project is to remove the two existing fueling dispensers, fueling concrete pad and gas canopy. Three new fueling dispensers, a fueling island, a new 20' x 68' gas canopy and fueling concrete pad are being proposed. The existing underground fuel storage tanks and slab are to remain. No changes to landscaping or lighting are being proposed.

According to the applicant's stormwater memorandum, the proposed improvements will not have a negative impact on the existing storm drainage system. One waiver has been requested as part of this application to show the existing conditions.

City staff reviewed the plans. There are some minor Engineering comments that still need to be addressed (see attached correspondence).

**Staff Recommendations and Findings:**

The Planning Board should make a determination that the plan meets, or does not meet the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulation be made part of that approval:

1. The request for a waiver of § 190-279(J)), which requires an existing conditions plan, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. Prior to the issuance of a building permit, all comments in letter from Jeanne Walker, PE dated March 14, 2016 shall be addressed to the satisfaction of the Engineering Department.
3. Prior to the chair signing the plan, minor drafting corrections will be made.
4. Prior to the issuance of a certificate of occupancy, all site improvements will be completed.

OWNER:  
7-ELEVEN INC.  
ONE ARTS PLAZA  
1722 ROUTH STREET SUITE 1000  
DALLAS, TX 75201-2506

Zoning Table Zone: GB (General Business)			
	Required	Existing	Proposed
Lot Area (sf)	10,000	36,095	36,095
Lot Width (ft)	50	>225	>225
Lot Depth (ft)	75	>170	>170
Lot Frontage (ft)	50	124	124
Building Height (ft)	50	16	16
Stories	5	1	1
F.A.R.	1.25	0.07	0.07
Open Space (%)	10	38	38
Density	12.5	12.5	12.5
Building Setbacks			
Front (ft)	N/A	>75	>75
Side (ft)	N/A	>12	>12
Max Side (ft)	N/A	>42	>42
Rear (ft)	10	>12	>12
Gasoline Station Regulations (§ 150-45)			
Driveway Entrances	2 per Street	2 per Street	2 per Street
Entrance Spacing (ft)	25	>25	>25
Distance from Side Lot Line (ft)	5	>20 & >40	>20 & >40
Vacuum Station (ft)	30 ft from Residentially Zoned Property	N/A	N/A
Outdoor Loudspeakers	Not audible beyond Property Line	Not audible beyond Property Line	Not audible beyond Property Line
Pump Setbacks/Regulations			
Right-of-Way/Building (ft)	20	38	45
Residentially Zoned (ft)	50	N/A	N/A
Stacking	Maintain minimum 1 vehicle stack space behind vehicle parked at pump closest to exit and/or entrance	>1 vehicle stack space behind vehicle parked at pump closest to exit and/or entrance	>1 vehicle stack space behind vehicle parked at pump closest to exit and/or entrance
Canopy Regulations			
Fixtures	To be Recessed	Recessed	Recessed
Classification	Considered an accessory structure and included in Site Coverage Calc.	Considered an accessory structure and included in Site Coverage Calc.	Considered an accessory structure and included in Site Coverage Calc.
Max Coverage (%)	18	1.6	3.7
Parking Regulations (§150-19)			
Parking Spaces	Convenience Store - 1 per 200sf Gas Station/Service Stations - 1 per 500sf min - 1 per 375sf max	2,715 sf / 200 sf = 14 min, 18 existing	2,715 sf / 200 sf = 14 min, 18 provided
HC spaces	5-25 - 1 Space 20-50 - 2 Spaces	2 Spaces	2 Spaces
Parking Space Size	20' x 10'	18' x 9' (existing)	18' x 9' (existing)
Driveway Width	45' - 12' 60' - 18' 90' - 20'	>24'	>24'



**STANDARD SITE PLAN NOTES - CITY OF NASHUA**

- THE SUBJECT SITE IS LOCATED IN ZONE "X" (AREAS OF MINIMAL FLOODING) AS DETERMINED BY FEMA FLOOD INSURANCE RATE MAP PANEL NUMBER 33011C0492D EFFECTIVE DATE: SEPTEMBER 28, 2009.
- THE SITE IS SERVICED BY CITY SEWER AND WATER.
- THE PURPOSE OF THIS PLAN IS TO REMOVE THE EXISTING FUELING DISPENSERS, FUELING CONCRETE PAD AND GAS CANOPY, AND THE INSTALLATION OF THREE (3) NEW FUELING DISPENSERS, FUELING ISLANDS, GAS CANOPY AND FUELING CONCRETE PAD.
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN IN ANY WAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
- FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
- PRIOR TO ANY WORK BEING CONDUCTED A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PLANNING STAFF AND OTHER CITY DEPARTMENTS AS NECESSARY TO REVIEW WORK PROPOSED.
- GAS STATIONS ARE PERMITTED WITH A CONDITIONAL USE PERMIT, WHILE A CONVENIENCE STORE WITH LESS THAN 10,000 SQUARE FEET IS A PERMITTED USE.
- HOURS OF OPERATION ARE AS FOLLOWS:
  - HOURS OF OPERATION = 24 HOURS
  - TRASH PICKUP: MONDAYS PRIOR TO 12 PM (TYPICALLY 6AM TO 9 AM)
  - C-STORE FOOD/BEVERAGE DELIVERIES:
    - WEDNESDAY: 5 AM
    - FRIDAY: 11:30 PM
  - GASOLINE DELIVERIES VARIES BASED ON DEMAND FOR BOTH DAYS OF WEEK AND TIME
- THERE ARE NO PROPOSED CHANGES TO THE EXISTING LANDSCAPE AREAS. NO ADDITIONAL LANDSCAPING IS ANTICIPATED.
- THERE ARE NO PROPOSED CHANGES TO THE EXISTING SITE LIGHTING. OTHER THAN THE RECESSED LIGHTS UNDER THE PROPOSED CANOPY, NO ADDITIONAL CHANGES TO LIGHTING IS ANTICIPATED.
- THERE ARE NO PROPOSED CHANGES TO THE EXISTING SITE SIGNAGE. NO ADDITIONAL SIGNAGE IS ANTICIPATED.
- THE SITE IMPROVEMENTS ARE LOCATED OUTSIDE OF THE EXISTING ADA ROUTES AND DO NOT IMPACT THE EXISTING ADA PARKING SPACES AND LOADING AREAS.
- THERE IS NO WORK PROPOSED WITH-IN THE RIGHT-OF-WAY. ALL WORK IS LOCATED WITHIN THE EXISTING PARKING LOT. THEREFORE STREET RESTORATION IS NOT ANTICIPATED.
- THE EXISTING SITE DOES NOT CONTAIN ANY WETLANDS OR RESOURCE AREAS.
- AN OPERATIONS AND MAINTENANCE PLAN FOR THE EXISTING STORMWATER DRAINAGE SYSTEM AS THERE ARE NO PROPOSED CHANGES TO THE EXISTING STORMWATER DRAINAGE SYSTEM.
- THERE ARE NO PROPOSED STORM WATER IMPROVEMENTS ASSOCIATED WITH THIS PROJECT. THEREFORE NO STORM WATER IMPROVEMENT DETAILS ARE PROVIDED.
- THE EXISTING PARKING SPACES ARE TO BE USED IN CONJUNCTION WITH THE CONVENIENCE STORE AND THE FUELING STATION.
- THERE ARE NO ZONING VARIANCES AND SPECIAL EXCEPTIONS THAT APPLY TO THIS SITE.
- THIS PLAN COMPLIES WITH THE MINIMUM REQUIREMENTS.

**FUELING NOTES**

- FUEL GC TO WORK WITH SEI ON SCHEDULING. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE SEI PROJECT MANAGER.
- FUEL GC RESPONSIBLE FOR ALL CONCRETE OVER TANKS AND PRODUCT PIPING (I.E. TANK SLAB AND DRIVE MATS). CONCRETE CHAIRS ARE BY SEI.
- FUEL GC TO INSTALL ALL FUEL RELATED ELECTRONICS (I.E. DATA BOXES, PAM UNIT, TURBINE RELAYS, ISOLATION RELAYS, ETC).
- FUEL GC RESPONSIBLE FOR ALL ELECTRICAL CONDUITS, SEAL-OFFS, ELECTRICAL J-BOXES PER STATE, LOCAL, MANUFACTURERS AND SEI CODES AND SPECIFICATIONS.
- FUEL GC TO PULL WIRE FOR TURBINES AND MONITORING SYSTEM DEVICES.
- FUEL GC TO MAKE ALL FINAL CONNECTIONS TO FUELING EQUIPMENT AND ELECTRONICS.
- FUEL GC TO PULL TRADE PERMITS FOR FUELING WORK (AS REQUIRED).
- FUEL GC TO "CALL FOR" AND "BE PRESENT FOR" ALL LOCAL REGULATOR INSPECTIONS AND RESPONSIBLE FOR SCHEDULING ON-SITE INSPECTIONS WITH APPROPRIATE SEI REPRESENTATIVE RELATED TO FUELING.
- FUEL GC TO COORDINATE WITH TANKNOLOGY AND THE SEI CONSTRUCTION MANAGER FOR TESTING OF FUELING SYSTEM.
- FUEL GC TO HAVE PERSONNEL ON SITE FOR TESTING.
- FUEL GC RESPONSIBLE FOR CLOSE OUT PACKAGE PER 7-11 MATRIX.
- FUEL UST SYSTEM AND COMPONENTS SHALL BE INSTALLED BY AN ICC CERTIFIED UST INSTALLER WHO IS CERTIFIED BY THE EQUIPMENT MANUFACTURER OF EACH COMPONENT INSTALLED. REF ENV-OR-402.05 & ENV-OR-407.05

**KEYED NOTES**

- EXISTING 7-ELEVEN CONVENIENCE STORE.
- NEW FUELING 20'x68' GAS CANOPY AND THREE (3) DISPENSERS. REFER TO FUELING PLANS FOR DETAILS.
- EXISTING UNDERGROUND FUEL STORAGE TANKS AND SLAB, TO REMAIN.
- EXISTING FUEL STORAGE TANK VENTS, TO REMAIN.
- EXISTING AIR MACHINE, TO REMAIN.
- EXISTING EMERGENCY SHUT OFF SWITCHES, TO REMAIN.
- EXISTING MONUMENT SIGN, TO REMAIN.
- EXISTING VEEDER ROOT SITE MONITOR CONSOLE, TO REMAIN.
- EXISTING CONCRETE PAD, DISPENSERS AND CANOPY, TO BE REMOVED.
- PROPOSED SAW CUT LINE.
- PROPOSED ASPHALT PAVEMENT, SECTION TO MATCH EXISTING PAVEMENT.
- PROPOSED 130 SF SIDEWALK EASEMENT.

THE UNDER-SIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

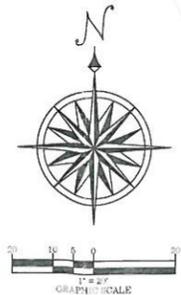
APPLICANT: \_\_\_\_\_

APPROVED - NASHUA CITY PLANNING BOARD

CHAIRMAN: \_\_\_\_\_

SECRETARY: \_\_\_\_\_

DATE: \_\_\_\_\_



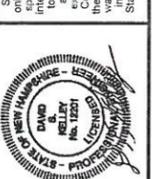
Rev. #	Date	Description
1	3-17-16	Review Comments

7-ELEVEN, INC.  
ONE ARTS PLAZA, 1722 ROUTH STREET, DALLAS, TEXAS 75221  
7-11 #24433 (UST ID # 0-113879)  
367 AMHERST STREET  
NASHUA, NH 03063  
SITE PLAN



Job#SEI-16380.0080  
Scale: 1" = 20'  
Date: 11/17/15  
Drawn By: CVK  
Checked By: DSK

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SHEET: C-01



THE UNDER-SIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

APPLICANT: \_\_\_\_\_

APPROVED - NASHUA CITY PLANNING BOARD

CHAIRMAN: \_\_\_\_\_

SECRETARY: \_\_\_\_\_

DATE: \_\_\_\_\_

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SHEET:  
**C-02**

Job#SEI-16380.0060  
 Scale: 1" = 20'  
 Date: 11/17/15  
 Drawn By: CVK  
 Checked By: DSK



**7-ELEVEN, INC.**  
 ONE ARTS PLAZA, 1722 ROUTH STREET, DALLAS, TEXAS 75221  
**7-11 #24433 (UST ID # 0-113879)**  
 367 AMHERST STREET  
 NASHUA, NH 03063  
 GRADING PLAN

Rev. #	Date	Description
1	3-17-16	Review Comments

Photo 1st Qtr 02-01-14

NASHUA CITY PLANNING BOARD  
STAFF REPORT

TO: Nashua City Planning Board  
FROM: Linda Panny, Planner I  
FOR: April 7, 2016  
RE: **New Business #5– Site Plan**

**I. Project Statistics:**

Owners: COSTCO Wholesale Corp  
Applicant: Scupp Realty, LLC/Andrea James Realty, LLC  
Proposal: Site plan amendment to show lot line relocation plan  
Location: 311 Daniel Webster Highway  
Total Site Area: 18.99 acres  
Existing Zoning: HB-Highway Business  
Surrounding Uses: Commercial

**II. Background Information:**

In August, 1991 the Planning Board approved this site for an 117,000 sf retail building with parking and site improvements. In November, 1998 the Board also approved a 2,500 sf site for a cell tower. Over the years minor site changes have been made to the plan. More recently, on September 3, 2015 the Planning Board approved a lot line relocation to transfer 5,238 sf from Lot 989 to Lot 383, which is owned by Scupp Realty, LLC/Andrea James Realty, LLC (see attached approval letter).

**III. Project Description:**

The purpose of the plan is to show the boundary change between the two lots. There are no physical changes to the approved site plan. Three waivers are being requested. The first is a waiver to show the existing utilities. And the second is for scale; both waivers were granted when the plan was originally approved. The final waiver is from the requirement of having the wetlands flagged on the ground as there is no construction activity proposed with this application.

City Staff reviewed the plans. There are some Engineering comments that still need to be addressed.

**IV. Staff Recommendations and Findings:**

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

1. The request for a waiver of NRO § 190-279 (I)(J)(O)(U), which requires submittal of proposed and existing utilities , **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. The request for a waiver of NRO § 190-279(B), which establishes plan scale, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
3. The request for a waiver of NRO § 190-172(W), which requires wetlands to be flagged, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
4. Prior to the issuance of a building permit, all comments found in a letter from Jeanne Walker, PE dated March 17, 2016 will be resolved to the satisfaction of the Engineering Department.
5. All prior conditions of approval are incorporated herein and made a part of this plan, unless otherwise determined by the Planning Board.



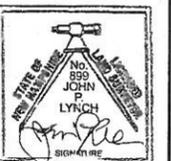
- NOTES:
- LOCUS KNOWN AS LOT 793, ASSESSOR'S MAP A AS SHOWN ON THE TAX MAP OF THE CITY OF NASHUA, HILLSBOROUGH COUNTY, NEW HAMPSHIRE.
  - THIS PROPERTY MAY BE SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED.
  - LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBESTUS PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
  - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
  - PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE 0.2 % ANNUAL CHANCE FLOODPLAIN) AS PER REF. #2.
  - THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
  - ELEVATIONS ARE BASED ON REFERENCE #4.
  - THE PURPOSE OF THIS PLAN IS TO AMEND NR 1659 BY RELOCATING A PORTION OF THE LOT LINE BETWEEN LOTS 889/SHEET A AND 344/SHEET A (TOTAL AREA OF EXCHANGE DECREASES LOT 793/SHEET A BY 5,294 SF).
  - ALL LANDSCAPING SHALL BE AS SHOWN ON THE PLAN AND CONFORM TO THE APPLICABLE CITY OF NASHUA ZONING REGULATIONS.
  - ALL SITE LIGHTING SHALL BE AS SHOWN ON THE PLAN, DIRECTED ONTO SITE AND CONFORM TO THE APPLICABLE CITY OF NASHUA ZONING REGULATIONS.
  - ALL SIGNAGE SHALL CONFORM TO APPLICABLE CITY OF NASHUA ZONING REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
  - SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM TO TITLE 111 OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSIONS AND GRADE AND NUMBER OF SPACES.
  - IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN ANY WAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
  - \*FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.\*
  - PLAN COMPLIES TO MINIMUM REQUIREMENTS.

- REFERENCES:
- THE OFFICIAL TAX MAP OF THE CITY OF NASHUA, HILLSBOROUGH COUNTY, NEW HAMPSHIRE.
  - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, CITY OF NASHUA, NEW HAMPSHIRE, HILLSBOROUGH COUNTY" PANEL 75 OF 80 COMMUNITY-PANEL NUMBER 330097 0793 EFFECTIVE DATED: JULY 3, 2002.
  - CONCEPT SITE PLAN FOR COSTCO WHOLESALE PREPARED BY MULVANNY PARTNERSHIP
  - MAP ENTITLED "DRAINAGE PROFILES, DANIEL WEBSTER HIGHWAY, NASHUA, NEW HAMPSHIRE PREPARED FOR COSTCO WHOLESALE CORP." PREPARED BY ALLAN H. SWANSON, INC. DATED JULY 10, 1991, SHEET 1 THRU 3 OF 3, FILLED IN HILLSBOROUGH COUNTY AS PLAN 25-006 IN DRAWER 106.
  - MAP ENTITLED "EASEMENT PLAN, DANIEL WEBSTER HIGHWAY, NASHUA, NEW HAMPSHIRE, RECORD OWNER, LOCKHEED SANDERS, INC. PREPARED FOR COSTCO WHOLESALE CORP." PREPARED BY ALLAN H. SWANSON, INC. DATED AUG. 21, 1991, SHEET 1 THRU 3 OF 3, FILLED IN HILLSBOROUGH COUNTY AS PLAN 25-006 IN DRAWER 106.
  - MAP ENTITLED "SUBDIVISION PLAN DANIEL WEBSTER HIGHWAY NASHUA, NEW HAMPSHIRE, RECORD OWNER, LOCKHEED SANDERS, INC., PREPARED FOR COSTCO WHOLESALE CORP." PREPARED BY ALLAN H. SWANSON, INC. DATED JULY 10, 1991, LAST REVISED AUGUST 9, 1991, SHEETS 1-2 OF 2 FILLED IN HILLSBOROUGH COUNTY AS PLAN 28167 IN DRAWER 125.
  - LOT LINE RELOCATION PLAN PREPARED BY MAYNARD AND PAQUETTE THAT IS TO BE RECORDED.
  - SITE PLAN PREPARED BY BOHLER ENGINEERING ENTITLED "OVERALL SITE PLAN AND EXISTING CONDITION" LA REVISED 03-20-09.

SEE SHEET 2 OF 3 FOR ADDITIONAL NOTES AND REFERENCES

THE PLAN IS BASED ON A SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION DATED 8/20/09 AS REVISED THROUGH 2/22/16 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE CITY IN WHICH IT IS LOCATED. THE SURVEY WAS PERFORMED AS AN URBAN STANDARD PROPERTY SURVEY AS DEPICTED IN THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES WITH THE TRAVERSE ERROR OF CLOSURE BETTER THAN ONE PART IN FIFTEEN THOUSAND.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.



**JOHN P. LYNCH**  
NEW HAMPSHIRE PROFESSIONAL LAND SURVEYOR #899

FIELD DATE: 8-20-07  
2-2-16

FIELD BOOK NO.: 07-14  
12-15

FIELD BOOK NO.: 97

REVISOR: J.P.L.

REVISION: MARCH 22, 2016

**AMENDED SITE PLAN - LOT 793/SHEET A**  
**COSTCO WHOLESALE**  
311 DANIEL WEBSTER HIGHWAY, NASHUA, NH

FOR:  
COSTCO WHOLESALE CORP.  
PROPERTY TAX DEPT. 370 - 999 LAKE STREET  
ISSAQUAH, WA, 98027-5367  
PHONE: 425-313-5100

FIELD CREW:  
B.S.B./G.C.  
G.L.H.

DRAWN:  
S.P.P.

REVIEWED:  
G.L.H.

APPROVED:  
J.P.L.

DATE:  
2-11-16

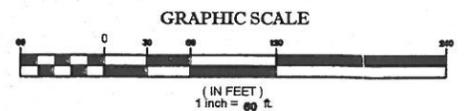
SCALE:  
1"=60'

FILE NO.:  
03-15289

DWG. NO.:  
1 OF 3

I, THE UNDERSIGNED, DO HEREBY AGREE TO PERFORM ALL OF THE SITE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE CITY OF NASHUA PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

*Manoju M. Cullen, Asst. Sect.*  
COSTCO WHOLESALE CORP.



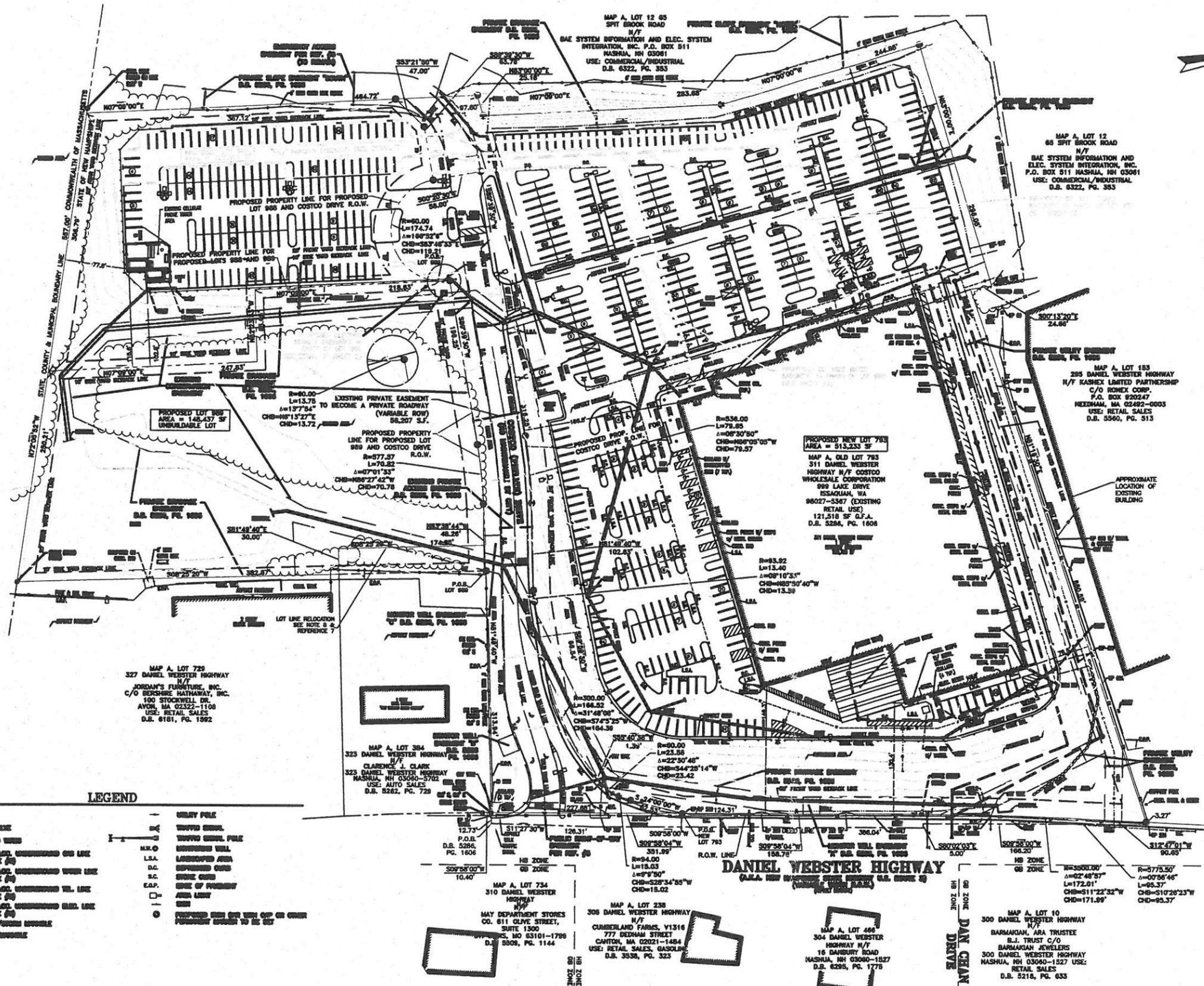
**LEGEND**

- |   |   |
|---|---|
| <ul style="list-style-type: none"> <li>--- UTILITY WIRE</li> <li>--- CROWNED CURB</li> <li>--- APPROX. LOC. UNDERGROUND GAS LINE (SEE NOTE #4)</li> <li>--- APPROX. LOC. UNDERGROUND WATER LINE (SEE NOTE #4)</li> <li>--- APPROX. LOC. UNDERGROUND TEL. LINE (SEE NOTE #4)</li> <li>--- APPROX. LOC. UNDERGROUND CABLE LINE (SEE NOTE #4)</li> <li>--- SURFACE/UNDER SURFACE</li> <li>--- SURFACE/UNDER SURFACE</li> </ul> | <ul style="list-style-type: none"> <li>--- UTILITY POLE</li> <li>--- TYPICAL CURB</li> <li>--- UNIMPROVED WALL</li> <li>--- LANDSCAPED AREA</li> <li>--- EXPOSED CURB</li> <li>--- STONE CURB</li> <li>--- SIDE OF PROPERTY</li> <li>--- AREA LINED</li> <li>--- SIGN</li> <li>--- PROPOSED SIGN OR USE OF OR OTHER PURSUANT OWNER TO BE SET</li> </ul> |
|---|---|

APPROVED BY THE CITY OF NASHUA  
PLANNING BOARD

CHAIRMAN	DATE
SECRETARY	DATE

THE COPYING OR REUSE OF THIS DOCUMENT OR PORTIONS THEREOF FOR OTHER THAN THE ORIGINAL PURPOSE OR FOR THE PURPOSE OF REUSE OR REPRODUCTION WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.



SUBDIVISION REQUIREMENTS						
ZONING DISTRICT	NO DISTRICT	EXISTING	PROP. NEW LOT 793	PROPOSED LOT 608	PROPOSED LOT 609	ROADWAY
USE	N/A	RETAIL	RETAIL	RETAIL	UNDEVELOPED LAND	PRIVATE DRIVE
MINIMUM LOT AREA	20,000 SF	838,441 SF	818,283 SF	107,318 SF	148,428 SF	88,807 SF
MINIMUM LOT WIDTH	100'	870.54'	812.83'	188.81'	318.33'	N/A
MINIMUM LOT FRONTAGE	80'	775.61' (D.N. HWY)	842.77' (D.N. HWY)	174.74' (ACCESS RD.)	348.38' (ACCESS RD.)	N/A
MINIMUM LOT DEPTH	80'	827.80'	841.88'	287.15'	408.00'	N/A
MINIMUM OPEN SPACE	20%	48.3%	28.1%	48.3%	100.0%	N/A
MIN. FRONT SETBACK	20'	120.40' (D.N. HWY)	120.40' (D.N. HWY)	280.44'	20'	N/A
MIN. REAR SETBACK	20'	280.32'	EXISTING = 62.8'	77.5'	20'	N/A
MIN. SIDE SETBACK	10'	62.80'	N/A	102.5'	10'	N/A
MAX. BUILDING HEIGHT	60' (4 STORIES)	20' ± (1 STORY)	NO CHANGE	1 STORY	N/A	N/A
MAX. BUILDING AREA	NONE	168,780 SF	NO CHANGE	(CHILL. 100% BLDG.)	N/A	N/A
MAX. FLOOR AREA RATIO	0.75	0.13	0.21	0.01	N/A	N/A
PARKING/NO SPACES**	1 SPACE/200 SF G.F.A.	638	489**	84 (4 SPACES TO BE BLD)	NONE	N/A
LOADING ZONE REQUIREMENT	4	5	5 (NO CHANGE)	N/A	N/A	N/A
STREET D.A.W.	80' MIN. (DEPT. CONDITIONS)	N/A	N/A	N/A	N/A	VARIABLE - 80' MIN.
PARKING WIDTH/ROW-TO-ROW	24' (MAX.)	N/A	N/A	N/A	N/A	VARIABLE - 20' MIN.
MINIMUM GRADE	10% (RESIDENTIAL STR.)	N/A	N/A	N/A	N/A	7% ±
MAX. ROAD LENGTH	500' (750' BY P.E. WAIVER)	N/A	N/A	N/A	N/A	750'

\* NOTE:  
EXISTING PRIVATE DRIVE TO REMAIN BUILT IN ACCORDANCE WITH CITY OF NASHUA MINIMUM REQUIREMENTS FOR A PUBLIC ROADWAY.

\*\*PARKING CALCULATION:  
LOT 793  
EXISTING EXISTING 121,810 SF RETAIL @ 1 SPACE PER 200 GFA 121,810/200 = 609 SPACES REQUIRED  
PROPOSED 48 SPACES ON LOT 793 + 48 SPACES BY PERMITS EXISTING ON LOT 608 FOR 10-022.  
\*\*\* 100 FOOT CELLULAR TELEPHONE TOWER PROJECT APPROVED BY THE CITY OF NASHUA ZONING BOARD OF ADJUSTMENT (SPECIAL EXCEPTION) DATED OCTOBER 27, 1998. NO PORTIONS OF THE CELL TOWER OWNED BY THE BOARD SHALL BE IMPACTED/AFFECTED BY THE PROPOSED SUBDIVISION BEING REVIEWED.

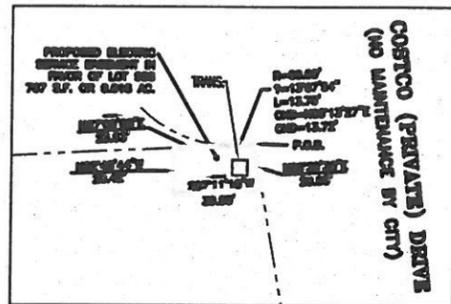


FIGURE 'A'  
(SHEET A)

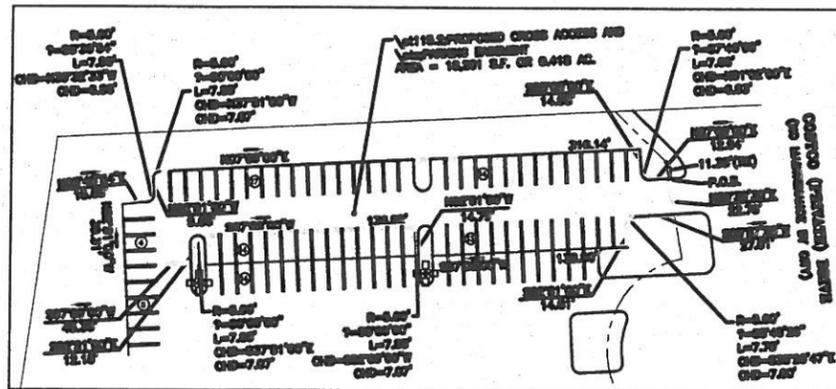


FIGURE 'B'  
(SHEET A)



LOCUS MAP  
©2013 ESRI WORLD STREET MAPS

**GENERAL SITE NOTES**

- APPLICANT/OWNER OF RECORD: COSTCO WHOLESALE CORPORATION  
800 LAKE DRIVE  
BETHLEHEM, MASSACHUSETTS
- TOTAL SITE AREA: (14.88 AC)  
LOT 793: 11.78 AC. (511,283 SF)  
LOT 608: 2.08 AC. (107,318 SF)  
LOT 609: 1.02 AC. (51,827 SF)  
COSTCO DRIVE: 1.34 AC. (58,287 SF)
  - EXISTING ZONING: BUSINESS (B2)
  - PURPOSE OF PLAN: TO SHOW THE SUBDIVISION OF MAP A, LOT 793 INTO THREE (3) NEW LOTS.
  - PROPERTY LINE AND EXISTING SITE INFORMATION TAKEN FROM A PLAN ENTITLED "CORNER AND TOPOGRAPHIC SURVEY" PREPARED BY CONTROL POINT ASSOCIATES, INC. DATED 8/28/06, UPDATED WITH REVISION # 2, DATED 7/29 /07, SCALE 1"=40'.
  - SITE LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE SUBJECT 0.2 ANNUAL CHANCE FLOODPLAIN) PER REVIEW OF MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, CITY OF NASHUA, HILLSBOROUGH COUNTY", PANEL 76 OF 80 COMMUNITY-PANEL NUMBER 23007 0075 C EFFECTIVE DATED JULY 3, 2002.
  - EXISTING STORM DRAINAGE SYSTEM ON COSTCO DRIVE IS PROPOSED TO REMAIN.
  - UTILITY CONNECTIONS FOR PROPOSED LOT 608 SHALL BE PROVIDED THROUGH PRIVATE UTILITY EASEMENTS THROUGH LOT 793. UTILITY EASEMENTS CURRENTLY EXIST FOR LOT 793. UTILITY EASEMENTS CURRENTLY EXIST FOR UTILITY SERVICE CONNECTIONS TO ADJACENT LOTS. EASEMENTS WILL BE REVISED BASED ON ACTUAL PROPOSED CONDITIONS FOR LOT 608 TO BE DETERMINED.
  - GENERAL COSTCO CONSTRUCTION STANDARDS ON FILE WITH THE CITY OF NASHUA ARE TO BE INCORPORATED AS EXISTING CONDITIONS CONSTRUCTION DETAILS AND SHALL BE INCLUDED AS A PART OF THE PROPOSED PLAN.
  - THE DEVELOPER SHALL BE RESPONSIBLE FOR AND SHALL BEAR ANY COSTS ASSOCIATED WITH THE INSTALLATION OF STREET LIGHTING FACILITIES.
  - USES FOR PROPOSED LOTS 793, 608 AND 609 ANTICIPATED TO BE RETAIL (EXISTING COSTCO TO REMAIN), PUBLIC RETAIL AND UNDEVELOPED LAND RESPECTIVELY.
  - PRIVATE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT UNDER AN ENGINEER'S EXEMPTION THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINAGE SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
  - ALL SIGNS ARE EXISTING TO REMAIN.
  - THE LOCATIONS OF THE EXISTING STRUCTURES AND DEVICES LOCATED EAST OF DANIEL WEBSTER HIGHWAY HAVE BEEN APPROXIMATED BY AERIAL PHOTOGRAPHS, CITY OF NASHUA GIS MAPS, AND FIELD OBSERVATIONS.
  - THE APPLICANT SHALL SUBMIT AN ELECTRONIC FILE OF THE SUBDIVISION PLAN (PLOT) PRIOR TO ISSUANCE OF A BUILDING PERMIT.
  - STAKE MARKS OF OPERATIONS: MIN THRU PEG: 10.00M TO 0.00PM S&N; 0.00M TO 0.00PM S&N; 10.00M TO 0.00PM S&N; 10.00M TO 0.00PM S&N.
  - BUILDING AND SURVEY LOCATIONS ON ADJACENT PARCELS ARE APPROXIMATE AND BASED ON AVAILABLE INFORMATION AND GIS MAPS, NOT BY ACTUAL GROUND SURVEY.
  - PROPOSED CROSS ACCESS, PARKING AND UTILITY EASEMENT(S) TO BE EXERCISED AT THE TIME OF CONVEYANCE.
  - SEE GENERAL APPROVAL FOR COSTCO WHOLESALE DEVELOPMENT FOR ANY PREVIOUS ZONING APPROVALS.
  - COSTCO DRIVE IS A PRIVATE WAY WHICH IS PRIVATELY MAINTAINED AND AT NO TIME SHALL BE MAINTAINED BY THE CITY OF NASHUA. RESPONSIBILITY FOR MAINTENANCE SHALL FALL TO THE OWNERS OF LOTS 608, 609 AND 793 AS SHOWN ON THIS PLAN.
  - EXISTING SITE IS BEING SERVED BY METROPOLITAN WATER AND WASTEWATER TREATMENT PLANTS.

**WAIVER LIST**

- WAIVER FROM PLAN SCALE REQUIREMENT OF "NOT SMALLER THAN 1"=40" (CURRENT SCALE 1"=40") REQUIRED.
- WAIVER FROM SUBDIVISION REQUIREMENT THAT EXISTING ON-SITE WETLAND AREAS BE FLAGGED AND DESCRIBED ON SUBDIVISION PLAN REQUIRED.
- WAIVER FROM SHOWING ALL EXISTING UTILITIES UNDER DANIEL WEBSTER HIGHWAY.

SEE SHEET 2 OF 3 FOR ADDITIONAL NOTES AND REFERENCES

THE PLAN IS BASED ON A SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION DATED 9/29/08 AS REVISED THROUGH 2/20/16 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE CITY IN WHICH IT IS LOCATED. THE SURVEY WAS PERFORMED AS AN URBAN STANDARD PROPERTY SURVEY AS DEPICTED IN THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES WITH THE TRAVERSE ERROR OF CLOSURE BETTER THAN ONE PART IN FIFTEEN THOUSAND.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL

**JOHN P. LYNCH**  
NEW HAMPSHIRE PROFESSIONAL LAND SURVEYOR #888

FIELD DATE: 6-20-07  
2-2-16

FIELD BOOK NO.: 07-14  
12-15

FIELD BOOK PA.: 97

FIELD CREW: B.S.B./G.C.  
G.L.H.

DRAWN: S.P.P.

REVIEWED: G.L.H.

APPROVED: J.P.L.

DATE: 2-11-16

SCALE: 1"=80'

FILE NO.: 03-15289

DWG. NO.: 2 OF 3

AMENDED SITE PLAN - LOT 793/SHEET A  
**COSTCO WHOLESALE**  
311 DANIEL WEBSTER HIGHWAY, NASHUA, NH  
FOR:  
COSTCO WHOLESALE CORP.  
PROPERTY TAX DEPT. 370 - 899 LAKE STREET  
ISSAQUAH, WA 98027-5367  
PHONE: 425-313-8100  
REVISED: MARCH 22, 2016

**CONTROL POINT ASSOCIATES, INC.**  
352 TURNPIKE ROAD  
SOUTHBOROUGH, MA 01772  
508.948.3000 - 508.948.3003 FAX  
MANHATTAN, NY 646.710.0411  
MT. LAUREL, NJ 609.857.2099  
CHALFONT, PA 215.712.8900  
WARREN, NJ 908.464.0999

THE ORIGINAL PLAN OF THIS PROJECT IS ON FILE AT THE CITY OF NASHUA. IF YOU ARE IN POSSESSION OF A COPY OF THIS PLAN, YOU MUST SIGN IT TO INDICATE THAT YOU HAVE RECEIVED A COPY OF THE ORIGINAL PLAN. IF YOU ARE NOT IN POSSESSION OF A COPY OF THIS PLAN, YOU MUST SIGN IT TO INDICATE THAT YOU HAVE RECEIVED A COPY OF THE ORIGINAL PLAN. IF YOU ARE NOT IN POSSESSION OF A COPY OF THIS PLAN, YOU MUST SIGN IT TO INDICATE THAT YOU HAVE RECEIVED A COPY OF THE ORIGINAL PLAN.



**ABUTTERS:**

SHEET A/LOT 384  
CLARENCE CLARK  
323 DANIEL WEBSTER HIGHWAY  
NASHUA, NH 03060-5702  
ACCT. NO. 17300

SHEET A/LOT 729  
JORDAN'S FURNITURE INC  
450 REVOLUTIONARY DRIVE  
E. TAUNTON, MA 02718  
ACCT. NO. 40927

SHEET A/LOTS 793, 988, 989 & 1006  
COSTCO WHOLESALE CORP.  
PROPERTY TAX DEPT. 370  
899 LAKE DRIVE  
ISSAQUAH, WA 98027-5367  
ACCT. NO. 47796, 51647, 51648 & 51649

SHEET A/LOT 532  
HAUSBERGER ASSOCIATES  
41 SHELLEY DRIVE  
NASHUA, NH 03062  
ACCT. NO. 36824

SHEET A/LOT 735  
DAYTON HUDSON CORP.  
TARGET CORP. 1-1228 PROP. TAX  
TPN-0950 P.O. BOX 9456  
MINNEAPOLIS, MN. 55440-6005

SHEET A/LOT 737  
PHEASANT LAKE MALL FB LLC  
P.O. BOX 6120  
INDIANAPOLIS, IN. 46204  
ACCT. NO. 43802

SHEET A/LOT 736  
PHEASANT LAKE REALTY TRUST  
C/O SIMON PROP GRP TAX DEPT.  
P.O. BOX 6120  
INDIANAPOLIS, IN. 45206-2111  
ACCT. NO. 43801

SHEET A/LOT 87  
MACY DEPARTMENT STORES CO.  
PROPERTY TAX DEPT.  
7 W SEVENTH STREET  
CINCINNATI, OH. 45202  
ACCT. NO. 16516

LOT 793/SHEET A  
COMMERCIAL  
COSTCO WHOLESALE CORP.  
BK. 5286, PG. 1609

LOT 532/SHEET A  
COMMERCIAL  
HAUSBERGER ASSOCIATES  
BK. 4771, PG. 203

LOT 735/SHEET A  
COMMERCIAL  
DAYTON HUDSON CORP.  
BK. 8003, PG. 1246

LOT 737/SHEET A  
COMMERCIAL  
PHEASANT LAKE MALL FB LLC  
BK. 7712, PG. 304

LOT 736/SHEET A  
COMMERCIAL  
PHEASANT LAKE MALL FB LLC  
BK. 7712, PG. 304

LOT 729/SHEET A  
COMMERCIAL  
JORDAN'S FURNITURE, INC.  
BK. 6181, PG. 1582

■ STONE BOUND FOUND  
 □ STONE BOUND TO BE SET  
 ○ IRON PIN FOUND  
 ○ IRON PIN TO BE SET  
 --- MINIMUM BUILDING SETBACK  
 --- EXISTING BUILDING  
 --- EXISTING OVERHEAD ELECTRIC  
 --- EXISTING SANITARY SEWER  
 --- EXISTING WATERLINE  
 --- EXISTING STORM DRAIN  
 --- PROPOSED SANITARY SEWER  
 --- PROPOSED WATERLINE  
 --- PROPOSED STORM DRAIN

1" = 1000'

**LEGEND** **VICINITY**

**NOTES:**

- PRESENT ZONING: HB - HIGHWAY BUSINESS
- EXISTING USE: RETAIL AUTOMOTIVE SALES & COMMERCIAL
- TOTAL AREA OF PARCELS: 203,196 SF
- THE PURPOSE OF THIS PLAN IS TO RELOCATE THE LOT LINE BETWEEN LOT 384/SHEET A & LOT 989/SHEET A.
- LOTS ARE PRESENTLY SERVED BY PENNACHTUCK WATER AND PUBLIC SEWER.
- AREA OF EXCHANGE:
 

LOT	OLD AREA	NEW AREA	AREA OF EXCHANGE
LOT 384	49,529 SF	54,767 SF	+5,238 SF
LOT 989	153,667 SF	148,429 SF	-5,238 SF
TOTAL	203,196 SF	203,196 SF	0 SF
- DIMENSIONAL REQUIREMENTS:
  - SETBACKS - FRONT = 20 FT.
  - SIDE = 10 FT.
  - REAR = 20 FT.
  - LOT AREA (MIN): 20,000 S.F.
  - LOT WIDTH (MIN): 100 FT
  - LOT FRONTAGE (MIN): 80 FT
  - LOT DEPTH (MIN): 80 FT
  - OPEN SPACE (MIN): 20%
  - FLOOR AREA (MAX): 0.75
  - MAX. BLDG. HEIGHT: 60 FT.
- PERMANENT MARKERS ARE TO BE SET AT ALL NEW LOT CORNERS BY A LICENSED

**PLAN REFERENCES**

- SUBDIVISION PLAN, DANIEL WEBSTER HIGHWAY, NASHUA, NEW HAMPSHIRE; FOR COSTCO WHOLESALE CORP.; BY ALLAN H. SWANSON, INC.; DATED JULY 10, 1991, LAST REVISED AUGUST 9, 1991; HCRD NO. 28187
- EASEMENT PLAN, DANIEL WEBSTER HIGHWAY, NASHUA, NEW HAMPSHIRE, FOR COSTCO WHOLESALE CORP.; BY ALLAN H. SWANSON, INC.; DATED AUGUST 21, 1991; HCRD NO. 25406
- DANIEL WEBSTER HIGHWAY SIDEWALK IMPROVEMENTS MASSACHUSETTS STATE LINE TO SILVER DRIVE; DATED JANUARY 2008; BY CITY OF NASHUA ENGINEERS' OFFICE.
- SITE PLAN JORDAN'S FURNITURE EXPANSION, NASHUA, NEW HAMPSHIRE, BY ANDERSON-NICHOLS; DATED MARCH 6, 1990; NR 1023
- SITE PLAN - 323 DANIEL WEBSTER HIGHWAY, NASHUA, NH; BY: MAYNARD & PAQUETTE ENG. ASSOC., LLC; DATED: APRIL 8, 2008; LAST REVISED: JULY 7, 2008; NR 1592

LOT LINE RELOCATION PLAN LOTS 384 & 989/SHEET A  
**323 DANIEL WEBSTER HIGHWAY**  
**NASHUA, NEW HAMPSHIRE**

APPLICANT:  
ANDREA JAMES REALTY, LLC  
24 APPLETREE GREEN  
NASHUA, NEW HAMPSHIRE 03062  
(603) 888-2109

OWNER:  
CLARENCE CLARK  
323 DANIEL WEBSTER HIGHWAY  
NASHUA, NEW HAMPSHIRE 03060-5702  
(603) 888-1207

OWNER:  
COSTCO WHOLESALE CORP.  
PROPERTY TAX DEPT. 370  
899 LAKE DRIVE  
ISSAQUAH, WA. 98027-5367

SCALE: 1" = 40' DATE: MAY 13, 2015

**Maynard & Paquette**  
Engineering Associates, LLC  
Consulting Engineers and Land Surveyors  
23 East Pearl Street, Nashua, NH 03060  
Phone: (603) 883-8433 Fax: (603) 883-7227

*Andrea James* 5-28-15  
ANDREA JAMES REALTY, LLC DATE

\_\_\_\_\_  
COSTCO WHOLESALE CORP. DATE

*Clarence Clark* 5/28/15  
CLARENCE CLARK DATE

I CERTIFY THAT THIS PLAN WAS PREPARED FROM BOUNDARY INFORMATION SHOWN ON PLAN REFERENCE 1 - 4 AND A FIELD SURVEY MADE ON THE GROUND IN APRIL 2015 HAVING A MAXIMUM ERROR OF CLOSURE OF 1:10,000.

APPROVED BY THE CITY OF NASHUA  
PLANNING BOARD

CHAIRMAN	DATE
SECRETARY	DATE

NO.	DATE	REVISION	BY

KPM	APB	CHECKED	APPROVED	BOOK & PAGE	0	D	12033
DESIGNED	DRAWN	CHECKED	APPROVED	BOOK & PAGE	REVISION	SIZE	JOB NUMBER

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 MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC  
 ILLEGAL TO COPY THIS PLAN/PRIANT WITHOUT WRITTEN PERMISSION.

NASHUA CITY PLANNING BOARD  
STAFF REPORT

TO: Nashua City Planning Board  
FROM: Linda Panny, Planner I  
FOR: April 7, 2016  
RE: **New Business #6 – Site Plan**

**I. Project Statistics:**

Owner: James & Marilyn Forest  
Applicant: Friendly's Ice Cream, LLC  
Proposal: Site plan for re-establishment of a drive-thru window  
Location: 149 Daniel Webster Highway  
Total Site Area: 39,352 sf  
Existing Zoning: GB – General Business  
Surrounding Uses: Commercial

**II. Background Information:**

Friendly's Restaurant was constructed in 1986 and contained a drive-thru window. In 1995 they came before the Planning Board for a 688 sf addition. Over the years the drive-thru window use was discontinued and 5 parking spaces were added without approval. Recently, the applicant appeared before the Zoning Board of Adjustment on March 22, 2016 to allow this project to move forward (see attached approval letter).

**III. Project Description:**

The proposal is to re-establish the drive-thru window and bypass lane. The 5 parking spaces that were not on the approved plan will be removed. Site improvements include the construction of a new drive thru window, installation of a new island adjacent to the building to house the menu board and speaker, new curbing, landscaping and exterior building painting touch up. The dumpster pad and enclosure will be relocated.

Two waivers are being requested (see attached). The first waiver request is for parking spaces; 59 spaces are required and 49 are being proposed. The second waiver is from the requirement to show existing utilities as this proposal does not require any alteration to the utilities.

According to the applicant's engineer, the installation of the island will not change the stormwater runoff patterns and will result in a decrease in impervious surfaces on the property resulting in a reduction in peak stormwater runoff rates and an increase in groundwater recharge.

The drive-thru window is expected to have a nominal increase in vehicle trips and the minor increase in vehicle traffic is not expected to have a significant impact on traffic operations and off-site mitigation would not be required.

City Staff reviewed the plans and there are no outstanding issues.

**Staff Recommendations and Findings:**

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

1. The request for a waiver of NRO § 190-198, which establishes minimum parking standards, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. The request for a waiver of § 190-279(J)), which requires an existing conditions plan, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
3. Prior to the issuance of a building permit, stormwater documents will be submitted to City staff for review and approval and recorded at the Registry of Deeds at the applicant's expense.
4. Prior to the issuance of a certificate of occupancy, all site improvements will be completed.





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REVISIONS:

NUMBER	REMARKS	DATE

ISSUED FOR:	DATE ISSUED:
PERMITTING:	03-11-2016

PROJECT TITLE:

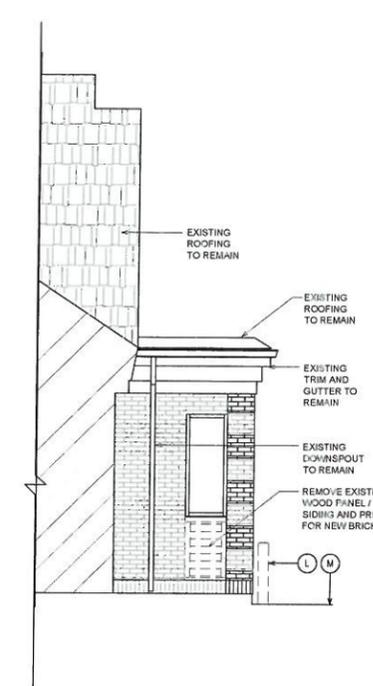


**FRIENDLY'S**  
**1040**  
149 DANIEL WEBSTER HIGHWAY  
NASHUA, NEW HAMPSHIRE 03060

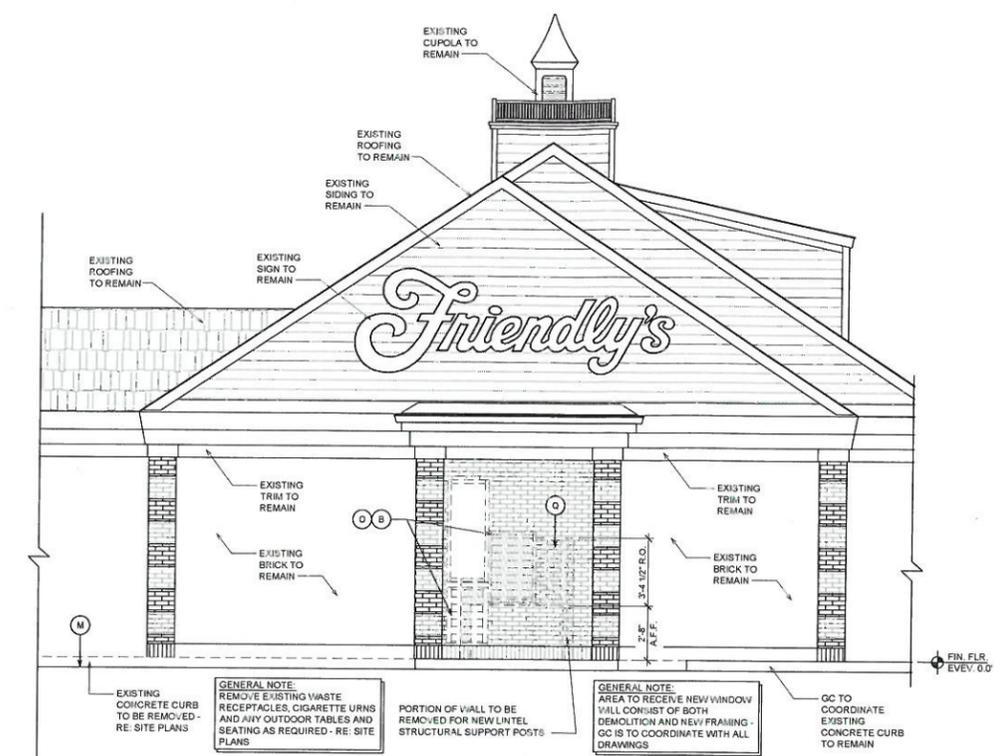
DRAWING TITLE:  
**EXTERIOR ELEVATIONS**

PERMIT DWG DATE: 03-11-16	PROJECT NUMBER: 16-037
DRAWN BY: TPD	CHECKED BY: BCM

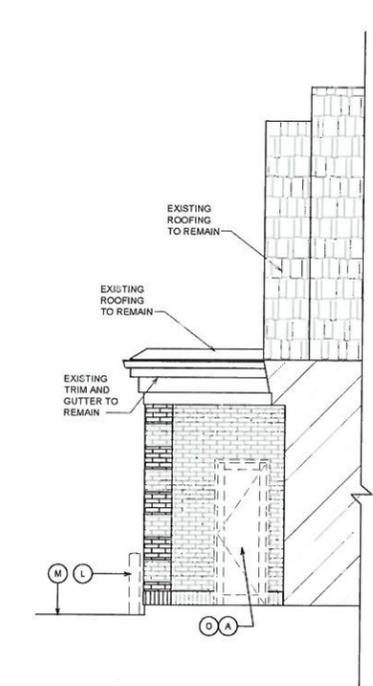
DRAWING NUMBER:  
**ELEV-1**



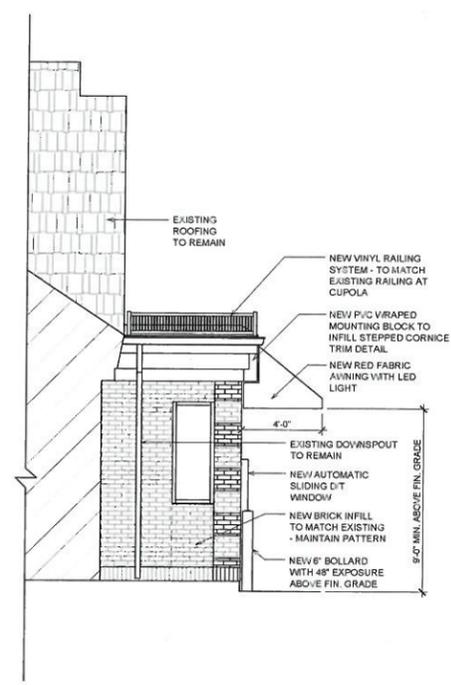
LEFT ELEVATION EXISTING 1/4" = 1'-0" 1



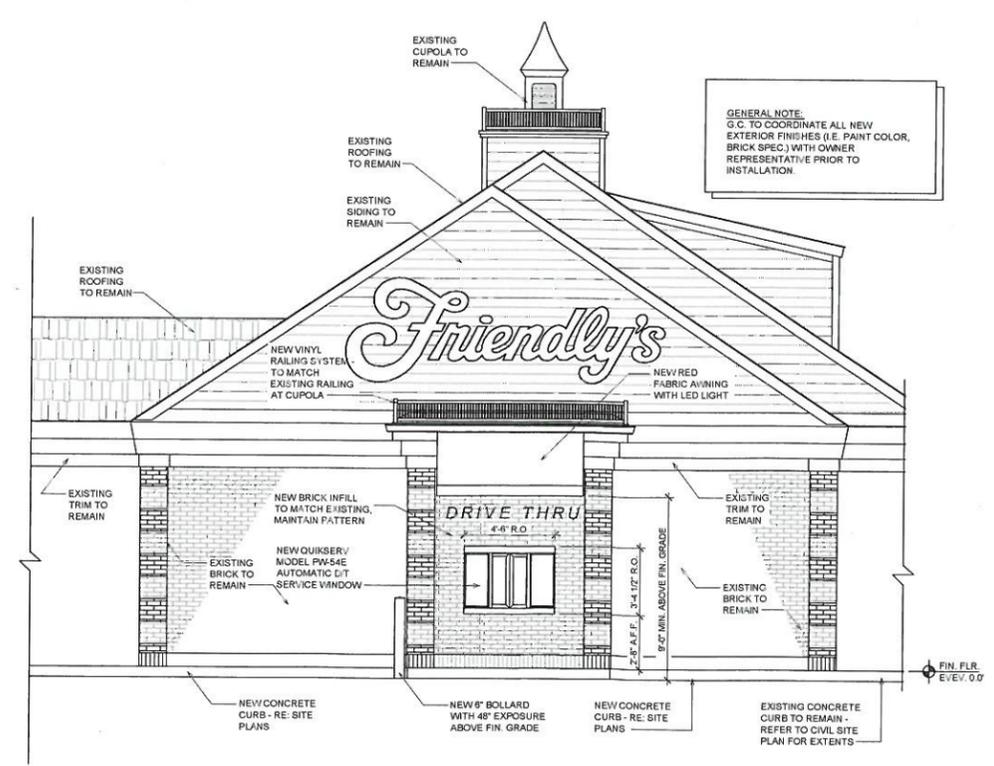
FRONT ELEVATION EXISTING 1/4" = 1'-0" 2



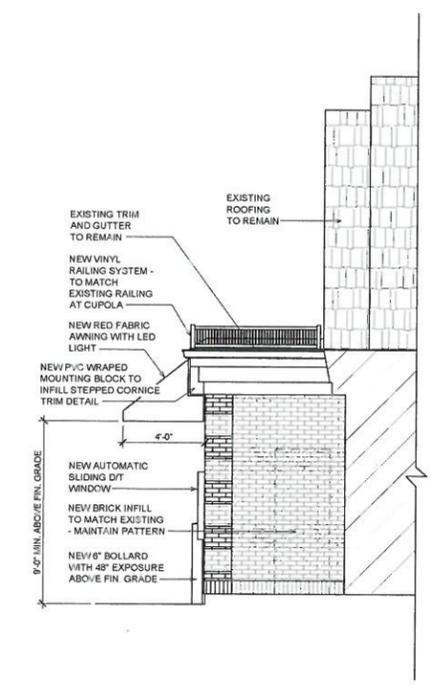
RIGHT ELEVATION EXISTING 1/4" = 1'-0" 3



LEFT ELEVATION PROPOSED 1/4" = 1'-0" 4



FRONT ELEVATION PROPOSED 1/4" = 1'-0" 5



RIGHT ELEVATION PROPOSED 1/4" = 1'-0" 6

