

1. Planning Board Regular Meeting Agenda (PDF)

Documents: [20160218 NCPB AGENDA.PDF](#)

2. Planning Board Staff Reports And Plans

Documents: [20160218 36 AND 38 BROAD STREET SITE PLAN STAFF REPORT.PDF](#), [20160218 36 AND 38 BROAD ST SITE PLAN.PDF](#), [20160218 62 AND 70 BRIDGE STREET SITE PLAN STAFF REPORT.PDF](#), [20160218 62 AND 70 BRIDGE ST SITE PLAN.PDF](#)



**City of Nashua**  
**Planning Department**  
229 Main Street  
Nashua, New Hampshire 03061-2019

Planning & Zoning 589-3090  
Fax 589-3119  
WEB [www.nashuanh.gov](http://www.nashuanh.gov)

February 5, 2016

**AGENDA**

To: NCPB Members

From: Planning Staff

Re: Meeting, February 18, 2016

A regular meeting of the Nashua City Planning Board will be held on Thursday, at 7:00 p.m. in the City Hall Auditorium, 3<sup>rd</sup> floor, 229 Main Street. The Planning Staff will be available at 6:30 p.m. to answer any questions the Board or Public might have concerning the following proposed agenda.

- A. Call to Order
- B. Roll Call
- C. Approval of Minutes – February 4, 2016
- D. Communications
- E. Report of Chairman, Committee, & Liaison
- F. Executive Session

**OLD BUSINESS – CONDITIONAL / SPECIAL USE PERMITS**

None

**OLD BUSINESS - SUBDIVISION PLANS**

None

**OLD BUSINESS – SITE PLANS**

None

**NEW BUSINESS – CONDITIONAL / SPECIAL USE PERMITS**

None

**NEW BUSINESS – SUBDIVISION PLANS**

None

## **NEW BUSINESS – SITE PLANS**

1. David & Charlotte Dion (Owners) Scrivanos Group (Applicant) - Application and acceptance of proposed site plan to demolish the existing building and construct a one-story restaurant with a drive-thru and associated site improvements. Property is located at 36 & 38 Broad Street. Sheet 61 - Lots 60 & 172. Zoned "GI" General Industrial. Ward 4.
2. City of Nashua (Owner) Renaissance Downtowns at Nashua, LLC (Applicant) - Application and acceptance of proposed site plan amendment to NR1975 to show phasing of an approved mixed use development for 228 residential units, a restaurant, and a community center. Property is located at 62 & 70 Bridge Street, Sheet 40 - Lots 34 & 48. Zoned "GI/MU" General Industrial/Mixed Use. Ward 7.

## **OTHER BUSINESS**

1. Review of tentative agenda to determine proposals of regional impact.
2. Referral of the FY 2017 Capital Improvements Program from the Capital Improvements Committee to the Nashua City Planning Board.

## **DISCUSSION ITEM**

None

## **NONPUBLIC SESSION**

The Planning Board will need to make a motion to enter into a Nonpublic Session under RSA 91-A:3, II (e) for consideration or negotiation of pending claims or litigation which has been threatened in writing or filed against the public body.

## **NEXT MEETING**

March 3, 2016

## **ADJOURN**

## **WORKSHOP**

### **ACCOMMODATIONS FOR THE SENSORY IMPAIRED**

**"SUITABLE ACCOMMODATIONS FOR THE SENSORY IMPAIRED  
WILL BE PROVIDED UPON ADEQUATE ADVANCE NOTICE."**

### **CONDUCT AT PLANNING BOARD MEETING**

*When the meeting is called to order, the only talking allowed in the Auditorium will be remarks addressed to the Chairman. Except for the original presentation of the subject or application, each person speaking for or against shall be limited to five (5) minutes until all have been given an opportunity to be heard, at which time each person may be allowed additional time if deemed necessary by the Board or the Chairman. When you are recognized by the Chairman, proceed to the podium, using the microphone, state your name and address and then make your comments. Courtesy is shown when you reserve your comments for the proper time.*

**PLEASE BE COURTEOUS**

**By Order of the Chair**

NASHUA CITY PLANNING BOARD  
STAFF REPORT

TO: Nashua City Planning Board  
FROM: Linda Panny, Planner I  
FOR: February 18, 2016  
RE: **New Business #1 - Site Plan**

**I. Project Statistics:**

Owners: David & Charlotte Dion  
Applicant: Scrivanos Group  
Proposal: Site plan to construct a one-story restaurant with a drive-thru  
Location: 36 & 38 Broad Street  
Total Site Area: 35,244 sf (0.808 acres)  
Existing Zoning: GI – General Industrial  
Surrounding Uses: Commercial & Residential

**II. Background Information:**

The subject site is located on the south side of Broad Street, immediately east of the Broad Street Parkway and across from Sullivan Street. The site currently has a Dairy Queen that has been there for decades; the building will be removed as part of this plan. The applicant appeared before the Zoning Board of Adjustment on November 10, 2015 for the drive-through lane to allow this project to move forward (see attached approval letter and minutes).

**III. Project Description:**

The proposed project is to construct a one-story, 2,585 sf Dunkin Donuts building, located slightly east of the soon to be demolished Dairy Queen. There are four existing ingress/egress driveways; two will remain with one being proposed to be restricted to emergency vehicle use only at the west end of the site. A drive-thru lane is proposed, which meets the required stacking space requirements.

Two waivers are being requested. A total of 32 parking spaces are proposed with the potential for future expansion to 33 spaces. Under the ordinance, 34 spaces are required. The other waiver is for landscaped islands as they do not meet the minimum requirement of 300 sf per island and not to provide 2 trees per island. Site improvements include reconfiguring the pavement areas and building circulation, new landscaping and lighting.

According to the drainage report submitted by the applicant, the existing site is very flat and pitches runoff in three directions. The northwestern portion of the site flows into the City drainage system and the central area flows east towards a landscape catch basin and creates ponding on the adjacent field before it overflows into Broad Street. Runoff in the southeastern or southwestern area of the site will flow downhill towards the adjacent property to the southeast and the railroad to the southwest. To facilitate detention and to mitigate any increase in flows generated from the redevelopment project, a StormTech collection system is being proposed to

be installed beneath the pavement area. Runoff will be collected via a series of catch basins and closed drainage and directed to a proposed underground detention system.

A traffic study was prepared and according to the report the additional traffic generated by the proposed development can safely be constructed without the need for project-specific mitigation and can accommodate the traffic from this proposed development without significant additional delays or detrimental impacts. It is not anticipated to increase overall delay.

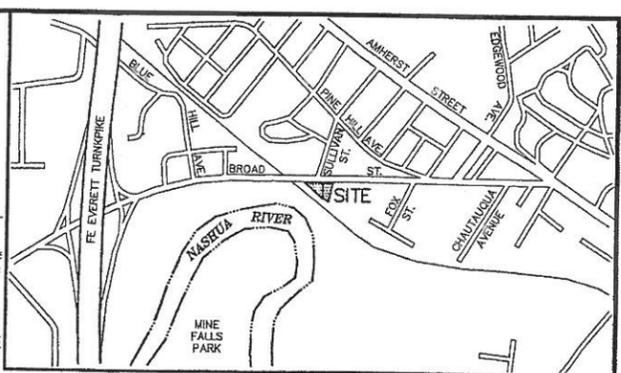
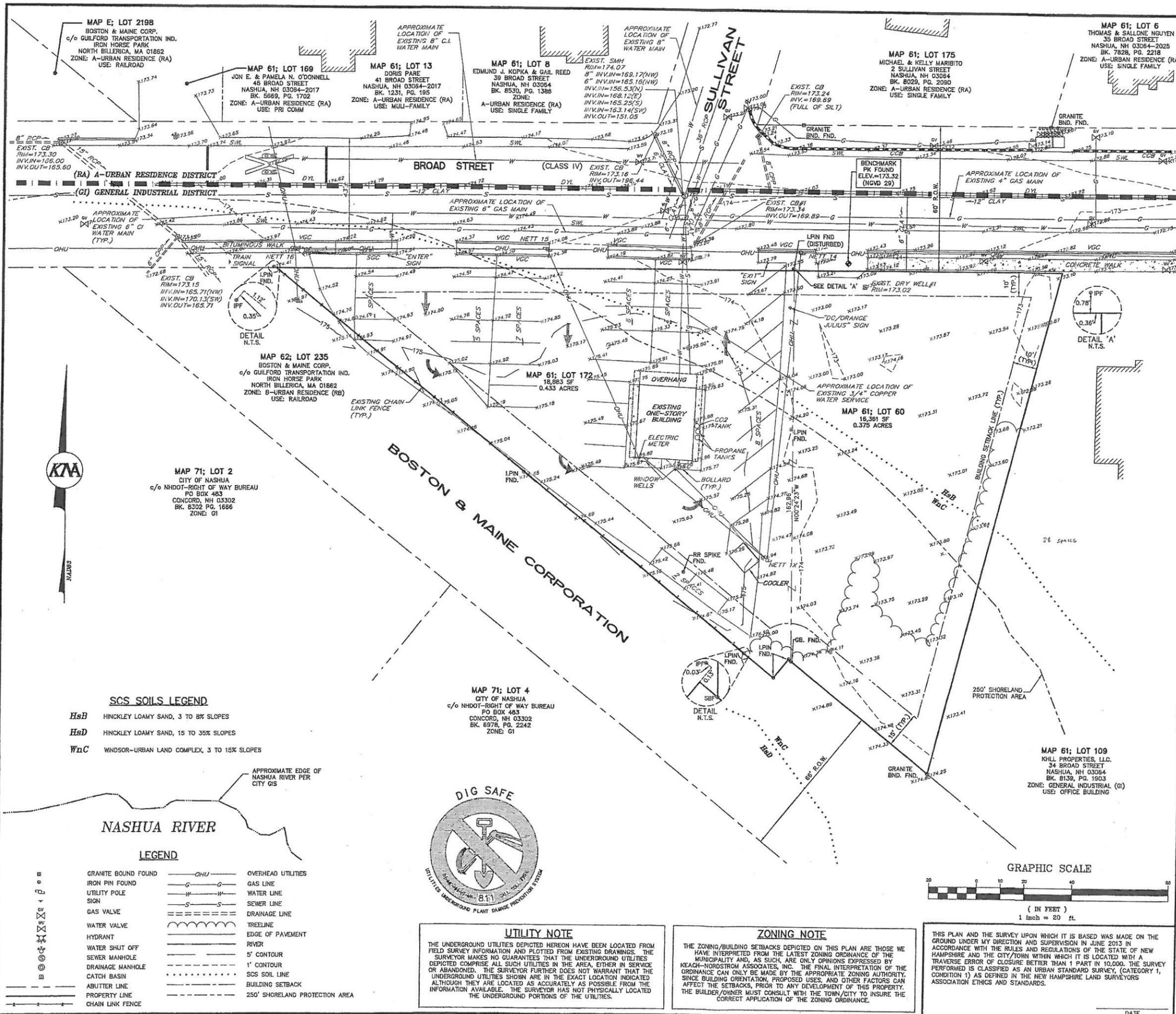
City staff reviewed the plans. There are outstanding comments that still need to be addressed (see attached correspondence).

### **Staff Recommendations and Findings:**

The Planning Board should make a determination that the plan meets, or does not meet the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulation be made part of that approval:

1. The request for a waiver of NRO § 190-184 E(1) and (2), which sets minimum requirements for landscaped islands, is/is not granted, finding that the waiver will/will not be contrary to the spirit and intent of the regulation.
2. The request for a waiver of NRO § 190-198, which establishes minimum parking standards, is/is not granted, finding that the waiver will/will not be contrary to the spirit and intent of the regulation.
3. Prior to the issuance of a building permit, all comments in letter from Jeanne Walker, PE dated February 10, 2016 shall be addressed to the satisfaction of the Engineering Department.
4. Prior to the issuance of a building permit, all comments in an e-mail from Wayne Husband, PE dated January 21, 2016 shall be addressed to the satisfaction of the Engineering Department.
5. Prior to the issuance of a building permit, all comments in an email from Cynthia Bautista dated January 19, 2016 shall be addressed to the satisfaction of the Fire Department.
6. Prior to the issuance of a building permit, the applicant shall provide the Planning Department copies of NHDES approval of Shoreland permit.
7. Prior to the issuance of a building permit, a Voluntary Merger Form will be recorded.
8. Prior to the chair signing the plan, minor drafting corrections will be made.
9. Prior to the issuance of a certificate of occupancy, all site improvements will be completed.

10. Stormwater documents will be submitted to City staff for review and recorded at the applicant's expense prior to the issuance of a building permit.
11. The applicant shall submit an electronic file of the site plan prior to issuance of a building permit
12. All ZBA conditions of approval from the November 10, 2015 hearing are incorporated herein
13. Any work within the right-of-way shall require a financial guarantee.



**LOCUS MAP**  
SCALE: 1" = 1,000'

- REFERENCE PLANS:**
- "CONSOLIDATION PLAN OF LOTS #60 & #172 - ASSESSORS SHEET 61, NASHUA, N.H." SCALE: 1"=50 FEET, DATED AUGUST 4, 1975, PREPARED BY ALLAN H. SWANSON, INC.
  - "LOT LINE RELOCATION PLAN OF LAND IN NASHUA, NEW HAMPSHIRE BOSTON & MAINE CORPORATION TAX MAP 62 LOT 235 TO DAVID C. & CHARLOTTE M. DION TAX MAP 61 LOT 172 38 BROAD STREET," SCALE: 1"=20', MAY 28, 2008, PREPARED BY JOSEPH M. WICHERT, LLS.
  - "SITE PLAN (LOT 109, MAP 61) 34 BROAD STREET NASHUA, NEW HAMPSHIRE," SCALE: 1"=20', DATED AUGUST 24, 1984, PREPARED BY ALLAN H. SWANSON, INC.
  - "LAND OF GEORGE R. LABONTY BROAD STREET - NASHUA - N.H.," SCALE: 1"=40', DATED DECEMBER 7, 1940, PREPARED BY EARL WILLIAMS, SURVEYOR. H.C.R.D. PLAN NO. 102-C.
  - "RIGHT OF WAY AND TRACK MAP WILTON R.R. CO., OPERATED BY THE BOSTON & MAINE R.R. STA. 50+0 TO STA. 102+80," SCALE: 1"=100', DATED JUNE 30, 1914. (SHEET V17/2)

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING FEATURES ON TAX MAP 61: LOTS 60 AND 172 IN NASHUA, NEW HAMPSHIRE.
  - AREA OF PARCEL:  
MAP 61: LOT 60 = 16,361 SF, OR 0.375 ACRES  
MAP 61: LOT 172 = 18,883 SF, OR 0.433 ACRES
  - OWNER OF RECORD:  
MAP 61: LOT 60  
DAVID C. & CHARLOTTE M. DION  
46 PASTURE ROAD  
AUBURN, NH 03032  
BK. 8528, PG. 2601  
MAP 61: LOT 172  
DAVID C. & CHARLOTTE M. DION  
48 PASTURE ROAD  
AUBURN, NH 03032  
BK. 8005, PG. 443
  - PRESENT ZONING: GENERAL INDUSTRIAL DISTRICT (G1)  
MINIMUM LOT AREA: 5,000 S.F.  
MINIMUM LOT FRONTAGE: 50'  
BUILDING SETBACKS:  
FRONT: 10'  
REAR: 15'  
SIDE: 10'  
LANDSCAPE BUFFER: AVG. 15'  
OPEN SPACE PERCENTAGE: 10%
  - MAP 61: LOTS 60 AND 172 INDICATES CITY OF NASHUA TAX ASSESSOR'S MAP AND LOT NUMBER.
  - BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE IN JUNE 2013. HORIZONTAL DATUM IS MAGNETIC NAD83. VERTICAL DATUM IS NGVD 1928.
  - EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE CITY OF NASHUA, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, MAP NUMBER 330100033D, PANEL 613 OF 701, EFFECTIVE DATE SEPTEMBER 25, 2009 INDICATES THAT THE SUBJECT PARCELS ARE NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
  - A PORTION OF THE SUBJECT PARCELS IS WITHIN THE 250' SHORELAND WATER QUALITY PROTECTION AREA FOR THE NASHUA RIVER.
  - SUBJECT PARCEL IS SERVICED BY MUNICIPAL SEWER AND PENNICHUCK WATER WORKS.
  - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.

**SCS SOILS LEGEND**

HsB	HINCKLEY LOAMY SAND, 3 TO 8% SLOPES
HsD	HINCKLEY LOAMY SAND, 15 TO 35% SLOPES
WnC	WINDSOR-URBAN LAND COMPLEX, 3 TO 15% SLOPES

**LEGEND**

GRANITE BOUND FOUND	OHU	OVERHEAD UTILITIES
IRON PIN FOUND	G	GAS LINE
UTILITY POLE SIGN	W	WATER LINE
GAS VALVE	S	SEWER LINE
WATER VALVE	D	DRAINAGE LINE
HYDRANT	T	TREELINE
WATER SHUT OFF	R	EDGE OF PAVEMENT
SEWER MANHOLE	5'	RIVER
DRAINAGE MANHOLE	1'	
CATCH BASIN	SCS	SCS SOIL LINE
BUTTER LINE	B	BUILDING SETBACK
PROPERTY LINE	250'	250' SHORELAND PROTECTION AREA
CHAIN LINK FENCE		

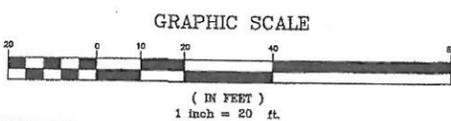


**UTILITY NOTE**

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

**ZONING NOTE**

THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY KEACH-NORDSTROM ASSOCIATES, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.



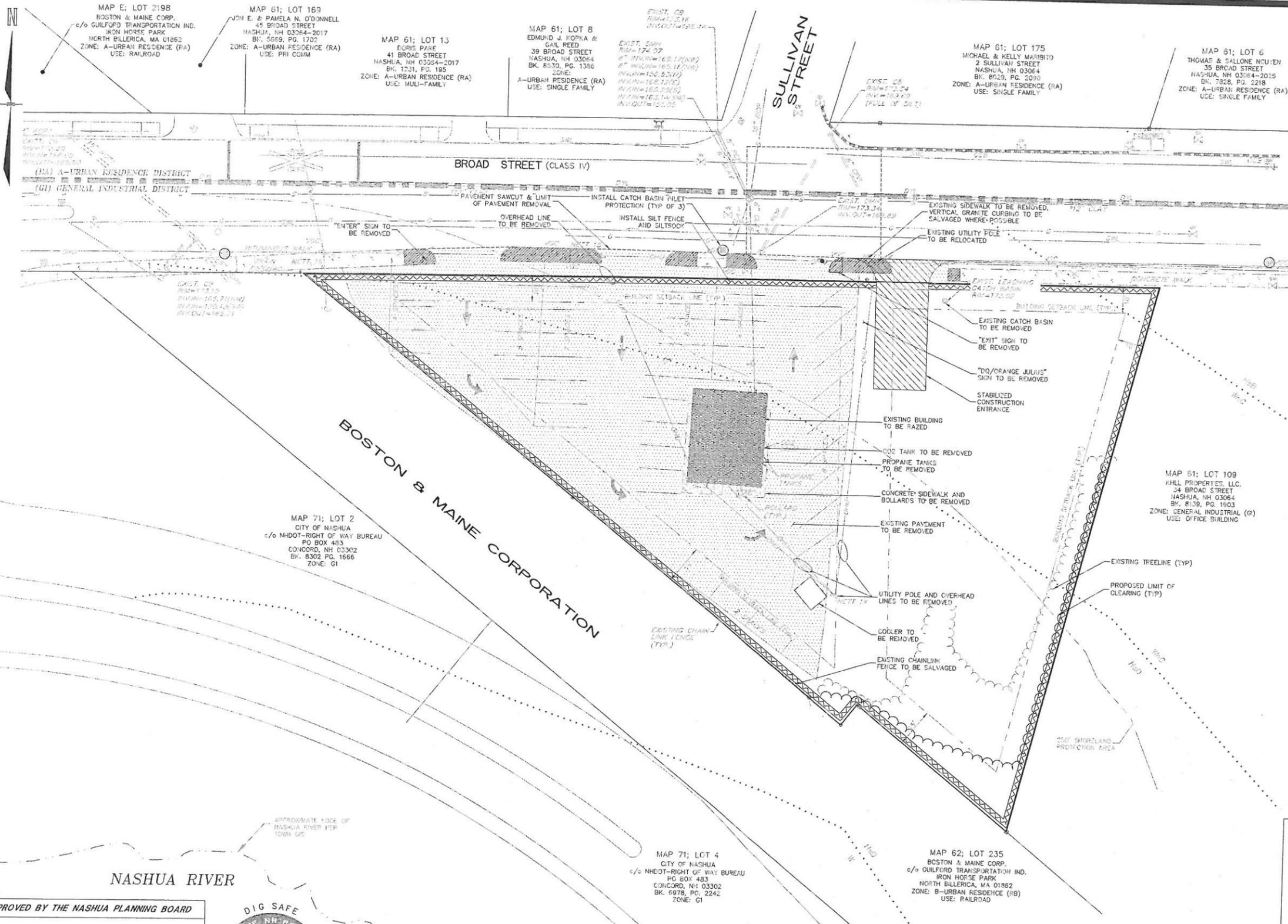
**EXISTING CONDITIONS PLAN**  
LAND OF  
**DAVID C. & CHARLOTTE M. DION**  
MAP 61; LOTS 60 & 172  
36 & 38 BROAD STREET  
NASHUA, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY

<b>OWNER OF RECORD:</b> DAVID C. & CHARLOTTE M. DION 46 PASTURE ROAD AUBURN, NH 03032 BK. 8528, PG. 2601 (MAP 61, LOT 60) BK. 8005, PG. 443 (MAP 61, LOT 172)	<b>APPLICANT:</b> DAVID C. & CHARLOTTE M. DION 46 PASTURE ROAD AUBURN, NH 03032
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**FOR BID PURPOSES ONLY**

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: JULY 3, 2014      SCALE: 1" = 20'  
PROJECT NO: 12-0726-1      SHEET 1 OF 16



- NOTES**
1. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
  2. THE CONTRACTOR SHALL VERIFY ALL SURVEY INFORMATION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
  3. EXISTING UTILITY SERVICES TO BE DISCONTINUED ARE TO BE CAPPED AS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES.
  4. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN P.C. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
  5. ANY TRACKING FROM CONSTRUCTION VEHICLES SHALL BE CLEARED ON A DAILY BASIS.
  6. CONTRACTOR TO REMOVE ALL CONCRETE, PAVEMENT AND SUBSURFACE MATERIALS LOCATED WITHIN THE PROPOSED LANDSCAPE AREAS AND REPLACE WITH MATERIALS SUITABLE FOR LANDSCAPING.
  7. CONSTRUCTION DEBRIS SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
  8. CONTRACTOR SHALL IMPLEMENT ALL BEST MANAGEMENT PRACTICES IN EROSION AND SEDIMENT CONTROL. THE MEASURES SHOWN ON THIS SITE PLAN ARE TO BE USED ONLY AS A GUIDE.

**PROPOSED LEGEND**

PROPOSED	EXISTING

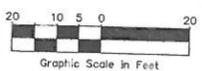
TAX MAP 61 LOTS 60 & 172  
**SITE PREPARATION PLAN**  
**DUNKIN' DONUTS**  
**36 & 38 BROAD STREET, NASHUA, NH**  
 OWNED BY  
**DAVID C. & CHARLOTTE M. DION**  
 PREPARED FOR  
**SCRIVANOS GROUP**  
 SCALE: 1"=20' JANUARY 7, 2016

APPROVED BY THE NASHUA PLANNING BOARD  
 ON \_\_\_\_\_ AND \_\_\_\_\_  
 CHAIRMAN: \_\_\_\_\_ SECRETARY: \_\_\_\_\_



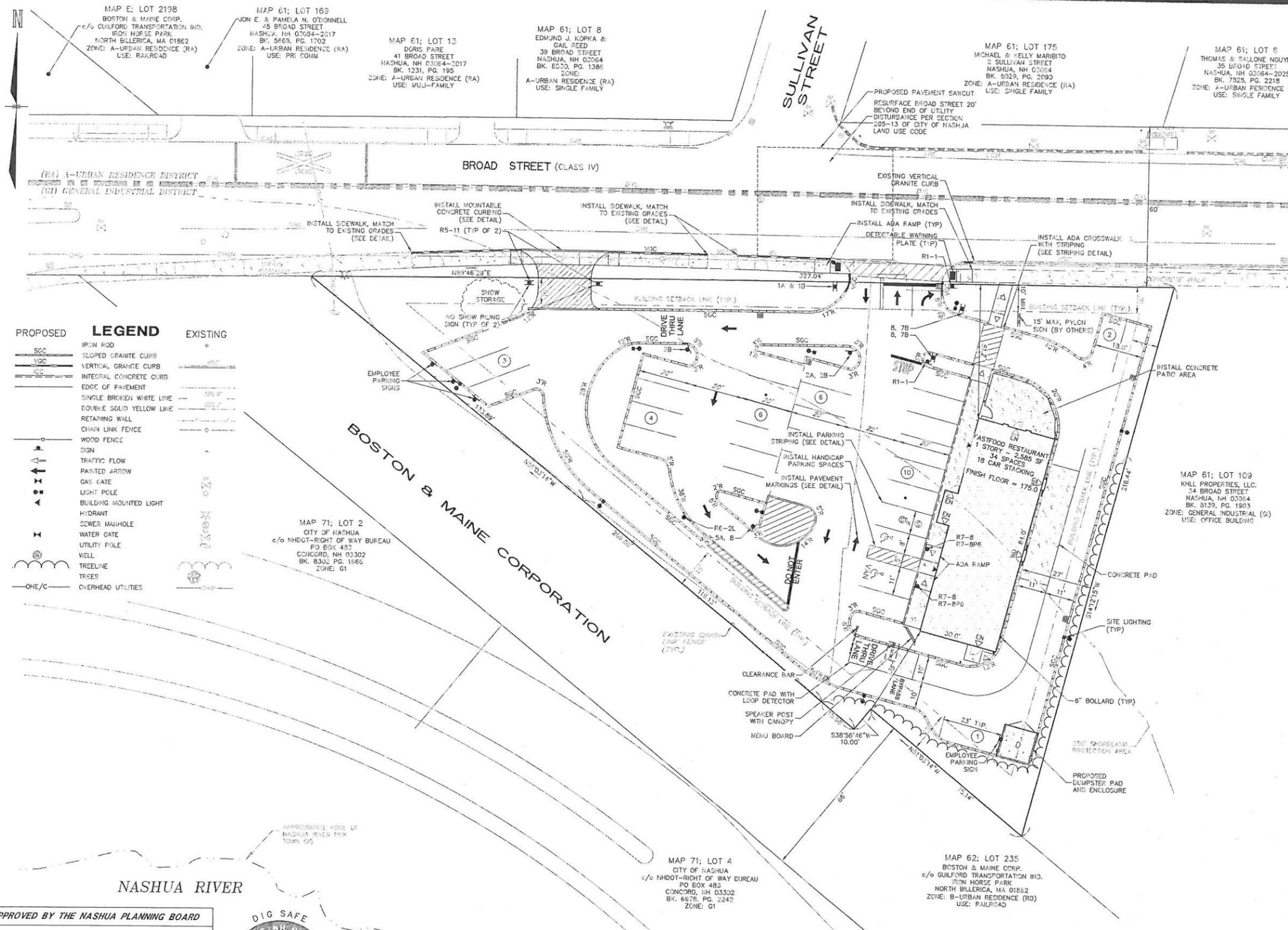
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 This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION



REV	DATE	DESCRIPTION	DR	CK

**TFM** Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists  
 48 Constitution Drive  
 Bedford, NH 03110  
 Phone (603) 472-4488  
 Fax (603) 472-9747  
 www.tfmoran.com



- ### NOTES
- OWNER OF RECORD OF MAP 61 LOTS 60 & 172: DAVID C. & CHARLOTTE M. DION, 46 PASTURE ROAD, ALBURN, NH 03032. DEED REFERENCE TO LOT 60 IS BK. 8525 PG. 2651 & TO LOT 172 IS BK. 8005 PG. 443. AREA OF LOT 60 = 16,361 S.F. ± OR 0.375 ACRES ±. AREA OF LOT 172 = 19,883 S.F. ± OR 0.453 ACRES ±.
  - THE PURPOSE OF THIS PLAN IS TO CONSTRUCT A ONE STORY FAST FOOD RESTAURANT WITH ASSOCIATED ACCESS AND PARKING.
  - CURRENT ZONING IS GENERAL INDUSTRIAL (G) ZONING DISTRICT.
 

MIN. LOT SIZE:	REQUIRED: 5,000 S.F.	PROVIDED: 35,244 S.F.
MIN. LOT FRONTAGE:	50'	327.04'
MIN. BUILDING SETBACKS:		
FRONT:	10'	51.2'
SIDE:	10'	27.0'
REAR:	15'	35'
LANDSCAPE BUFFER:	15'	15.1'
MAX. LOT COVERAGE:	90%	74.4%
  - PARKING CALCULATIONS:  
 REQUIRED (PROPOSED 2,585 S.F. BUILDING):  
 FAST FOOD: 1 SP./75 S.F. MIN. = 34 SPACES MIN.  
 1 SP./50 S.F. MAX. = 49 SPACES MAX.  
 PROVIDED: 32 SPACES (INCL. 2 ACCESSIBLE)  
 \*CONDITIONAL USE PERMIT REQUESTED
  - THE PROPERTY WILL BE SERVICED BY THE FOLLOWING:  
 PRIVATE SEWER  
 PRIVATE WATER  
 PENNSHUCK CORPORATION  
 LIBERTY UTILITIES  
 EXERCISE  
 TELEPHONE  
 CABLE  
 COMCAST OR FAIRPOINT COMMUNICATIONS
  - IN THE EVENT THAT THE SNOW STORAGE AREAS PROVIDED ON THE SITE ARE COMPLETELY UTILIZED, EXCESS SNOW SHALL BE TRANSPORTED OFF SITE FOR DISPOSAL IN ACCORDANCE WITH N.H.D.E.S. REGULATIONS. IF SNOW IS STORED WITHIN PARKING AREA KEEP CATCH BASINS CLEAR.
  - THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS AND STANDARDS.
  - ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
  - WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TFMORAN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
  - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL SURROUNDING CONDITIONS. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY AT LEAST 48 HOURS IN ADVANCE OF ALL AFFECTED WORK.
  - THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
  - LIGHTING, SIGNAGE, LANDSCAPING, AND SCREENING SHALL MEET THE REQUIREMENTS OF THE CITY ZONING ORDINANCE AND SITE PLAN REGULATIONS.
  - SITE WORK SHALL BE CONDUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
  - ALL WORK IS TO CONFORM TO CITY OF NASHUA, DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS.
  - IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
  - IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
  - THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. TFMORAN, INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
  - TFMORAN, INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
  - EXISTING CONDITIONS INFORMATION IS BASED ON TOPOGRAPHIC AND BOUNDARY SURVEY PERFORMED BY REACH-NORDSTROM ASSOCIATES, INC. DATED JULY 3, 2014 AND BROAD STREET PARKWAY DESIGN PLANS DATED JUNE, 2013.

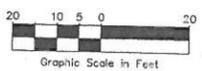
### LEGEND

PROPOSED	EXISTING
SCC	IRON ROD
SGC	SLOPED GRANITE CURB
VGC	VERTICAL GRANITE CURB
ICG	INTEGRAL CONCRETE CURB
---	EDGE OF PAVEMENT
---	SINGLE BROKEN WHITE LINE
---	DOUBLE SOLID YELLOW LINE
---	RETAINING WALL
---	CHAIN LINK FENCE
---	WOOD FENCE
---	SIGN
---	TRAFFIC FLOW
---	PAINTED ARROW
---	GAS GATE
---	LIGHT POLE
---	BUILDING MOUNTED LIGHT
---	HYDRANT
---	SEWER MANHOLE
---	WATER GATE
---	UTILITY POLE
---	WELL
---	TREELINE
---	TREES
---	OVERHEAD UTILITIES

APPROVED BY THE NASHUA PLANNING BOARD  
 ON \_\_\_\_\_ AND  
 CHAIRMAN: \_\_\_\_\_  
 SECRETARY: \_\_\_\_\_



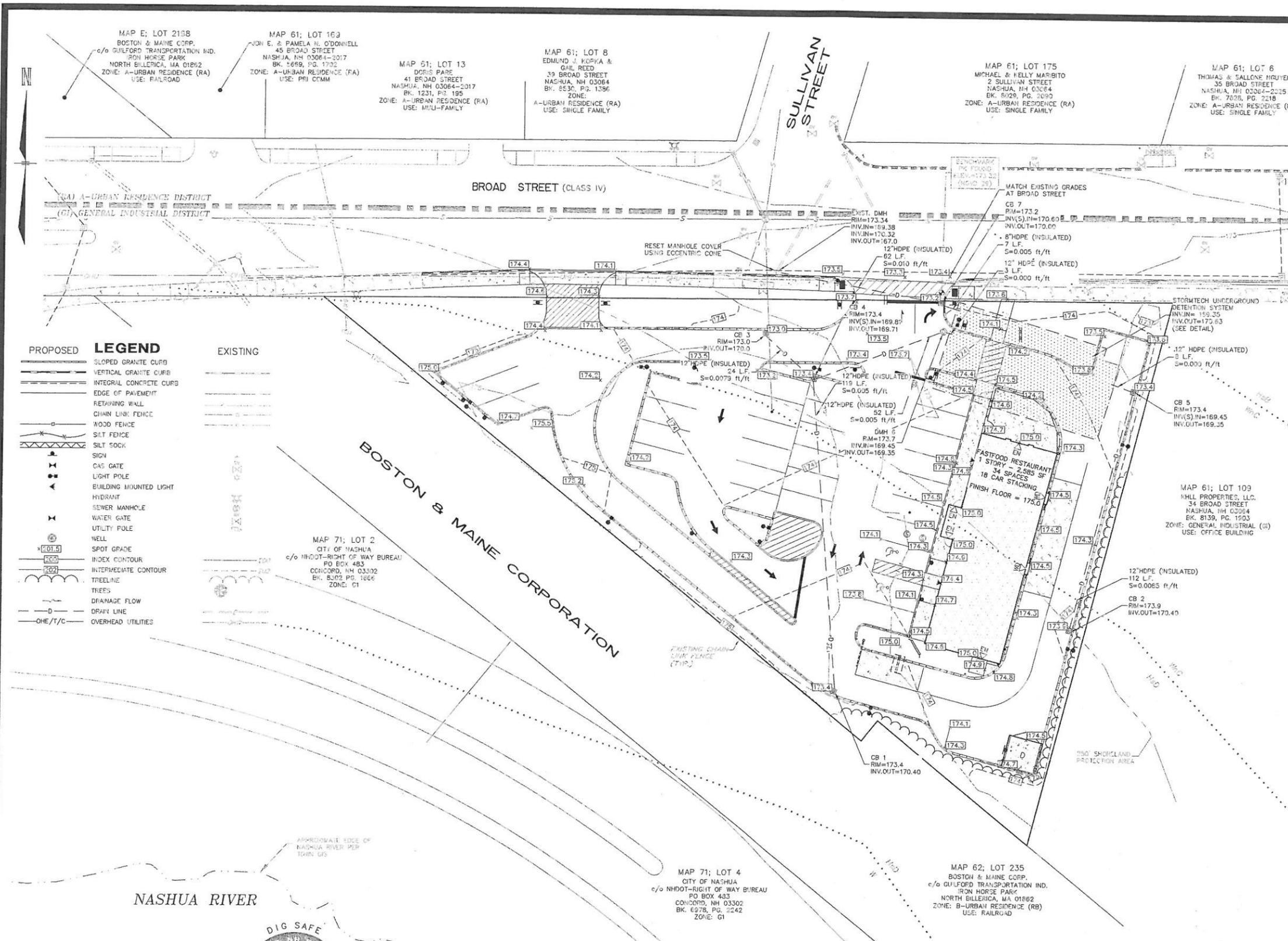
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 This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.



REV.	DATE	DESCRIPTION	DR	CK

TAX MAP 61 LOTS 60 & 172  
**SITE LAYOUT PLAN**  
**DUNKIN' DONUTS**  
**36 & 38 BROAD STREET, NASHUA, NH**  
 OWNED BY  
**DAVID C. & CHARLOTTE M. DION**  
 PREPARED FOR  
**SCRIVANOS GROUP**  
 SCALE: 1"=20'  
 JANUARY 7, 2016

	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	45 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com
	17790.00 DR AA FB CR CADFILE 17790-00 Site	SHEET 4 OF 18



- ### NOTES
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF NASHUA, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
  - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL SURROUNDING CONDITIONS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (511) AT LEAST 72 HOURS BEFORE DIGGING.
  - THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
  - THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
  - ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST INHOUT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE INHOUT STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
  - STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO INHOUT STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO MHEC STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
  - ALL MANHOLES IN PAVEMENT SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
  - ALL ELEVATIONS SHOWN AT CURBS ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
  - ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
  - IN ACCORDANCE WITH RSA 430:53 AND AIR 3000, THE CONTRACTOR SHALL NOT TRANSPORT INVASIVE SPECIES OFF THE PROPERTY, AND SHALL DISPOSE OF INVASIVE SPECIES ON-SITE IN A LEGAL MANNER.
  - THE SITE CONTRACTOR SHALL PREPARE, MAINTAIN, AND EXECUTE A S.W.P.P.P. IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT.
  - THE SITE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN E-NOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE.
  - THE EROSION CONTROL PRACTICES SHOWN ON THESE PLANS ARE ILLUSTRATIVE ONLY AND SHALL BE SUPPLEMENTED BY THE SITE CONTRACTOR AS NEEDED.
  - COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING, AND SIZE AND LOCATION OF ALL BUILDING SERVICES.
  - COORDINATE WITH GEOTECHNICAL/STRUCTURAL PLANS FOR SITE PREPARATION AND OTHER BUILDING INFORMATION.
  - COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ROOF DRAIN INFORMATION.
  - LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS AND ALIGNMENTS.
  - THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEER'S RECOMMENDED METHODS TO ADDRESS ANY GROUNDWATER ISSUES THAT ARE FOUND ON-SITE.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE CONDITIONS AT THE SITE. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ENGINEER.
  - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.
  - VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
  - IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
  - IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
  - THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. TFMORAN INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
  - TFMORAN INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
  - THE SITE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENV-WO 1500 AS APPLICABLE.
  - AT COMPLETION OF CONSTRUCTION, THE SITE CONTRACTOR SHALL PROVIDE A LETTER CERTIFYING THAT THE PROJECT WAS COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND A LETTER STAMPED BY A QUALIFIED ENGINEER THAT THEY HAVE OBSERVED ALL UNDERGROUND DETENTION SYSTEMS, INFILTRATION SYSTEMS, OR FILTERING SYSTEMS PRIOR TO BACKFILL, AND THAT SUCH SYSTEMS CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS.
  - IF ANY DEVIATIONS FROM THE APPROVED PLANS AND SPECIFICATIONS HAVE BEEN MADE, THE SITE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS STAMPED BY A LICENSED SURVEYOR OR QUALIFIED ENGINEER ALONG WITH A LETTER STAMPED BY A QUALIFIED ENGINEER DESCRIBING ALL SUCH DEVIATIONS, AND BEAR ALL COSTS FOR PREPARING AND FILING ANY NEW PERMITS OR PERMIT AMENDMENTS THAT MAY BE REQUIRED.

### PROPOSED LEGEND

	SLOPED GRANITE CURB
	VERTICAL GRANITE CURB
	INTEGRAL CONCRETE CURB
	EDGE OF PAVEMENT
	RETAINING WALL
	CHAIN LINK FENCE
	WOOD FENCE
	SILT FENCE
	SILT SOCK
	SIGN
	GAS GATE
	LIGHT POLE
	BUILDING MOUNTED LIGHT
	HYDRANT
	SEWER MANHOLE
	WATER GATE
	UTILITY POLE
	WELL
	SPOT GRADE
	INDEX CONTOUR
	INTERMEDIATE CONTOUR
	TREE LINE
	TREES
	DRAINAGE FLOW
	DRAIN LINE
	OHE/T/C OVERHEAD UTILITIES

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This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.



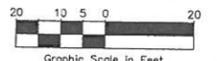
APPROXIMATE EDGE OF NASHUA RIVER PER TOWN GIS

MAP 71; LOT 2  
CITY OF NASHUA  
c/o INHOUT-RIGHT OF WAY BUREAU  
PO BOX 483  
CONCORD, NH 03302  
BK. 8,092 PG. 1866  
ZONE: G1

MAP 71; LOT 4  
CITY OF NASHUA  
c/o INHOUT-RIGHT OF WAY BUREAU  
PO BOX 483  
CONCORD, NH 03302  
BK. 6,978 PG. 2242  
ZONE: G1

MAP 62; LOT 235  
BOSTON & MAINE CORP.  
c/o GULFORD TRANSPORTATION IND.  
IRON HORSE PARK  
NORTH BILLERICA, MA 01862  
ZONE: B-URBAN RESIDENCE (RB)  
USE: RAILROAD

MAP 61; LOT 109  
MILL PROPERTIES, LLC  
34 BROAD STREET  
NASHUA, NH 03064  
BK. 8139, PG. 1903  
ZONE: GENERAL INDUSTRIAL (GI)  
USE: OFFICE BUILDING



REV	DATE	DESCRIPTION	DR	CK

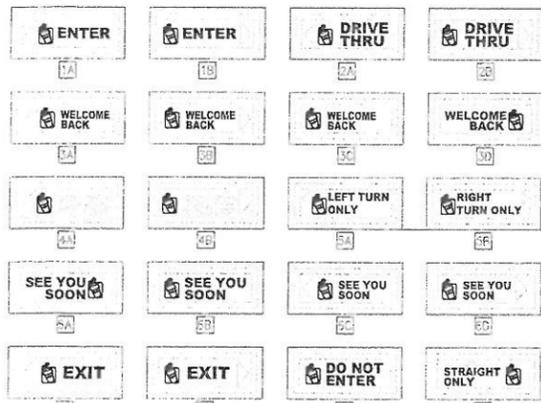
TAX MAP 61 LOTS 60 & 172  
**GRADING & DRAINAGE PLAN**  
**DUNKIN' DONUTS**  
**36 & 38 BROAD STREET, NASHUA, NH**  
OWNED BY  
**DAVID C. & CHARLOTTE M. DION**  
PREPARED FOR  
**SCRIVANOS GROUP**  
SCALE: 1"=20'  
JANUARY 7, 2016

**TFM** Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

48 Constitution Drive  
Bedford, NH 03110  
Phone (603) 472-4488  
Fax (603) 472-9747  
www.tfmoran.com

17790.00 DR AA FB  
CR CADFILE 17790-00 Site SHEET 5 OF 18





**8 DIRECTIONAL SIGN NOTES**

- 1) AREA OF SIGN = 3.0 S.F.
- 2) INTERNAL ILLUMINATION: 1 x F30 112 CW/HO

**4** Limit Bar Elevation  
1/4" = 1'-0"

**5** Bollard Detail  
1/4" = 1'-0"

**6** Detail @ D/T Window  
1/4" = 1'-0"

**7** Detail Section @ D/T Menu Bd.  
1/4" = 1'-0"

**3** Directional Sign Detail  
1/4" = 1'-0"

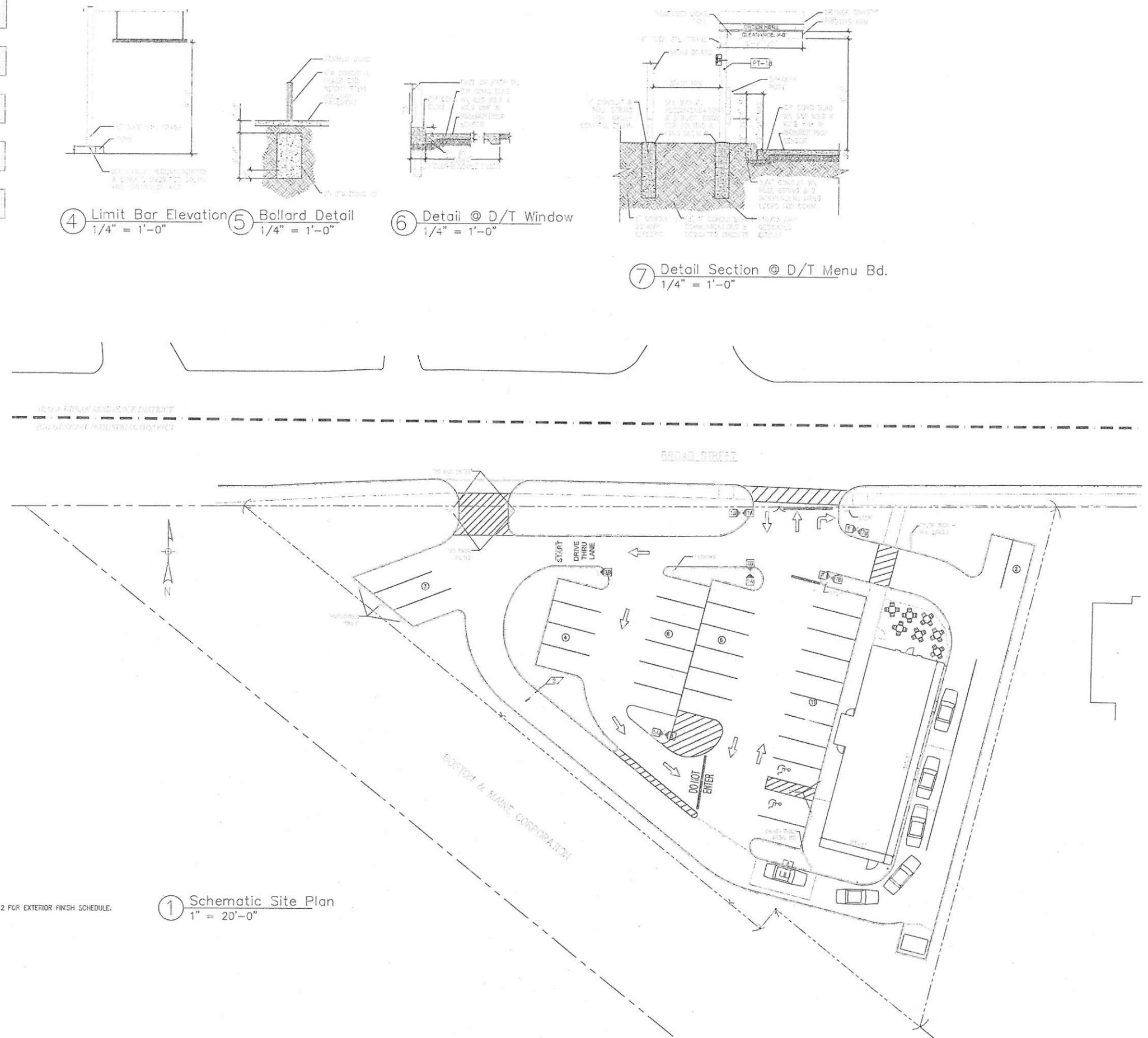
**2** Pylon Sign Detail  
1/4" = 1'-0"

**PYLON SIGN NOTES**

- 1) FACE TO BE FORMED CLEAR POLYCARBONATE, DECORATED SECOND-SURFACE VINYL.
- 2) COFFEE CUP PORTION OF LOGO TO BE EMBOSSED - BALANCE OF LETTERS TO BE FLAT.
- 3) VINYL COLORS TO BE DD ORANGE 3M #3630-3123; DD MAGENTA 3M #3630-1379; DARK BROWN 3M #3630-59.
- 4) FORMED "CAP-OVER" FACE FITS OVER ALUM. RETURNS.
- 5) ILLUMINATION: HO/CW FLOUORESCENT LAMPS OR WHITE NICHIA LED'S. CONSULT LOCAL ZONING CODE FOR INTERNAL ILLUMINATION ALLOWANCE.
- 6) SEE NATIONAL ACCOUNTS ON A0.1 FOR ORDERING INFORMATION.

7) SEE A3.2 FOR EXTERIOR FINISH SCHEDULE.

**1** Schematic Site Plan  
1" = 20'-0"

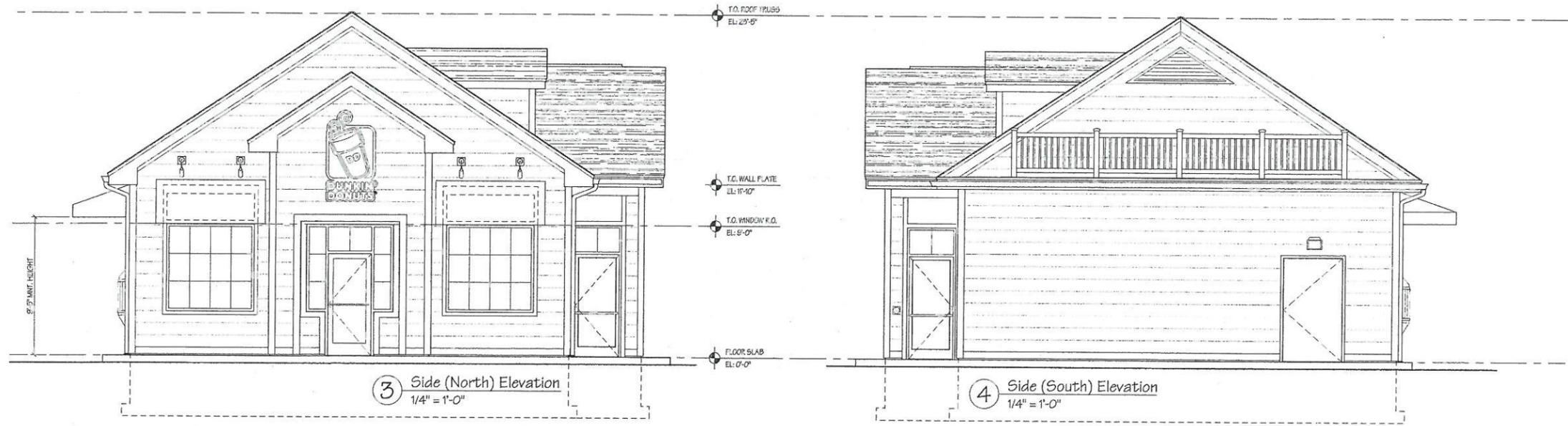


1/4" = 1'-0"  
VAD  
GD

SITE SIGNAGE & DETAILS



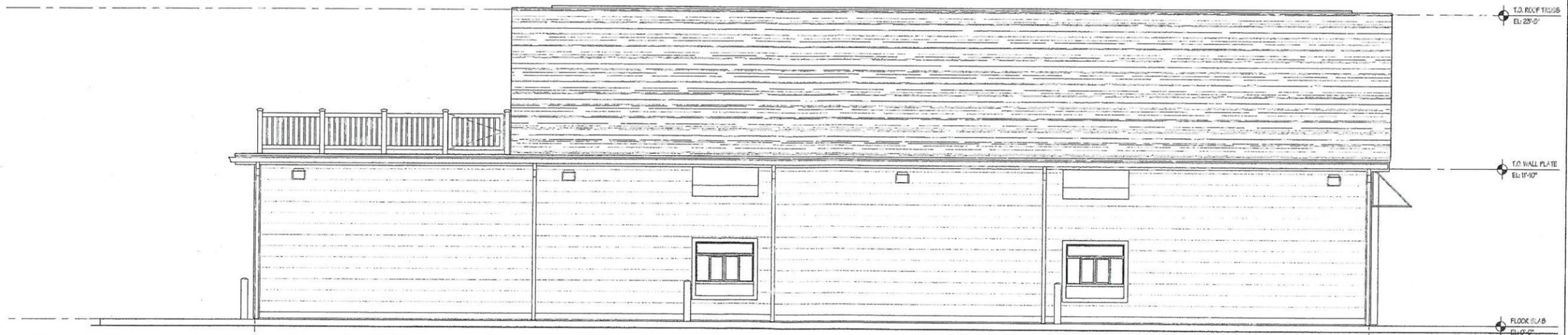
① Front (West) Elevation  
 1/4" = 1'-0" N.T.S.



② Monolith Detail  
 1/4" = 1'-0" N.T.S.

③ Side (North) Elevation  
 1/4" = 1'-0"

④ Side (South) Elevation  
 1/4" = 1'-0"



⑤ Rear (East) Elevation  
 1/4" = 1'-0" N.T.S.

Consultant

Revisions		
#	Description	Date
1	Code Compliance	05-18-14

Stamp

PROJECT # 3045  
 IMAGE:  
 DATE: 01-07-16  
 SCALE: As Noted  
 DRAWN: VAD  
 APPROVED: GD  
 DWG. TITLE:

Proposed  
 Building  
 Elevations

NASHUA CITY PLANNING BOARD  
STAFF REPORT

TO: Nashua City Planning Board  
FROM: Linda Panny, Planner I  
FOR: February 18, 2016  
RE: **New Business #2– Site Plan**

**I. Project Statistics:**

Owner: City of Nashua  
Applicant: Renaissance Downtowns at Nashua, LLC  
Proposal: Site plan for mixed use development  
Location: 62 & 70 Bridge Street  
Total Site Area: 9.63 acres  
Existing Zoning: GI/MU-General Industrial/Mixed Use  
Surrounding Uses: Industrial, commercial, residential

**II. Background Information:**

The site is located at the confluence of the Merrimack and Nashua Rivers and the City has owned the subject property since the 1940s. In 1947, a flood control levee was constructed along this section of the Merrimack. Over the years, other public infrastructure has been built on the property, including a sewer pump station, a flood control emergency overflow basin, a cell tower, and a recreational facility. A plan for redevelopment of the site was approved by the Planning Board on May 2, 2013 and on August 7, 2014 the plan came before the board due to some minor modifications. On November 19, 2015 the plan came before the board for re-approval of the site plan to construct 228 units, a restaurant and a community center. On January 14, 2016 a proposed consolidation and subdivision was approved by the board for this site (see attached staff reports and notice of decisions).

**III. Project Description:**

The current proposal is to show the phasing of this project as the City and applicant work with the Army Corps of Engineers (ACOE) regarding the 408 permit for the levee. Phase I includes the construction of Buildings A, B, D & E with associated parking, utilities, grading, drainage, lighting, landscaping and stormwater management. Phase II consists of construction of Building C with associated parking, utilities, drainage, grading, lighting, landscaping and stormwater management and is contingent on the approval of removing the emergency overflow basin by ACOE and the City.

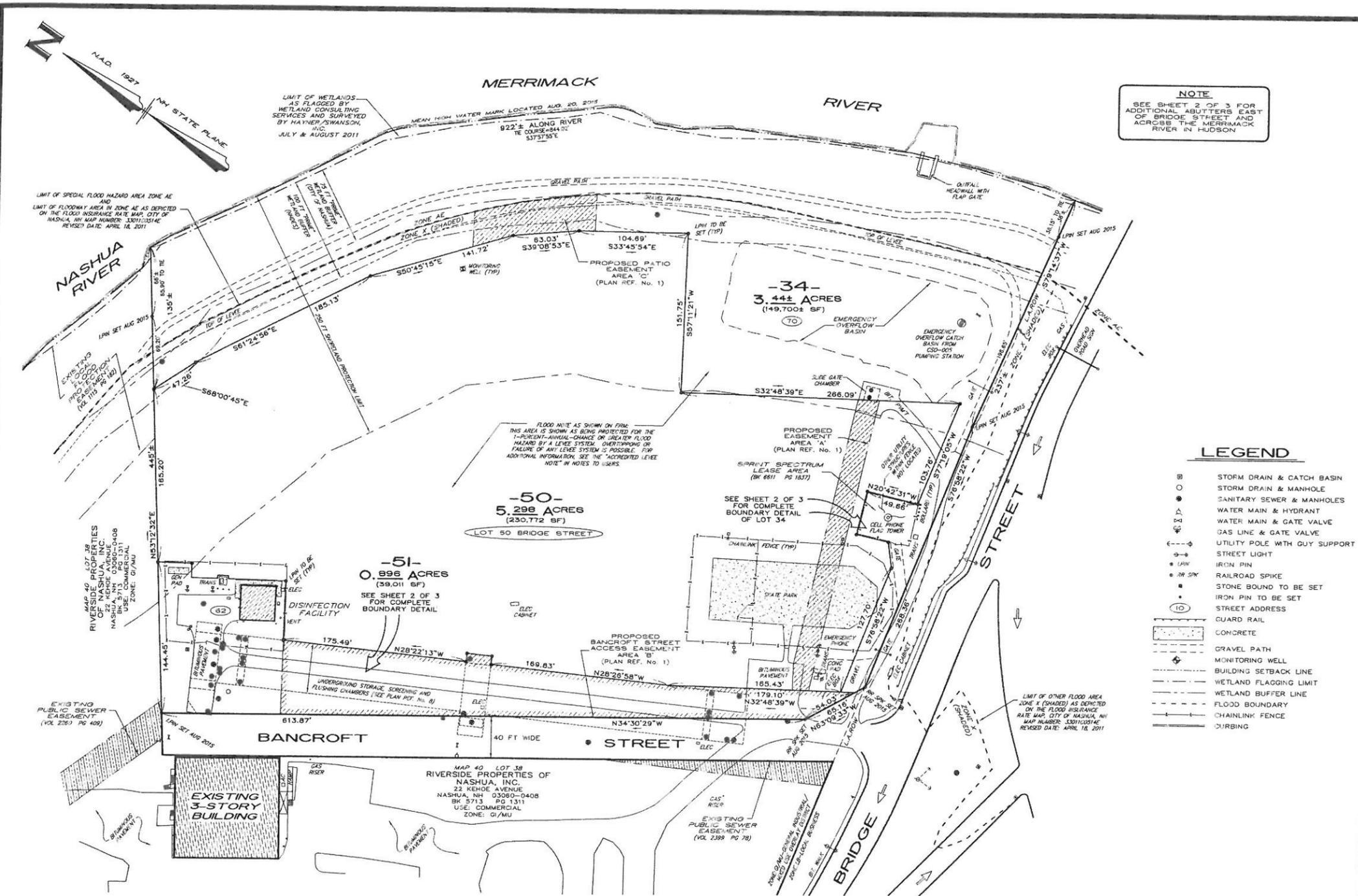
**Staff Recommendations and Findings:**

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons

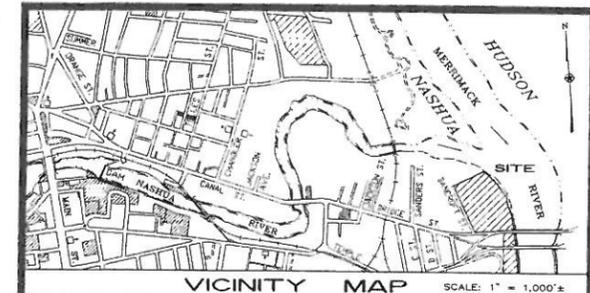
should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

1. All previously approved waiver requests are incorporated herein and made a part of this plan, unless otherwise determined by the planning board.
2. Prior to the issuance of the first building permit, all easements will be submitted to City staff for review and approval and recorded at the Registry of Deeds.
3. Prior to the issuance of a building permit, minor drafting corrections will be made to the plan.
4. Stormwater documents will be submitted to City staff for review and recorded prior to the issuance of a building permit.
5. Prior to the issuance of a building permit for Building C, a plan for the removal or relocation of the emergency overflow basin must be approved by the U.S. Army Corp of Engineers or other appropriate authority and an agreement between the City and the developer will be in place regarding responsibility for the work. The developer will submit a draft agreement to the City with sufficient time for review and approval.
6. Prior to the issuance of a building permit for Building D, a plan shall be recorded at the Registry of Deeds that separates the cell tower and levee from the residential development.
7. Prior to the issuance of a building permit for Buildings A, B, or C, plans for the removal/relocation of the skate park will be finalized by the City.
8. Prior to the issuance of a building permit, the applicant will contribute \$30,000 to the City for the "East Hollis Street Gateway Improvement Project."
9. Prior to commencement of any site work, an Alteration of Terrain permit must be approved by the New Hampshire Department of Environmental Services (NHDES).
10. Prior to commencement of any site work within the protected shoreland, a Shoreland permit must be approved by the New Hampshire Department of Environmental Services (NHDES).
11. Prior to the issuance of a certificate of occupancy, the left turn pocket on Bridge Street will be installed.
12. Prior to issuance of a certificate of occupancy for Building A, B, or C, the temporary traffic signal will be installed.

13. The existing sidewalk along the property's frontage on Bridge Street will be reconstructed to the Division of Public Works' specifications prior to the issuance of a certificate of occupancy for Building C.
14. All other off-site improvements will be completed prior to the issuance of a certificate of occupancy for Building C.
15. Prior to the issuance of the certificate of occupancy for Building C, all on-site improvements shall be substantially completed, provided that paving may be completed to base course and landscaping may be completed as seasonally permitted; a financial guarantee will be required for any remaining work.
16. Prior to the issuance of the certificate of occupancy for Building C, an as-built plan locating all roads, driveways, units, buildings, utilities, and landscaping shall be completed by a professional engineer or surveyor and submitted to the Planning Department. The as-built plan shall include a statement that all construction was generally completed in accordance with the approved plan and applicable regulations.
17. Prior to the issuance of a building permit all comments in an e-mail from Cynthia Bautista dated January 19, 2016 shall be addressed to the satisfaction of the Fire Marshal.
18. Prior to the Chair signing the plan, all comments in a letter from Jeanne Walker, P.E. dated February 5, 2016 shall be addressed to the satisfaction of the Engineering Department.
19. Temporary traffic signals are not to become permanent traffic signals.
20. Bancroft Street shall remain City right-of-way/property unless otherwise determined.



**NOTE**  
SEE SHEET 2 OF 3 FOR  
ADDITIONAL ABUTTERS EAST  
OF BRIDGE STREET AND  
ACROSS THE MERRIMACK  
RIVER IN HUDSON



- NOTES:**
- SITE AREA:**  
LOT 34 3.44± ACRES  
LOT 50 5.29± ACRES  
LOT 51 0.89± ACRES
  - PRESENT ZONING:**  
G/MU: GENERAL INDUSTRIAL/MIXED USE OVERLAY DISTRICT  
**MINIMUM LOT REQUIREMENTS**  
- LOT AREA 5,000 SF  
- LOT FRONTAGE 50 FT  
- LOT WIDTH 50 FT  
- LOT DEPTH 75 FT  
**MINIMUM YARD SETBACKS**  
- FRONT YARD 13 FT  
- SIDE YARD 13 FT  
- REAR YARD 15 FT
  - PURPOSE OF PLAN:**  
TO SHOW THE EXISTING CONDITIONS OF LOTS 34, 50 & 51
  - LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSOR'S MAP 40
  - BRIDGE STREET IS A VARIABLE WIDTH. STATE OF NEW HAMPSHIRE, LIMITED ACCESS RIGHT OF WAY.  
BANCROFT STREET STATUS IS UNKNOWN. NO RECORD OF LAYOUT, DEDICATION OR ACCEPTANCE FOUND. ROADWAY IS NOT PRESENTLY IMPROVED FOR TRAVEL ALONG ITS ENTIRE LENGTH. HISTORY OF IMPROVEMENT AND/OR MAINTENANCE BY THE CITY UNKNOWN.
  - A PORTION OF LOTS 34, 50 & 51 ARE SUBJECT TO THE STATE OF NEW HAMPSHIRE SHORELAND PROTECTION ACT (RSA 483-B).
  - A PORTION OF LOT 34 IS LOCATED IN A SPECIAL FLOOD HAZARD AREA ZONE AE AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY NO. 330077, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER 33011C34G, REVISED DATE: APRIL 18, 2011 AND IS DEPICTED HEREON. THE REMAINDER OF LOT 34 AND LOTS 50 & 51 ARE PROTECTED BY A LEVEL SYSTEM. SEE FIRM MAP FOR ACCREDITED LEVEL NOTE.
  - SITE IS TO BE SERVICED BY MUNICIPAL SEWER AND WATER BY PENNICK/WATERWORKS. THE PROPOSED LOTS SHALL BE SERVICED BY UNDERGROUND TELEPHONE, ELECTRIC AND GAS UTILITIES.
  - THE EXISTING PLANIMETRICS AND TOPOGRAPHY, AS SHOWN ON THESE PLANS, IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND BETWEEN JULY 2011 AND SEPTEMBER 2011.
  - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
  - THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.
  - SURVEY CONTROL INFORMATION:**  
HORIZONTAL DATUM: NAD83  
VERTICAL DATUM: NASHUA CITY DATUM  
PROJECTION: NH STATE PLANE  
UNITS: US SURVEY FEET
  - LOT 50 SHALL HAVE AN ADDRESS OF LOT 50 BRIDGE STREET UNTIL SUCH TIME AS ANY UNITS ARE CONSTRUCTED AND HAVE BEEN ASSIGNED INDIVIDUAL ADDRESSES BY THE CITY OF NASHUA.
  - RECORD OWNER:**  
MAP 40, LOTS 34 & 48  
CITY OF NASHUA  
PO BOX 2019  
229 MAIN STREET  
NASHUA, NH 03061  
VOL. 1133, PG. 372 - LOT 34  
VOL. 1133, PG. 373 - LOT 34  
VOL. 1135, PG. 409 - LOT 48



**ZONING NOTE**  
THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

**UTILITY NOTE**  
THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING SPANNING. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA. OTHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

- ADDITIONAL EASEMENTS:**
- LOTS 34, 50 AND 51 ARE POSSIBLY SUBJECT TO A DATA ORDER NOTICE RECORDED IN VOLUME 1418, PAGE 34 OF THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS.
  - LOT 34 IS SUBJECT TO THE RIGHTS OF OTHERS IN AND TO THAT PORTION OF THE PREMISES LOCATED WITHIN THE MERRIMACK AND NASHUA RIVERS.
  - LOTS 50 & 51 ARE SUBJECT TO A UTILITY EASEMENT TO PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE AND NORTHERN NEW ENGLAND TELEPHONE COMPANY (NANETTE) LLC. A SAFFORD POINT COMMUNICATIONS-ONE LLC RECORDED IN VOLUME 8972, PAGE 1502 OF THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS.

- PLAN REFERENCES:**
- CONVEYANCE / SUBDIVISION PLAN (MAP 40) LOTS 34 & 48, 52 & 70 BRIDGE STREET, NASHUA, NEW HAMPSHIRE, PREPARED FOR RENAISSANCE DOWNTOWN, LLC, RECORD OWNER, RIVERSIDE PROPERTIES OF NASHUA, INC. SCALE 1"=50', DATED 15 NOVEMBER 2015 WITH REVISIONS THRU 2013 AND PREPARED BY THIS OFFICE. NOT YET RECORDED.
  - EXHIBIT A, EASEMENT PLAN, LOT 38, MAP 40, 48-50 BRIDGE STREET, NASHUA, NEW HAMPSHIRE, PREPARED FOR RENAISSANCE DOWNTOWN, LLC, RECORD OWNER, RIVERSIDE PROPERTIES OF NASHUA, INC. SCALE 1"=50', DATED 3 JANUARY 2013 AND PREPARED BY THIS OFFICE.
  - ALTAZSCM LAND TITLE SURVEY, LOT 32, MAP 29 AND LOTS 31, 34 & 48, MAP 40, BRIDGE, SANDERS AND BANCROFT STREETS, NASHUA, NEW HAMPSHIRE, PREPARED FOR RECORD OWNER, CITY OF NASHUA, SCALE 1"=50', DATED 11 JUNE 2009 AND PREPARED BY THIS OFFICE.
  - RIGHT OF WAY PLANS OF PROPOSED FEDERAL AID PROJECT US29(13), NH PROJECT NO. 12721, ROUTE 111 OVER THE MERRIMACK RIVER (2) SHEETS, RECORDED, HDRD - PLAN No. 4335.
  - LAND IN NASHUA, N.H., BOSTON AND MAINE RAILROAD TO JOHN'S MANVILLE PRODUCTS CORPORATION, SCALE 1"=40', DATED: APRIL 1981, RECORDED, HDRD - PLAN No. 252.
  - CONSIDERATION OF LAND THE MAINE MANUFACTURING CO. 34 BRIDGE STREET, NASHUA, N.H., SCALE 1"=40', DATED: 10/7/77 AND PREPARED BY D.C. CALDERWOOD, RECORDED, HDRD - PLAN No. 10540.
  - SEWER EASEMENT PLAN, NORTH MERRIMACK RIVER INTERCEPTOR, CITY OF NASHUA, N.H., 2014, 1"=40', DATED: 5/26/14 AND PREPARED BY HAMILTON ENGINEERING ASSOC., INC. RECORDED, HDRD - PLAN No. 8179.
  - RECORD DRAWINGS: CIVIL SCREENING AND DISINFECTANT FACILITY, OVERALL SITE PLAN, CITY OF NASHUA, NEW HAMPSHIRE, CSO 005 AND CSO 006, SCREENING AND DISINFECTANT FACILITY, DATED: JULY 2015, REVISED 07/2015 AND PREPARED BY HAYNER AND SAWYER. ON FILE WITH THE CITY OF NASHUA.

**CERTIFICATION**  
I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSES FOR LAND SURVEYORS ADOPTED 05/23/01, EFFECTIVE 01/01/09.  
I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.  
2-10-16  
DATE

**EXISTING CONDITIONS PLAN**  
(MAP 40, LOTS 34, 50 & 51)  
**LOT 50, 62 & 70 BRIDGE ST.**  
NASHUA, NEW HAMPSHIRE  
PREPARED FOR:  
**Renaissance At Nashua, LLC**  
9 GERHARD ROAD PLAINVIEW, NEW YORK 11803 (516) 433-9000

**RECORD OWNER:**  
**CITY OF NASHUA**  
PO BOX 2019 229 MAIN ST. NASHUA, NH 03061-2019 (603) 589-3260

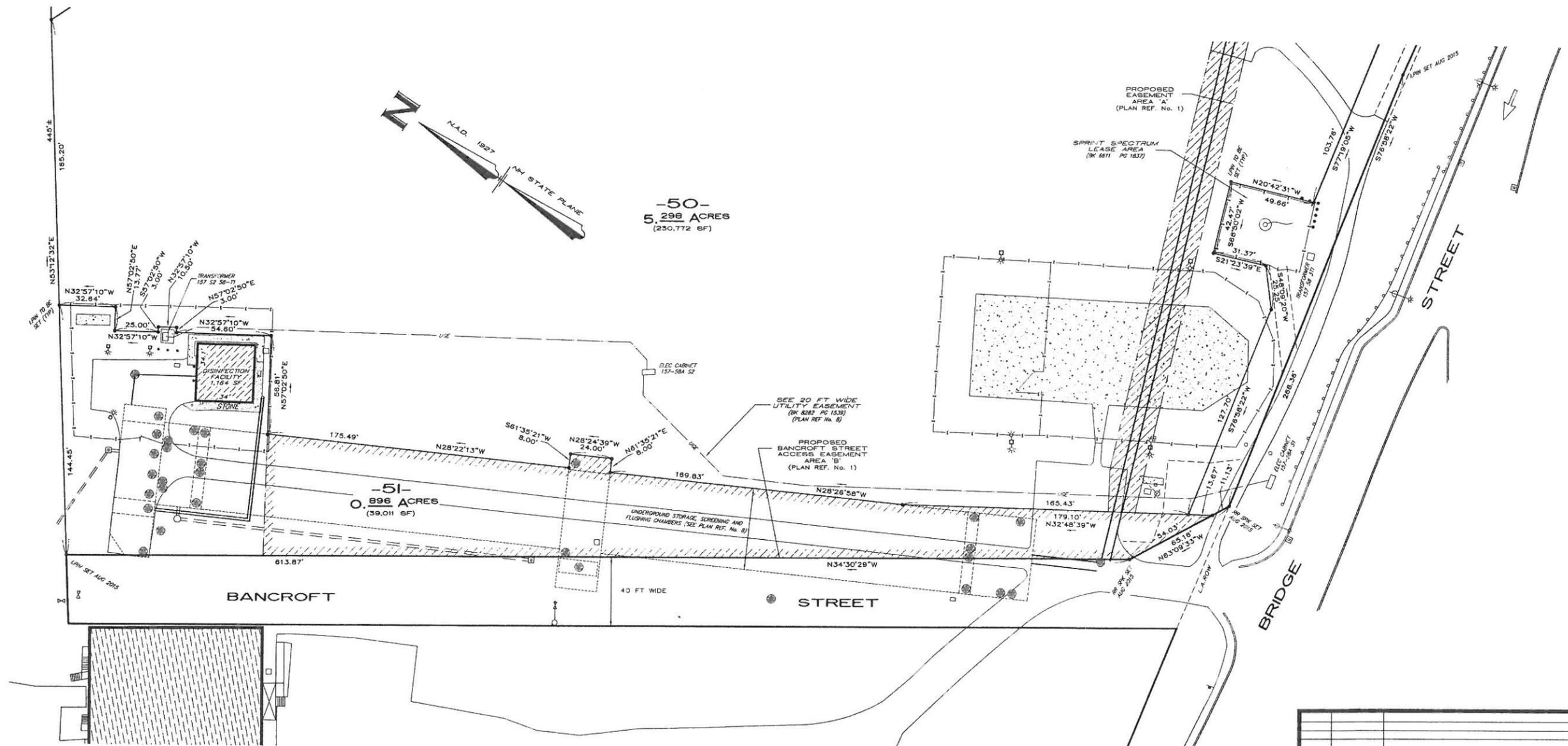
50 0 50 100 150 200 FEET  
25 0 25 50 METERS  
SCALE: 1"=50 Feet  
1"=15.240 Meters

**10 FEBRUARY 2016**

**HSI** Hayner/Swanson, Inc.  
Civil Engineers/Land Surveyors  
Three Congress Street, Nashua, New Hampshire 03062-3301  
Tel (603) 883-2057 Fax (603) 883-5057  
www.haynerswanson.com

FIELD BOOK: 1198 & 1202 DRAWING NAME: 3178 ECSI  
DRAWING LOCATION: R:\3178\DWG\3178 SUB

3178 1 OF 3



**ADDITIONAL ABUTTERS:**

- |   |   |
|---|---|
| <p>MAP 24 LOT 1<br/>B &amp; B REALTY CORP<br/>171 E. HOLLIS STREET<br/>NASHUA, NH 03063-4319<br/>BK 5630 PG 1756<br/>USE: COMMERCIAL<br/>ZONE: GENERAL INDUSTRIAL</p>                                     | <p>MAP 24 LOT 50<br/>DATEC TOOL &amp; MACHINE, INC.<br/>3 HIGHLAND STREET APT 5<br/>NASHUA, NH 03061-2948<br/>BK 5283 PG 326<br/>USE: INDUSTRIAL<br/>ZONE: GENERAL INDUSTRIAL</p> |
| <p>MAP 24 LOT 18<br/>CITY OF NASHUA<br/>PO BOX 2019 - 229 MAIN STREET<br/>NASHUA, NH 03061-2019<br/>BK 1125 PG 317<br/>USE: FLOOD CONTROL<br/>ZONE: GENERAL INDUSTRIAL</p>                                | <p>HUDSON MAP 173 LOT 1<br/>CITY OF NASHUA<br/>32 WEBSTER STREET<br/>HUDSON, NH 03051<br/>BK 2209 PG 375<br/>USE: RESIDENTIAL<br/>ZONE: TOWN RESIDENTIAL</p>                      |
| <p>MAP 24 LOT 19<br/>LEO M &amp; LORRAINE J LAVOIE<br/>100 E. HOLLIS STREET<br/>NASHUA, NH 03063-6319<br/>BK 1706 PG 276<br/>USE: RESIDENTIAL<br/>ZONE: GENERAL INDUSTRIAL</p>                            | <p>HUDSON MAP 181 LOT 5<br/>SCORE HOMES, INC.<br/>9 SCHAEFER DRIVE<br/>HUDSON, NH 03051<br/>BK 4650 PG 670<br/>USE: VACANT<br/>ZONE: BUSINESS &amp; TOWN RESIDENTIAL</p>          |
| <p>MAP 24 LOT 47<br/>STATE OF NH - DEPT OF ROW<br/>LEO M &amp; LORRAINE J LAVOIE<br/>100 E. HOLLIS STREET<br/>NASHUA, NH 03063-6319<br/>BK 2042 PG 235<br/>USE: DRIVEWAY<br/>ZONE: GENERAL INDUSTRIAL</p> |   |

No.	DATE	REVISION	BY

EXISTING CONDITIONS PLAN  
(MAP 40, LOTS 34, 50 & 51)  
**LOT 50, 62 & 70 BRIDGE ST.**  
NASHUA, NEW HAMPSHIRE  
PREPARED FOR:  
**Renaissance At Nashua, LLC**  
9 GERHARD ROAD PLAINVIEW, NEW YORK 11803 (516) 433-9000

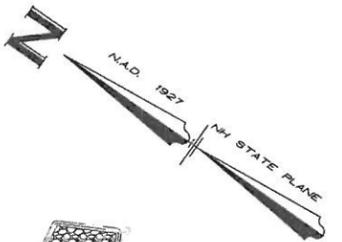
RECORD OWNER:  
**CITY OF NASHUA**  
PO BOX 2019 229 MAIN ST. NASHUA, NH 03061-2019 (603) 569-3260

30 0 30 60 90 120 FEET  
15 0 15 30 METERS  
SCALE: 1"=30 Feet  
1"=9.144 Meters

10 FEBRUARY 2016

**HSI** Hayner/Swanson, Inc.  
Civil Engineers/Land Surveyors  
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Tel (603) 883-2057 Fax (603) 883-5057  
www.haynerswanson.com

FIELD BOOK: 1168 & 1222	DRAWING NAME: 3178 E151	3178	2 OF 3
DRAWING LOCATION: R:\3178\DWG\3178 SUB		PLS CHECK	Sheet



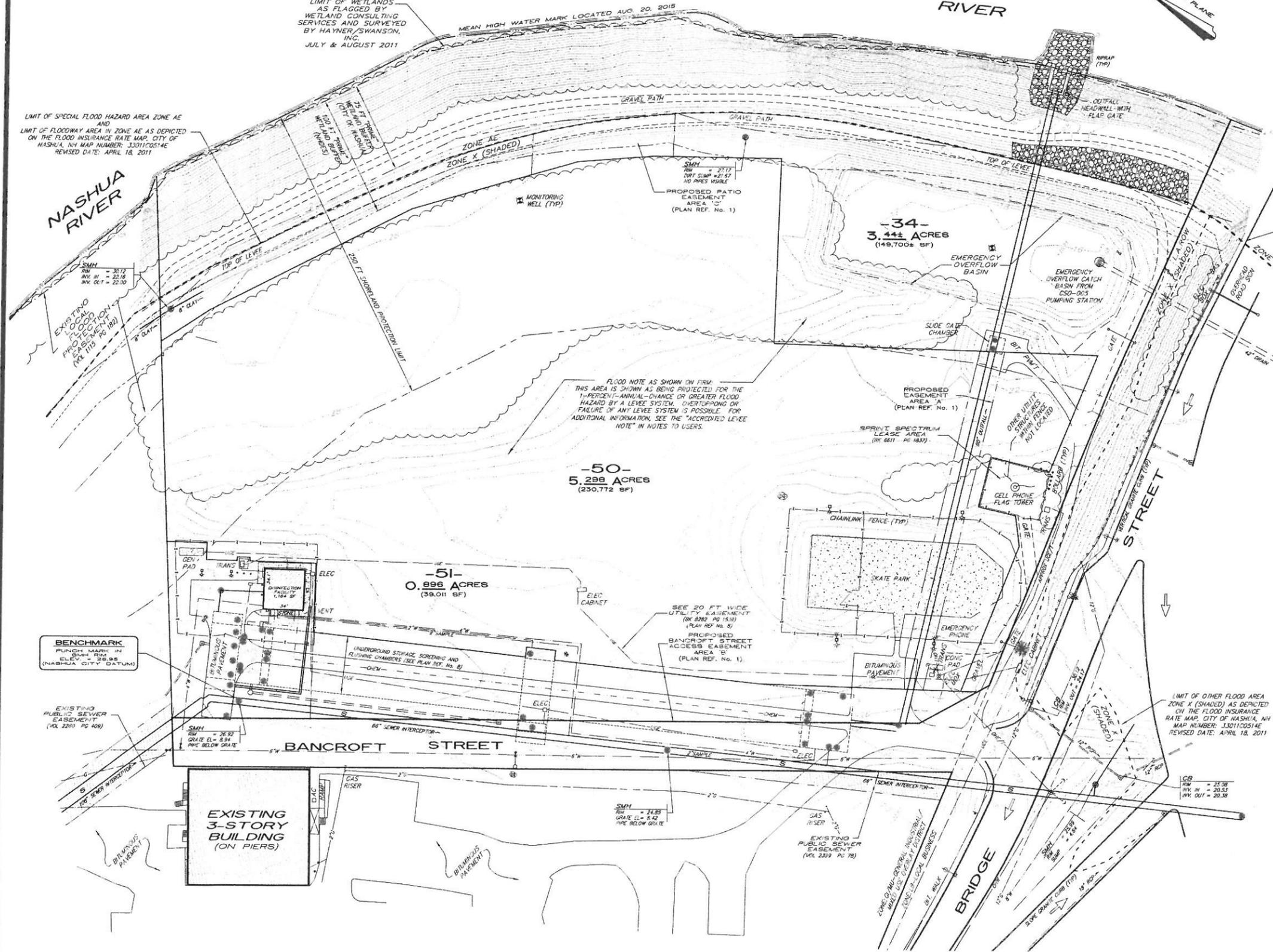
MERRIMACK RIVER

MEAN HIGH WATER MARK LOCATED AUG. 20, 2013

LIMIT OF WETLANDS AS FLAGGED BY WETLAND CONSULTING SERVICES AND SURVEYED BY HAYNER/SWANSON, INC. JULY & AUGUST 2011

LIMIT OF SPECIAL FLOOD HAZARD AREA ZONE AE AND LIMIT OF FLOODWAY AREA IN ZONE AE AS DEPICTED ON THE FLOOD INSURANCE RATE MAP, CITY OF NASHUA, NH MAP NUMBER: J3011/0514E REVISED DATE: APRIL 18, 2011

NASHUA RIVER



LEGEND

- EXISTING GROUND CONTOUR
- EXISTING SPOT ELEVATION
- STORM DRAIN & CATCH BASIN
- STORM DRAIN & MANHOLE
- SANITARY SEWER & MANHOLES
- WATER MAIN & HYDRANT
- WATER MAIN & GATE VALVE
- GAS LINE & GATE VALVE
- CHEM --- CHEMICAL PIPING
- UTILITY POLE WITH GUY SUPPORT
- STREET LIGHT
- OVERHEAD ELECTRIC & TELEPHONE
- UNDERGROUND ELEC./TEL & MANHOLES
- TREE LINE
- IRON PIN
- RAILROAD SPIKE
- STREET ADDRESS
- GUARD RAIL
- CONCRETE
- MONITORING WELL
- ROCK/BOULDER
- CONIFEROUS TREE
- BUILDING SETBACK LINE
- WETLAND FLAGGING LIMIT
- WETLAND BUFFER LINE
- WIRE FENCE
- CHAINLINK FENCE
- CURBING
- VERTICAL GRANITE CURBING
- SLOPE GRANITE CURBING

BENCHMARK  
PUNCH MARK IN  
ELEV. = 28.95  
(NASHUA CITY DATUM)

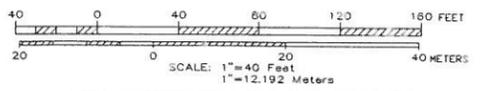
FLOOD NOTE AS SHOWN ON FIRM: THIS AREA IS SHOWN AS BEING PROTECTED FOR THE 1-PERCENT-ANNUAL-CHANCE OR GREATER FLOOD HAZARD BY A LEVEE SYSTEM. OVERTURNING OR FAILURE OF ANY LEVEE SYSTEM IS POSSIBLE. FOR ADDITIONAL INFORMATION, SEE THE "ACCREDITED LEVEE NOTE" IN NOTES TO USERS.

BENCHMARK  
PUNCH MARK IN  
ELEV. = 28.95  
(NASHUA CITY DATUM)

NO.	DATE	REVISION	BY

EXISTING CONDITIONS PLAN  
(MAP 40, LOTS 34, 50 & 51)  
**LOT 50, 62 & 70 BRIDGE ST.**  
NASHUA, NEW HAMPSHIRE  
PREPARED FOR:  
**Renaissance At Nashua, LLC**  
9 GERHARD ROAD PLAINVIEW, NEW YORK 11803 (516) 433-9000

RECORD OWNER:  
**CITY OF NASHUA**  
PO BOX 2019 229 MAIN ST. NASHUA, NH 03081-2019 (603) 589-3280



10 FEBRUARY 2016



Civil Engineers/Land Surveyors  
Three Congress Street Nashua, New Hampshire 03062-3301  
Tel (603) 883-2037 Fax (603) 883-5037  
www.haynerswanson.com

**PROPOSED PARKING PER LOT**

PROPOSED SPACES -	LOT 34	0 SPACES
	LOT 50	218 SPACES (INCLUDES 94 WITHIN GARAGE)
	LOT 51	41 SPACES
<b>TOTAL</b>		<b>257 SPACES</b>

**SITE DATA (PHASE 1)**

ZONED: GENERAL INDUSTRIAL/MIXED USE OVERLAY DISTRICT (G/MU)  
 EXISTING USE: VACANT/RECREATIONAL  
 PROPOSED USE: RESIDENTIAL/RESTAURANT

**DIMENSIONAL REQUIREMENTS (LAND USE CODE 9/1/12)**

	REQUIRED:	PROVIDED:
<b>MINIMUM LOT DIMENSIONS:</b>		
LOT AREA	5,000 SF	230,744.7 SF
WIDTH	50 FT	277 FT
STREET FRONTAGE	50 FT	297 FT
DEPTH	75 FT	518 FT
<b>MINIMUM YARD DIMENSIONS:</b>		
FRONT	10 FT	50 FT
SIDE	10 FT	2 FT
REAR	15 FT	62 FT
<b>MAXIMUM STRUCTURE DIMENSIONS:</b>		
STRUCTURE HEIGHT	60 FT	63.5 FT
STORIES	5 EA	5 EA
<b>MINIMUM OPEN SPACE</b>	10 %	40± %
<b>PARKING REQUIREMENTS</b>		
PARKING SPACES (SEE CALCULATION)	255 SPACES	257 SPACES
ACCESSIBLE SPACES (REQ'D BY ADA)	7 SPACES	8 SPACES
PARKING SPACE SIZE	9 FT x 20 FT	9 FT x 18 FT
aisle width	24/22 FT	24/22 FT
<b>PARKING CALCULATIONS</b>		
REQUIRED PARKING RATIO:		
MULTI FAMILY DWELLING:	1.5 SPACE PER UNIT (MIN)	
RESTAURANT:	1 SPACE PER 4 SEATS	
RETAIL:	1 SPACE PER 300 SF	
FITNESS CLUB:	1 SPACE PER 650 SF	
FITNESS:	1 SPACE PER 1,000 SF	
CYBER LOUNGE:	1 SPACE PER 600 SF	
COMMUNITY ROOM:	1.5 SPACES PER 1,000 SF	
<b>TOTAL REQUIRED =</b>		<b>228 SPACES +</b>
152 DWELLING UNITS * 1.5 SPACES/UNIT		= 228 SPACES +
50 SEAT RESTAURANT * 1/4 SEATS		= 12.5 SPACES +
3,600 SF RETAIL * 1/300 SF		= 12 SPACES +
438 SF FITNESS CENTER * 1/650 SF		= 0.7 SPACES +
617 SF OFFICE * 1/1,000 SF		= 0.6 SPACES +
339 SF CYBER LOUNGE * 1/600 SF		= 0.6 SPACES +
878 SF COMMUNITY ROOM * 1/1,000 SF		= 0.9 SPACES
<b>TOTAL PROVIDED =</b>		<b>257 SPACES</b>
OUTSIDE OF GARAGE		= 163 SPACES
WITHIN GARAGE		= 94 SPACES
<b>TOTAL PROVIDED =</b>		<b>257 SPACES</b>

**NOTES - SEE GENERAL NOTES SHEET FOR ADDITIONAL NOTES.**

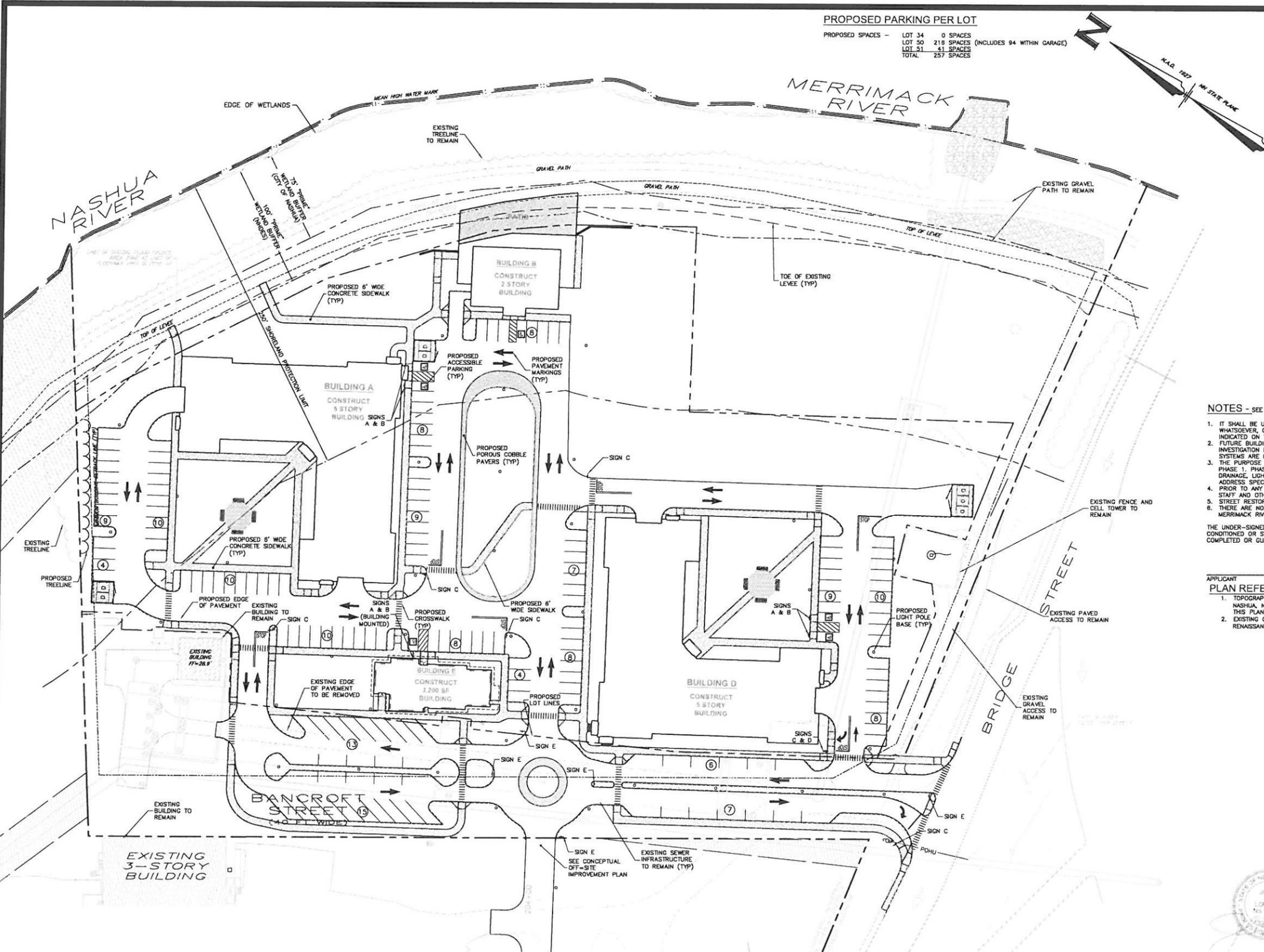
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN IN ANY WAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
  - IF FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
  - THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE IMPROVEMENTS ASSOCIATED WITH THIS PROJECT FOR PHASE 1. PHASE 1 INCLUDES THE CONSTRUCTION OF BUILDINGS A, B, D & E WITH ASSOCIATED UTILITIES, GRADING, DRAINAGE, LIGHTING, LANDSCAPING AND STORMWATER MANAGEMENT. SEE PHASE NOTES ON INDIVIDUAL SHEETS TO ADDRESS SPECIFIC COMPONENTS FOR EACH PHASE OF WORK.
  - PRIOR TO ANY WORK BEING CONDUCTED A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PLANNING STAFF AND OTHER CITY DEPARTMENTS AS NECESSARY TO REVIEW THE PROPOSED WORK.
  - STREET RESTORATION TO BE IN ACCORDANCE WITH NRO-285-13.
  - THERE ARE NO INLAND WETLANDS LOCATED ON THE PROPERTY. THE PROPERTY BORDERS THE NASHUA AND MERRIMACK RIVERS.
- THE UNDER-SIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

**APPLICANT PLAN REFERENCES**

- TOPOGRAPHIC WORKSHEET (LOT 32, MAP 39 AND LOTS 34, 37, 38 & 48, MAP 40) BRIDGE, SANDERS & BANCROFT STREETS NASHUA, NEW HAMPSHIRE PREPARED FOR RENAISSANCE AT NASHUA, LLC BY HAYNER/SWANSON, INC. DATED SEPTEMBER 4, 2015. THIS PLAN WAS UTILIZED TO CREATE A BASE DRAWING FOR THIS PROJECT.
- EXISTING CONDITIONS PLAN (MAP 40, LOTS 34, 50 & 51) 62 & 70 BRIDGE STREET NASHUA, NEW HAMPSHIRE PREPARED FOR RENAISSANCE AT NASHUA, LLC BY HAYNER/SWANSON, INC. DATED FEBRUARY 10, 2016.

**LEGEND**

SF	SQUARE FEET	[Symbol]	PROPOSED PAINT
[Symbol]	ACCESSIBLE PARKING	[Symbol]	EXISTING RIP RAP
TYP	TYPICAL	[Symbol]	PROPOSED CONCRETE
VCC	VERTICAL GRANITE CURB	[Symbol]	PROPERTY LINE
[Symbol]	EXISTING UTILITY POLE	[Symbol]	PROPOSED EDGE OF WETLANDS
[Symbol]	PROPOSED UTILITY POLE	[Symbol]	EDGE OF WETLANDS BUFFER
[Symbol]	EXISTING GUY WIRE	[Symbol]	SETBACK LINE
[Symbol]	EXISTING SEWER MANHOLE	[Symbol]	EXISTING TREELINE
[Symbol]	PROPOSED SIGN	[Symbol]	PROPOSED TREELINE
[Symbol]	PROPOSED LIGHTPOLE BASE	[Symbol]	EXISTING GUARD RAIL
[Symbol]	PROPOSED PARKING COUNT	[Symbol]	EXISTING FENCE
[Symbol]	PROPOSED DUMPSTER	[Symbol]	TOP OF LEVEE
[Symbol]	PROPOSED TRANSFORMER PAD	[Symbol]	ZONE LINE
		[Symbol]	BUFFER LINE



**DIRECTIONAL SIGN LEGEND**

ID	SIGN	NO./SIZE/COLOR	ID	SIGN	NO./SIZE/COLOR	ID	SIGN	NO./SIZE/COLOR	ID	SIGN	NO./SIZE/COLOR
A	[Symbol]	R7-B 12" x 18" BLACK AND WHITE	C	[Symbol]	R1-1 30" x 30" RED AND WHITE	D	[Symbol]	R5-1 30" x 30" RED AND WHITE	E	[Symbol]	R4-7 24" x 30" BLACK AND WHITE
B	[Symbol]	R7-BP 18" x 9" BLACK AND WHITE							F	[Symbol]	R5-11 24" x 30" BLACK AND WHITE

**APPROVED BY THE NASHUA PLANNING BOARD**

ON \_\_\_\_\_ AND  
 CHAIRMAN: \_\_\_\_\_  
 SECRETARY: \_\_\_\_\_

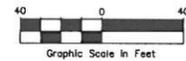
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 This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.



**WAIVERS GRANTED ON NOVEMBER 19, 2015:**

- SECTION 190-193, WHICH SETS MINIMUM DIMENSIONAL REQUIREMENTS FOR PARKING SPACES.
- SECTION 190-195, WHICH SETS MINIMUM DIMENSIONAL REQUIREMENTS FOR LOADING SPACES.
- SECTION 190-208, WHICH SETS MINIMUM GEOMETRIC DESIGN STANDARDS FOR STREET.
- SECTION 190-23 F (1), WHICH SET DIMENSIONAL AND DENSITY REQUIREMENTS.

REV.	DATE	DESCRIPTION	JRW	JPL
4	02/04/16	Revised per Planning Department comments.	JRW	JPL
3	01/15/16	Revised for Phasing	JRW	JPL
2	11/17/15	Revised per Engineering review.	JRW	JPL
1	11/24/15	Revised per regulatory review comments.	JRW	JPL
REV.	DATE	DESCRIPTION	DP	CK



TAX MAP 40 LOTS 34, 50 & 51  
**SITE PLAN - PHASE 1**  
**RESIDENCES AT RIVERFRONT LANDING**  
**62 & 70 BRIDGE STREET**  
**NASHUA, NEW HAMPSHIRE**

OWNED BY  
**CITY OF NASHUA**  
 APPLICANT: RENAISSANCE DOWNTOWNS AT NASHUA LLC  
 SCALE: 1"=40'  
 OCTOBER 8, 2016

**MSC**  
 A division of TF Moran, Inc.

Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists

170 Commerce Way, Suite 102  
 Portsmouth, NH 03801  
 Phone (603) 431-2222  
 Fax (603) 431-0910  
 www.mscengineers.com

17776.00 DR FB  
 OK CADFILE  
 C-1.1

**PHASING NOTES**

WORK TO BE COMPLETED AS PART OF PHASE 2 IS MARKED WITHIN THE "LIMIT OF PHASE 2 WORK" LINE AND INCLUDES THE FOLLOWING ITEMS:  
 • PAVEMENT, CURBING AND LANDSCAPED ISLANDS  
 • SIGNAGE AND PAVEMENT MARKINGS  
 • BUILDING, SIDEWALKS AND COURTYARD

**PROPOSED PARKING PER LOT**

PROPOSED SPACES	LOT 34	0 SPACES
	LOT 50	328 SPACES (INCLUDES 141 WITHIN GARAGE)
	LOT 51	41 SPACES
<b>TOTAL</b>		<b>369 SPACES</b>

**SITE DATA (PHASE 2)**

ZONED: GENERAL INDUSTRIAL/MIXED USE OVERLAY DISTRICT (GI/MU)  
 EXISTING USE: VACANT/RECREATIONAL  
 PROPOSED USE: RESIDENTIAL/RESTAURANT

**DIMENSIONAL REQUIREMENTS (LAND USE CODE 9/1/12)**

	REQUIRED:	PROVIDED:
<b>MINIMUM LOT DIMENSIONS:</b>		
LOT AREA	5,000 SF	289,382.2 SF
WIDTH	50 FT	424 FT
STREET FRONTAGE	50 FT	410 FT
DEPTH	75 FT	877 FT
<b>MINIMUM YARD DIMENSIONS:</b>		
FRONT	10 FT	50 FT
SIDE	10 FT	2 FT
REAR	15 FT	82 FT
<b>MAXIMUM STRUCTURE DIMENSIONS:</b>		
STRUCTURE HEIGHT	80 FT	83.5 FT
STORIES	5 EA	5 EA
<b>MINIMUM OPEN SPACE</b>	10 %	29 ± %

**PARKING REQUIREMENTS**

PARKING SPACES (SEE CALCULATION)	369 SPACES	369 SPACES
ACCESSIBLE SPACES (REQ'D BY ADA)	8 SPACES	11 SPACES
PARKING SPACE SIZE	9 FT x 20 FT	9 FT x 18 FT
ISLE WIDTH	24/22 FT	24/22 FT

**PARKING CALCULATIONS**

**REQUIRED PARKING RATIO:**

MULTI FAMILY DWELLING:	1.5 SPACE PER UNIT (MIN)	
RESTAURANT:	1 SPACE PER 4 SEATS	
RETAIL:	1 SPACE PER 300 SF	
FITNESS CLUB:	1 SPACE PER 650 SF	
OFFICE:	1 SPACE PER 1,000 SF	
CYBER LOUNGE:	1 SPACE PER 600 SF	
COMMUNITY ROOM:	1.5 SPACES PER 1,000 SF	

**TOTAL REQUIRED =**

228 DWELLING UNITS * 1.5 SPACES/UNIT	= 342 SPACES +
50 SEAT RESTAURANT * 1/4 SEATS	= 12.5 SPACES +
3,600 SF RETAIL * 1/300 SF	= 12 SPACES +
438 SF FITNESS CENTER * 1/650 SF	= 0.7 SPACES +
817 SF OFFICE * 1/1,000 SF	= 0.8 SPACES +
338 SF CYBER LOUNGE * 1/600 SF	= 0.6 SPACES +
878 SF COMMUNITY ROOM * 1/1,000 SF	= 0.9 SPACES
<b>TOTAL REQUIRED</b>	<b>= 369 SPACES</b>

**TOTAL PROVIDED =**

OUTSIDE OF GARAGE	= 228 SPACES
WITHIN GARAGE	= 141 SPACES
<b>TOTAL PROVIDED</b>	<b>= 369 SPACES</b>

**NOTES - SEE GENERAL NOTES SHEET FOR ADDITIONAL NOTES.**

- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN IN ANY WAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
- FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE IMPROVEMENTS ASSOCIATED WITH THIS PROJECT FOR PHASE 2. PHASE 2 CONSISTS OF CONSTRUCTION BUILDING C WITH ASSOCIATED PARKING, UTILITIES, DRAINAGE, GRADING, LIGHTING, LANDSCAPING AND STORMWATER MANAGEMENT.
- PRIOR TO ANY WORK BEING CONDUCTED A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PLANNING STAFF AND OTHER CITY DEPARTMENTS AS NECESSARY TO REVIEW THE PROPOSED WORK.
- STREET RESTORATION TO BE IN ACCORDANCE WITH NRO-285-13.
- THERE ARE NO INLAND WETLANDS LOCATED ON THE PROPERTY. THE PROPERTY BORDERS THE NASHUA AND MERRIMACK RIVERS.

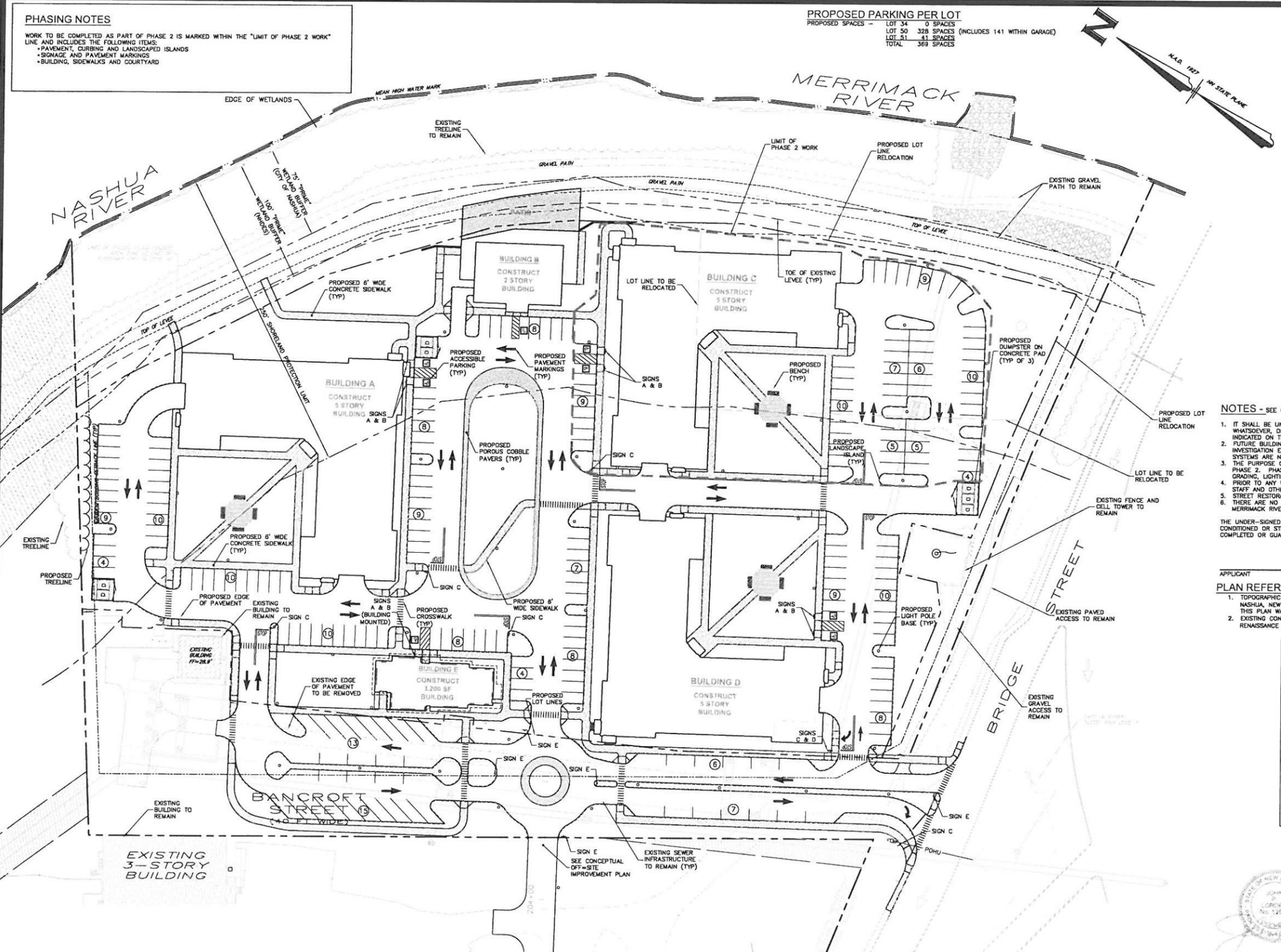
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- EXISTING CONDITIONS PLAN (MAP 40, LOTS 34, 50 & 51) 82 & 70 BRIDGE STREET NASHUA, NEW HAMPSHIRE PREPARED FOR RENAISSANCE AT NASHUA, LLC BY HAYNER/SWANSON, INC. DATED FEBRUARY 10, 2016.

**LEGEND**

SF	SQUARE FEET	[Symbol]	PROPOSED PAINT
[Symbol]	ACCESSIBLE PARKING	[Symbol]	EXISTING RIP RAP
TYP	TYPICAL	[Symbol]	PROPOSED CONCRETE
VGC	VERTICAL GRANITE CURB	[Symbol]	PROPERTY LINE
[Symbol]	EXISTING UTILITY POLE	[Symbol]	PROPOSED EDGE OF WETLANDS
[Symbol]	PROPOSED UTILITY POLE	[Symbol]	EDGE OF WETLANDS BUFFER
[Symbol]	EXISTING GUY WIRE	[Symbol]	SETBACK LINE
[Symbol]	EXISTING SEWER MANHOLE	[Symbol]	EXISTING TREELINE
[Symbol]	PROPOSED SIGN	[Symbol]	PROPOSED TREELINE
[Symbol]	PROPOSED LIGHTPOLE BASE	[Symbol]	EXISTING GUARD RAIL
[Symbol]	PROPOSED PARKING COUNT	[Symbol]	EXISTING FENCE
[Symbol]	PROPOSED DUMPSTER	[Symbol]	TOP OF LEVEE
[Symbol]	PROPOSED TRANSFORMER PAD	[Symbol]	ZONE LINE
		[Symbol]	BUFFER LINE



**APPROVED BY THE NASHUA PLANNING BOARD**

ON \_\_\_\_\_ AND  
 CHAIRMAN: \_\_\_\_\_  
 SECRETARY: \_\_\_\_\_

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 This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

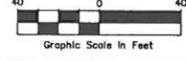


**DIRECTIONAL SIGN LEGEND**

ID	SIGN	NO./SIZE/COLOR	ID	SIGN	NO./SIZE/COLOR	ID	SIGN	NO./SIZE/COLOR	ID	SIGN	NO./SIZE/COLOR
A	[Symbol]	R7-B 12" x 18" BLACK AND WHITE	C	[Symbol]	R1-1 30" x 30" RED AND WHITE	D	[Symbol]	R5-1 30" x 30" RED AND WHITE	E	[Symbol]	R4-7 24" x 30" BLACK AND WHITE
B	[Symbol]	R7-BP 18" x 9" BLACK AND WHITE							F	[Symbol]	R5-11 24" x 30" BLACK AND WHITE

**WAIVERS GRANTED ON NOVEMBER 19, 2015:**

- SECTION 190-193, WHICH SETS MINIMUM DIMENSIONAL REQUIREMENTS FOR PARKING SPACES.
- SECTION 190-199, WHICH SETS MINIMUM DIMENSIONAL REQUIREMENTS FOR LOADING SPACES.
- SECTION 190-208, WHICH SETS MINIMUM GEOMETRIC DESIGN STANDARDS FOR STREET.
- SECTION 190-23 F (1), WHICH SET DIMENSIONAL AND DENSITY REQUIREMENTS.



TAX MAP 40 LOTS 34, 50 & 51  
**SITE PLAN - PHASE 2**  
**RESIDENCES AT RIVERFRONT LANDING**  
**62 & 70 BRIDGE STREET**  
**NASHUA, NEW HAMPSHIRE**

OWNED BY  
**CITY OF NASHUA**

APPLICANT: RENAISSANCE DOWNTOWNS AT NASHUA, LLC

SCALE: 1"=40'

OCTOBER 6, 2015

**MSC**  
 A division of TFMoran, Inc.

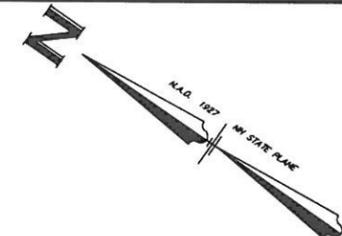
Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists

170 Commerce Way, Suite 102  
 Portsmouth, NH 03801  
 Phone (603) 431-2222  
 Fax (603) 431-0910  
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**PHASING NOTES**

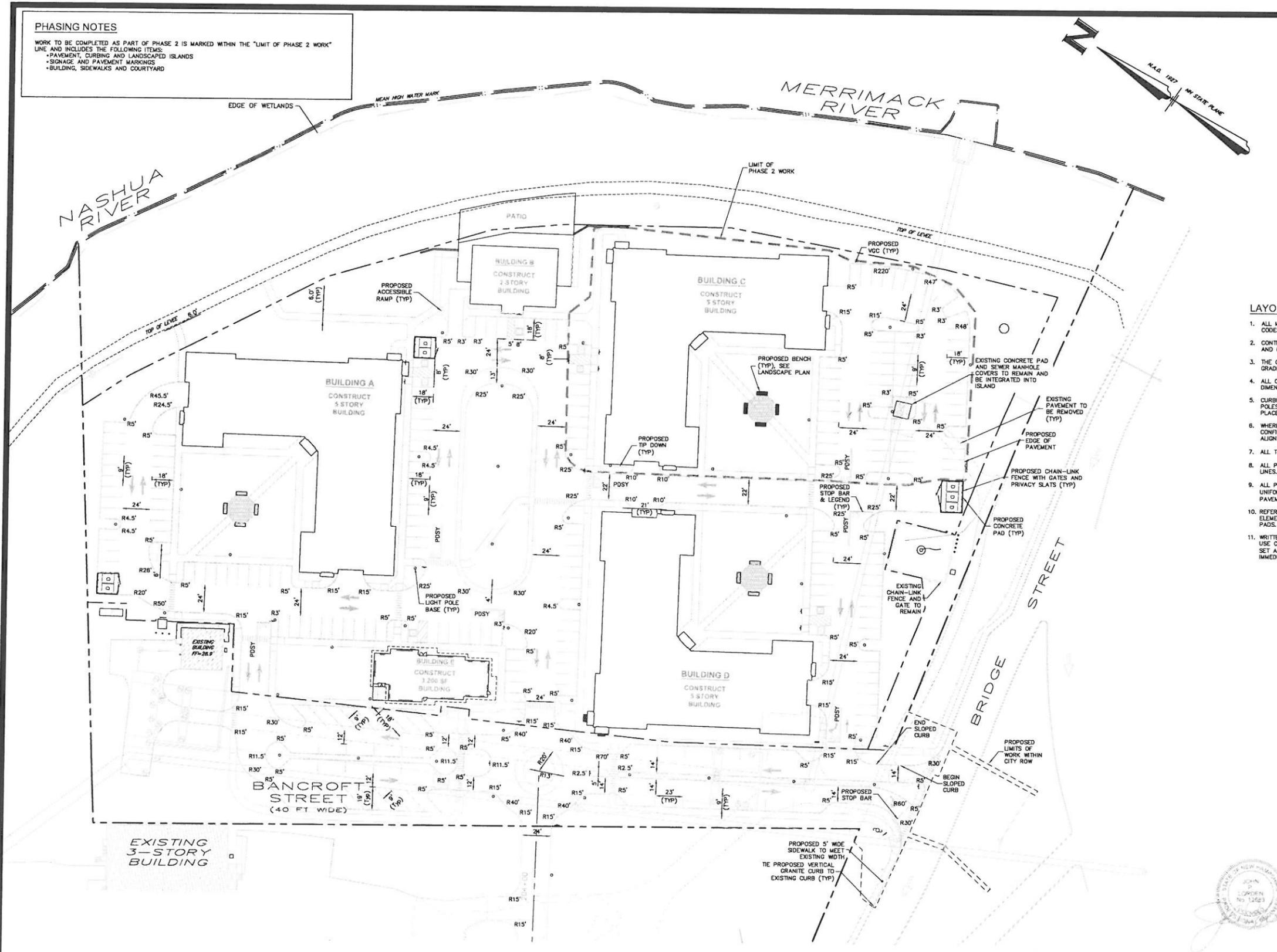
WORK TO BE COMPLETED AS PART OF PHASE 2 IS MARKED WITHIN THE "LIMIT OF PHASE 2 WORK" LINE AND INCLUDES THE FOLLOWING ITEMS:  
 • PAVEMENT, CURBING AND LANDSCAPED ISLANDS  
 • SIGNAGE AND PAVEMENT MARKINGS  
 • BUILDING, SIDEWALKS AND COURTYARD



LEGEND	
POSY	PROPOSED DOUBLE SOLID YELLOW LINE
R	RADIUS
TYP	TYPICAL
VGC	VERTICAL GRANITE CURB
	PROPOSED ACCESSIBLE PARKING
	PROPOSED PAINTED ARROW
	PROPOSED LIGHT POLE BASE
	PROPOSED STOP BAR & LEGEND
	PROPERTY LINE
	PROPOSED PROPERTY LINE
	PROPOSED CONCRETE

**LAYOUT & MATERIAL NOTES**

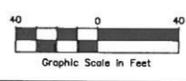
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY, STATE, AND FEDERAL CODES.
- CONTRACTOR TO NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES OF PROPOSED LAYOUT AND EXISTING FEATURES.
- THE CONTRACTOR SHALL EMPLOY A LICENSED LAND SURVEYOR TO DETERMINE ALL LINES AND GRADES.
- ALL ON-SITE CURBING SHALL BE VERTICAL GRANITE CURBING UNLESS WHERE STATED. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
- CURBING ALIGNMENT SHALL BE MODIFIED TO AVOID CONFLICTS WITH ALL UTILITY MANHOLES OR POLES AND OTHER CASTINGS. ALL CONFLICTS SHALL BE REVIEWED WITH THE OWNER PRIOR TO PLACEMENT OF CURB FOR APPROVAL OF MODIFIED ALIGNMENT.
- WHERE NEW CURB MEETS EXISTING CURB OR CURBING OF A DIFFERENT MATERIAL OR CONFIGURATION, A TRANSITION PIECE SHALL BE INCLUDED SO THAT CONNECTION IS FLUSH IN ALIGNMENT, WIDTH AND REVEAL.
- ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F".
- ALL PAINTED ISLANDS SHALL BE 4" WIDE DIAGONAL LINES AT 3"-0" O.C. BORDERED BY 4" WIDE LINES.
- ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO THE LATEST EDITIONS OF "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS.
- REFER TO ARCHITECTURAL PLANS FOR LAYOUT OF BUILDING FOUNDATIONS AND CONCRETE ELEMENTS WHICH ABUT THE BUILDING SUCH AS STAIRS, SIDEWALKS, LOADING DOCK RAMPS AND PADS. DO NOT USE SITE PLANS FOR LAYOUT OF FOUNDATIONS.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.



TAX MAP 40 LOTS 34, 50 & 51  
**LAYOUT PLAN**  
**RESIDENCES AT RIVERFRONT LANDING**  
**62 & 70 BRIDGE STREET**  
**NASHUA, NEW HAMPSHIRE**  
 OWNED BY  
**CITY OF NASHUA**  
 APPLICANT: RENAISSANCE DOWNTOWNS AT NASHUA LLC  
 SCALE: 1"=40'  
**OCTOBER 8, 2015**

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1	11/04/15	No revisions this sheet	JRW	JPL



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FILE	17776.00	DR	JRW	FB	-	Layout.dwg	C-2
		CK	JPL	CADFILE			

**PHASING NOTES**

- ALL AREAS WITHIN PHASE 2 LIMITS THAT ARE DISTURBED AS PART OF INITIAL PHASE SHALL RECEIVE COMMON FILL AND 4 INCHES OF LOAM AND SEED TO MEET AND MATCH PROPOSED GRADES.
- WORK TO BE COMPLETED AS PART OF PHASE 2 IS MARKED WITHIN THE "LIMIT OF PHASE 2 WORK" LINE SHALL BE COMPLETED AS PART OF PHASE 2.

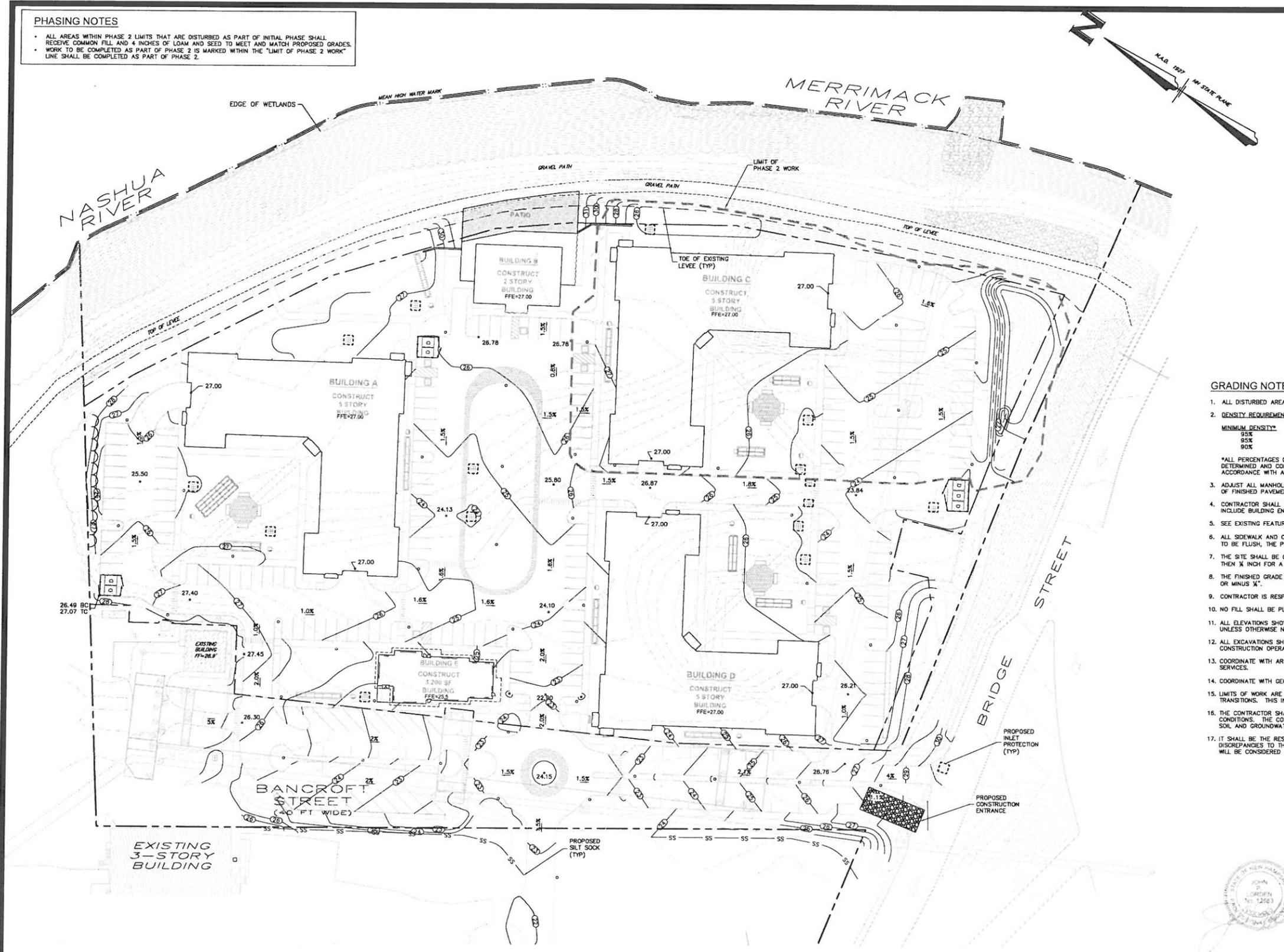
LEGEND	
○	PROPOSED LIGHTPOLE BASE
⊙	EXISTING SEWER MANHOLE
⊕	PROPOSED DRAIN MANHOLE
⊞	PROPOSED CATCH BASIN
⊞	PROPOSED INLET PROTECTION
—○—	EXISTING CONTOUR
—○—	PROPOSED CONTOUR
—SS—	PROPOSED SILT SOCK

**GRADING NOTES**

1. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER AND MULCH.
2. DENSITY REQUIREMENTS:
 

MINIMUM DENSITY*	LOCATION
95%	BELOW PAVED OR CONCRETE AREAS
95%	TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL
90%	BELOW LOAM AND SEED AREAS

\*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM D-6938.
3. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.
4. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS AND LOADING AREAS.
5. SEE EXISTING FEATURES PLAN FOR BENCHMARK INFORMATION. VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
6. ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6" WITH A TOLERANCE OF PLUS OR MINUS 3/8". WHERE SIDEWALK IS TO BE FLUSH, THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
7. THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE AND SHALL NOT POND WATER DEEPER THAN 1/8" INCH FOR A PERIOD OF MORE THAN 15 MINUTES AFTER FLOODING.
8. THE FINISHED GRADE AT BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH PAVEMENT WITH A TOLERANCE OF PLUS OR MINUS 1/8".
9. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SLOPE STABILITY DURING CONSTRUCTION.
10. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
11. ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
12. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
13. COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING, AND SIZE AND LOCATION OF ALL BUILDING SERVICES.
14. COORDINATE WITH GEOTECHNICAL/STRUCTURAL PLANS FOR SITE PREPARATION AND OTHER BUILDING INFORMATION.
15. LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS AND ALIGNMENTS.
16. THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT SOIL AND GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEERS RECOMMENDED METHODS TO ADDRESS ANY SOIL AND GROUNDWATER ISSUES THAT ARE FOUND ON SITE.
17. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.



TAX MAP 40 LOTS 34, 50 & 51  
**GRADING & EROSION CONTROL PLAN**  
 RESIDENCES AT RIVERFRONT LANDING  
 62 & 70 BRIDGE STREET  
 NASHUA, NEW HAMPSHIRE

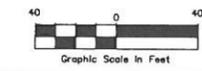
OWNED BY  
**CITY OF NASHUA**  
 APPLICANT: RENAISSANCE DOWNTOWNS AT NASHUA LLC  
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OCTOBER 8, 2015

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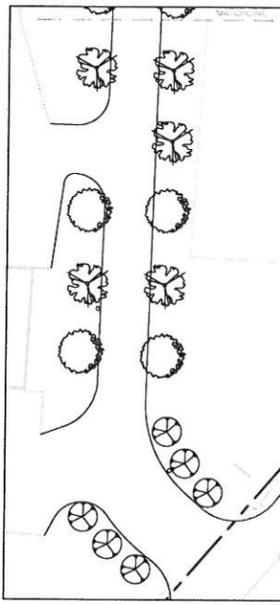
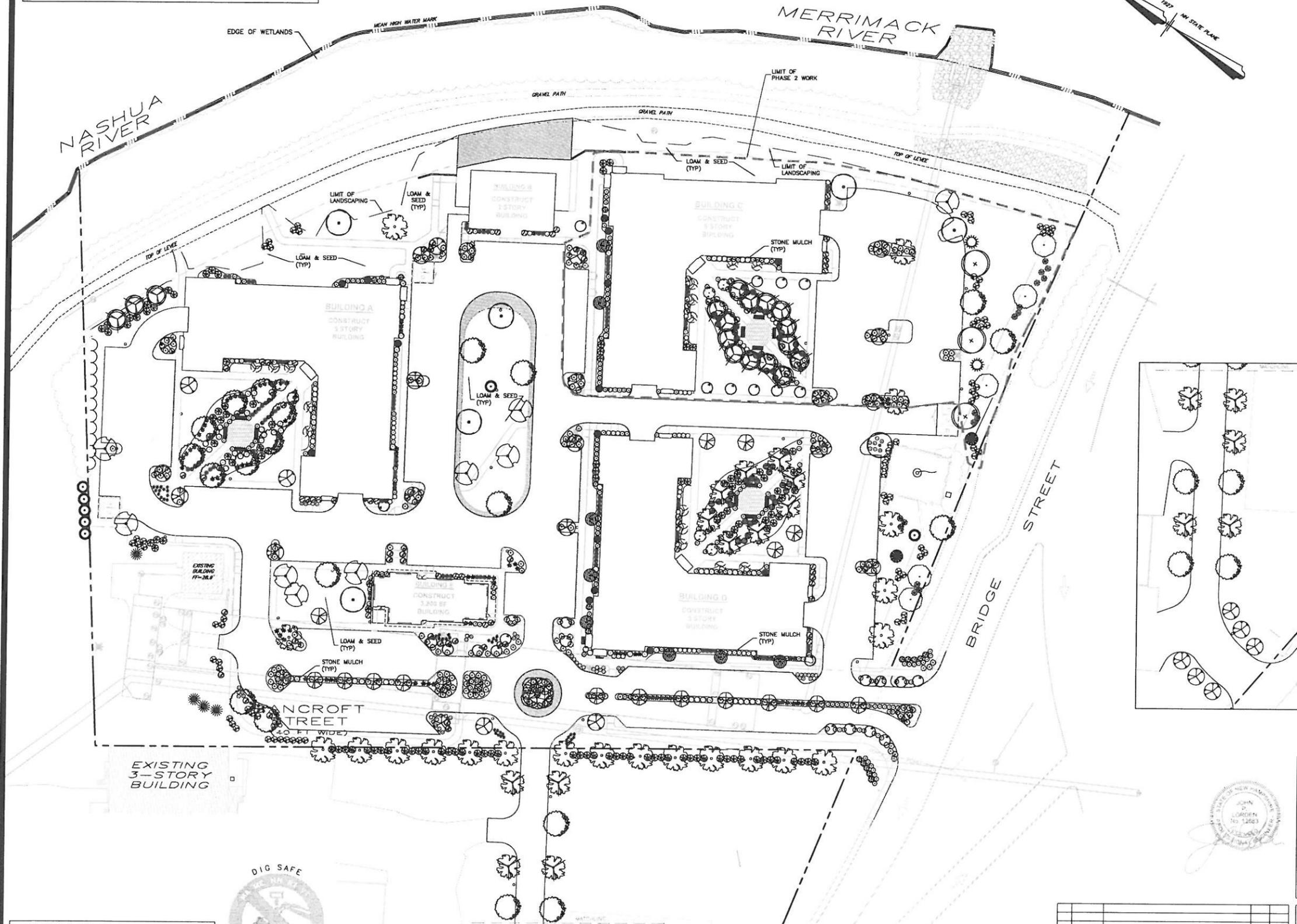
<p>Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists</p>	170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.mscengineers.com
17776.00	DR: JRW CK: JPL FB: - CADFILE: Grading.dwg
C-3	OCTOBER 8, 2015

**PHASING NOTES**

- DISTURBED AREAS WITHIN THE "LIMIT OF PHASE 2 WORK" LINE SHALL BE LOAM AND SEEDED AS PART OF THE INITIAL PHASE.
- ALL OTHER LANDSCAPING SHOWN WITHIN THE "LIMIT OF PHASE 2 WORK" LINE SHALL BE INSTALLED AS PART OF PHASE 2.

**LANDSCAPE LEGEND**  
(QUANTITIES SHOWN REPRESENT COMBINED PHASE 1 AND PHASE 2 WORK)

SYMBOL	QTY	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
☉	6	ACER GRiseum PAPERBARK MAPLE	2" TO 2 1/2" CAL.	B&B
☼	21	ACER R. 'SUNSET' SUNSET RED MAPLE	2 1/2" TO 3" CAL.	B&B
☼	17	ACER SACCHARUM 'GREEN MOUNTAIN' GREEN MOUNTAIN SUGAR MAPLE	2 1/2" TO 3" CAL.	B&B
☼	24	AMELANCHIER X G 'ROBIN HILL' ROBIN HILL SERVICEBERRY	2" TO 2 1/2" CAL.	B&B
☼	17	BETULA N. 'DURA HEAT' DURA HEAT RIVER BIRCH	10' TO 12' CLUMP	B&B
☉	27	CORNUS X RUTAN 'STELLAR PINK' STELLAR PINK DOGWOOD	2" TO 2 1/2" CAL.	B&B
☼	30	PYRUS C. 'CHANTICLEER' CHANTICLEER FLOWERING PEAR	2" TO 2 1/2" CAL.	B&B
☉	5	GLEDISIA T.L. 'IMPERIAL' IMPERIAL HONEYLOCUST	2 1/2" TO 3" CAL.	B&B
☼	9	PLATANUS X ACFEFOLIA 'BLOODGOOD' BLOODGOOD LONDON PLANETREE	2 1/2" TO 3" CAL.	B&B
☉	8	PRUNUS V. 'CANADA RED' CANADA RED CHOKECHERRY	2" TO 2 1/2" CAL.	B&B
☉	7	QUERCUS ALBA WHITE OAK	2 1/2" TO 3" CAL.	B&B
☼	15	SYRINGA RETICULATA JAPANESE TREE LILAC	2" TO 2 1/2" CAL.	B&B
☉	3	TILIA A. 'REDMOND' REDMOND LINDEN	2 1/2" TO 3" CAL.	B&B
☼	24	ULMUS A. 'PRINCETON' PRINCETON AMERICAN ELM	2 1/2" TO 3" CAL.	B&B
☉	2	PINUS SYLVESTRIS SCOTCH PINE	6" TO 7"	B&B
☉	2	PINUS STROBUS WHITE PINE	6" TO 7"	B&B
☉	7	PICEA GLAUCO WHITE SPRUCE	6" TO 7"	B&B
☉	4	PICEA ABIES NORWAY SPRUCE	6" TO 7"	B&B
☉	81	AZALEA 'GRAND'S CRIMSON' GRAND'S CRIMSON AZALEA	18" TO 24"	CONT.
☉	128	CONUS SERICEA 'ISANTI' ISANTI RED DOGWOOD	2" TO 2 1/2"	CONT.
☉	54	FORSYTHIA 'LYNWOOD GOLD' LYNWOOD GOLD FORSYTHIA	2" TO 2 1/2"	CONT.
☉	78	ILEX GLABRA 'DENSE' DENSE HIBBERY	2" TO 2 1/2"	CONT.
☉	105	ITEA VIRGINICA 'HENRY'S GARNET' HENRY'S GARNET SWEETSPICE	18" TO 24"	CONT.
☉	206	JUNIPERUS H. 'BAR HARBOR' BAR HARBOR JUNIPER	18" TO 24"	CONT.
☉	19	MYRTICA PENNSYLVANICA NORTHERN BAYSBERRY	2" TO 2 1/2"	CONT.
☉	19	PHYSCARPUS Q. 'SUMMER WINE' SUMMER WINE NINEBARK	2" TO 2 1/2"	CONT.
☉	64	PINUS M. 'MUGO' COMPACT MUGO PINE	18" TO 24"	CONT.
☉	24	RHOODODENDRON 'PJM' PJM RHOODODENDRON	2" TO 2 1/2"	CONT.
☉	48	RHOODODENDRON CAROLINIANUM CAROLINA RHOODODENDRON	2" TO 2 1/2"	CONT.
☉	96	SPIRAEA X B. 'ANTHONY WATERER' ANTHONY WATERER SPIREA	18" TO 24"	CONT.
☉	219	TAXUS M. 'DENSIFORMIS' DENSE SPREADING YEW	18" TO 24"	CONT.
☉	17	VACCINIUM CORYMBOSUM HICHBUSH BLUEBERRY	2" TO 2 1/2"	CONT.
☉	15	VIBURNUM CARLESII 'CAYUGA' CAYUGA MAYFLOWER VIBURNUM	3' TO 4'	CONT.
☉	65	LUERANTHEMUM X SUPERBUM SISTA DASY	1 GAL.	CONT.
☉	48	RUDEBECKIA FULGIDA 'GOLDSTRUM' BLACK-EYED SUSAN	1 GAL.	CONT.



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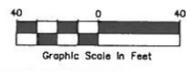


**LEGEND**

	EXISTING TREELINE
	PROPOSED TREELINE

**LANDSCAPE NOTES**

- SEE DETAILS FOR ADDITIONAL NOTES.
- SEE GENERAL NOTES SHEET FOR LANDSCAPE REQUIREMENTS.
- SEE OFF-SITE SHEET FOR PROPOSED LANDSCAPING OFF-SITE.
- LANDSCAPING HAS BEEN DESIGNED PER NASHUA REGULATIONS AND IS CONSIDERED AS CONFORMING WITH PLANNING BOARD APPROVAL.



REV	DATE	DESCRIPTION	DR	CK
4	02/08/16	Revised per Planning Department comments.	JRW	JPL
3	01/15/16	Revised for phasing.	JRW	JPL
2	11/17/15	Revised per Engineering review and ACQE comments.	JRW	JPL
1	11/04/15	Revised per regulatory review comments.	JRW	JPL
REV	DATE	DESCRIPTION	DR	CK

TAX MAP 40 LOTS 34, 50 & 51  
**LANDSCAPE PLAN**  
RESIDENCES AT RIVERFRONT LANDING  
62 & 70 BRIDGE STREET  
NASHUA, NEW HAMPSHIRE  
OWNED BY  
**CITY OF NASHUA**  
APPLICANT, RENAISSANCE DOWNTOWNS AT NASHUA LLC  
SCALE: 1"=40'  
OCTOBER 6, 2016

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Land Surveyors  
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DR MK FB -  
CK AC CADFILE Landscaps.dwg  
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**PHASING NOTES**

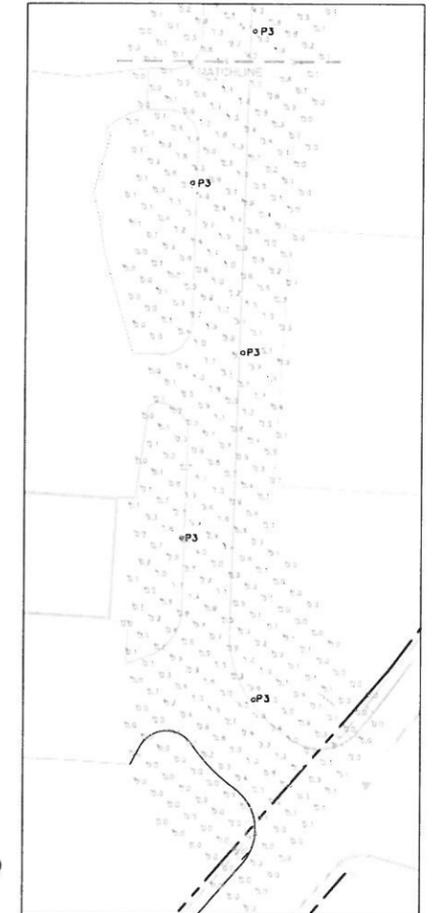
• WALL MOUNTED LIGHTING ON BUILDING C AND LIGHT POLE BASES, POLES AND FIXTURES SHOWN WITHIN THE "LIMIT OF PHASE 2 WORK" LINE SHALL BE CONSTRUCTED AS PART OF PHASE 2.

SYMBOL	QTY	LABEL	ARRANGEMENT	DESCRIPTION
o	29	P3	SINGLE	SOUTH-70W60C3K-LIN-V-FA-TM-BK/4.512-A-125-14-PC-BK-COVER
o	22	P5	SINGLE	SOUTH-70W60C3K-LIN-V-FA-TM-BK/4.512-A-125-14-PC-BLK-COVER
# W	8	W	SINGLE	ISS-E01-LED-E1-BL4/ WALL MTD 14' AFG

**PAVED DRIVES AND PARKING LIGHTING**

ILLUMINANCE (Fc)  
 AVERAGE = 1.61  
 MAXIMUM = 5.5  
 MINIMUM = 0.4  
 AVG/MIN RATIO = 4.03  
 MAX/MIN RATIO = 13.75

**OFF-SITE LIGHTING**



**ISC/ISS/IST/ISW IMPACT ELITE LED**



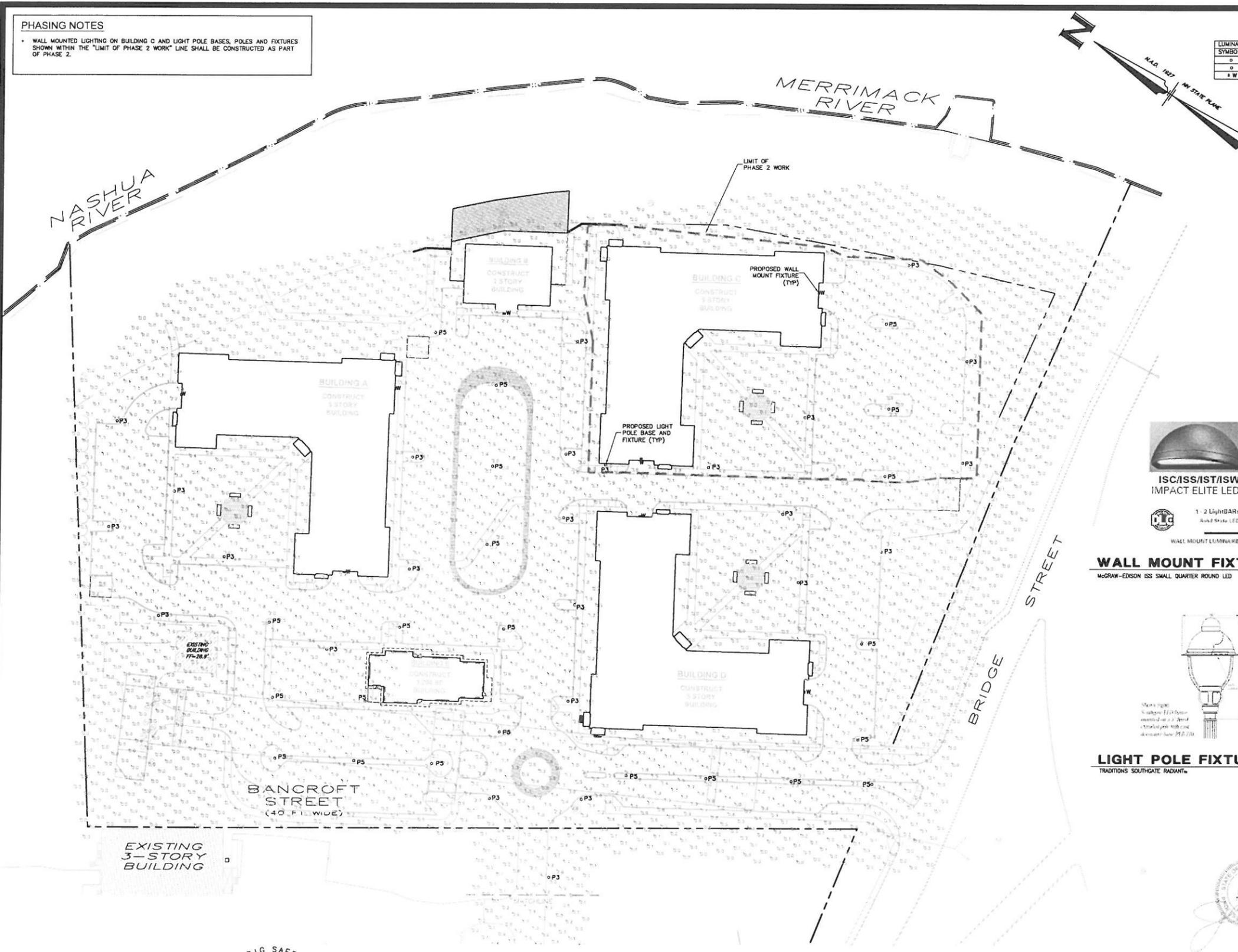
**WALL MOUNT FIXTURE (W)**

McGraw-Edison ISS SMALL QUARTER ROUND LED



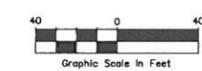
**LIGHT POLE FIXTURE (P3 & P5)**

TRADITIONS SOUTHGATE RADIANT



TAX MAP 40 LOTS 34, 50 & 51  
**LIGHTING PLAN**  
**RESIDENCES AT RIVERFRONT LANDING**  
**62 & 70 BRIDGE STREET**  
**NASHUA, NEW HAMPSHIRE**  
 OWNED BY  
**CITY OF NASHUA**  
 APPLICANT: RENAISSANCE DOWNTOWNS AT NASHUA LLC  
 SCALE: 1"=40'  
 OCTOBER 8, 2016

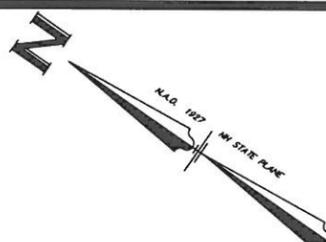
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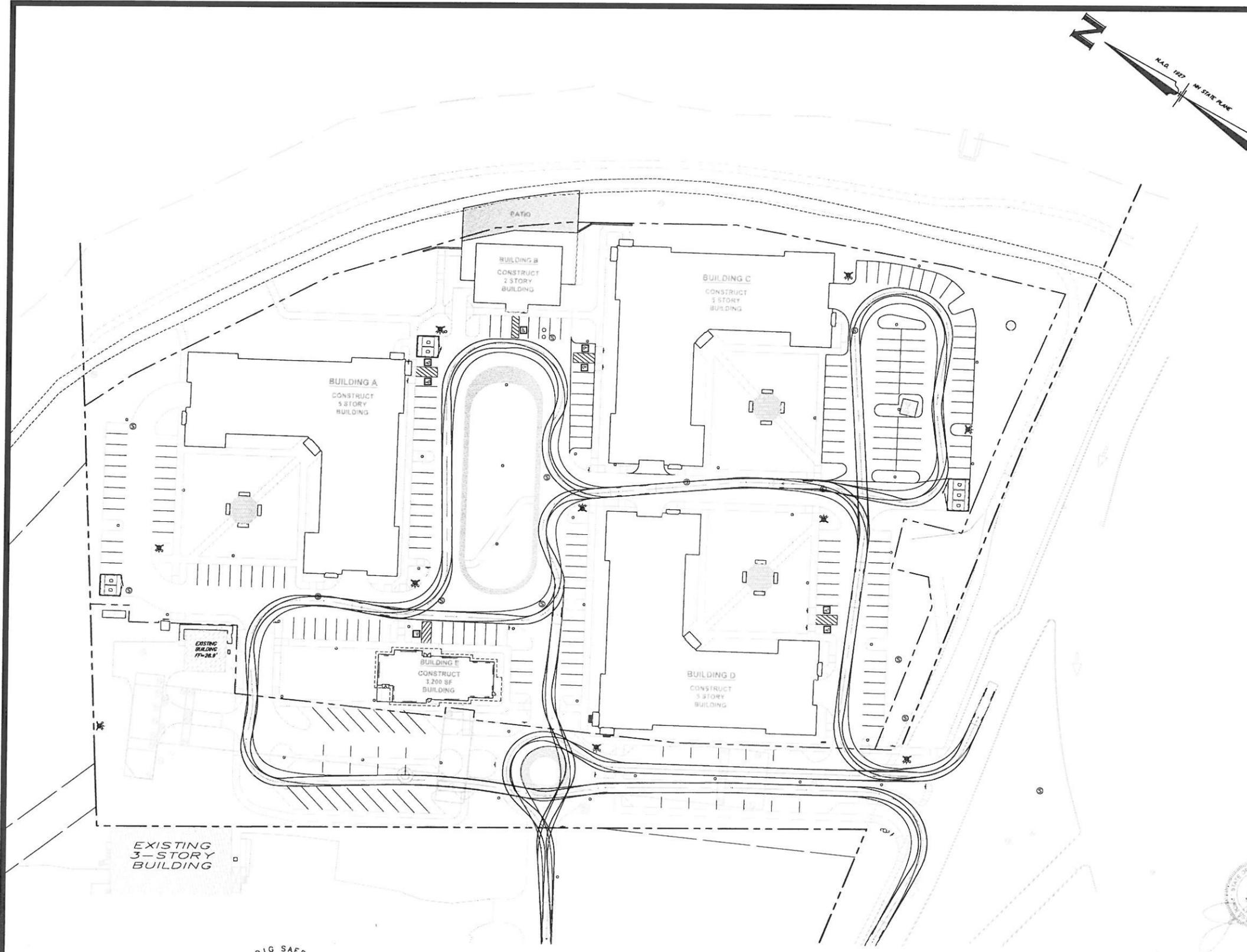
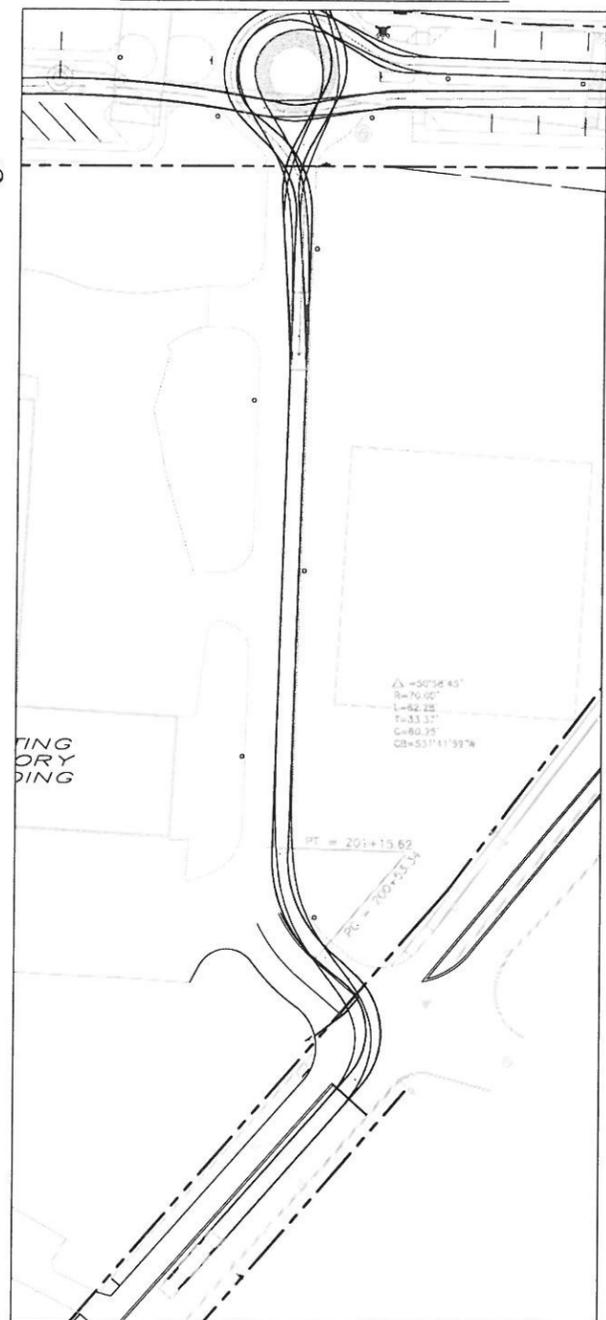
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1	11/04/15	No revisions this sheet.	JRW	JPL

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FILE	17776.00	DR	JRW	FB	-
		CK	JPL	CADFILE	Lighting.dwg
					C-9



**OFF-SITE TRUCK MOVEMENT**



EXISTING  
3-STORY  
BUILDING

BUILDING A  
CONSTRUCT  
3 STORY  
BUILDING

BUILDING B  
CONSTRUCT  
2 STORY  
BUILDING

BUILDING C  
CONSTRUCT  
3 STORY  
BUILDING

BUILDING D  
CONSTRUCT  
3 STORY  
BUILDING

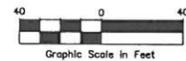
BUILDING E  
CONSTRUCT  
1,200 SF  
BUILDING



**NOTE:**  
THE PURPOSE OF THIS PLAN IS TO DEMONSTRATE THE MANEUVERABILITY  
OF THE LARGEST CITY OF NASHUA FIRE TRUCK THROUGH THE SITE.

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CONTACT DIG SAFE 72 BUSINESS  
HOURS PRIOR TO CONSTRUCTION



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1	11/04/15	No revisions this sheet.	JRW	JPL
			DR	CK

TAX MAP 40 LOTS 34, 50 & 51  
**FIRE TRUCK MOVEMENT PLAN**  
RESIDENCES AT RIVERFRONT LANDING  
62 & 70 BRIDGE STREET  
NASHUA, NEW HAMPSHIRE  
  
OWNED BY  
**CITY OF NASHUA**  
APPLICANT: RENAISSANCE DOWNTOWNS AT NASHUA LLC  
SCALE: 1"=40'  
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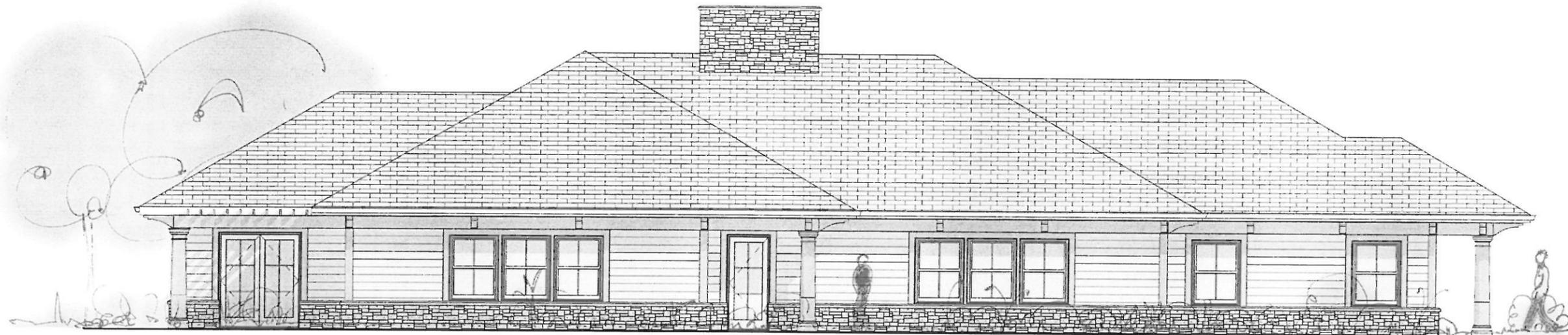
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CK: JPL, CADFILE  
Details Truck Movements.dwg

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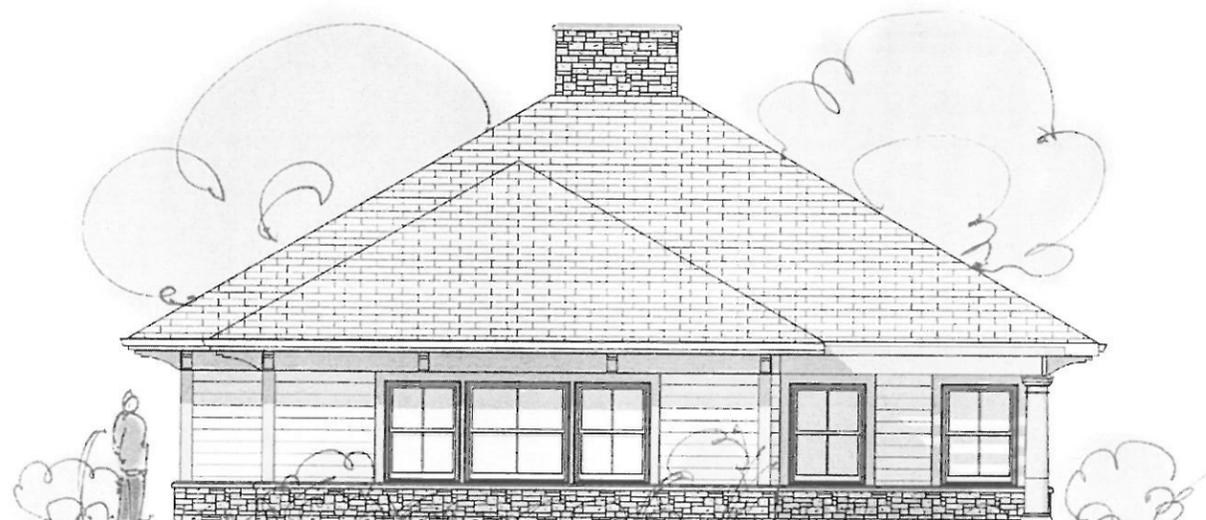
NORTHWEST



SOUTHEAST



SOUTH



NORTH

SCHEMATIC DESIGN FOR  
THE RESIDENCES AT RIVERFRONT LANDING

LEASING OFFICE/CLUBHOUSE ELEVATIONS

BRIDGE STREET, NASHUA, NEW HAMPSHIRE

1/8" = 1'-0"

19 NOVEMBER 2015

PROJECT NO. 201532



A-1

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WEST



EAST

SCHEMATIC DESIGN FOR  
THE RESIDENCES AT RIVERFRONT LANDING

BRIDGE STREET, NASHUA, NEW HAMPSHIRE

ELEVATIONS

1/8" = 1'-0"

19 NOVEMBER 2015

PROJECT NO. 201532



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SOUTH



NORTH

SCHEMATIC DESIGN FOR  
THE RESIDENCES AT RIVERFRONT LANDING

BRIDGE STREET, NASHUA, NEW HAMPSHIRE

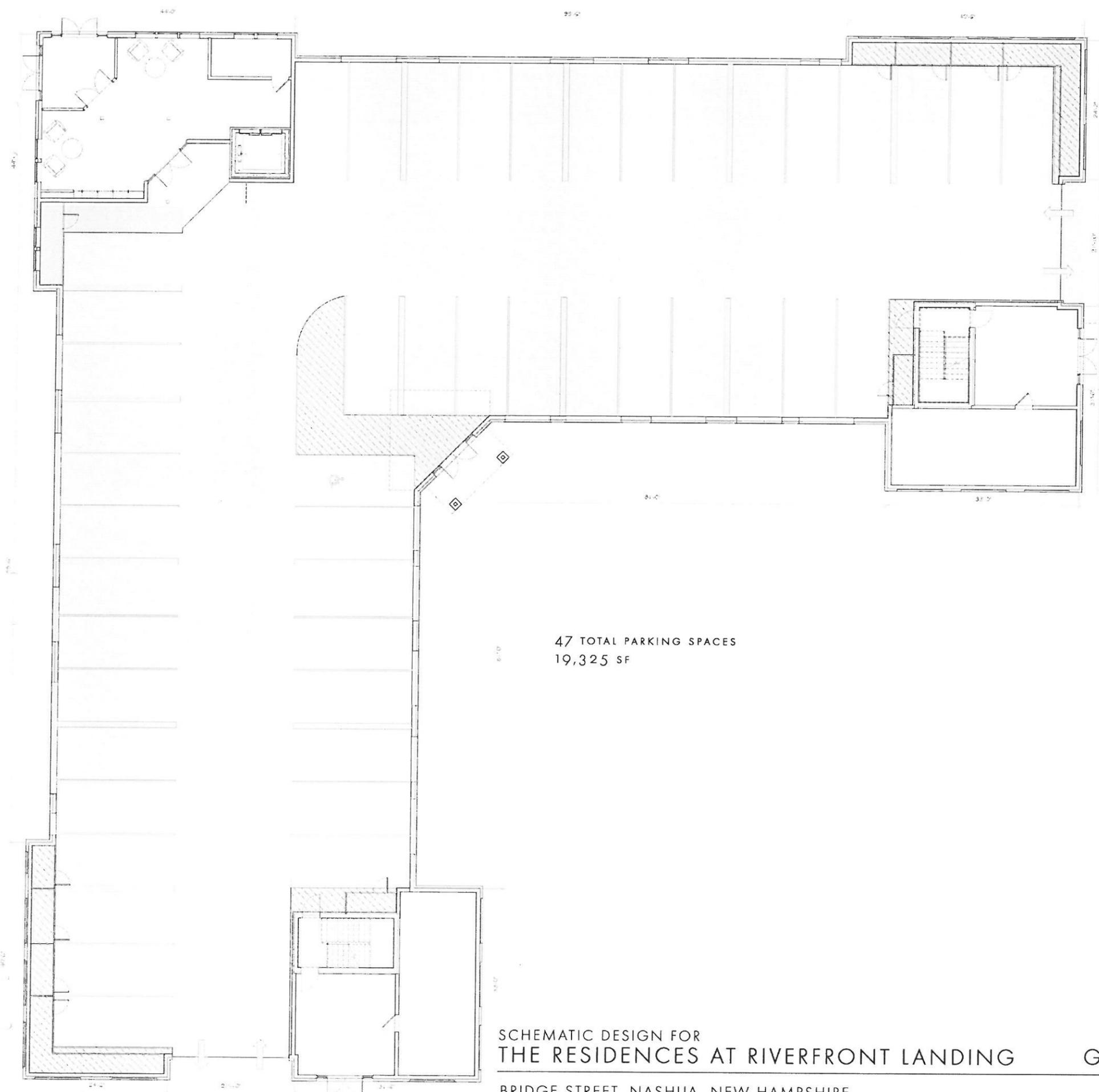
ELEVATIONS

1/8" = 1'-0"

19 NOVEMBER 2015

PROJECT NO. 201532





SCHEMATIC DESIGN FOR  
THE RESIDENCES AT RIVERFRONT LANDING

GROUND LEVEL PLAN

BRIDGE STREET, NASHUA, NEW HAMPSHIRE

1/8" = 1'-0"

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A-4

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LEFT ELEVATION



BACK ELEVATION



RIGHT ELEVATION



FRONT ELEVATION