

1. Planning Board Regular Meeting Agenda - Amended (PDF)

Documents: [20160303 NCPB AGENDA AMENDED.PDF](#)

2. 20160303 Staff Reports And Plans (PDF)

Documents: [20160218 62 AND 70 BRIDGE STREET SITE PLAN STAFF REPORT.PDF](#), [20160218 36 AND 38 BROAD ST SITE PLAN.PDF](#)



City of Nashua
Planning Department
229 Main Street
Nashua, New Hampshire 03061-2019

Planning & Zoning 589-3090
Fax 589-3119
WEB www.nashuanh.gov

February 25, 2016

AMENDED AGENDA

To: NCPB Members

From: Planning Staff

Re: Meeting, March 3, 2016

A regular meeting of the Nashua City Planning Board will be held on Thursday, at 7:00 p.m. in the City Hall Auditorium, 3rd floor, 229 Main Street. The Planning Staff will be available at 6:30 p.m. to answer any questions the Board or Public might have concerning the following proposed agenda.

- A. Call to Order
- B. Roll Call
- C. Approval of Minutes – February 18, 2016
- D. Communications
- E. Report of Chairman, Committee, & Liaison
- F. Executive Session

OLD BUSINESS – CONDITIONAL / SPECIAL USE PERMITS

None

OLD BUSINESS - SUBDIVISION PLANS

None

OLD BUSINESS – SITE PLANS

1. David & Charlotte Dion (Owners) Scrivanos Group (Applicant) - Proposed site plan to demolish the existing building and construct a one-story restaurant with a drive-thru and associated site improvements. Property is located at 36 & 38 Broad Street. Sheet 61 - Lots 60 & 172. Zoned "GI" General Industrial. Ward 4. **(Postponed to the March 17, 2016 Meeting)**

NEW BUSINESS – CONDITIONAL / SPECIAL USE PERMITS

None

NEW BUSINESS – SUBDIVISION PLANS

None

NEW BUSINESS – SITE PLANS

None

OTHER BUSINESS

1. Review of tentative agenda to determine proposals of regional impact.

DISCUSSION ITEM

1. Plan4Health Complete Streets Guide

NONPUBLIC SESSION

The Planning Board will need to make a motion to enter into a Nonpublic Session under RSA 91-A:3, II (e) for consideration or negotiation of pending claims or litigation which has been threatened in writing or filed against the public body.

NEXT MEETING

March 17, 2016

ADJOURN

WORKSHOP

ACCOMMODATIONS FOR THE SENSORY IMPAIRED

**"SUITABLE ACCOMMODATIONS FOR THE SENSORY IMPAIRED
WILL BE PROVIDED UPON ADEQUATE ADVANCE NOTICE."**

CONDUCT AT PLANNING BOARD MEETING

When the meeting is called to order, the only talking allowed in the Auditorium will be remarks addressed to the Chairman. Except for the original presentation of the subject or application, each person speaking for or against shall be limited to five (5) minutes until all have been given an opportunity to be heard, at which time each person may be allowed additional time if deemed necessary by the Board or the Chairman. When you are recognized by the Chairman, proceed to the podium, using the microphone, state your name and address and then make your comments. Courtesy is shown when you reserve your comments for the proper time.

PLEASE BE COURTEOUS

By Order of the Chair

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda Panny, Planner I
FOR: February 18, 2016
RE: **New Business #2– Site Plan**

I. Project Statistics:

Owner: City of Nashua
Applicant: Renaissance Downtowns at Nashua, LLC
Proposal: Site plan for mixed use development
Location: 62 & 70 Bridge Street
Total Site Area: 9.63 acres
Existing Zoning: GI/MU-General Industrial/Mixed Use
Surrounding Uses: Industrial, commercial, residential

II. Background Information:

The site is located at the confluence of the Merrimack and Nashua Rivers and the City has owned the subject property since the 1940s. In 1947, a flood control levee was constructed along this section of the Merrimack. Over the years, other public infrastructure has been built on the property, including a sewer pump station, a flood control emergency overflow basin, a cell tower, and a recreational facility. A plan for redevelopment of the site was approved by the Planning Board on May 2, 2013 and on August 7, 2014 the plan came before the board due to some minor modifications. On November 19, 2015 the plan came before the board for re-approval of the site plan to construct 228 units, a restaurant and a community center. On January 14, 2016 a proposed consolidation and subdivision was approved by the board for this site (see attached staff reports and notice of decisions).

III. Project Description:

The current proposal is to show the phasing of this project as the City and applicant work with the Army Corps of Engineers (ACOE) regarding the 408 permit for the levee. Phase I includes the construction of Buildings A, B, D & E with associated parking, utilities, grading, drainage, lighting, landscaping and stormwater management. Phase II consists of construction of Building C with associated parking, utilities, drainage, grading, lighting, landscaping and stormwater management and is contingent on the approval of removing the emergency overflow basin by ACOE and the City.

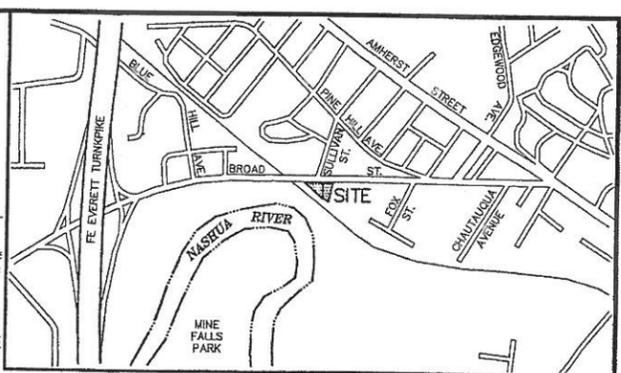
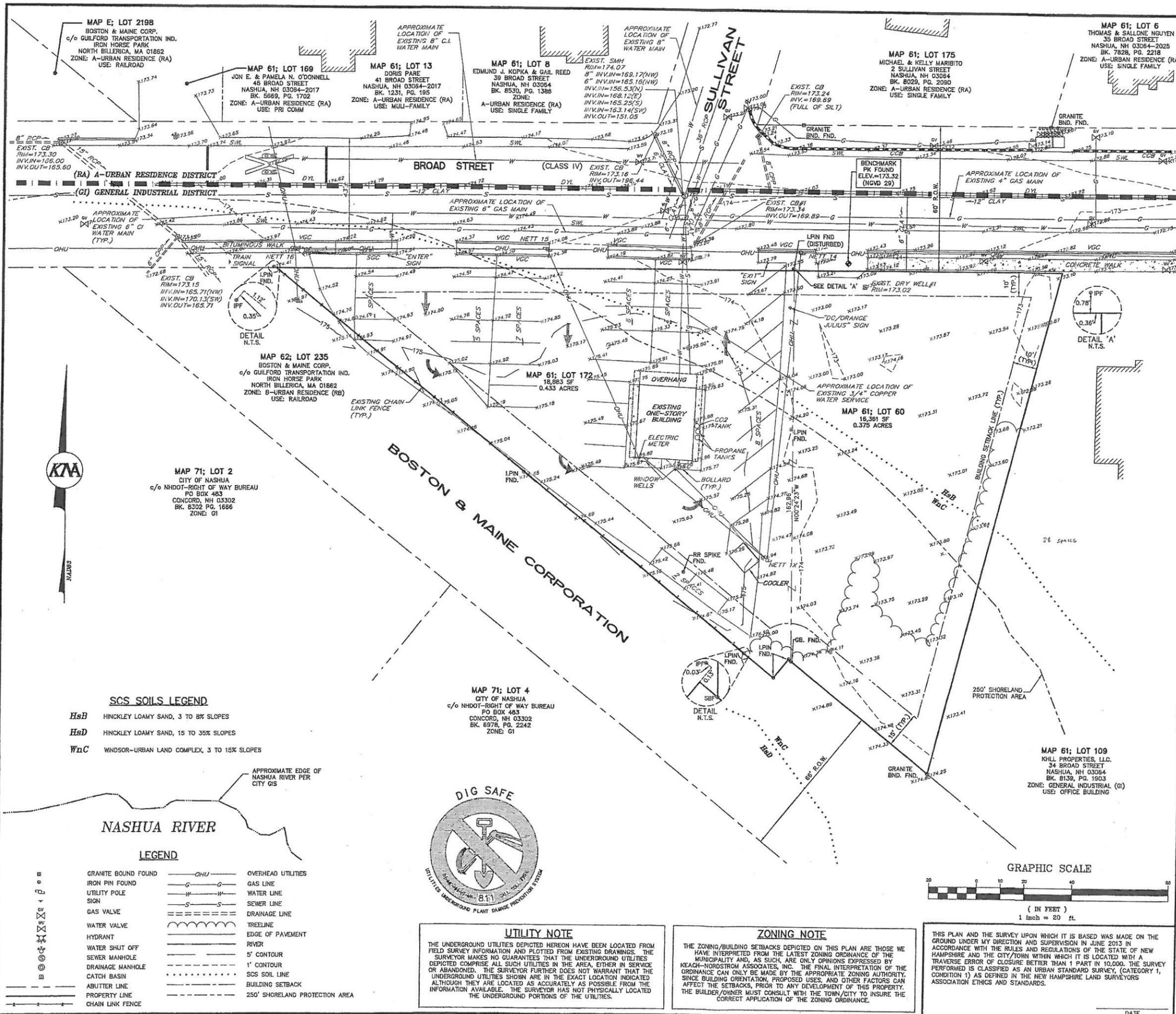
Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons

should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

1. All previously approved waiver requests are incorporated herein and made a part of this plan, unless otherwise determined by the planning board.
2. Prior to the issuance of the first building permit, all easements will be submitted to City staff for review and approval and recorded at the Registry of Deeds.
3. Prior to the issuance of a building permit, minor drafting corrections will be made to the plan.
4. Stormwater documents will be submitted to City staff for review and recorded prior to the issuance of a building permit.
5. Prior to the issuance of a building permit for Building C, a plan for the removal or relocation of the emergency overflow basin must be approved by the U.S. Army Corp of Engineers or other appropriate authority and an agreement between the City and the developer will be in place regarding responsibility for the work. The developer will submit a draft agreement to the City with sufficient time for review and approval.
6. Prior to the issuance of a building permit for Building D, a plan shall be recorded at the Registry of Deeds that separates the cell tower and levee from the residential development.
7. Prior to the issuance of a building permit for Buildings A, B, or C, plans for the removal/relocation of the skate park will be finalized by the City.
8. Prior to the issuance of a building permit, the applicant will contribute \$30,000 to the City for the "East Hollis Street Gateway Improvement Project."
9. Prior to commencement of any site work, an Alteration of Terrain permit must be approved by the New Hampshire Department of Environmental Services (NHDES).
10. Prior to commencement of any site work within the protected shoreland, a Shoreland permit must be approved by the New Hampshire Department of Environmental Services (NHDES).
11. Prior to the issuance of a certificate of occupancy, the left turn pocket on Bridge Street will be installed.
12. Prior to issuance of a certificate of occupancy for Building A, B, or C, the temporary traffic signal will be installed.

13. The existing sidewalk along the property's frontage on Bridge Street will be reconstructed to the Division of Public Works' specifications prior to the issuance of a certificate of occupancy for Building C.
14. All other off-site improvements will be completed prior to the issuance of a certificate of occupancy for Building C.
15. Prior to the issuance of the certificate of occupancy for Building C, all on-site improvements shall be substantially completed, provided that paving may be completed to base course and landscaping may be completed as seasonally permitted; a financial guarantee will be required for any remaining work.
16. Prior to the issuance of the certificate of occupancy for Building C, an as-built plan locating all roads, driveways, units, buildings, utilities, and landscaping shall be completed by a professional engineer or surveyor and submitted to the Planning Department. The as-built plan shall include a statement that all construction was generally completed in accordance with the approved plan and applicable regulations.
17. Prior to the issuance of a building permit all comments in an e-mail from Cynthia Bautista dated January 19, 2016 shall be addressed to the satisfaction of the Fire Marshal.
18. Prior to the Chair signing the plan, all comments in a letter from Jeanne Walker, P.E. dated February 5, 2016 shall be addressed to the satisfaction of the Engineering Department.
19. Temporary traffic signals are not to become permanent traffic signals.
20. Bancroft Street shall remain City right-of-way/property unless otherwise determined.



LOCUS MAP
SCALE: 1" = 1,000'

- REFERENCE PLANS:**
- "CONSOLIDATION PLAN OF LOTS #60 & #172 - ASSESSORS SHEET 61, NASHUA, N.H." SCALE: 1"=50 FEET, DATED AUGUST 4, 1975, PREPARED BY ALLAN H. SWANSON, INC.
 - "LOT LINE RELOCATION PLAN OF LAND IN NASHUA, NEW HAMPSHIRE BOSTON & MAINE CORPORATION TAX MAP 62 LOT 235 TO DAVID C. & CHARLOTTE M. DION TAX MAP 61 LOT 172 38 BROAD STREET," SCALE: 1"=20', MAY 28, 2008, PREPARED BY JOSEPH M. WICHERT, LLS.
 - "SITE PLAN (LOT 109, MAP 61) 34 BROAD STREET NASHUA, NEW HAMPSHIRE," SCALE: 1"=20', DATED AUGUST 24, 1984, PREPARED BY ALLAN H. SWANSON, INC.
 - "LAND OF GEORGE R. LABONTY BROAD STREET - NASHUA - N.H.," SCALE: 1"=40', DATED DECEMBER 7, 1940, PREPARED BY EARL WILLIAMS, SURVEYOR. H.C.R.D. PLAN NO. 102-C.
 - "RIGHT OF WAY AND TRACK MAP WILTON R.R. CO., OPERATED BY THE BOSTON & MAINE R.R. STA. 50+0 TO STA. 102+80," SCALE: 1"=100', DATED JUNE 30, 1914. (SHEET V17/2)

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING FEATURES ON TAX MAP 61: LOTS 60 AND 172 IN NASHUA, NEW HAMPSHIRE.
 - AREA OF PARCEL:
MAP 61: LOT 60 = 16,361 SF, OR 0.375 ACRES
MAP 61: LOT 172 = 18,883 SF, OR 0.433 ACRES
 - OWNER OF RECORD:
MAP 61: LOT 60
DAVID C. & CHARLOTTE M. DION
46 PASTURE ROAD
AUBURN, NH 03032
BK. 8528, PG. 2601
MAP 61: LOT 172
DAVID C. & CHARLOTTE M. DION
48 PASTURE ROAD
AUBURN, NH 03032
BK. 8005, PG. 443
 - PRESENT ZONING: GENERAL INDUSTRIAL DISTRICT (G1)
MINIMUM LOT AREA: 5,000 S.F.
MINIMUM LOT FRONTAGE: 50'
BUILDING SETBACKS:
FRONT: 10'
REAR: 15'
SIDE: 10'
LANDSCAPE BUFFER: AVG. 15'
OPEN SPACE PERCENTAGE: 10%
 - MAP 61: LOTS 60 AND 172 INDICATES CITY OF NASHUA TAX ASSESSOR'S MAP AND LOT NUMBER.
 - BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE IN JUNE 2013. HORIZONTAL DATUM IS MAGNETIC NAD83. VERTICAL DATUM IS NGVD 1928.
 - EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE CITY OF NASHUA, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, MAP NUMBER 330100033D, PANEL 613 OF 701, EFFECTIVE DATE SEPTEMBER 25, 2009 INDICATES THAT THE SUBJECT PARCELS ARE NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
 - A PORTION OF THE SUBJECT PARCELS IS WITHIN THE 250' SHORELAND WATER QUALITY PROTECTION AREA FOR THE NASHUA RIVER.
 - SUBJECT PARCEL IS SERVICED BY MUNICIPAL SEWER AND PENNICHUCK WATER WORKS.
 - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.



SCS SOILS LEGEND

HsB HINCKLEY LOAMY SAND, 3 TO 8% SLOPES
HsD HINCKLEY LOAMY SAND, 15 TO 35% SLOPES
WnC WINDSOR-URBAN LAND COMPLEX, 3 TO 15% SLOPES

NASHUA RIVER

LEGEND

GRANITE BOUND FOUND	OHU	OVERHEAD UTILITIES
IRON PIN FOUND	G	GAS LINE
UTILITY POLE	W	WATER LINE
SIGN	S	SEWER LINE
GAS VALVE	D	DRAINAGE LINE
WATER VALVE	T	TREELINE
HYDRANT	E	EDGE OF PAVEMENT
WATER SHUT OFF	R	RIVER
SEWER MANHOLE	5'	5' CONTOUR
DRAINAGE MANHOLE	1'	1' CONTOUR
CATCH BASIN	SCS	SCS SOIL LINE
BUTTER LINE	B	BUILDING SETBACK
PROPERTY LINE	250'	250' SHORELAND PROTECTION AREA
CHAIN LINK FENCE		

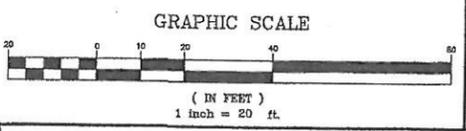


UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

ZONING NOTE

THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY KEACH-NORDSTROM ASSOCIATES, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.



EXISTING CONDITIONS PLAN
LAND OF
DAVID C. & CHARLOTTE M. DION
MAP 61; LOTS 60 & 172
36 & 38 BROAD STREET
NASHUA, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
DAVID C. & CHARLOTTE M. DION
46 PASTURE ROAD
AUBURN, NH 03032
BK. 8528, PG. 2601 (MAP 61, LOT 60)
BK. 8005, PG. 443 (MAP 61, LOT 172)

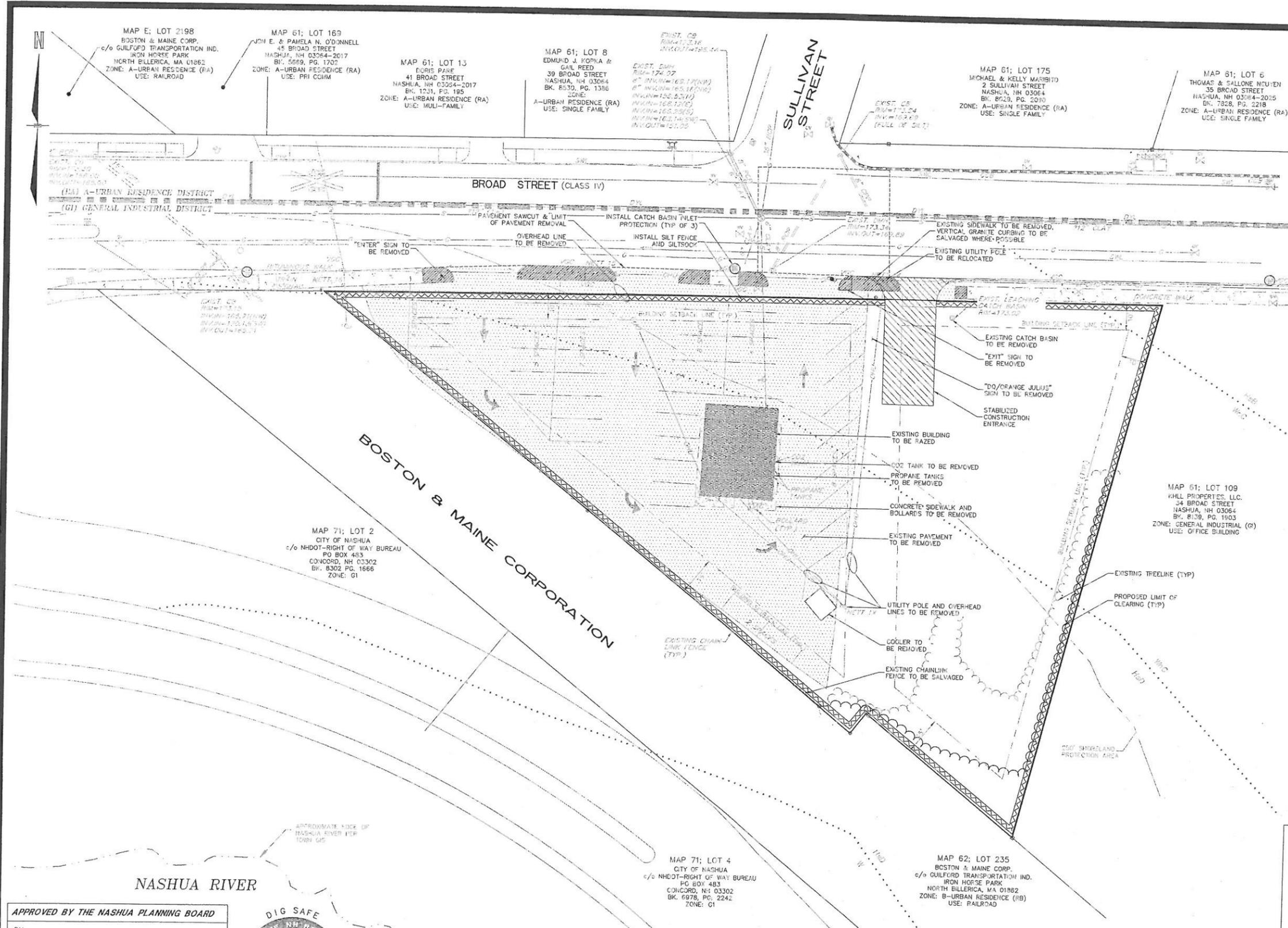
APPLICANT:
DAVID C. & CHARLOTTE M. DION
46 PASTURE ROAD
AUBURN, NH 03032

KMA
KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-8881

FOR BID PURPOSES ONLY

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: JULY 3, 2014 SCALE: 1" = 20'
PROJECT NO: 12-0726-1 SHEET 1 OF 16



- NOTES**
1. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
 2. THE CONTRACTOR SHALL VERIFY ALL SURVEY INFORMATION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
 3. EXISTING UTILITY SERVICES TO BE DISCONTINUED ARE TO BE CAPPED AS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES.
 4. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN P.C. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
 5. ANY TRACKING FROM CONSTRUCTION VEHICLES SHALL BE CLEARED ON A DAILY BASIS.
 6. CONTRACTOR TO REMOVE ALL CONCRETE, PAVEMENT AND SUBSURFACE MATERIALS LOCATED WITHIN THE PROPOSED LANDSCAPE AREAS AND REPLACE WITH MATERIALS SUITABLE FOR LANDSCAPING.
 7. CONSTRUCTION DEBRIS SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
 8. CONTRACTOR SHALL IMPLEMENT ALL BEST MANAGEMENT PRACTICES IN EROSION AND SEDIMENT CONTROL. THE MEASURES SHOWN ON THIS SITE PLAN ARE TO BE USED ONLY AS A GUIDE.

PROPOSED LEGEND

PROPOSED	EXISTING

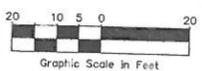
TAX MAP 61 LOTS 60 & 172
SITE PREPARATION PLAN
DUNKIN' DONUTS
36 & 38 BROAD STREET, NASHUA, NH
 OWNED BY
DAVID C. & CHARLOTTE M. DION
 PREPARED FOR
SCRIVANOS GROUP
 SCALE: 1"=20' JANUARY 7, 2016

APPROVED BY THE NASHUA PLANNING BOARD
 ON _____ AND _____
 CHAIRMAN: _____ SECRETARY: _____



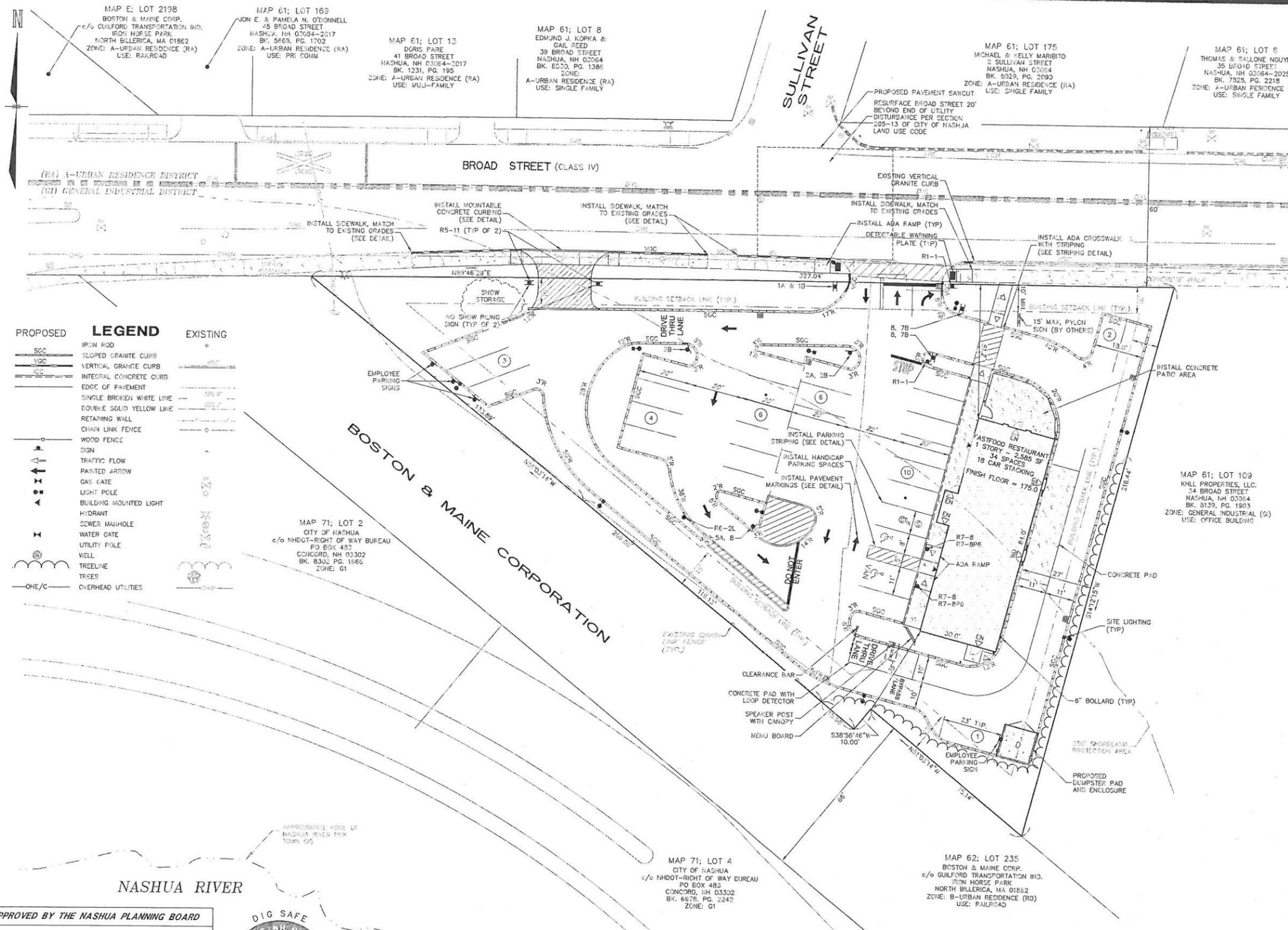
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CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION



REV	DATE	DESCRIPTION	DR	CK

TFM Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists
 48 Constitution Drive
 Bedford, NH 03110
 Phone (603) 472-4488
 Fax (603) 472-9747
 www.tfmoran.com



- ### NOTES
- OWNER OF RECORD OF MAP 61 LOTS 60 & 172: DAVID C. & CHARLOTTE M. DION, 46 PASTURE ROAD, ALBURN, NH 03032. DEED REFERENCE TO LOT 60 IS BK. 8525 PG. 2651 & TO LOT 172 IS BK. 8005 PG. 443. AREA OF LOT 60 = 16,361 S.F. ± OR 0.375 ACRES ±. AREA OF LOT 172 = 19,883 S.F. ± OR 0.453 ACRES ±.
 - THE PURPOSE OF THIS PLAN IS TO CONSTRUCT A ONE STORY FAST FOOD RESTAURANT WITH ASSOCIATED ACCESS AND PARKING.
 - CURRENT ZONING IS GENERAL INDUSTRIAL (G) ZONING DISTRICT.

MIN. LOT SIZE:	REQUIRED: 4,000 S.F.	PROVIDED: 35,244 S.F.
MIN. LOT FRONTAGE:	REQUIRED: 50'	PROVIDED: 327.04'
MIN. BUILDING SETBACKS:		
FRONT:	10'	51.2'
SIDE:	10'	27.0'
REAR:	15'	35'
LANDSCAPE BUFFER:	15'	15.1'
MAX. LOT COVERAGE:	90%	74.4%
 - PARKING CALCULATIONS:
 REQUIRED (PROPOSED 2,585 S.F. BUILDING):
 FAST FOOD: 1 SP./75 S.F. MIN. = 34 SPACES MIN.
 1 SP./50 S.F. MAX. = 49 SPACES MAX.
 PROVIDED: 32 SPACES (INCL. 2 ACCESSIBLE)
 *CONDITIONAL USE PERMIT REQUESTED
 - THE PROPERTY WILL BE SERVICED BY THE FOLLOWING:
 PRIVATE SEWER
 PRIVATE WATER
 PENNSHUCK CORPORATION
 LIBERTY UTILITIES
 EXERCISE
 TELEPHONE
 CABLE
 COMCAST OR FAIRPOINT COMMUNICATIONS
 - IN THE EVENT THAT THE SNOW STORAGE AREAS PROVIDED ON THE SITE ARE COMPLETELY UTILIZED, EXCESS SNOW SHALL BE TRANSPORTED OFF SITE FOR DISPOSAL IN ACCORDANCE WITH N.H.D.E.S. REGULATIONS. IF SNOW IS STORED WITHIN PARKING AREA KEEP CATCH BASINS CLEAR.
 - THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS AND STANDARDS.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
 - WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TFMORAN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL SURROUNDING CONDITIONS. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY AT LEAST 48 HOURS IN ADVANCE OF ALL AFFECTED WORK.
 - THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
 - LIGHTING, SIGNAGE, LANDSCAPING, AND SCREENING SHALL MEET THE REQUIREMENTS OF THE CITY ZONING ORDINANCE AND SITE PLAN REGULATIONS.
 - SITE WORK SHALL BE CONDUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
 - ALL WORK IS TO CONFORM TO CITY OF NASHUA, DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS.
 - IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
 - IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
 - THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. TFMORAN, INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
 - TFMORAN, INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
 - EXISTING CONDITIONS INFORMATION IS BASED ON TOPOGRAPHIC AND BOUNDARY SURVEY PERFORMED BY REACH-NORDSTROM ASSOCIATES, INC. DATED JULY 3, 2014 AND BROAD STREET PARKWAY DESIGN PLANS DATED JUNE, 2013.

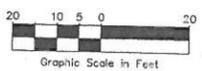
LEGEND

PROPOSED	EXISTING
SCC	IRON ROD
SGC	SLOPED GRANITE CURB
VGC	VERTICAL GRANITE CURB
ICG	INTEGRAL CONCRETE CURB
---	EDGE OF PAVEMENT
---	SINGLE BROKEN WHITE LINE
---	DOUBLE SOLID YELLOW LINE
---	RETAINING WALL
---	CHAIN LINK FENCE
---	WOOD FENCE
---	SIGN
---	TRAFFIC FLOW
---	PAINTED ARROW
---	GAS GATE
---	LIGHT POLE
---	BUILDING MOUNTED LIGHT
---	HYDRANT
---	SEWER MANHOLE
---	WATER GATE
---	UTILITY POLE
---	WELL
---	TREELINE
---	TREES
---	OVERHEAD UTILITIES

APPROVED BY THE NASHUA PLANNING BOARD
 ON _____
 CHAIRMAN: _____ AND
 SECRETARY: _____



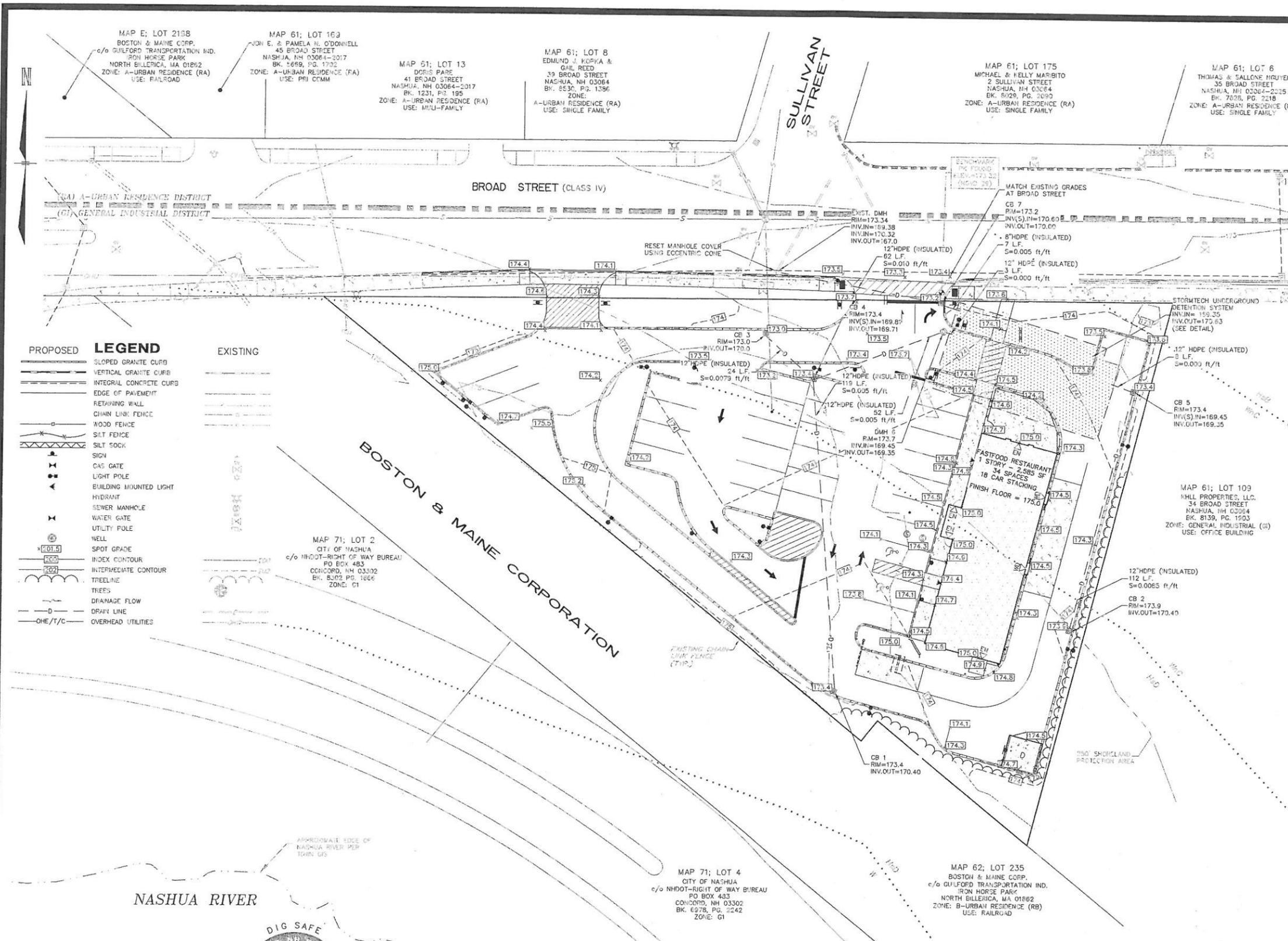
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REV.	DATE	DESCRIPTION	DR	CK

TAX MAP 61 LOTS 60 & 172
SITE LAYOUT PLAN
DUNKIN' DONUTS
36 & 38 BROAD STREET, NASHUA, NH
 OWNED BY
DAVID C. & CHARLOTTE M. DION
 PREPARED FOR
SCRIVANOS GROUP
 SCALE: 1"=20'
 JANUARY 7, 2016

	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	43 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com
	17790.00 DR AA FB CK CR CADFILE 17790-00 Site	SHEET 4 OF 18



- ### NOTES
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF NASHUA, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL SURROUNDING CONDITIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (511) AT LEAST 72 HOURS BEFORE DIGGING.
 - THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
 - THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
 - ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST IN-HOUST STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE IN-HOUST STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
 - STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO IN-HOUST STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO MHEC STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
 - ALL MANHOLES IN PAVEMENT SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
 - ALL ELEVATIONS SHOWN AT CURBS ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
 - ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
 - IN ACCORDANCE WITH RSA 430:53 AND AIR 3000, THE CONTRACTOR SHALL NOT TRANSPORT INVASIVE SPECIES OFF THE PROPERTY, AND SHALL DISPOSE OF INVASIVE SPECIES ON-SITE IN A LEGAL MANNER.
 - THE SITE CONTRACTOR SHALL PREPARE, MAINTAIN, AND EXECUTE A S.W.P.P.P. IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT.
 - THE SITE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN E-NOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE.
 - THE EROSION CONTROL PRACTICES SHOWN ON THESE PLANS ARE ILLUSTRATIVE ONLY AND SHALL BE SUPPLEMENTED BY THE SITE CONTRACTOR AS NEEDED.
 - COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING, AND SIZE AND LOCATION OF ALL BUILDING SERVICES.
 - COORDINATE WITH GEOTECHNICAL/STRUCTURAL PLANS FOR SITE PREPARATION AND OTHER BUILDING INFORMATION.
 - COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ROOF DRAIN INFORMATION.
 - LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS AND ALIGNMENTS.
 - THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEER'S RECOMMENDED METHODS TO ADDRESS ANY GROUNDWATER ISSUES THAT ARE FOUND ON-SITE.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE CONDITIONS AT THE SITE. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ENGINEER.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.
 - VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
 - IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
 - IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
 - THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. TFMORAN INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
 - TFMORAN INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
 - THE SITE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENV-WO 1500 AS APPLICABLE.
 - AT COMPLETION OF CONSTRUCTION, THE SITE CONTRACTOR SHALL PROVIDE A LETTER CERTIFYING THAT THE PROJECT WAS COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND A LETTER STAMPED BY A QUALIFIED ENGINEER THAT THEY HAVE OBSERVED ALL UNDERGROUND DETENTION SYSTEMS, INFILTRATION SYSTEMS, OR FILTERING SYSTEMS PRIOR TO BACKFILL, AND THAT SUCH SYSTEMS CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS.
 - IF ANY DEVIATIONS FROM THE APPROVED PLANS AND SPECIFICATIONS HAVE BEEN MADE, THE SITE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS STAMPED BY A LICENSED SURVEYOR OR QUALIFIED ENGINEER ALONG WITH A LETTER STAMPED BY A QUALIFIED ENGINEER DESCRIBING ALL SUCH DEVIATIONS, AND BEAR ALL COSTS FOR PREPARING AND FILING ANY NEW PERMITS OR PERMIT AMENDMENTS THAT MAY BE REQUIRED.

PROPOSED LEGEND

	SLOPED GRANITE CURB
	VERTICAL GRANITE CURB
	INTEGRAL CONCRETE CURB
	EDGE OF PAVEMENT
	RETAINING WALL
	CHAIN LINK FENCE
	WOOD FENCE
	SILT FENCE
	SILT SOCK
	SIGN
	GAS GATE
	LIGHT POLE
	BUILDING MOUNTED LIGHT
	HYDRANT
	SEWER MANHOLE
	WATER GATE
	UTILITY POLE
	WELL
	SPOT GRADE
	INDEX CONTOUR
	INTERMEDIATE CONTOUR
	TREELINE
	TREES
	DRAINAGE FLOW
	DRAIN LINE
	OVERHEAD UTILITIES

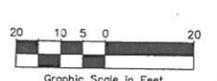


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TAX MAP 61 LOTS 60 & 172
GRADING & DRAINAGE PLAN
DUNKIN' DONUTS
36 & 38 BROAD STREET, NASHUA, NH
OWNED BY
DAVID C. & CHARLOTTE M. DION
PREPARED FOR
SCRIVANOS GROUP
SCALE: 1"=20'
JANUARY 7, 2016



REV	DATE	DESCRIPTION	DR	CK

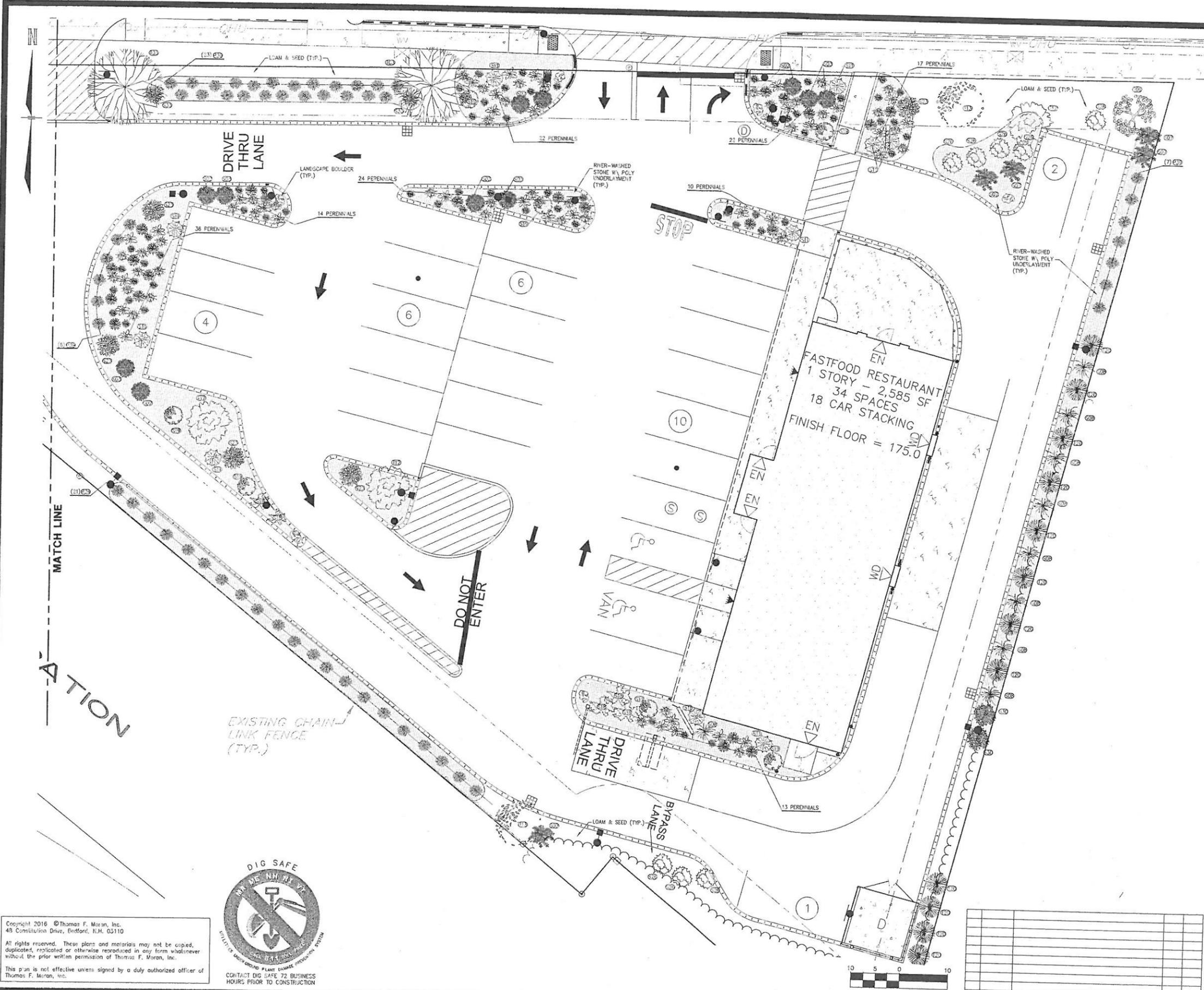
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CR CADFILE 17790-00 Site SHEET 5 OF 18

TFM Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

48 Constitution Drive
Bedford, NH 03110
Phone (603) 472-4488
Fax (603) 472-9747
www.tfmoran.com

LANDSCAPE REQUIREMENTS:

- BUFFER YARD REQUIREMENTS:**
FRONT BUFFER: (G1 ZONING DISTRICT ADJUTING R-A ZONING DISTRICT WITH ZONING BOUNDARY WITHIN R.O.W.)
 REQUIRED: (AVERAGE OF 15' WIDE) ARTICLE XXIV: 190-181 (F)(1)
 TREES = 2 TREES PER 100' (*273' AT 2 TREES PER 100' = 5 TREES)
 SHRUBS = 20 SHRUBS PER 100' (*273' AT 20 SHRUBS PER 100' = 55 SHRUBS)
 *FRONTAGE MINUS DRIVEWAYS)
 PROVIDED: TREES = 7 TREES
 SHRUBS = 55 SHRUBS
- SIDE BUFFER:** (G1 ZONING DISTRICT ADJUTING G1 ZONING DISTRICT)
 REQUIRED: N/A
- REAR BUFFER:**
 REQUIRED: (G1 ZONING DISTRICT ADJUTING G1 ZONING DISTRICT)
 REQUIRED: N/A
- PERIMETER LANDSCAPE REQUIREMENTS:**
 -MINIMUM 5' BUFFER STRIP ALONG PUBLIC R.O.W. (LANDSCAPING SHALL CONSIST OF A 3' MIN. HIGH VISUAL RELIEF)
 -LANDSCAPING SHALL BE PROVIDED FOR ALL SIDES OF ANY PARKING LOT OR PAVED DRIVE THAT ADJUTS AN ADJUTING PROPERTY OR PUBLIC R.O.W.
- INTERIOR LANDSCAPE REQUIREMENTS:**
 THERE IS TO BE 1 PLANTED MEDIAN OR ISLAND FOR MORE THAN 10 PARKING SPACES THAT ARE IN A R.O.W.
- LANDSCAPED YARD REQUIREMENTS:**
 MINIMUM PLANT MATERIALS REQUIRED:
 -1 TREE/40 LF OF FRONTAGE ALONG PUBLIC STREETS AND MAJOR PRIVATE STREETS.
 -2 ORNAMENTAL TREES/40 LF OF FRONTAGE MAY BE USED AS ADJUTS IN THE FRONT YARD.
 -2 ORNAMENTAL TREES MAY BE SUBSTITUTED FOR 1 SHADE TREE AND VICE VERSA, IF APPROVED.
 -GROUNDCOVER SHALL BE PROVIDED IN THE FRONT YARD AREA OF ALL ZONES.
 -1 SHRUB + 1 SHRUB/5 LF OF FRONTAGE.
- REQUIRED:**
 SHADE TREES: *273'/40' = 7 TREES
 SHRUBS: (*273'/5')+1 = 56 SHRUBS
 *FRONTAGE MINUS DRIVEWAYS)
- PROVIDED:**
 SHADE TREES: 7 TREES
 SHRUBS: 56 SHRUBS
- MAINTENANCE REQUIREMENTS:**
 A. MAINTENANCE OF LANDSCAPING: THE OWNERS AND THEIR AGENTS SHALL BE RESPONSIBLE FOR PERFORMING, PROTECTING AND MAINTAINING ALL LANDSCAPING IN HEALTHY AND GROWING CONDITIONS, REPLACING IT WHEN NECESSARY TO ENSURE CONTINUOUS CONFORMANCE WITH THESE GUIDELINES AND KEEPING IT FREE OF REFUSE OR DEBRIS.
 B. MAINTENANCE OF REQUIRED OPEN SPACE AREA: THE OPEN SPACE AREA OF THE LOT AS REQUIRED BY THE ZONING ORDINANCE SHALL GENERALLY BE LEFT UNDISTURBED AND IN ITS NATURAL STATE EXCEPT WHERE NECESSARY TO INSTALL UTILITY STRUCTURES. WHERE THIS IS NOT PRACTICAL DUE TO EXTENSIVE SITE DEVELOPMENT AS CUTTING AND FILLING, THIS DISTURBED AREA SHALL BE RETURNED TO AS NEAR A NATURAL STATE AS POSSIBLE AND IN ACCORD WITH OTHER REQUIREMENTS OUTLINED HEREIN.
 C. ALL NEWLY PLANTED VEGETATIVE MATERIAL SHALL BE GUARANTEED TO MEET MINIMUM AMERICAN STANDARD FOR NURSERY STOCK STANDARDS AT THE TIME OF PLANTING AND FOR ONE (1) YEAR THEREAFTER.
 D. THE APPLICANT SHALL ESTABLISH A MAINTENANCE PROGRAM THAT ADDRESSES THE FOLLOWING:
 1. VEGETATION REPLACEMENT
 2. IRRIGATION
 3. PRUNING, FERTILIZATION AND INSECT/DISEASE PROTECTION
 4. LITTER/DEBRIS CLEANUP
 5. DRAINAGE AND TREE PROTECTION IF THERE IS A GRADE CHANGE
 E. PRUNING SHALL BE STARTED EARLY AND KEPT UP AT REGULAR INTERVALS. TREES SHALL BE PRUNED AND SHAPED TO AVOID SPLITTING LATER IN LIFE. BROKEN TOPS AND BRANCHES SHOULD BE REMOVED AS SOON AS POSSIBLE AFTER INJURY. BROKEN, WEAK OR DISEASED BRANCHES SHOULD BE REMOVED FIRST, DEAD BRANCHES SECOND AND HEALTHY BRANCHES LAST.
 F. TREES AND SHRUBS SHOULD BE PROTECTED AGAINST DAMAGE INCURRED WITH LAWN MOWERS AND GARDEN EQUIPMENT, KEEPING GRASS AWAY FROM TREE TRUNKS WITH THE USE OF MULCH IS RECOMMENDED.
 G. THE USE OF ROAD SALT AROUND THE TREES AND SHRUBS SHOULD BE AVOIDED OR MINIMIZED.
 H. REQUIRED LANDSCAPE AREAS SHALL BE ROUTINELY MAINTAINED FREE OF DEBRIS AND LITTER AND IN GOOD CONDITION, WITH REGULAR MOWING OF GRASS, AS TO PRESENT A NEAT, HEALTHY AND ORDERLY APPEARANCE. MAINTENANCE SHALL INCLUDE THE REPLACEMENT OF ALL DEAD PLANT MATERIAL WITHIN THE GUARANTEED CONTRACT PERIOD.



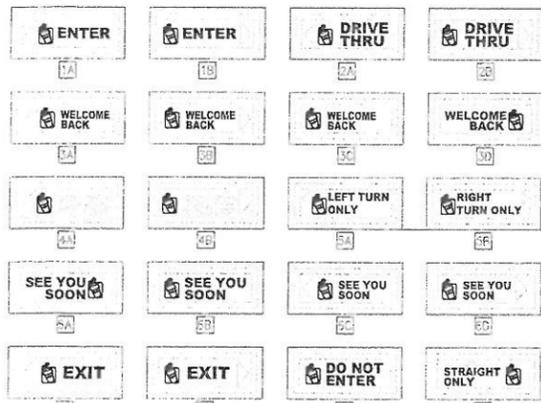
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	Landscape Architects	www.tfmcran.com
	Scientists	

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REV.	DATE	DESCRIPTION	DR	CK



8 DIRECTIONAL SIGN NOTES

- 1) AREA OF SIGN = 3.0 S.F.
- 2) INTERNAL ILLUMINATION:
1 x F30 112 CW/HO

4 Limit Bar Elevation
1/4" = 1'-0"

5 Bollard Detail
1/4" = 1'-0"

6 Detail @ D/T Window
1/4" = 1'-0"

7 Detail Section @ D/T Menu Bd.
1/4" = 1'-0"

3 Directional Sign Detail
1/4" = 1'-0"

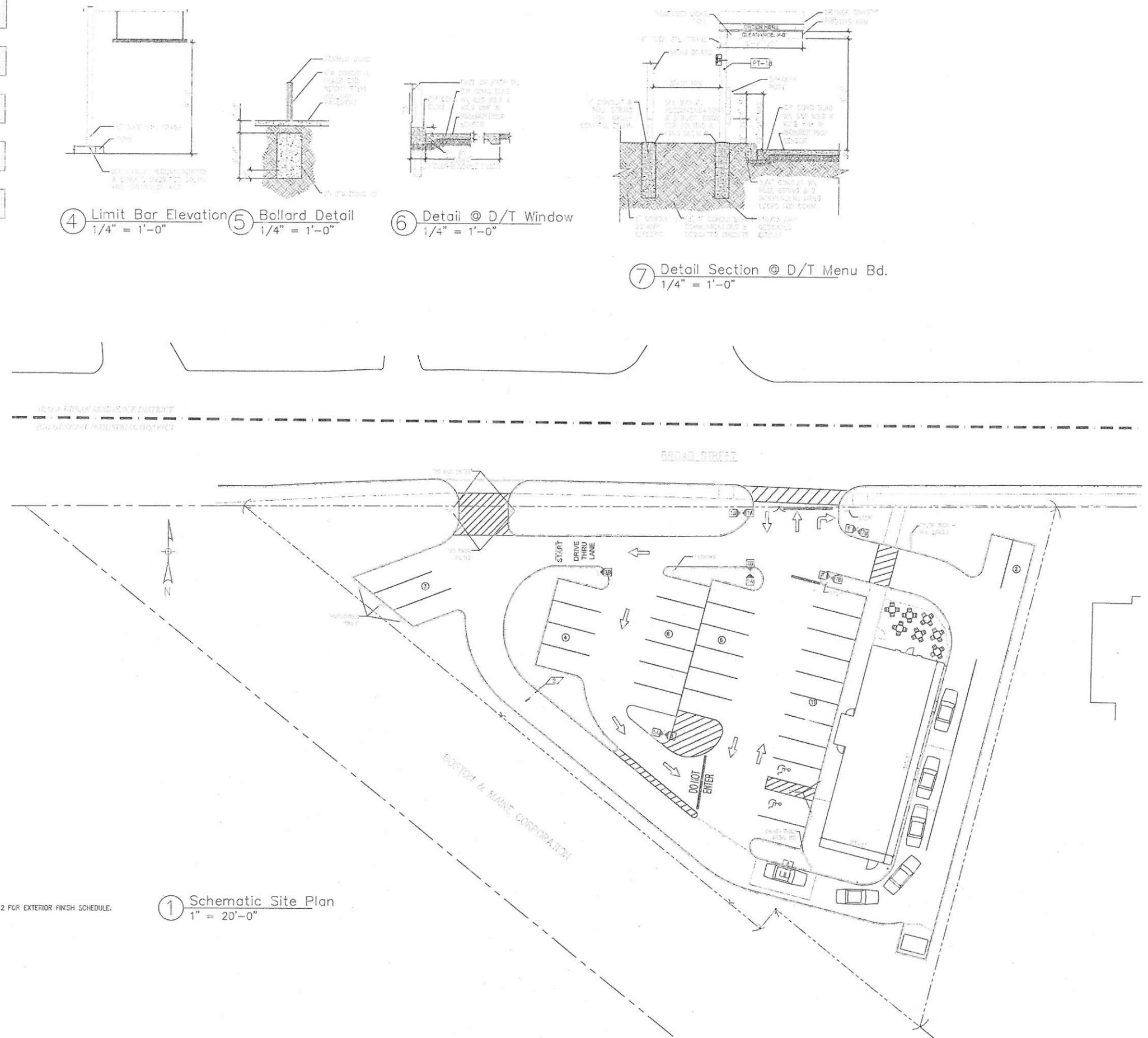
2 Pylon Sign Detail
1/4" = 1'-0"

PYLON SIGN NOTES

- 1) FACE TO BE FORMED CLEAR POLYCARBONATE, DECORATED SECOND-SURFACE VINYL.
- 2) COFFEE CUP PORTION OF LOGO TO BE EMBOSSED - BALANCE OF LETTERS TO BE FLAT.
- 3) VINYL COLORS TO BE DD ORANGE 3M #3630-3123; DD MAGENTA 3M #3630-1379; DARK BROWN 3M #3630-59.
- 4) FORMED "CAP-OVER" FACE FITS OVER ALUM. RETURNS.
- 5) ILLUMINATION: HO/CW FLOURESCENT LAMPS OR WHITE NICHIA LED'S. CONSULT LOCAL ZONING CODE FOR INTERNAL ILLUMINATION ALLOWANCE.
- 6) SEE NATIONAL ACCOUNTS ON A0.1 FOR ORDERING INFORMATION.

7) SEE A3.2 FOR EXTERIOR FINISH SCHEDULE.

1 Schematic Site Plan
1" = 20'-0"

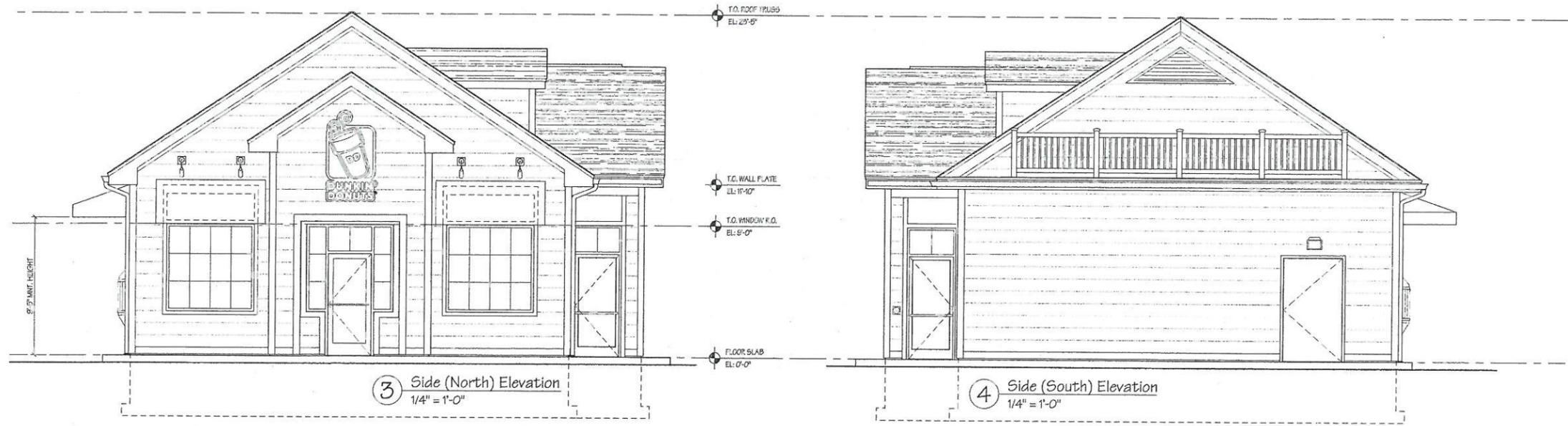


1/4" = 1'-0"
VAD
GD

SITE SIGNAGE & DETAILS



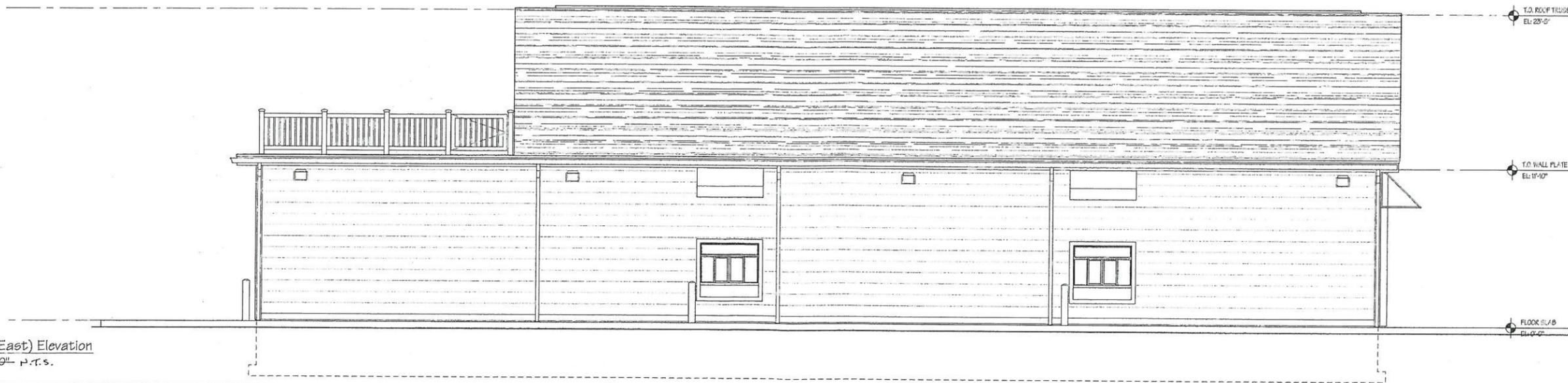
① Front (West) Elevation
 1/4" = 1'-0" N.T.S.



② Monolith Detail
 1/4" = 1'-0" N.T.S.

③ Side (North) Elevation
 1/4" = 1'-0"

④ Side (South) Elevation
 1/4" = 1'-0"



⑤ Rear (East) Elevation
 1/4" = 1'-0" N.T.S.

Consultant

Revisions		
#	Description	Date
1	Code Compliance	05-18-14

Stamp

PROJECT # 3045
 IMAGE:
 DATE: 01-07-16
 SCALE: As Noted
 DRAWN: VAD
 APPROVED: GD
 DWG. TITLE:

Proposed
 Building
 Elevations