

1. Planning Board Regular Meeting Agenda (PDF)

Documents: [20160114 NCPB AGENDA.PDF](#)

2. 20160114 Staff Reports And Plans (PDF)

Documents: [20160114 62 AND 70 BRIDGE STREET SUBDIVISION PLAN STAFF REPORT.PDF](#), [20160114 62 AND 70 BRIDGE ST SITE PLAN.PDF](#), [20160114 30 BURKE STREET SUBDIVISION STAFF REPORT.PDF](#), [20160114 30 BURKE ST SUBDIVISION PLAN.PDF](#), [20150114 11 AND 15 MARMON DRIVE SITE PLAN STAFF REPORT.PDF](#), [20160114 11 AND 15 MARMON DR SITE PLAN.PDF](#), [20160114 596 WEST HOLLIS STREET SITE PLAN STAFF REPORT.PDF](#), [20160114 596 WEST HOLLIS ST SITE PLAN.PDF](#)



City of Nashua
Planning Department
229 Main Street
Nashua, New Hampshire 03061-2019

Planning & Zoning 589-3090
Fax 589-3119
WEB www.nashuanh.gov

December 31, 2015

AGENDA

To: NCPB Members

From: Planning Staff

Re: Meeting, January 14, 2016

A regular meeting of the Nashua City Planning Board will be held on Thursday, at 7:00 p.m. in the City Hall Auditorium, 3rd floor, 229 Main Street. The Planning Staff will be available at 6:30 p.m. to answer any questions the Board or Public might have concerning the following proposed agenda.

- A. Call to Order
- B. Roll Call
- C. Approval of Minutes – November 19, 2015 & December 3, 2015
- D. Communications
- E. Report of Chairman, Committee, & Liaison
- F. Executive Session

OLD BUSINESS – CONDITIONAL / SPECIAL USE PERMITS

None

OLD BUSINESS - SUBDIVISION PLANS

None

OLD BUSINESS – SITE PLANS

None

NEW BUSINESS – CONDITIONAL / SPECIAL USE PERMITS

None

NEW BUSINESS – SUBDIVISION PLANS

1. City of Nashua (Owner) Renaissance at Nashua, LLC (Applicant) - Application and acceptance of proposed consolidation and subdivision. Property is located at 62 & 70 Bridge Street. Sheet 40 - Lots 34 & 48. Zoned "GI/MU" General Industrial/Mixed Use. Ward 7.
2. Frank Queen, Sr. (Owner) - Application and acceptance of proposed four lot subdivision. Property is located at 30 Burke Street & "L" Underhill Street. Sheet 14 - Lot 504. Zoned "RB" Urban Residence. Ward 7.

NEW BUSINESS – SITE PLANS

3. Emme Kate LLC (Owner) Albrecht Auto Group (Applicant) - Application and acceptance of proposed site plan amendment to demolish existing buildings and construct a new 33,368 sf building and associated site improvements. Property is located at 11 & 15 Marmon Drive. Sheet A - Lots 439 & 681. Zoned "HB" Highway Business & "RA" Urban Residence. Ward 7.
4. 596 West Hollis St Nashua, LLC (Owner) Montello St, LLC (Applicant) - Application and acceptance of proposed site plan amendment to convert an existing racquetball club into a self-storage facility with associated site improvements. Property is located at 596 West Hollis Street. Sheet E - Lot 1323. Zoned "R9" Suburban Residence. Ward 5.

OTHER BUSINESS

1. Review of tentative agenda to determine proposals of regional impact.
2. Nomination Committee for NCPB Officers for calendar year 2016.

DISCUSSION ITEMS

None

NONPUBLIC SESSION

The Planning Board will need to make a motion to enter into a Nonpublic Session under RSA 91-A:3, II (e) for consideration or negotiation of pending claims or litigation which has been threatened in writing or filed against the public body.

NEXT MEETING

February 4, 2016

ADJOURN

WORKSHOP

ACCOMMODATIONS FOR THE SENSORY IMPAIRED

**"SUITABLE ACCOMMODATIONS FOR THE SENSORY IMPAIRED
WILL BE PROVIDED UPON ADEQUATE ADVANCE NOTICE."**

CONDUCT AT PLANNING BOARD MEETING

When the meeting is called to order, the only talking allowed in the Auditorium will be remarks addressed to the Chairman. Except for the original presentation of the subject or application, each person speaking for or against shall be limited to five (5) minutes until all have been given an opportunity to be heard, at which time each person may be allowed additional time if deemed necessary by the Board or the Chairman. When you are recognized by the Chairman, proceed to the podium, using the microphone, state your name and address and then make your comments. Courtesy is shown when you reserve your comments for the proper time.

PLEASE BE COURTEOUS

By Order of the Chair

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Roger L. Houston, Planning Director
FOR: January 14, 2016
RE: **New Business #1– Subdivision**

I. Project Statistics:

Owner: City of Nashua
Applicant: Renaissance Downtowns at Nashua, LLC
Proposal: Subdivision plan
Location: 62 & 70 Bridge Street
Total Site Area: 9.63 acres
Existing Zoning: GI/MU-General Industrial/Mixed Use
Surrounding Uses: Industrial, commercial, residential

II. Background Information:

The site is located at the confluence of the Merrimack and Nashua Rivers which the City has owned the subject property since the 1940s. In 1947, a flood control levee was constructed along this section of the Merrimack. Over the years, other public infrastructure has been built on the property, including a sewer pump station, a flood control emergency overflow basin, a cell tower, skate board park and most recently an underground storage, screening, disinfecting and flushing chamber facility and maintenance building as part of the Combined Sewer Overflow (CSO) improvements.

A plan for redevelopment of the site was approved by the Planning Board on May 2, 2013. On August 7, 2014 the plan came before the board due to some minor modifications. The Planning Board approved another amendment to the site plan last year on November 19, 2015. (A copy of the approval letter and site plan is attached)

III. Project Description:

The purpose of the plan is to consolidate existing lots 34 and 48 to create 3 new lots as follows: Lot 34 which is to be retained by the City for the levee, levee access, and cell tower; Lot 50 (shown on plan as 34-2) is to be conveyed to the applicant after decisions are made with the Army Corps of Engineers; and Lot 51 (shown on plan as 34-1) is to be retained by the City for access purposes and the City's CSO underground storage, screening, disinfecting and flushing chambers facility and maintenance building. The applicant will be funding, constructing and maintaining this Bancroft access including existing Bancroft right of way and Lot 51 by an easement from the City to the applicant subject to approval by Corporation Counsel.

The City Engineer's office and the Fire Department received a copy of the proposed subdivision plan late and it is anticipated that their comments will be submitted at the Planning Board meeting.

There are drafting corrections that need to be made to the plan such as the correct assigned lot numbers to replace lot 34-1 (assigned lot #51) and 34-2 (assigned lot #50), correct the name of the applicant to "Renaissance Downtowns at Nashua, LLC", and toe (the location of the underdrain at the base of the levee) along the westerly side of the levee is to be shown on the plan.

Since the lot lines were not shown on the site plan, staff requested a scaled, engineer stamped plan showing the lot line and the buildings and parking on one plan. We have a colored conceptual plan and an overlay plan provided by the applicant which is attached, however the applicant has been requested to submit a scaled, engineered stamped plan for planning board meeting. The proposed lot line runs through Building "C" and depending on discussion with City, the applicant and the Army Corps of Engineers the site plan will need to be amended to include Building "C" as Phase II of the site plan until there is a resolution with the levee emergency overflow basin. Phase I of the site plan will need to function independently of Phase II. The site plan also needs to be amended to show the legal lot lines with bearings as proposed and shown on the subdivision plan.

There are two waiver requests from the applicant that are attached. One is for NRO Section 190-282(B) (9) to waive the requirement to show existing conditions on and adjacent to the site including topography. The second waiver is for NRO Section 190-211(B) to waive the design standards of a public street for the proposed Bancroft access to the site.

All easement locations are shown on the proposed subdivision and the written easements will be written by the applicant and submitted to Planning Department and Corporation Counsel for review and either recorded with the subdivision plan or later as approved by Corporation Counsel but prior to any building permit issuance or site construction activity.

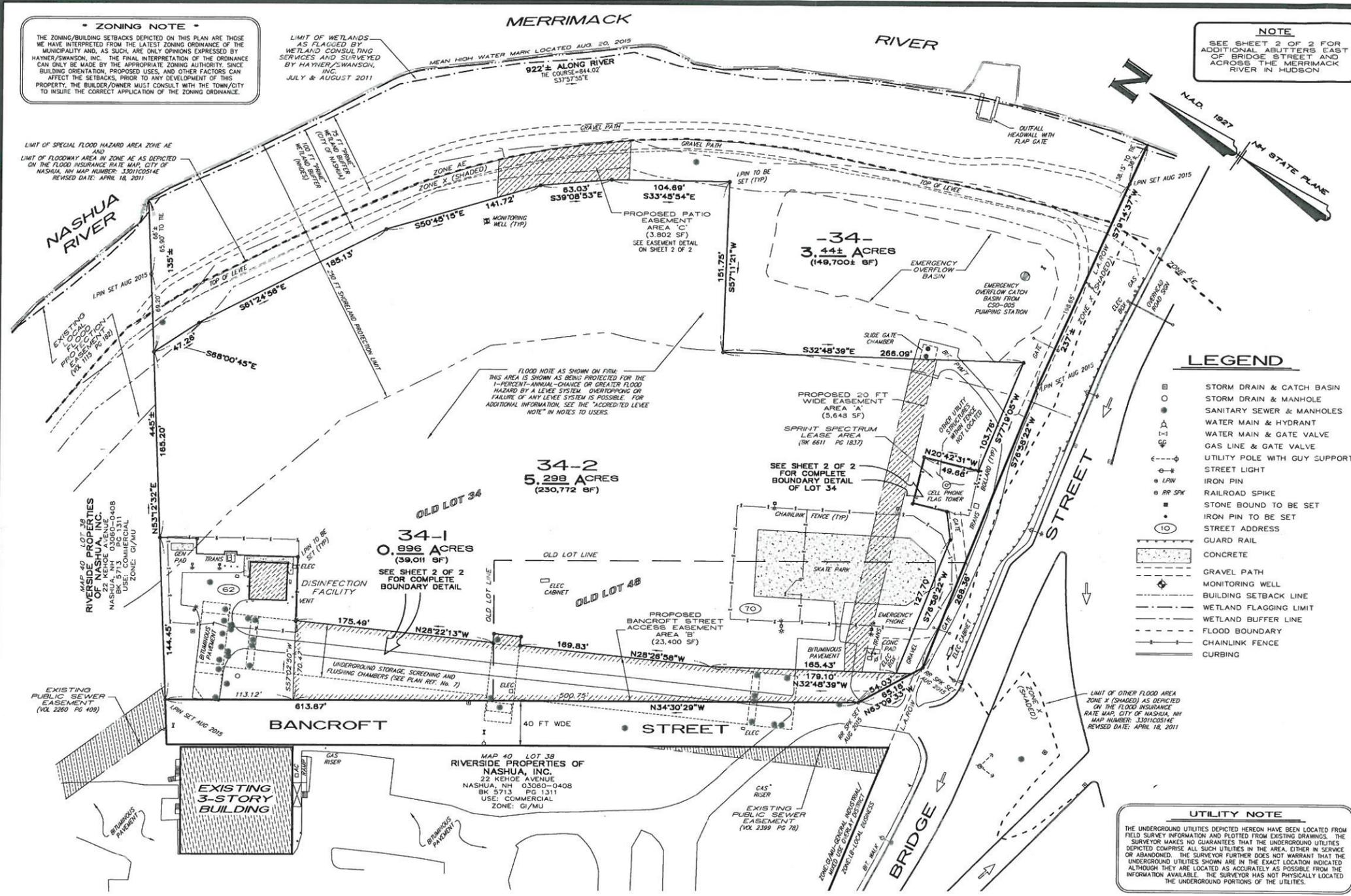
Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-138(G). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

1. The request for a waiver of NRO190-282(B) (9), which requires the plan to show existing conditions on and adjacent to the site including topography, is/is not granted, finding that the waiver will/will not be contrary to the spirit and intent of the regulation.

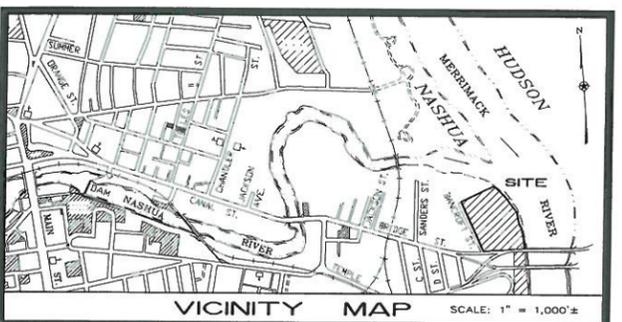
2. The request for a waiver of NRO 190-211(B), which requires private streets to be design to the standards of a public street, is/is not granted, finding that the waiver will/will not be contrary to the spirit and intent of the regulation.
3. Prior to the issuance of any building permit all comments in an e-mail from Cynthia Bautista dated _____, 2016 shall be addressed to the satisfaction of the Fire Marshal.
4. Prior to the issuance of any building permit all comments in a letter from Jeanne Walker, P.E. dated _____, 2016 shall be addressed to the satisfaction of the Engineering Department.
5. Prior to recording of the plan, addresses shall be assigned for the subdivision by the Fire Department.
6. Prior to recording the plan, the applicant shall provide a guarantee for the subdivision improvements, including pavement, traffic signal, signage, intersection, drainage infrastructure, landscaping, lighting, and sidewalk. The applicant's professional engineer(s) shall provide an estimate of the cost of the public improvements for review by the City Engineer who shall determine the guarantee amount. The guarantee shall be in a form acceptable to the City's Corporation Counsel. Reductions in the guarantee (bond, letter of credit or other form of guarantee) shall be processed, from time to time, in the customary manner.
7. Prior to the commencement of any site work, the Alteration of Terrain (AOT) permit must be approved by the New Hampshire Department of Environmental Services.
8. Prior to commencement of any work with in the protected shoreland, a Shoreland Permit must be approved by the New Hampshire Department of Environmental Services (NHDES).
9. All written easements shall be prepared by the applicant and submitted to the Planning Department and Corporation Counsel for review and approval and recorded with the subdivision plan unless approved by Corporation Counsel to be recorded at a later time but prior to any building permit issuance or construction activity on the site.
10. Prior to the issuance of any building permit or construction activity for Lot 50 (34-2 on the plan) the applicant shall amend the site plan to show Building "C" and its parking area as Phase II; and show the legal lots of this subdivision plan on site plan so the buildings and parking are shown in relation to those lines.
11. Stormwater documents will be submitted to City staff for review and recorded prior to the issuance of a building permit.

12. Prior to the recording of the subdivision plan the drafting corrections as referred to in this staff report shall be made by the applicant and any other minor drafting corrections as needed by city staff.



ZONING NOTE
 THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

NOTE
 SEE SHEET 2 OF 2 FOR ADDITIONAL ABUTTERS EAST OF BRIDGE STREET AND ACROSS THE MERRIMACK RIVER IN HUDSON



NOTES:

- SITE AREA (PRIOR TO SUBDIVISION)
 LOT 34 8.52± ACRES
 LOT 48 1.113 ACRES
 TOTAL 9.63± ACRES
- PRESENT ZONING
 G1/MU; GENERAL INDUSTRIAL/MIXED USE OVERLAY DISTRICT
 MINIMUM LOT REQUIREMENTS
 - LOT AREA 5,000 SF
 - LOT FRONTAGE 50 FT
 - LOT WIDTH 50 FT
 - LOT DEPTH 75 FT
 MINIMUM YARD SETBACKS
 - FRONT YARD 10 FT
 - SIDE YARD 10 FT
 - REAR YARD 15 FT
- PURPOSE OF PLAN:
 A. TO CONSOLIDATE MAP 40 LOTS 34 & 48 INTO ONE NEW LOT.
 B. TO SUBDIVIDE SAID LOT INTO THREE (3) NEW LOTS
- LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSOR'S MAP 40.
- BRIDGE STREET IS A VARIABLE WIDTH, STATE OF NEW HAMPSHIRE, LIMITED ACCESS RIGHT OF WAY. BANCROFT STREET STATUS IS UNKNOWN. NO RECORD OF LAYOUT, DEDICATION OR ACCEPTANCE FOUND. ROADWAY IS NOT PRESENTLY IMPROVED FOR TRAVEL ALONG ITS ENTIRE LENGTH. HISTORY OF IMPROVEMENT AND/OR MAINTENANCE BY THE CITY UNKNOWN.
- A PORTION OF LOT 34 IS SUBJECT TO THE STATE OF NEW HAMPSHIRE SHORELAND PROTECTION ACT (RSA 483-B).
- A PORTION OF LOT 34 IS LOCATED IN A SPECIAL FLOOD HAZARD AREA ZONE AE AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY No. 330097, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33011C0514E, REVISED DATE: APRIL 18, 2011 AND IS DEPICTED HEREON. THE REMAINDER OF LOT 34 AND LOT 48 IS PROTECTED BY A LEEVEE SYSTEM, SEE FIRM MAP FOR ACCREDITED LEEVEE NOTE.
- SITE IS TO BE SERVICED BY MUNICIPAL SEWER AND WATER BY PENNICKUCK WATER WORKS. THE PROPOSED LOTS SHALL BE SERVICED BY UNDERGROUND TELEPHONE, ELECTRIC AND GAS UTILITIES.
- MONUMENTS, WHERE REQUIRED, TO BE SET BY A LICENSED LAND SURVEYOR AS FOLLOWS:
 [1] STONE BOUNDS: AT STREET INTERSECTIONS, POINTS OF CURVATURE AND TANGENCY OF PUBLIC STREET
 [2] IRON PIPES: AT LOT CORNERS
- RECORD OWNER:
 MAP 40, LOTS 34 & 48
 CITY OF NASHUA
 PO BOX 2019
 229 MAIN STREET
 NASHUA, NH 03061
 VOL: 1133, PG: 372 - LOT 34
 VOL: 1133, PG: 373 - LOT 34
 VOL: 1135, PG: 409 - LOT 48

LEGEND

- STORM DRAIN & CATCH BASIN
- STORM DRAIN & MANHOLE
- SANITARY SEWER & MANHOLES
- WATER MAIN & HYDRANT
- WATER MAIN & GATE VALVE
- GAS LINE & GATE VALVE
- UTILITY POLE WITH GUY SUPPORT
- STREET LIGHT
- IRON PIN
- RR SPIKE
- STONE BOUND TO BE SET
- IRON PIN TO BE SET
- STREET ADDRESS
- GUARD RAIL
- CONCRETE
- GRAVEL PATH
- MONITORING WELL
- BUILDING SETBACK LINE
- WETLAND FLAGGING LIMIT
- WETLAND BUFFER LINE
- FLOOD BOUNDARY
- CHAINLINK FENCE
- CURBING

UTILITY NOTE
 THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

- ADDITIONAL EASEMENTS:**
- LOTS 34 AND 48 ARE POSSIBLY SUBJECT TO A DAM ORDER NOTICE RECORDED IN VOLUME 2418, PAGE 34 OF THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS.
 - LOT 34 IS SUBJECT TO THE RIGHTS OF OTHERS IN AND TO THAT PORTION OF THE PREMISES LOCATED WITHIN THE MERRIMACK AND NASHUA RIVERS.
 - LOT 34 IS SUBJECT TO A UTILITY EASEMENT TO PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE AND NORTHERN NEW ENGLAND TELEPHONE OPERATIONS LLC DBA FAIRPOINT COMMUNICATIONS-NINE, LLC RECORDED IN VOLUME 8672, PAGE 1539 OF THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. (NOTE: FACILITIES REFERENCED ID DEED ARE LOCATED WITHIN BOTH LOT 34 AND LOT 48).

CERTIFICATION

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN), AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/09.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

APPROVED
NASHUA CITY PLANNING BOARD

CHAIRMAN _____ DATE _____

- PLAN REFERENCES:**
- EXHIBIT 'A': EASEMENT PLAN, LOT 38, MAP 40, 46-50 BRIDGE STREET, NASHUA, NEW HAMPSHIRE, PREPARED FOR: RENAISSANCE DOWNTOWNS, LLC, RECORD OWNER: RIVERSIDE PROPERTIES OF NASHUA, INC., SCALE: 1"=40', DATED: 9 JANUARY 2013 AND PREPARED BY THIS OFFICE.
 - ALTA/ASC LAND TITLE SURVEY, LOT 32, MAP 39 AND LOTS 37, 39 & 48, MAP 40, BRIDGE, SANDERS AND BANCROFT STREETS, NASHUA, NEW HAMPSHIRE, PREPARED FOR/RECORD OWNER: CITY OF NASHUA, SCALE: 1"=50', DATED: 11 JUNE 2009 AND PREPARED BY THIS OFFICE.
 - RIGHT OF WAY PLANS OF PROPOSED FEDERAL AID PROJECT US26(13), NH PROJECT No. C-7721, ROUTE 111 OVER THE MERRIMACK RIVER (23 SHEETS), RECORDED: HCRD - PLAN No. 4535
 - LAND IN NASHUA, N.H., BOSTON AND MAINE RAILROAD TO JOHNS-MANVILLE PRODUCTS CORPORATION, SCALE: 1"=40', DATED: APRIL 1961, RECORDED: HCRD - PLAN No. 202
 - CONSOLIDATION OF LAND, THE MAINE MANUFACTURING CO., 44 BRIDGE STREET, NASHUA, N.H., SCALE: 1"=40', DATED: 02/07/77 AND PREPARED BY D. C. CALDERWOOD, RECORDED: HCRD - PLAN No. 10590
 - SEWER EASEMENT PLAN, NORTH MERRIMACK RIVER INTERCEPTOR I, CITY OF NASHUA, N.H., SCALE: 1"=40', DATED: 02/26/69 AND PREPARED BY HAMILTON ENGINEERING ASSOC., INC., RECORDED: HCRD - PLAN No. 6179
 - RECORD DRAWINGS, CIVIL SCREENING AND DISINFECTION FACILITY, OVERALL SITE PLAN, CITY OF NASHUA NEW HAMPSHIRE, CSO-005 AND CSO-006, SCREENING AND DISINFECTION FACILITY, DATED: JULY 2015, REVISED 07/02/15 AND PREPARED BY HAZEN AND SAWYER, ON FILE WITH THE CITY OF NASHUA.

CONSOLIDATION / SUBDIVISION PLAN
 (MAP 40, LOTS 34 & 48)

62 & 70 BRIDGE STREET
 NASHUA, NEW HAMPSHIRE

PREPARED FOR:
Renaissance At Nashua, LLC
 9 GERHARD ROAD PLAINVIEW, NEW YORK 11803 (516) 433-9000

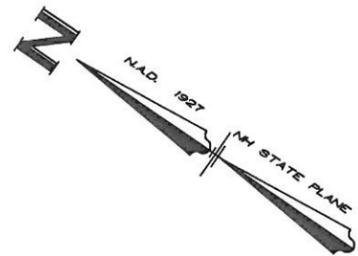
RECORD OWNER:
CITY OF NASHUA
 PO BOX 2019 229 MAIN ST. NASHUA, NH 03061-2019 (603) 589-3260

SCALE: 1"=50 Feet
 1"=15.240 Meters

18 NOVEMBER 2015

HSI Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors
 Three Congress Street Nashua, New Hampshire 03062-3301
 Tel (603) 883-2057 Fax (603) 883-5057
 www.haynerswanson.com

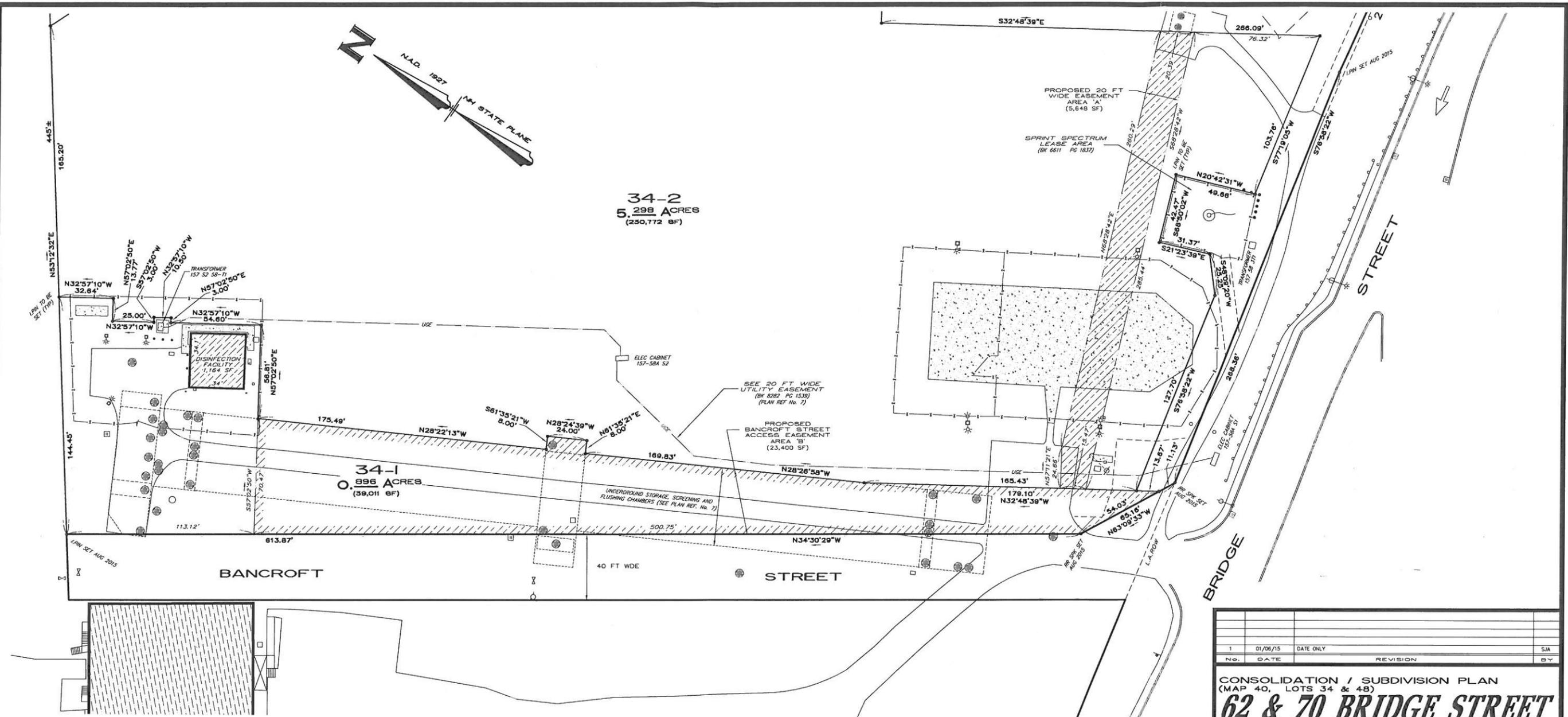
FIELD BOOK: 1168 & 1202 DRAWING NAME: 3178.F51 3178 1 OF 2
 DRAWING LOCATION: R:\3178\DWG\3178.SUB



34-2
5.298 ACRES
 (230,772 SF)

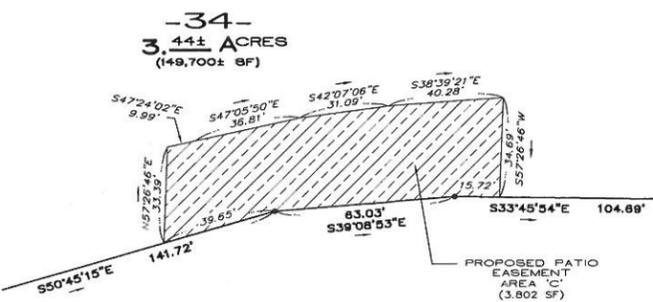
34-1
0.896 ACRES
 (39,011 SF)

-34-
3.44± ACRES
 (149,700± SF)



ADDITIONAL ABUTTERS:

- MAP 24 LOT 1
 B & B REALTY CORP
 171 E. HOLLIS STREET
 NASHUA, NH 03060-6319
 BK 5630 PG 1756
 USE: COMMERCIAL
 ZONE: GENERAL INDUSTRIAL
- MAP 24 LOT 18
 CITY OF NASHUA
 PO BOX 2019 - 229 MAIN STREET
 NASHUA, NH 03061-2019
 BK 1126 PG 317
 USE: FLOOD CONTROL
 ZONE: GENERAL INDUSTRIAL
- MAP 24 LOT 19
 LEO M. & LORRAINE J. LAVOIE
 193 E. HOLLIS STREET
 NASHUA, NH 03060-6319
 BK 1726 PG 226
 USE: RESIDENTIAL
 ZONE: GENERAL INDUSTRIAL
- MAP 24 LOT 47
 STATE OF NH - DEPT OF ROW
 c/o LEO M. & LORRAINE J. LAVOIE
 193 E. HOLLIS STREET
 NASHUA, NH 03060-6319
 BK 2042 PG 225
 USE: DRIVEWAY
 ZONE: GENERAL INDUSTRIAL
- MAP 24 LOT 50
 DATEC TOOL & MACHINE, INC.
 3 HIGHLAND STREET, APT 5
 NASHUA, NH 03064-2646
 BK 6263 PG 326
 USE: INDUSTRIAL
 ZONE: GENERAL INDUSTRIAL
- HUDSON MAP 173 LOT 1
 CYNTHIA ANN TAMPOSI
 32 WEBSTER STREET
 HUDSON, NH 03051
 BK 2009 PG 316
 USE: RESIDENTIAL
 ZONE: TOWN RESIDENTIAL
- HUDSON MAP 181 LOT 5
 SCIRE HOMES, INC.
 6 SCHAEFER CIRCLE
 HUDSON, NH 03051
 BK 4650 PG 970
 USE: VACANT
 ZONE: BUSINESS & TOWN RESIDENTIAL

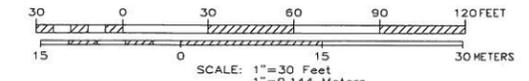


EASEMENT AREA 'C' DETAIL

SCALE: 1" = 30'

NO.	DATE	REVISION	BY
1	01/06/15	DATE ONLY	SJA

CONSOLIDATION / SUBDIVISION PLAN
 (MAP 40, LOTS 34 & 48)
62 & 70 BRIDGE STREET
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR:
Renaissance At Nashua, LLC
 9 GERHARD ROAD PLAINVIEW, NEW YORK 11803 (516) 433-9000
 RECORD OWNER:
CITY OF NASHUA
 PO BOX 2019 229 MAIN ST. NASHUA, NH 03061-2019 (603) 589-3260



18 NOVEMBER 2015

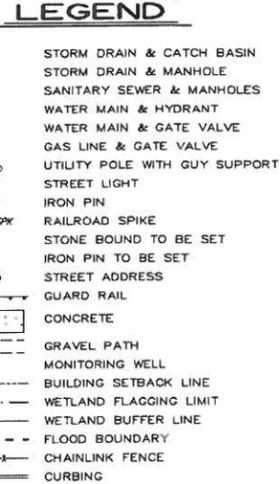
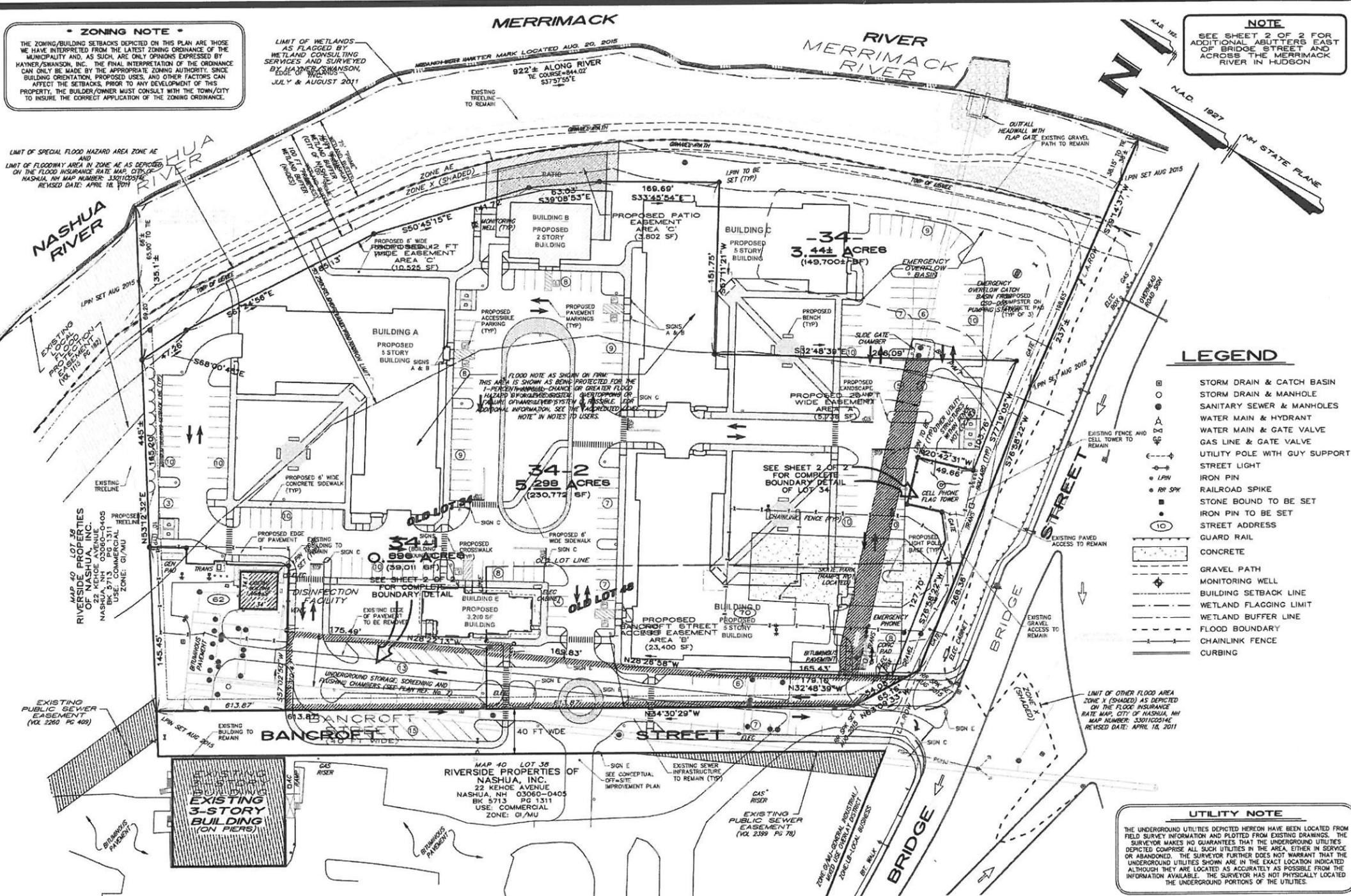
HSI Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors
 Three Congress Street Nashua, New Hampshire 03062-3301
 Tel (603) 883-2057 Fax (603) 883-5057
 www.haynerswanson.com

ZONING NOTE
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LIMIT OF SPECIAL FLOOD HAZARD AREA ZONE AE AND LIMIT OF FLOODWAY AREA IN ZONE AE AS DEPICTED ON THE FLOOD INSURANCE RATE MAP, CITY OF NASHUA, NH MAP NUMBER: 33011C0214E, REVISED DATE: APRIL 18, 2011

LIMIT OF WETLANDS AS FLAGGED BY WETLAND CONSULTING SERVICES AND SURVEYED BY HAYNER/SWANSON, INC. JULY & AUGUST 2011

NOTE
 SEE SHEET 2 OF 2 FOR ADDITIONAL ABUTTERS EAST OF BRIDGE STREET AND ACROSS THE MERRIMACK RIVER IN HUDSON



UTILITY NOTE
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ADDITIONAL EASEMENTS:

- PROPERTY POSSIBLY SUBJECT TO A DAM NOTICE RECORDED IN VOLUME 2418 PAGE 34 OF THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS
- PROPERTY SUBJECT TO THE RIGHTS OF OTHERS IN AND TO THAT PORTION OF THE PREMISES LOCATED WITHIN THE MERRIMACK AND NASHUA RIVERS
- UTILITY EASEMENT TO PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE AND NORTHERN NEW ENGLAND TELEPHONE OPERATIONS LLC DBA FAIRPOINT COMMUNICATIONS-NINE, LLC RECORDED IN VOLUME 8672 PAGE 1539 OF THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS

CERTIFICATION

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/09.

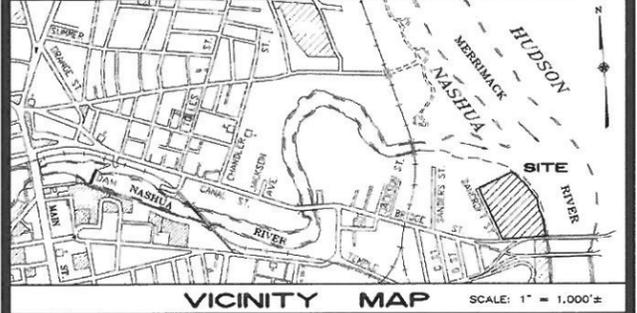
I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

APPROVED
NASHUA CITY PLANNING BOARD

CHAIRMAN _____ DATE _____

PLAN REFERENCES:

- EXHIBIT 'A' EASEMENT PLAN, LOT 39 MAP 40, 46-50 BRIDGE STREET, NASHUA, NEW HAMPSHIRE, PREPARED FOR RENAISSANCE DOWNTOWNS, LLC, RECORD OWNER, RIVERSIDE PROPERTIES OF NASHUA, INC. SCALE: 1"=40', DATED 9 JANUARY 2013 AND PREPARED BY THIS OFFICE
- ALTA/ASCN LAND TITLE SURVEY, LOT 32, MAP 39 AND LOTS 37, 39 & 48, MAP 40, BRIDGE, SANDERS AND BANCROFT STREETS, NASHUA, NEW HAMPSHIRE, PREPARED FOR/RECORD OWNER, CITY OF NASHUA, SCALE: 1"=50', DATED: 11 JUNE 2009 AND PREPARED BY THIS OFFICE
- RIGHT OF WAY PLANS OF PROPOSED FEDERAL AID PROJECT US28(13), NH PROJECT NO. C-7721, ROUTE 111 OVER THE MERRIMACK RIVER (23 SHEETS), RECORDED: HCRD - PLAN NO. 4535
- LAND IN NASHUA, N.H., BOSTON AND MAINE RAILROAD TO JOHNS-MANVILLE PRODUCTS CORPORATION, SCALE: 1"=40', DATED: APRIL 1951, RECORDED: HCRD - PLAN NO. 202
- CONSOLIDATION OF LAND, THE MAINE MANUFACTURING CO., 44 BRIDGE STREET, NASHUA, N.H., SCALE: 1"=40', DATED: 9/20/77 AND PREPARED BY D. C. CALDERWOOD RECORDED: HCRD - PLAN NO. 10590
- SEWER EASEMENT PLAN, NORTH MERRIMACK RIVER INTERCEPTOR I, CITY OF NASHUA, N.H., SCALE: 1"=40', DATED: 9/20/69 AND PREPARED BY HAMILTON ENGINEERING ASSOC., INC. RECORDED: HCRD - PLAN NO. 6179
- RECORD DRAWINGS, CIVIL SCREENING AND DISINFECTION FACILITY, OVERALL SITE PLAN, CITY OF NASHUA, NEW HAMPSHIRE, CSO-005 AND CSO-006, SCREENING AND DISINFECTION FACILITY, DATED: JULY 2015, REVISED 07/02/15 AND PREPARED BY HAZEN AND SAWYER, ON FILE WITH THE CITY OF NASHUA.



NOTES:

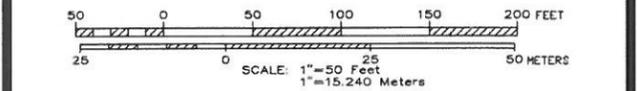
- SITE AREA: (PRIOR TO SUBDIVISION)
 LOT 34 8.52± ACRES
 LOT 48 1.11± ACRES
 TOTAL 9.63± ACRES
- PRESENT ZONING: G1/M2; GENERAL INDUSTRIAL/MIXED USE OVERLAY DISTRICT
 MINIMUM LOT REQUIREMENTS
 - LOT AREA 5,000 SF
 - LOT FRONTAGE 50 FT
 - LOT WIDTH 50 FT
 - LOT DEPTH 75 FT
 MINIMUM YARD SETBACKS
 - FRONT YARD 10 FT
 - SIDE YARD 10 FT
 - REAR YARD 15 FT
- PURPOSE OF PLAN:
 A. TO CONSOLIDATE MAP 40 LOTS 34 & 48 INTO ONE NEW LOT.
 B. TO SUBDIVIDE SAID LOT INTO THREE (3) NEW LOTS
- LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAP 40
- BRIDGE STREET IS A VARIABLE WIDTH. STATE OF NEW HAMPSHIRE, LIMITED ACCESS RIGHT OF WAY. BANCROFT STREET STATUS IS UNKNOWN. NO RECORD OF LAYOUT, DEDICATION OR ACCEPTANCE FOUND. ROADWAY IS NOT PRESENTLY IMPROVED FOR TRAVEL ALONG ITS ENTIRE LENGTH. HISTORY OF IMPROVEMENT AND/OR MAINTENANCE BY THE CITY UNKNOWN
- A PORTION OF LOT 34 IS SUBJECT TO THE STATE OF NEW HAMPSHIRE SHORELAND PROTECTION ACT (RSA 483-B).
- A PORTION OF LOT 34 IS LOCATED IN A SPECIAL FLOOD HAZARD AREA ZONE AE AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY NO. 330097, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33011C0214E, REVISED DATE: APRIL 18, 2011 AND IS DEPICTED HEREON. THE REMAINDER OF LOT 34 AND LOT 48 IS PROTECTED BY A LEEVEE SYSTEM, SEE FIRM MAP FOR ACCREDITED LEEVEE NOTE.
- SITE IS TO BE SERVICED BY MUNICIPAL SEWER AND WATER BY PENNICHUCK WATER WORKS. THE PROPOSED LOTS SHALL BE SERVICED BY UNDERGROUND TELEPHONE, ELECTRIC AND GAS UTILITIES
- MONUMENTS, WHERE REQUIRED, TO BE SET BY A LICENSED LAND SURVEYOR AS FOLLOWS:
 (1) STONE BOUNDS AT STREET INTERSECTIONS, POINTS OF CURVATURE AND TANGENCY OF PUBLIC STREET
 (2) IRON PIPES AT LOT CORNERS
- RECORD OWNER:
 MAP 40, LOTS 34 & 48
 CITY OF NASHUA
 PO BOX 2019
 229 MAIN STREET
 NASHUA, NH 03061
 VOL: 1133, PG: 372 - LOT 34
 VOL: 1133, PG: 373 - LOT 34
 VOL: 1135, PG: 409 - LOT 48

PRELIMINARY
 FOR REVIEW / NOT FOR RECORDING

No.	DATE	REVISION	BY

CONSOLIDATION / SUBDIVISION PLAN
 (MAP 40, LOTS 34 & 48)
62 & 70 BRIDGE STREET
 NASHUA, NEW HAMPSHIRE
 PREPARED FOR:
Renaissance At Nashua, LLC
 9 GERHARD ROAD PLAINVIEW, NEW YORK 11803 (516) 433-9000

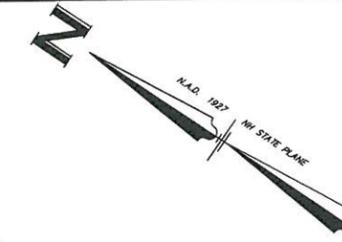
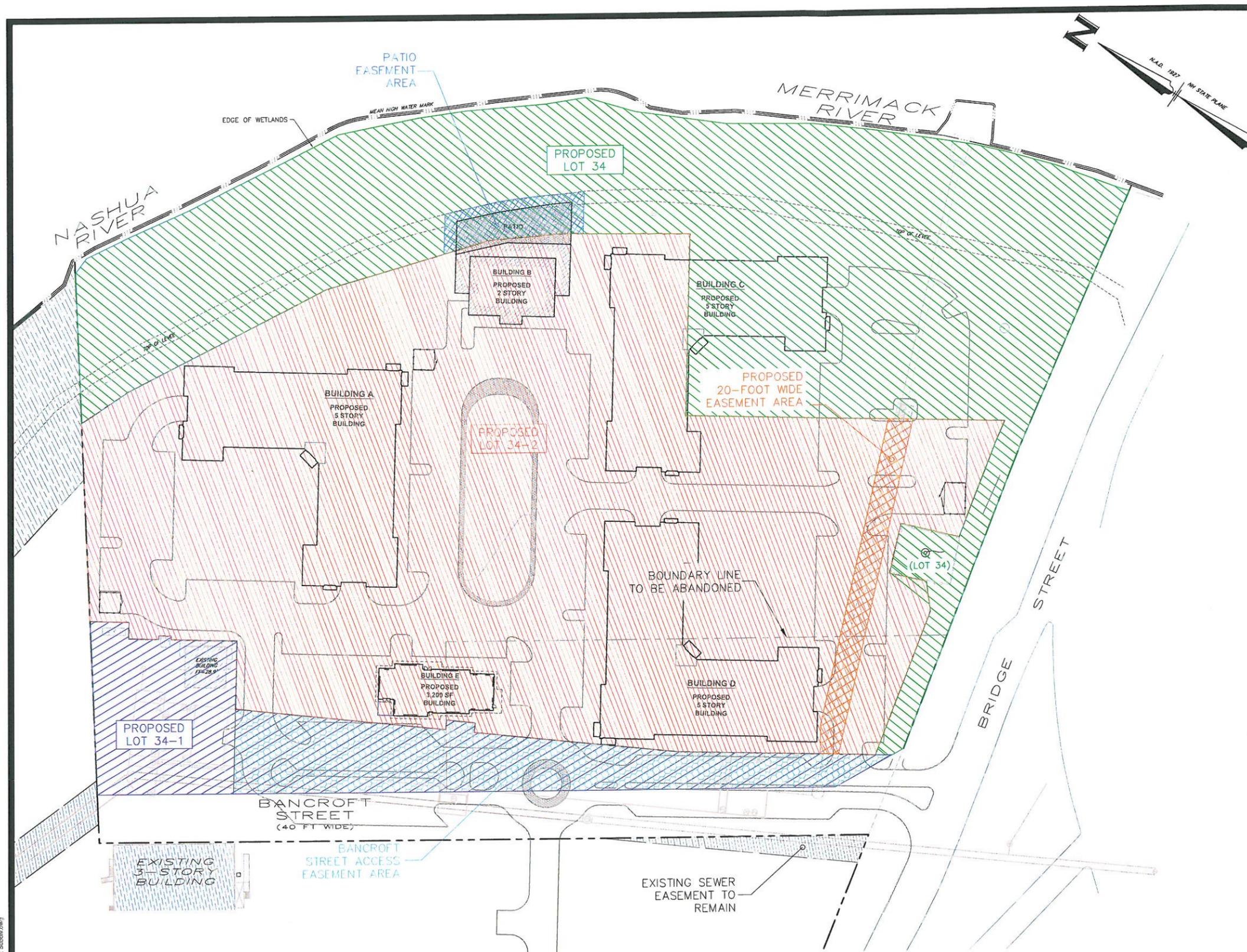
RECORD OWNER:
CITY OF NASHUA
 PO BOX 2019 229 MAIN ST. NASHUA, NH 03061-2019 (603) 589-3260



18 NOVEMBER 2015

HSI Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors
 Three Congress Street, Nashua, New Hampshire 03062-3301
 Tel (603) 883-2057 Fax (603) 883-5057
 www.hayner-swanson.com

FIELD BOOK 1168 & 1202	DRAWING NAME: 3178 P551	3178	1 OF 2
DRAWING LOCATION: R:\3178\DWG\3178 SUB		File Number	Sheet



LEGEND	
	PROPOSED LOT 34
	PROPOSED LOT 34-1
	PROPOSED LOT 34-2
	PROPOSED 20-FOOT WIDE PIPE EASEMENT
	PROPOSED BANCROFT STREET ACCESS EASEMENT
	PROPOSED PATIO EASEMENT

TAX MAP 40 LOTS 34 & 48
CONCEPTUAL SUBDIVISION & EASEMENT PLAN
RESIDENCES AT RIVERFRONT LANDING
62 & 70 BRIDGE STREET
NASHUA, NEW HAMPSHIRE

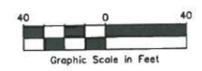
OWNED BY
CITY OF NASHUA

SCALE: 1"=40'
OCTOBER 8, 2015

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This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.



REV.	DATE	DESCRIPTION	DR	CK
2	11/17/15	No revisions this sheet.	JRW	JPL
1	11/04/15	Revised per regulatory review comments.	JRW	JPL

MSC
 A division of TFMoran, Inc.

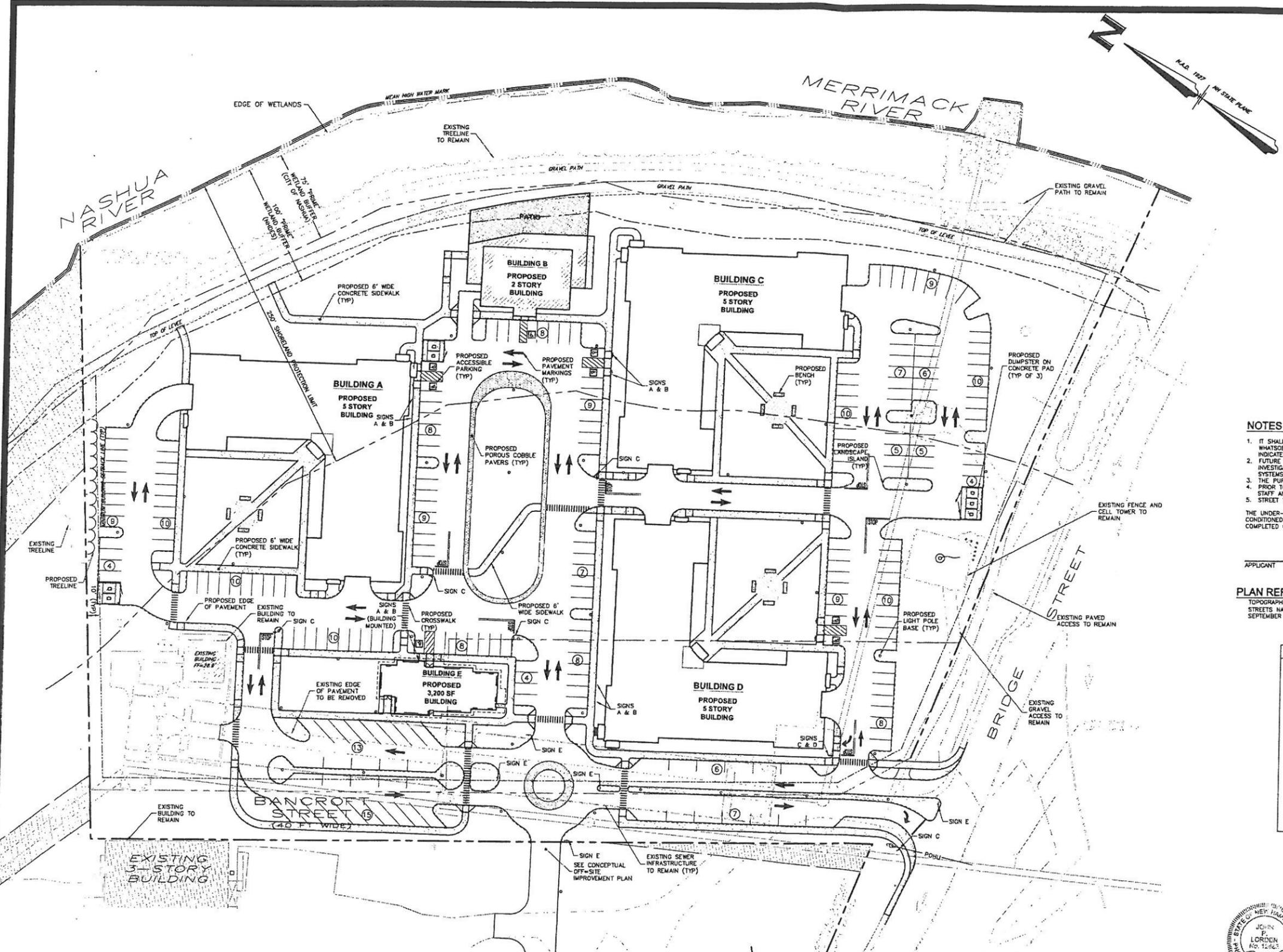
Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.mscengineers.com

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 CK: JPL, CADFILE
 Concept Subdiv.dwg
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SITE PLAN



SITE DATA

ZONED: GENERAL INDUSTRIAL/MIXED USE OVERLAY DISTRICT (D/MU)
 EXISTING USE: VACANT/RECREATIONAL
 PROPOSED USE: RESIDENTIAL/RESTAURANT

DIMENSIONAL REQUIREMENTS (LAND USE CODE S/1/12)

	REQUIRED:	PROVIDED:
MINIMUM LOT DIMENSIONS:		
LOT AREA	5,000 SF	419,482.8 SF
WIDTH	50 FT	389 FT
STREET FRONTAGE	50 FT	505 FT
DEPTH	75 FT	762 FT
MINIMUM YARD DIMENSIONS:		
FRONT	10 FT	72 FT
SIDE	10 FT	37 FT
REAR	15 FT	82 FT
MAXIMUM STRUCTURE DIMENSIONS:		
STRUCTURE HEIGHT	60 FT	63.5 FT
STORIES	5 EA	5 EA
MINIMUM OPEN SPACE	10 %	35 ± %
PARKING REQUIREMENTS		
PARKING SPACES (SEE CALCULATION)	369 SPACES	369 SPACES
ACCESSIBLE SPACES (REQ'D BY ADA)	8 SPACES	11 SPACES
PARKING SPACE SIZE	9 FT x 20 FT	9 FT x 18 FT
ASLE WIDTH	24/22 FT	24/22 FT

PARKING CALCULATIONS

REQUIRED PARKING RATIO:

MULTI FAMILY DWELLING:	1.5 SPACE PER UNIT (MIN)
RESTAURANT:	1 SPACE PER 4 SEATS
RETAIL:	1 SPACE PER 300 SF
FITNESS CLUB:	1 SPACE PER 650 SF
OFFICE:	1 SPACE PER 1,000 SF
CYBER LOUNGE:	1 SPACE PER 600 SF
COMMUNITY ROOM:	1.5 SPACES PER 1,000 SF

TOTAL REQUIRED = 228 DWELLING UNITS * 1.5 SPACES/UNIT = 342 SPACES +
 50 SEAT RESTAURANT * 1/4 SEATS = 12.5 SPACES +
 3,600 SF RETAIL * 1/300 SF = 12 SPACES +
 438 SF FITNESS CENTER * 1/650 SF = 0.7 SPACES +
 817 SF OFFICES * 1/1,000 SF = 0.8 SPACES +
 339 SF CYBER LOUNGE * 1/600 SF = 0.6 SPACES +
 878 SF COMMUNITY ROOM * 1/1,000 SF = 0.9 SPACES +
TOTAL REQUIRED = 369 SPACES

TOTAL PROVIDED = OUTSIDE OF GARAGE = 228 SPACES
 WITHIN GARAGE = 141 SPACES
TOTAL PROVIDED = 369 SPACES

- NOTES - SEE GENERAL NOTES SHEET FOR ADDITIONAL NOTES.**
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN IN ANY WAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
 - FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
 - THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE IMPROVEMENTS ASSOCIATED WITH THIS PROJECT.
 - PRIOR TO ANY WORK BEING CONDUCTED A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PLANNING STAFF AND OTHER CITY DEPARTMENTS AS NECESSARY TO REVIEW THE PROPOSED WORK.
 - STREET RESTORATION TO BE IN ACCORDANCE WITH NRD-285-13.
- THE UNDER-SIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

APPLICANT _____ DATE _____

PLAN REFERENCE
 TOPOGRAPHIC WORKSHEET (LOT 32, MAP 38 AND LOTS 34, 37, 38 & 48, MAP 40) BRIDGE, SANDERS & BANDCROFT STREETS NASHUA, NEW HAMPSHIRE PREPARED FOR RESURGENCE AT NASHUA, LLC BY HAYNER/SWANSON, INC. DATED SEPTEMBER 4, 2015. THIS PLAN WAS UTILIZED TO CREATE A BASE DRAWING FOR THIS PROJECT.

LEGEND

SF	SQUARE FEET	[Symbol]	PROPOSED PAINT
[Symbol]	ACCESSIBLE PARKING	[Symbol]	EXISTING RIP RAP
TYP	TYPICAL	[Symbol]	PROPOSED CONCRETE
VGC	VERTICAL GRANITE CURB	[Symbol]	PROPERTY LINE
[Symbol]	EXISTING UTILITY POLE	[Symbol]	PROPOSED EDGE OF WETLANDS
[Symbol]	PROPOSED UTILITY POLE	[Symbol]	EDGE OF WETLANDS BUFFER
[Symbol]	EXISTING GUY WIRE	[Symbol]	SETBACK LINE
[Symbol]	EXISTING SEWER MANHOLE	[Symbol]	EXISTING TREELINE
[Symbol]	PROPOSED SIGN	[Symbol]	PROPOSED TREELINE
[Symbol]	PROPOSED LIGHTPOLE BASE	[Symbol]	EXISTING GUARD RAIL
[Symbol]	PROPOSED PARKING COUNT	[Symbol]	EXISTING FENCE
[Symbol]	PROPOSED DUMPSTER	[Symbol]	TOP OF LEVEL
[Symbol]	PROPOSED TRANSFORMER PAD	[Symbol]	ZONE LINE
		[Symbol]	BUFFER LINE

DIRECTIONAL SIGN LEGEND

ID	SIGN	NO./SIZE/COLOR	ID	SIGN	NO./SIZE/COLOR	ID	SIGN	NO./SIZE/COLOR	ID	SIGN	NO./SIZE/COLOR
A	[Symbol]	R7-B 12" x 18" BLACK AND WHITE	C	[Symbol]	R1-1 30" x 30" RED AND WHITE	D	[Symbol]	R5-1 30" x 30" RED AND WHITE	E	[Symbol]	R4-7 24" x 30" BLACK AND WHITE
B	[Symbol]	R7-BP 18" x 9" BLACK AND WHITE							F	[Symbol]	R5-11 24" x 30" BLACK AND WHITE

WAIVERS GRANTED IN 2013:
 A. SECTION 190-193, WHICH SETS MINIMUM DIMENSIONAL REQUIREMENTS FOR PARKING SPACES.
 B. SECTION 190-199, WHICH SETS MINIMUM DIMENSIONAL REQUIREMENTS FOR LOADING SPACES.
 C. SECTION 190-205, WHICH SETS MINIMUM GEOMETRIC DESIGN STANDARDS FOR STREET.

APPROVED BY THE NASHUA PLANNING BOARD
 ON _____ AND _____
 CHAIRMAN: _____
 SECRETARY: _____



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TAX MAP 40 LOTS 34 & 48
SITE PLAN
RESIDENCES AT RIVERFRONT LANDING
62 & 70 BRIDGE STREET
NASHUA, NEW HAMPSHIRE

OWNED BY
CITY OF NASHUA

SCALE: 1"=40'
 OCTOBER 8, 2015

Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

MSC
 A division of TFMoran, Inc.

170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone: (603) 431-2222
 Fax: (603) 431-0910
 www.mscengineers.com

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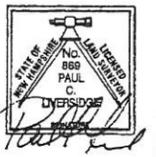
SITE PLAN

CERTIFICATION

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSES FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/05.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTY THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

11-02-15
DATE



UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

ZONING NOTE

THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

LEGEND

- EXISTING GROUND CONTOUR
- EXISTING SPOT ELEVATION
- STORM DRAIN & CATCH BASIN
- STORM DRAIN & MANHOLE
- SANITARY SEWER & MANHOLES
- WATER MAIN & HYDRANT
- WATER MAIN & GATE VALVE
- GAS LINE & GATE VALVE
- CHEMICAL PIPING
- UTILITY POLE WITH GUY SUPPORT
- STREET LIGHT
- OVERHEAD ELECTRIC & TELEPHONE
- UNDERGROUND ELEC./TEL. & MANHOLES
- TREE LINE
- IRON PIN
- RAILROAD SPIKE
- STREET ADDRESS
- GUARD RAIL
- CONCRETE
- MONITORING WELL
- ROCK/BOULDER
- CONIFEROUS TREE
- BUILDING SETBACK LINE
- WETLAND FLAGGING LIMIT
- WETLAND BUFFER LINE
- WIRE FENCE
- CHAINLINK FENCE
- CURBING
- VERTICAL GRANITE CURBING
- SLOPE GRANITE CURBING

PLAN REFERENCES:

- EXHIBIT 'A', EASEMENT PLAN, LOT 38, MAP 40, 46-50 BRIDGE STREET, NASHUA, NEW HAMPSHIRE, PREPARED FOR: RENAISSANCE DOWNTOWNS, LLC. RECORD OWNER: RIVERSIDE PROPERTIES OF NASHUA, INC., SCALE: 1"=40', DATED: 9 JANUARY 2013 AND PREPARED BY THIS OFFICE.
- ALTA/ASCM LAND TITLE SURVEY, LOT 32, MAP 89 AND LOTS 37, 38 & 48, MAP 40, BRIDGE, SANDERS AND BANCROFT STREETS, NASHUA, NEW HAMPSHIRE, PREPARED FOR/RECORD OWNER: CITY OF NASHUA, SCALE: 1"=50', DATED: 11 JUNE 2009 AND PREPARED BY THIS OFFICE.
- RIGHT OF WAY PLANS OF PROPOSED FEDERAL AID PROJECT US28(13), NH PROJECT NO. C-7721, ROUTE 111 OVER THE MERRIMACK RIVER (23 SHEETS), RECORDED: HCRD - PLAN No. 4535
- LAND IN NASHUA, N.H., BOSTON AND MAINE RAILROAD TO JOHNS-MANVILLE PRODUCTS CORPORATION, SCALE: 1"=40', DATED: APRIL 1961, RECORDED: HCRD - PLAN No. 202.
- CONSOLIDATION OF LAND, THE MAINE MANUFACTURING CO., 44 BRIDGE STREET, NASHUA, N.H., SCALE: 1"=40', DATED: 9/20/77 AND PREPARED BY D. C. CALDERWOOD RECORDED: HCRD - PLAN No. 10590.
- SEWER EASEMENT PLAN, NORTH MERRIMACK RIVER INTERCEPTOR I, CITY OF NASHUA, N.H., SCALE: 1"=40', DATED: 8/26/89 AND PREPARED BY HAMILTON ENGINEERING ASSOC., INC. RECORDED: HCRD - PLAN No. 6178.
- RECORD DRAWINGS CIVIL SCREENING AND DISINFECTION FACILITY, OVERALL SITE PLAN, CITY OF NASHUA NEW HAMPSHIRE, CSO-025 AND CSO-006, SCREENING AND DISINFECTION FACILITY, DATED: JULY 2015, REVISED 07/02/15 AND PREPARED BY HAZEN AND SAWYER. ON FILE WITH THE CITY OF NASHUA.

NOTES:

- SITE AREA:
LOT 241 8.52± ACRES
LOT 475 1.113 ACRES
TOTAL 9.632 ACRES
- PRESENT ZONING:
GI/MU: GENERAL INDUSTRIAL/MIXED USE OVERLAY DISTRICT
MINIMUM LOT REQUIREMENTS
- LOT AREA 5,000 SF
- LOT FRONTAGE 50 FT
- LOT WIDTH 50 FT
- LOT DEPTH 75 FT
MINIMUM YARD SETBACKS
- FRONT YARD 10 FT
- SIDE YARD 10 FT
- REAR YARD 15 FT
- MAX BUILDING HEIGHT 60 FT
- MAX STORIES 5
- OPEN SPACE (%) 10
- MAX FLOOR RATIO 2.0
- LOT NUMBERS REFER TO THE CITY OF NASHUA ASSESSORS MAP 40.
- BRIDGE STREET IS A VARIABLE WIDTH, STATE OF NEW HAMPSHIRE, LIMITED ACCESS RIGHT OF WAY.
BANCROFT STREET STATUS IS UNKNOWN. NO RECORD OF LAYOUT, DEDICATION OR ACCEPTANCE FOUND. ROADWAY IS NOT PRESENTLY IMPROVED FOR TRAVEL ALONG ITS ENTIRE LENGTH. HISTORY OF IMPROVEMENT AND/OR MAINTAINANCE BY THE CITY UNKNOWN.
- A PORTION OF LOT 34 IS SUBJECT TO THE STATE OF NEW HAMPSHIRE SHORELAND PROTECTION ACT (RSA 483-B).
- A PORTION OF LOT 34 IS LOCATED IN A SPECIAL FLOOD HAZARD AREA ZONE AE AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY No. 330367, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 330100514E, REVISED DATE: APRIL 18, 2011 AND IS DEPICTED HEREON. THE REMAINDER OF LOT 34 AND LOT 48 IS PROTECTED BY A LEVEE SYSTEM, SEE FIRM MAP FOR ACCREDITED LEVEE NOTE.
- RECORD OWNER:
MAP 40, LOTS 34 & 48
CITY OF NASHUA
PO BOX 2018
229 MAIN STREET
NASHUA, NH 03061
VOL: 1133, PG: 372 - LOT 34
VOL: 1133, PG: 373 - LOT 34
VOL: 1135, PG: 408 - LOT 48

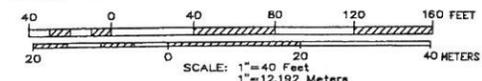
ADDITIONAL EASEMENTS:

- POSSIBLY SUBJECT TO A DAM ORDER NOTICE RECORDED IN VOLUME 2418, PAGE 34 OF THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS.
- SUBJECT TO THE RIGHTS OF OTHERS IN AND TO THAT PORTION OF THE PREMISES LOCATED WITHIN THE MERRIMACK AND NASHUA RIVERS.
- UTILITY EASEMENT TO PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE AND NORTHERN NEW ENGLAND TELEPHONE OPERATIONS LLC (NNA FAIRPOINT COMMUNICATIONS-NNE, LLC RECORDED IN VOLUME 8672, PAGE 1538 OF THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS.

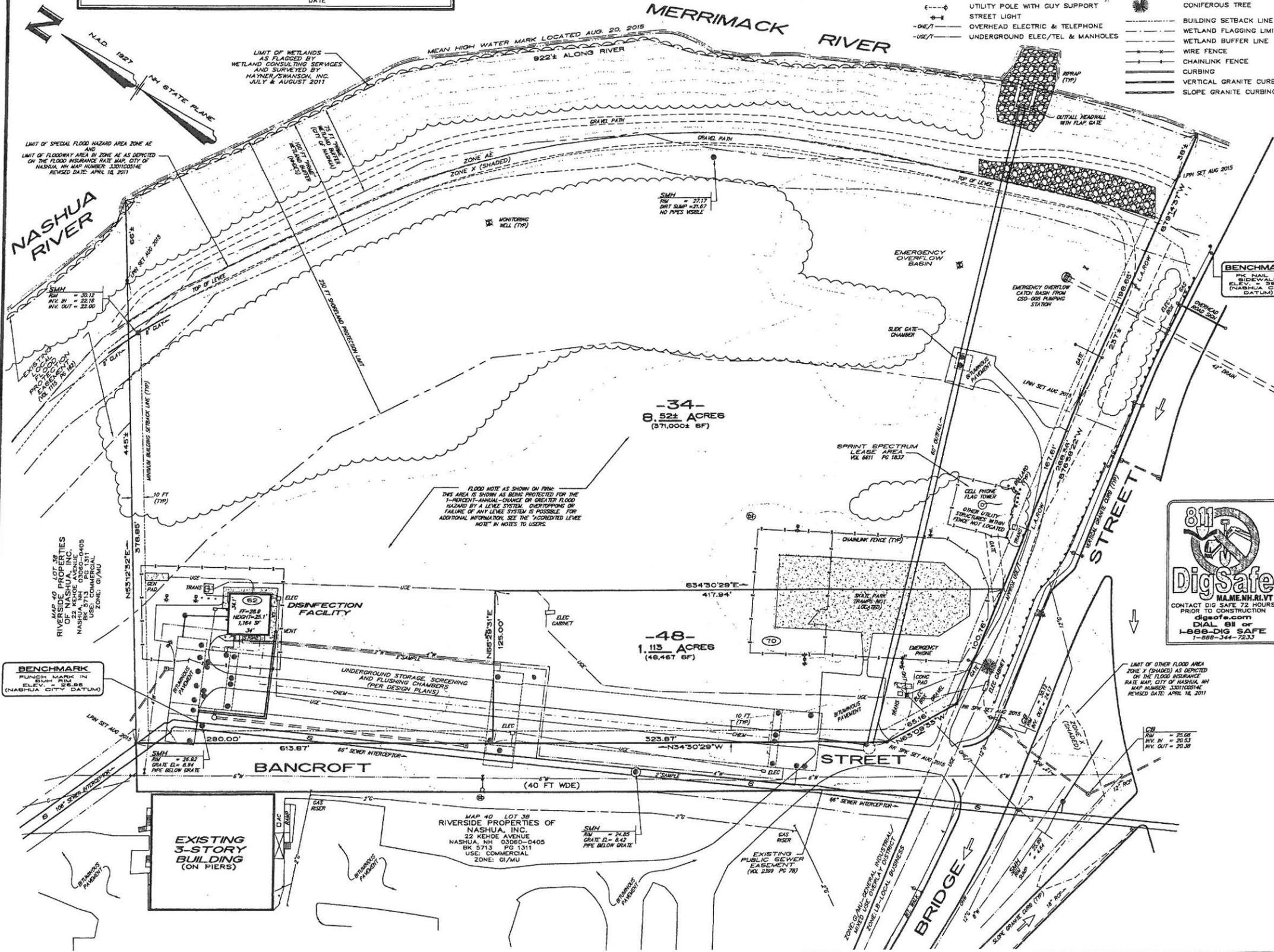
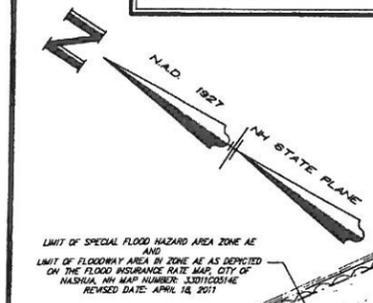


No.	DATE	REVISION	BY

EXISTING CONDITIONS PLAN
(MAP 40, LOTS 34 & 48)
62 & 70 BRIDGE STREET
NASHUA, NEW HAMPSHIRE
PREPARED FOR
RENAISSANCE AT NASHUA, LLC
9 GERHARD ROAD PLAINVIEW, NEW YORK 11803



2 NOVEMBER 2015
HSI Hayner/Swanson, Inc.
Three Congress Street Nashua, New Hampshire 03062-3301
Tel (603) 883-2057 www.hayner-swanson.com Fax (603) 883-5057



LIMIT OF WETLANDS AS FLAGGED BY WETLAND CONSULTING SERVICES AND SURVEYED BY HAYNER/SWANSON, INC. JULY & AUGUST 2011

LIMIT OF SPECIAL FLOOD HAZARD AREA ZONE AE AND LIMIT OF FLOODWAY AREA IN ZONE AE AS DEPICTED ON THE FLOOD INSURANCE RATE MAP, CITY OF NASHUA, NH MAP NUMBER: 330100514E REVISED DATE: APRIL 18, 2011

FLOOD NOTE AS SHOWN ON FIRM: THIS AREA IS SHOWN AS BEING PROTECTED FOR THE 1-PERCENT ANNUAL CHANCE OR GREATER FLOOD HAZARD BY A LEVEE SYSTEM. OVERTOPPING OR FAILURE OF ANY LEVEE SYSTEM IS POSSIBLE. FOR ADDITIONAL INFORMATION, SEE THE "ACCREDITED LEVEE NOTE" IN NOTES TO USERS.

WEST 40' FRONT SETBACK OF NASHUA, INC. INC. 22 KENGE AVENUE NASHUA, NH 03061 BK 5713 PG 1311 USE: COMMERCIAL ZONE: G1/MU

ELEC DISINFECTION FACILITY
UNDERGROUND STORAGE, SCREENING AND FLUSHING CHAMBERS (PER DESIGN PLANS)

MAP 40 LOT 38 RIVERSIDE PROPERTIES OF NASHUA, INC. 22 KENGE AVENUE NASHUA, NH 03062-0405 BK 5711 PG 1311 USE: COMMERCIAL ZONE: G1/MU

EXISTING PUBLIC SEWER EASEMENT (VOL 2392 PG 78)

LIMIT OF OTHER FLOOD AREA ZONE X (SHADED) AS DEPICTED ON THE FLOOD INSURANCE RATE MAP, CITY OF NASHUA, NH MAP NUMBER: 330100514E REVISED DATE: APRIL 18, 2011

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda Panny, Planner I
FOR: January 14, 2016
RE: **New Business #2 - Subdivision Plan**

I. Project Statistics:

Owner : Frank Queen, Sr.
Proposal: Four lot subdivision
Location: 30 Burke Street & "L" Underhill Street
Total Site Area: 38,438 sf
Existing Zoning: RB Urban Residence
Surrounding Uses: Residential

II. Background Information:

Presently on the lot exists a duplex with a detached garage that was built around 1900.

III. Project Description:

The purpose of this plan is to subdivide one lot into four lots. The existing duplex will remain and the lot that fronts onto Underhill Street will also contain a duplex. Single family homes are proposed on the remaining two lots. All lots will be serviced by Pennichuck Water Works and the City Sewer.

The applicant's engineer has indicated that the lot is relatively flat. The construction of the new homes and driveways and with the new driveway grading and addition of one leaching basin per lot will result in no increase of stormwater runoff.

Two waivers are being requested (see attached). The applicant has requested a waiver from the requirement to provide underground utilities; the existing utilities are overhead in the street. The other waiver is for sidewalks. The applicant has requested a waiver from the requirement to provide a sidewalk and a contribution of \$3,300 has been offered by the applicant in lieu of construction; the amount is based on a cost of \$50 per linear foot for the frontage on Underhill Street. There are existing sidewalks on Burke Street.

City Staff reviewed the plans. There are outstanding comments from the Engineering Department that still need to be addressed (see attached correspondence).

Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet the requirements outlined in the Subdivision NRO § 190-138(G). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons

should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulation be made part of that approval:

1. The request for a waiver of § 190-221(C), which requires underground utilities to be installed, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. The request for a waiver § 190-212(A)(1), which requires that a sidewalk be located on at least one side of the street, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation. The applicant has agreed to make a contribution in the amount of \$3,300.00 in lieu of sidewalk construction pursuant to §190-212(D)(2), payment to be made prior to recording the plan.
3. Prior to recording the plan, all comments in a letter from Jeanne Walker dated December 17, 2015 shall be addressed to the satisfaction of the Engineering Department.
4. Prior to recording of the plan, all comments in an e-mail from Cynthia Bautista shall be addressed to the satisfaction of the Fire Department.
5. Stormwater documents will be submitted to Planning staff for review and recorded with the plan at the applicant's expense.

ABUTTERS:

LOT 504/SHEET 14
ANTHONY & DONNA SZYDLOWSKI
30 BURKE STREET
NASHUA, NH 03060
ACCT. NO. 49449
BK. 2888/PG. 190

LOT 49B/SHEET 14
JONATHAN WINGATE
70 UNDERHILL STREET
NASHUA, NH 03060
ACCT. NO. 37470
BK. 8679/PG. 887

LOT 500/SHEET 14
MARC R. & PATRICIA A. RANCOURT
74 UNDERHILL STREET
NASHUA, NH 03060-4012
ACCT. NO. 37474
BK. 5968/PG. 269

LOT 490/SHEET 14
VALERIE DENAULT
48 BURKE STREET
NASHUA, NH 03060
ACCT. NO. 9112
BK. 2426/PG. 239

LOT 40/SHEET 14
FRANKLIN & REVA POTTER
18 BARKER AVENUE
NASHUA, NH 03060
ACCT. NO. 24870
BK. 5344/PG. 1075

LOT 41/SHEET 14
YANIRA HERNANDEZ
BRUCE MOORE
14 BARKER AVENUE
NASHUA, NH 03060
ACCT. NO. 24874
BK. 8742/PG. 1313

LOT 99/SHEET 14
FABIO & LOWE SOARES
12 BARKER AVENUE
NASHUA, NH 03060
ACCT. NO. 52018
BK. 8776/PG. 1499

LOT 45/SHEET 10
NASHUA HOUSING AUTHORITY
40 EAST PEARL STREET, 1ST FLOOR
NASHUA, NH 03060
ACCT. NO. 40021
BK. 2542/PG. 300

LOT 138/SHEET 11
JOHN A. & SHIRLEY FERNANDES
13 HUNT STREET
NASHUA, NH 03060
ACCT. NO. 11854
BK. 5500/PG. 342

LOT 139/SHEET 11
DIANA L. & JARI P. MANNISTO
37 BURKE STREET
NASHUA, NH 03060
ACCT. NO. 35144
BK. 8649/PG. 551

LOT 501/SHEET 14
JW MONTMARQUETTE LIVING TRUST
KATHERINE L. MONTMARQUETTE TRUSTEE
77 UNDERHILL STREET
NASHUA, NH 03060-4011
ACCT. NO. 37476
BK. 8698/PG. 2352

LOT 502/SHEET 14
PATER L. & BRENDA SILVI
75 UNDERHILL STREET
NASHUA, NH 03060-4011
ACCT. NO. 37478
BK. 5807/PG. 1468

LOT 503/SHEET 14
BURGEAU FAMILY REVOCABLE TRUST
JOHN L. BURGEAU TRUSTEE
73 UNDERHILL STREET
NASHUA, NH 03060-4011
ACCT. NO. 37480
BK. 8014/PG. 1037

LOT 495/SHEET 14
GERARD G. NANTEL
71 UNDERHILL STREET
NASHUA, NH 03060-4011
ACCT. NO. 24660
BK. 2882/PG. 373

MAYNARD & PAQUETTE ENG. ASSOC., LLC
23 EAST PEARL STREET
NASHUA, NH 03060

PLAN REFERENCES:

1. CONSOLIDATION AND LOT LINE RELOCATION PLAN - LOTS 40, 41, 42 & 493/SHEET 14 FOR: JOHN NAVICKAS; BY: MAYNARD & PAQUETTE INC.; DATED: SEPTEMBER 1994
2. LOT LINE RELOCATION PLAN, MAP 14/LOTS 46 & 100, NASHUA, NH FOR: BARBARA R. KELSON; BY: ERNEST JEFFREY, LLS; DATED: MAY 2009 SCALE: 1"=10'; H.C.R.D. NO. 36604

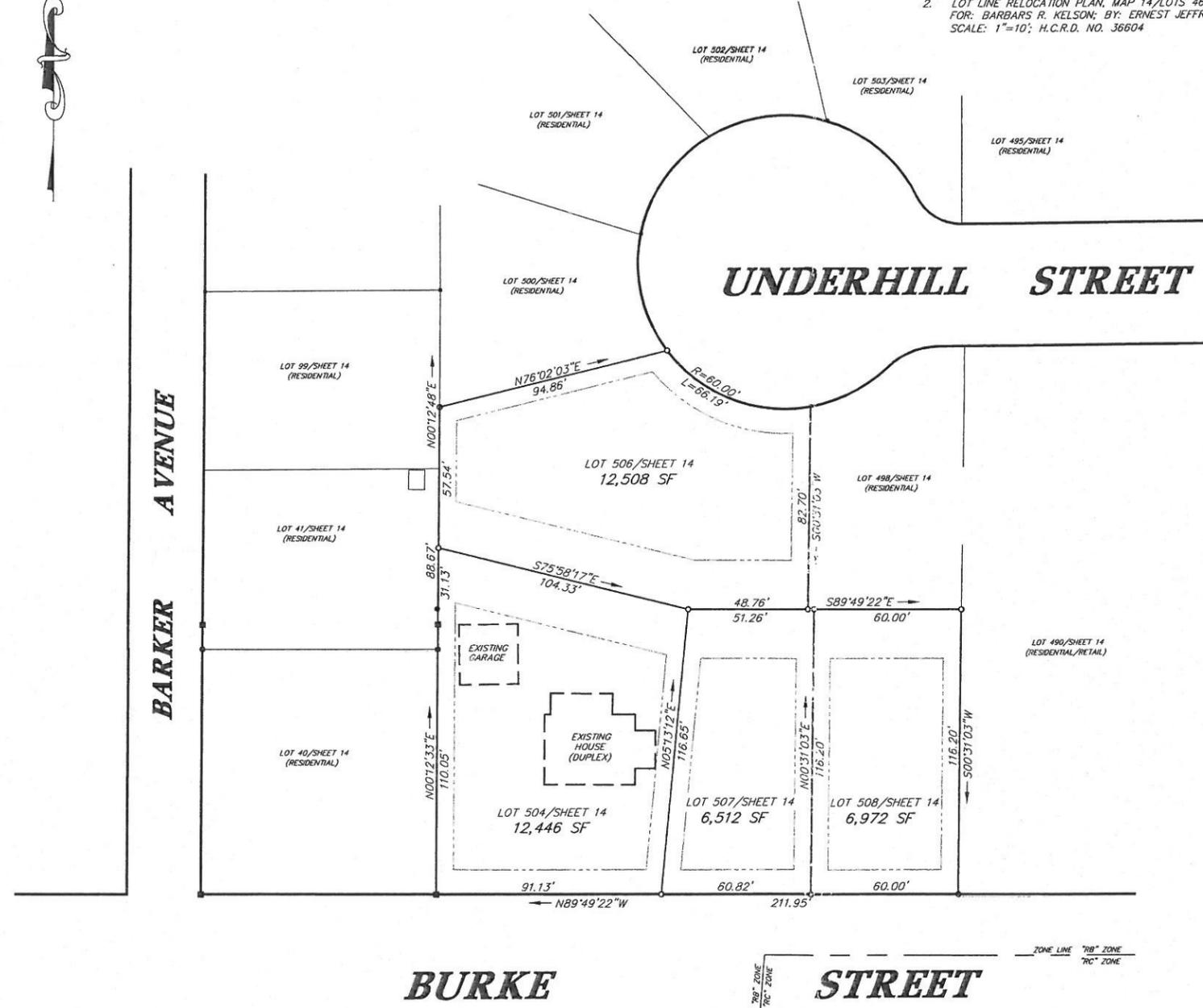
LEGEND

- STONE BOUND FOUND
- STONE BOUND TO BE SET
- IRON PIN/PIPE FOUND
- IRON PIN TO BE SET
- MINIMUM BUILDING SETBACK
- EXISTING PAVEMENT
- EXISTING BUILDING
- - - EXISTING U-POLE

VICINITY

NOTES:

1. PRESENT ZONING - "RB"
 2. EXISTING & PROPOSED USE - RESIDENTIAL
 3. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE LOT 504/SHEET 14 INTO 4 NEW LOTS.
 4. TOTAL AREA OF PARCELS - 38,438 SF
 5. LOT IS SERVED BY PENNICHUCK WATER AND CITY OF NASHUA SEWER.
 6. AREA OF EXCHANGE - OLD AREA NEW AREA AREA OF EXCHANGE
- | | | | |
|-----------|-----------|-----------|------------|
| LOT 504 - | 38,438 SF | 12,446 SF | -25,992 SF |
| LOT XXX - | 0 SF | 12,508 SF | +12,508 SF |
| LOT XXX - | 0 SF | 6,972 SF | +6,972 SF |
| LOT XXX - | 0 SF | 6,512 SF | +6,512 SF |
| TOTALS - | 38,438 SF | 38,438 SF | 0 SF |
7. PERMANENT MARKERS ARE TO BE SET AT ALL LOT CORNERS BY A LICENSED LAND SURVEYOR.
 8. DIMENSIONAL REQUIREMENTS -
- | | LOT 504 | LOT 506 | |
|---------------------------------|-------------|-------------|--|
| SINGLE FAMILY | | | |
| MINIMUM LOT AREA- 6,000 S.F. | 6,512 SF | 6,972 SF | |
| FRONT YARD SETBACK- 10' MIN. | 20 FT. MIN. | 20 FT. MIN. | |
| SIDE YARD SETBACK- 7' MIN. | 7 FT. MIN. | 7 FT. MIN. | |
| REAR YARD SETBACK- 20' MIN. | 20 FT. MIN. | 20 FT. MIN. | |
| MIN. OPEN SPACE- 35% MIN. | 35% MIN. | 35% MIN. | |
| MIN. LOT WIDTH- 60 FEET MIN. | 60.00 FT. | 60.00 FT. | |
| MIN. LOT FRONTAGE- 50 FEET MIN. | 60.82 FT. | 60.00 FT. | |
| MIN. LOT DEPTH- 80 FEET MIN. | 116.43 FT. | 116.20 FT. | |
| DUPLEX | | | |
| MINIMUM LOT AREA- 12,446 S.F. | 12,446 SF | 12,508 SF | |
| FRONT YARD SETBACK- 10' MIN. | 44.6 | 10 FT. MIN. | |
| SIDE YARD SETBACK- 7' MIN. | 7.2 | 7 FT. MIN. | |
| REAR YARD SETBACK- 20' MIN. | 40.5 | 20 FT. MIN. | |
| MIN. OPEN SPACE- 35% MIN. | 35% MIN. | 35% MIN. | |
| MIN. LOT WIDTH- 60 FEET MIN. | 92.00 FT. | 79.5 FT. | |
| MIN. LOT FRONTAGE- 50 FEET MIN. | 91.13 FT. | 66.2 FT. | |
| MIN. LOT DEPTH- 80 FEET MIN. | 128.92 FT. | 100 FT. | |
9. FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATIONS OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THIS PLAN PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN PRIOR TO PROCEEDING WITH THE WORK.
 11. THE SITE IS LOCATED WITHIN ZONE X, OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD PLAIN, PER F.L.R.M. COMMUNITY MAP NUMBER 33011C0652E. EFFECTIVE DATE: SEPT. 25, 2009
 12. FOR EXISTING AND PROPOSED ON-SITE/OFF-SITE FEATURES, SEE EXISTING CONDITIONS PLAN, SHEET 2 AND GRADING PLAN, SHEET 3.
 12. SHEET 1 TO BE RECORDED AT THE H.C.R.D.
 13. PARKING REQUIRED: 2 SPACES PER LOT/UNIT
PARKING PROPOSED: 2 SPACES PER LOT/UNIT
 14. UTILITIES INCLUDING ALL ELECTRIC, TELEPHONE, CABLE TELEVISION, AND OTHER COMMUNICATION LINES, BOTH MAIN AND SERVICE CONNECTIONS, SERVICING NEW DEVELOPMENTS SHALL BE PROVIDED BY OVERHEAD WIRING, PER WAIVER REQUEST.
 15. THE PROPOSED DRIVEWAY MEETS SITE DISTANCE REQUIREMENTS PER SECTION 190-20B OF THE CITY OF NASHUA ZONING REGULATIONS. SEE GRADING PLAN, SHEET 3 FOR SIGHT DISTANCE INFORMATION.
 16. STREET RESTORATION SHALL BE IN ACCORDANCE WITH CHAPTER 285 DIVISION 13 ARTICLE II OF THE CITY OF NASHUA ORDINANCES. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED TO THE SATISFACTION OF THE DIVISION OF PUBLIC WORKS (NO NEW PUBLIC R.O.W.'S PROPOSED).
 17. EROSION CONTROL MEASURES (SILT FENCE SCREENING) SHALL BE INSTALLED PRIOR TO INITIATION OF ANY WORK AND SHALL BE MAINTAINED BY THE DEVELOPER UNTIL ADEQUATE VEGETATIVE COVER HAS BEEN ESTABLISHED ON ALL GRADED AREAS.
 18. THERE ARE NO WETLANDS ON THE SITE.



SUBDIVISION PLAN - LOT 504/SHEET 14

30 BURKE STREET & UNDERHILL STREET
NASHUA, NEW HAMPSHIRE

OWNER:
FRANK X. QUEEN, SR.
35 MASSACHUSETTS DRIVE
NASHUA, NH 03060
603-365-7627

SCALE: 1" = 30'

DATE: NOVEMBER 3, 2015

ENGINEERING
MP ASSOCIATES
Maynard & Paquette
Engineering Associates, LLC
Consulting Engineers and Land Surveyors
23 East Pearl Street, Nashua, NH 03060
Phone: (603)883-8433 Fax: (603)883-7227

NO.	DATE	REVISIONS PER PLANNING & ENGINEERING DEPT. COMMENTS	APP. BY
1	12/28/2015		

APPROVED BY THE CITY OF NASHUA PLANNING BOARD

SECRETARY _____ DATE _____

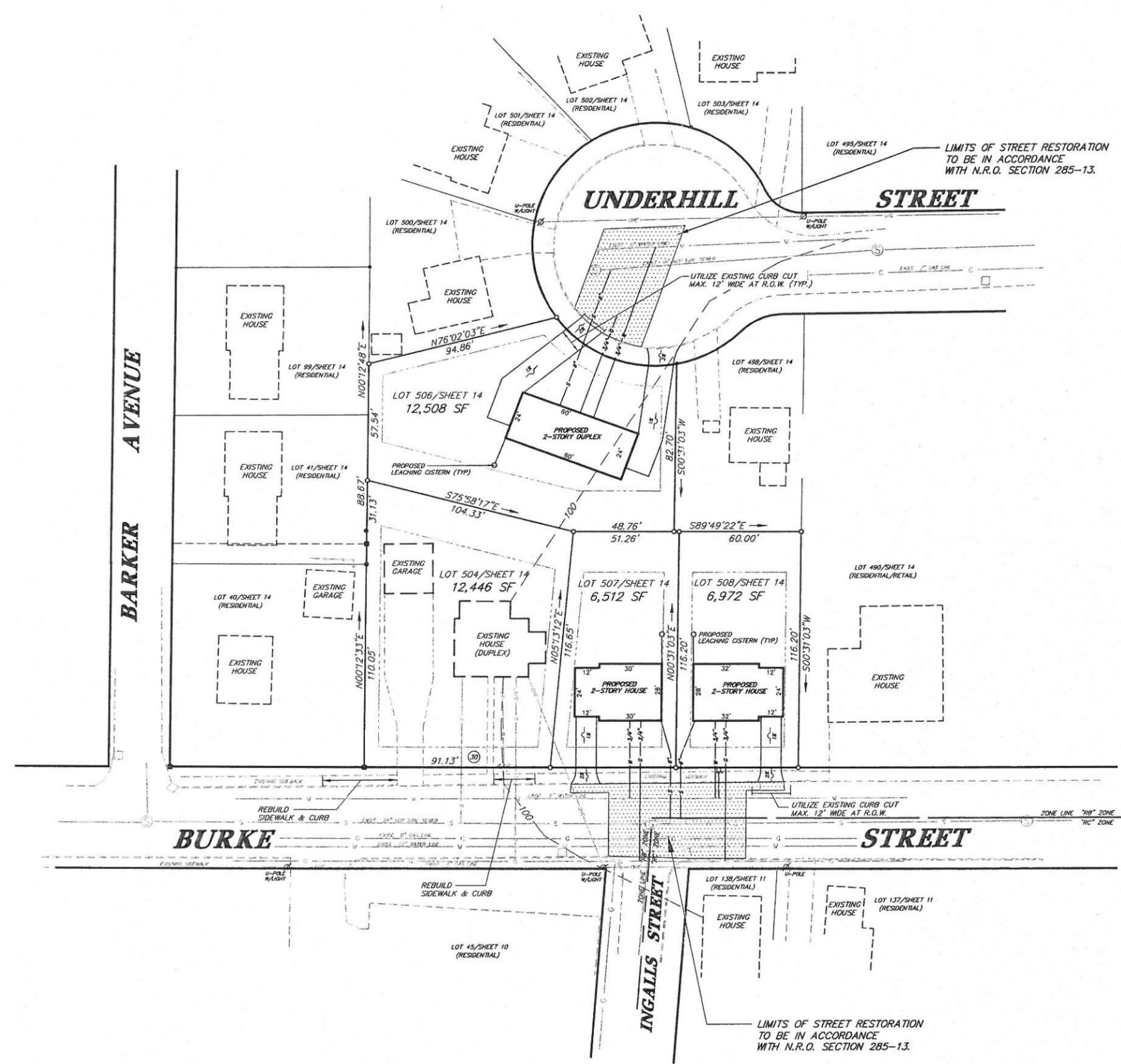
CHAIRMAN _____ DATE _____

Frank Queen Sr.
FRANK QUEEN, SR. (OPTION HOLDER)

I CERTIFY THAT THIS PLAN WAS PREPARED FROM BOUNDARY INFORMATION SHOWN ON PLAN REFERENCES 1 - 2 AND A FIELD SURVEY MADE ON THE GROUND IN OCTOBER 2015 HAVING A MAXIMUM ERROR OF CLOSURE OF 1:10,000.



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NOTES:

1. LIMITS OF STREET RESTORATION TO BE IN ACCORDANCE WITH N.R.O. SECTION 285-13.
2. THE EXISTING DRIVEWAY SHALL BE SAWCUT IN LINE WITH THE EDGE OF THE EXISTING ROADWAY, PRIOR TO ITS REMOVAL.
3. THE AREA WHERE THE EXISTING DRIVEWAY IS REMOVED SHALL BE LOAMED AND SEEDED.
4. THE PROPOSED DRIVEWAYS WILL BE NEATLY BUTTED TO THE EXISTING BARKER AVE. EXISTING PAVEMENT. IF NECESSARY, A ROADWAY PATCH SHALL BE USED TO BLEND INTO THE EXISTING PAVEMENT.
5. SEWER CONNECTIONS FOR BURKE STREET HOUSES SHALL BE SIDE BY SIDE IN A COMMON TRENCH. LINES TO BE APPROX. 5+/- FT. CENTER LINE TO CENTER LINE.
6. THE PROPOSED LOT LAYOUTS AND HOUSE SIZES AND LOCATIONS ARE ILLUSTRATIVE ONLY.
7. BURKE STREET UNDER CONSTRUCTION AND ONLY HAS BINDER COURSE OF PAVEMENT. FINAL WEARING COURSE OF PAVEMENT SCHEDULED TO BE COMPLETED BY JUNE 15, 2016. ALL WORK IN R.O.W. (TRENCHES, CURBS, DRIVEWAYS) MUST BE COMPLETED PRIOR TO FINAL PAVING OR 5 YEAR STREET OPENING MORATORIUM APPLIES PER CITY ORDINANCE.
8. THE MAXIMUM TOTAL WIDTH OF DRIVEWAYS PER LOT MEASURE AT THE R.O.W./PROPERTY LINE SHALL BE 24 FT.
9. DRIVEWAY PLAN TO BE APPROVED BY ENGINEERING DEPT. AT TIME OF BUILDING PERMIT.

NO.	DATE	REVISIONS PER PLANNING & ENGINEERING DEPT. COMMENTS	APB BY
1	12/28/2015	REVISION	

GRADING PLAN - LOT 504/SHEET 14
30 BURKE STREET & UNDERHILL STREET
NASHUA, NEW HAMPSHIRE

OWNER:
 FRANK X. QUEEN, SR.
 35 MASSACHUSETTS DRIVE
 NASHUA, NH 03060
 603-365-7627

SCALE: 1" = 30'
 DATE: NOVEMBER 3, 2015

ENGINEERING

Maynard & Paquette
 Engineering Associates, LLC
 Consulting Engineers and Land Surveyors
 23 East Pearl Street, Nashua, NH, 03060
 Phone: (603)883-8433 Fax: (603)883-7227

KPM	APB				1	D	12483
DESIGNED	DRAFTED	CHECKED	APPROVED	BOOK & PAGE	REVISION	SIZE	JOB NUMBER

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NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda Panny, Planner I
FOR: January 14, 2016
RE: **New Business #3 - Site Plan**

I. Project Statistics:

Owners: Emme Kate LLC
Applicant: Albrecht Auto Group
Proposal: Site plan to construct new a 33,368 sf building
Location: 11 and 15 Marmon Drive
Total Site Area: 5.56 acres
Existing Zoning: HB - Highway Business & RA – Urban Residence
Surrounding Uses: Commercial & Residential

II. Background Information:

According to assessing records the building was constructed in the 1960s. It has been used as auto sales and service and is currently home to Infiniti of Nashua. In the 1970s the planning board approved a site plan and over the years the owners have come back before the board for additions. In 2001 the board approved a building addition at 15 Marmon Drive; the approval letter is attached. At that time there were some concerns from abutters regarding light and noise and stipulations were placed on the plan as a condition of approval.

III. Project Description:

The proposed project is the redevelopment of the existing auto sales and service facility. The two existing buildings will be demolished and a new 33,368 sf building will be constructed for sales and service. The existing building at 11 Marmon Drive will remain open during construction for service only. Once construction is complete, the building at 11 Marmon Drive will be demolished. Site improvements include reconfiguring the pavement areas and building circulation, new landscaping and lighting, and a subsurface infiltration system for the stormwater. According to the drainage report submitted by the applicant, the majority of the existing impervious area sheet flows towards the rear of the property. The runoff is collected with a series of leaching catch basins at the rear of the parking area. A subsurface infiltration system will recharge the stormwater runoff from the impervious areas.

The property is split between the Highway Business and Urban Residential. No changes are being proposed within the residential zone. The existing wooded vegetation at the rear of the parcel will remain as a buffer to the residential area. All new utilities will be installed underground.

Two waivers have been requested as part of this application. The building design does not strictly conform to the standards set forth in § 190–172 as called for by City Ordinance. An

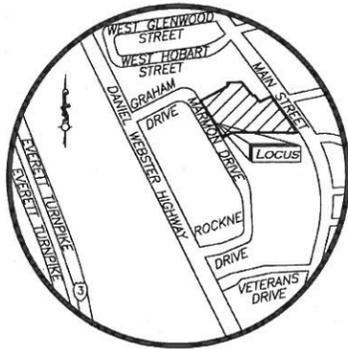
additional waiver has been requested for sidewalk construction along the principal frontage of the lot (see attached letters).

City staff reviewed the plans. There are outstanding comments that still need to be addressed (see attached correspondence).

Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulation be made part of that approval:

1. The request for a waiver of NRO § 190-172, which sets building design standards, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation
2. The request for a waiver of NRO § 190-212, which requires that a sidewalk be located on one side of the street, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
3. Prior to the issuance of a building permit, all comments in letter from Jeanne Walker, PE dated January 4, 2016 shall be addressed to the satisfaction of the Engineering Department.
4. Prior to the issuance of a building permit, all comments in an email from Cynthia Bautista dated December 28, 2015 shall be addressed to the satisfaction of the Fire Department
5. Stormwater documents will be submitted to City staff for review and recorded at the applicant's expense prior to the issuance of a building permit.
6. Prior to any site disturbance, the Alteration of Terrain Permit for the project shall be approved by NHDES.
7. Any work within the right-of-way shall require a financial guarantee.
8. Prior to the chair signing the plan, minor drafting corrections will be made.
9. Prior to the issuance of a certificate of occupancy, all site improvements will be completed.

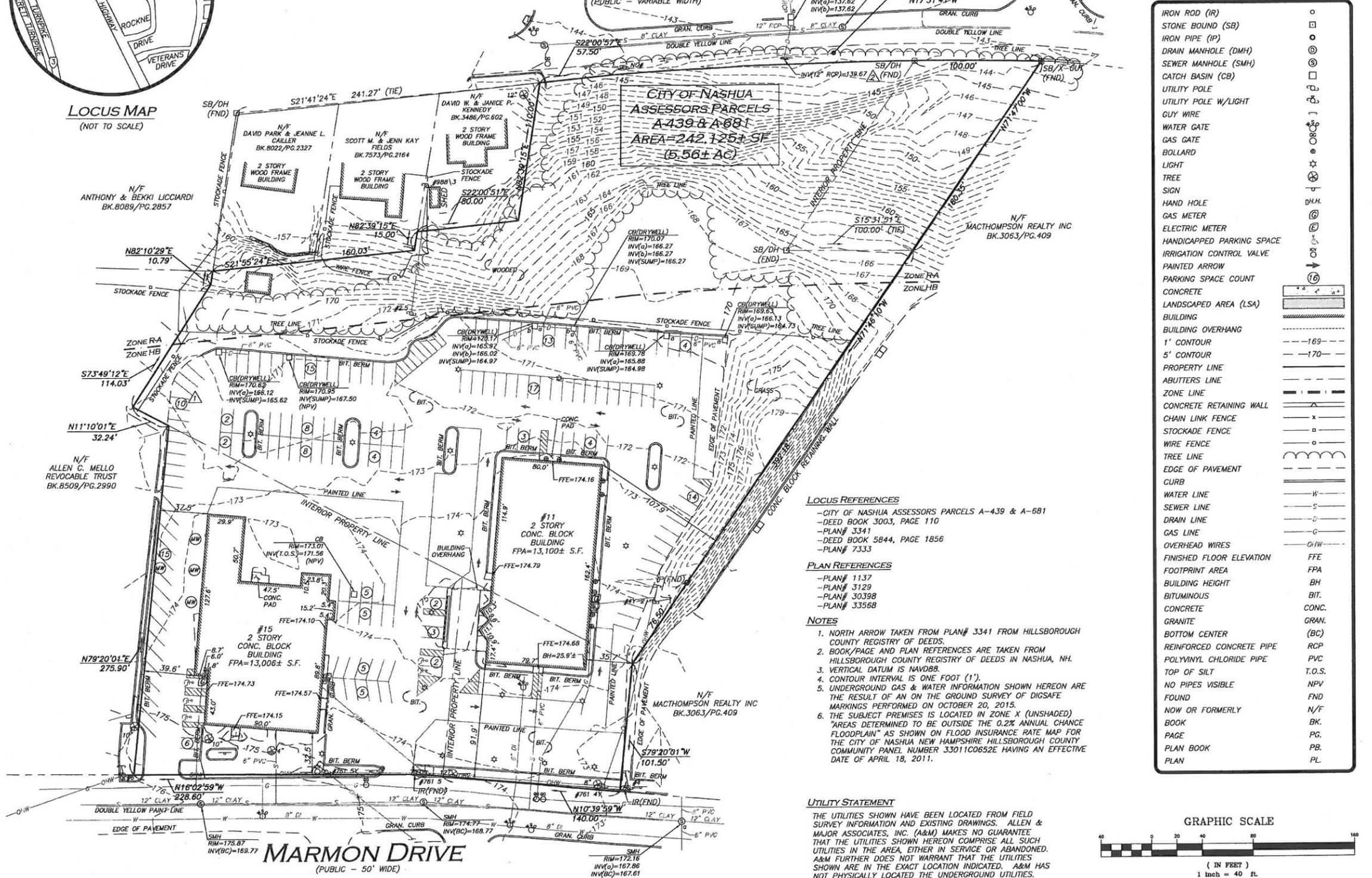


LOCUS MAP
(NOT TO SCALE)

PARKING SUMMARY	
STANDARD STALLS	151
HANDICAPPED STALLS	5
TOTAL STALLS	156

BENCHMARK SUMMARY		
TBM #	DESCRIPTION	ELEV.
▲	MAG NAIL SET IN PAVEMENT	171.82
▲	TOP OF STONE BOUND WITH DRILL HOLE	142.26

SOUTH MAIN STREET
(PUBLIC - VARIABLE WIDTH)



LEGEND

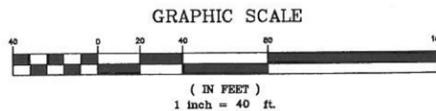
- IRON ROD (IR) ○
- STONE BOUND (SB) □
- IRON PIPE (IP) ⊙
- DRAIN MANHOLE (DMH) ⊕
- SEWER MANHOLE (SMH) ⊕
- CATCH BASIN (CB) ⊕
- UTILITY POLE ○
- UTILITY POLE W/LIGHT ○
- GUY WIRE ○
- WATER GATE ○
- GAS GATE ○
- BOLLARD ○
- LIGHT ○
- TREE ○
- SIGN ○
- HAND HOLE ○
- GAS METER ○
- ELECTRIC METER ○
- HANDICAPPED PARKING SPACE ○
- IRRIGATION CONTROL VALVE ○
- PAINTED ARROW ○
- PARKING SPACE COUNT ○
- CONCRETE ○
- LANDSCAPED AREA (LSA) ○
- BUILDING ○
- BUILDING OVERHANG ○
- 1' CONTOUR - - - - -
- 5' CONTOUR - - - - -
- PROPERTY LINE - - - - -
- ABUTTERS LINE - - - - -
- ZONE LINE - - - - -
- CONCRETE RETAINING WALL - - - - -
- CHAIN LINK FENCE - - - - -
- STOCKADE FENCE - - - - -
- WIRE FENCE - - - - -
- TREE LINE - - - - -
- EDGE OF PAVEMENT - - - - -
- CURB - - - - -
- WATER LINE - - - - -
- SEWER LINE - - - - -
- DRAIN LINE - - - - -
- GAS LINE - - - - -
- OVERHEAD WIRES - - - - -
- FINISHED FLOOR ELEVATION FFE
- FOOTPRINT AREA FPA
- BUILDING HEIGHT BH
- BITUMINOUS BIT.
- CONCRETE CONC.
- GRANITE GRAN.
- BOTTOM CENTER (BC)
- REINFORCED CONCRETE PIPE RCP
- POLYVINYL CHLORIDE PIPE PVC
- TOP OF SILT T.O.S.
- NO PIPES VISIBLE NPV
- FOUND FND
- NOW OR FORMERLY N/F
- BOOK BK.
- PAGE PG.
- PLAN BOOK PB.
- PLAN PL.

LOCUS REFERENCES
 -CITY OF NASHUA ASSESSORS PARCELS A-439 & A-681
 -DEED BOOK 3003, PAGE 110
 -PLAN# 3341
 -DEED BOOK 5844, PAGE 1856
 -PLAN# 7333

PLAN REFERENCES
 -PLAN# 1137
 -PLAN# 3129
 -PLAN# 30398
 -PLAN# 33568

NOTES
 1. NORTH ARROW TAKEN FROM PLAN# 3341 FROM HILLSBOROUGH COUNTY REGISTRY OF DEEDS.
 2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM HILLSBOROUGH COUNTY REGISTRY OF DEEDS IN NASHUA, NH.
 3. VERTICAL DATUM IS NAVD83.
 4. CONTOUR INTERVAL IS ONE FOOT (1').
 5. UNDERGROUND GAS & WATER INFORMATION SHOWN HEREON ARE THE RESULT OF AN ON THE GROUND SURVEY OF DIGSAFE MARKINGS PERFORMED ON OCTOBER 20, 2015.
 6. THE SUBJECT PREMISES IS LOCATED IN ZONE X (UNSHADED) "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" AS SHOWN ON FLOOD INSURANCE RATE MAP FOR THE CITY OF NASHUA NEW HAMPSHIRE HILLSBOROUGH COUNTY COMMUNITY PANEL NUMBER 33011C0652E HAVING AN EFFECTIVE DATE OF APRIL 18, 2011.

UTILITY STATEMENT
 THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



N:\PROJECTS\2076-01\SURVEY\DRAWINGS\S-2076-01-EC.DWG
 FB# 1705 PC. 39

THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN NOVEMBER 5, 2014 AND OCTOBER 20, 2015 AND HAD AN ERROR OF CLOSURE OF NO GREATER THAN 1/10,000.

ALLEN & MAJOR ASSOCIATES, INC.
 12/3/15
 DATE



LICENSED LAND SURVEYOR FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
 ALBRECHT AUTO GROUP
 394 WASHINGTON STREET
 WOBURN, MA 01801

PROJECT:
 11-15 MARMON DRIVE
 595 SOUTH MAIN STREET
 NASHUA, NH

PROJECT NO. 2076-01 **DATE** 12/03/15

SCALE: 1" = 40' **DWG. NAME:** S-207601-EC

DRAFTED BY: KAC **CHECKED BY:** KJK/KKC

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
 civil & structural engineering • land surveying
 environmental consulting • landscape architecture
 www.allenmajor.com
 100 COMMERCE WAY
 P.O. BOX 9118
 WOBURN MA 01888-0118
 TEL: (781) 935-6889
 FAX: (781) 935-2896
 WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE: EXISTING CONDITIONS **SHEET No.:** EX-1

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**LAND USAGE TABLE
HIGHWAY BUSINESS (HB)**

ITEM	REQUIRED/ALLOWED	PROPOSED
LOT AREA	20,000 S.F. (MIN)	242,125± S.F.
FRONTAGE	80' (MIN)	368.60' (MARMON RD)
FRONT YARD SETBACK	20' (MIN.)	75.8'
SIDE YARD SETBACK	10' (MIN)	55.6'
REAR YARD SETBACK	20' (MIN)	96.5'
BUILDING HEIGHT	60' (MAX)	26'±
BUILDING STORIES	5 (MAX)	2
OPEN SPACE PERCENTAGE	20% (MIN)	43%
FLOOR AREA RATIO	75% (MAX)	13.8%

OFF-STREET PARKING SUMMARY

USE: COMMERCIAL #45 - CAR, BOAT OR MARINE CRAFT DEALERS:

1 SPACE PER 500 SF (33,368 SF / 500 SF) = 67 SPACE (MIN)
 1 SPACE PER 150 SF (33,368 SF / 150 SF) = 222 SPACE (MAX)

MINIMUM ADA SPACES: 3 (TABLE 208.2 D.O.J. 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN)

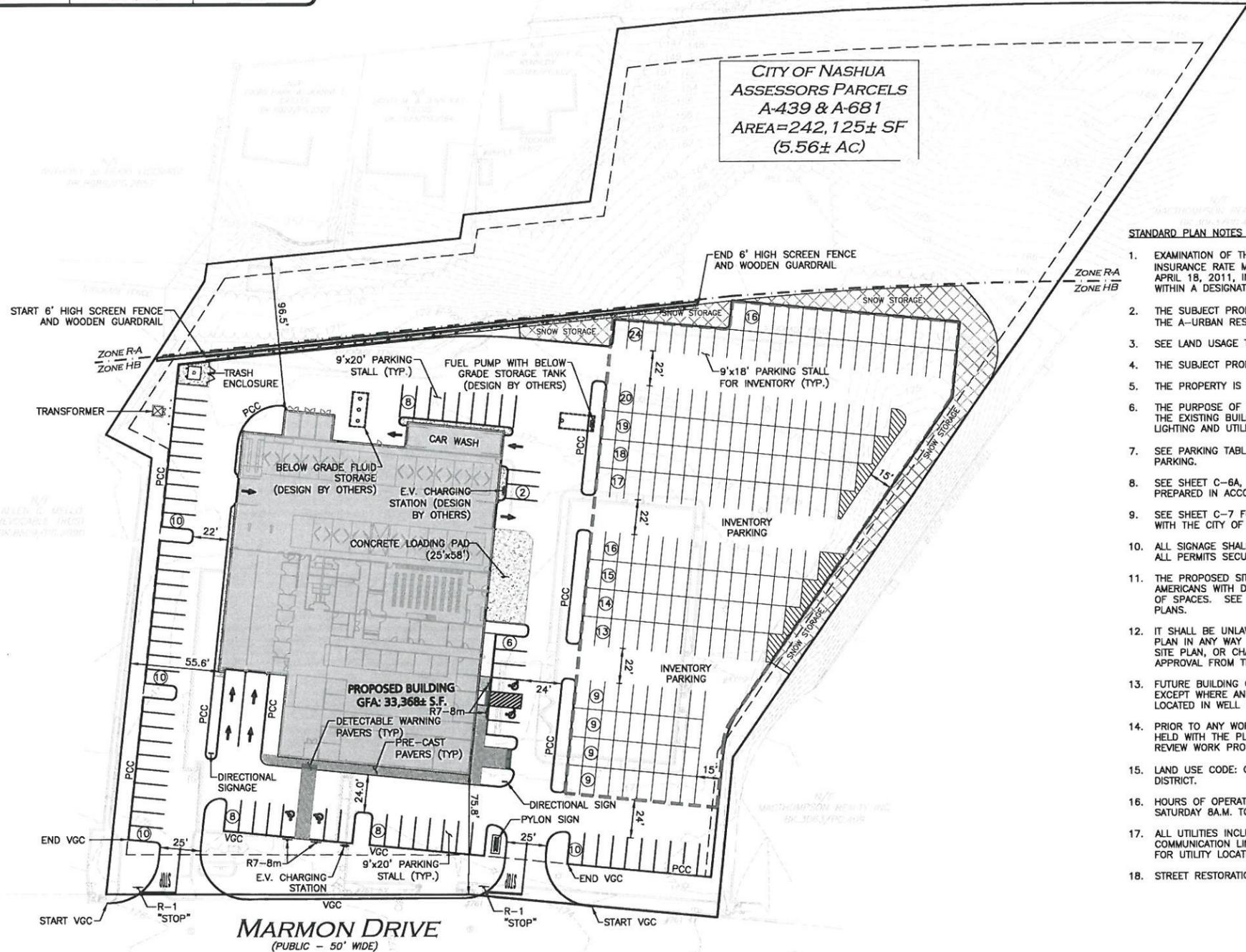
	ACCESSIBLE	STANDARD	INVENTORY PARKING	TOTAL PROVIDED
PROVIDED	4	68	208	280

LEGEND:

PROPERTY LINE	---
SIGN	—
BOLLARD	•
BUILDING	▭
BUILDING OVERHANG	—
BUILDING ARCHITECTURE	▭
CURB	—
RETAINING WALL	—
PARKING STRIPING	—
ROADWAY STRIPING	—
TRAFFIC ARROWS	→
SINGLE YELLOW LINE	SYL
CONCRETE	▨
HEAVY DUTY PAVEMENT	▨
CONCRETE SIDEWALK	▨
ADA CURB TRANSITION	—
DETECTABLE WARNING SURFACE	▨
SNOW STORAGE	▭
SETBACK LINE	---
PARKING COUNT	⑩
WOOD GUARDRAIL	—
6' HIGH PVC PRIVACY FENCE	—
STONE DRIP EDGE	—
UTILITY POLE	⊕

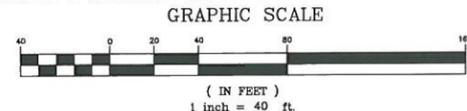
SOUTH MAIN STREET
(PUBLIC - VARIABLE WIDTH)

CITY OF NASHUA
ASSESSORS PARCELS
A-439 & A-681
AREA=242,125± SF
(5.56± AC)



STANDARD PLAN NOTES PER NASHUA PLANNING BOARD SITE PLAN CHECKLIST:

- EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM), MAP NUMBER 33011C0652E, PANEL 652 OF 701, DATED APRIL 18, 2011, INDICATES THAT NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN A DESIGNATED FLOOD ZONE.
- THE SUBJECT PROPERTY IS LOCATED WITHIN THE HIGHWAY BUSINESS DISTRICT (HB) AND THE A-URBAN RESIDENCE DISTRICT (R-A).
- SEE LAND USAGE TABLE HEREON FOR DIMENSIONAL REQUIREMENTS.
- THE SUBJECT PROPERTY IS IDENTIFIED AS PARCELS A-439 AND A-681.
- THE PROPERTY IS SERVED BY MUNICIPAL SEWER AND PENNICHUCK WATER WORKS.
- THE PURPOSE OF THIS SITE PLAN IS TO RE-DEVELOP THE EXISTING SITE TO CONSOLIDATE THE EXISTING BUILDINGS INTO A SINGLE BUILDING AND IMPROVE PARKING LAYOUT, LIGHTING AND UTILITIES.
- SEE PARKING TABLE SHOWN HEREON FOR A BREAKDOWN OF THE REQUIRED/ PROPOSED PARKING.
- SEE SHEET C-6A, C-6B, C-6C FOR THE PROPOSED LANDSCAPE IMPROVEMENTS PREPARED IN ACCORDANCE WITH THE CITY OF NASHUA ZONING REGULATIONS.
- SEE SHEET C-7 FOR THE PROPOSED SITE LIGHTING PLAN PREPARED IN ACCORDANCE WITH THE CITY OF NASHUA ZONING REGULATIONS.
- ALL SIGNAGE SHALL CONFORM TO APPLICABLE CITY OF NASHUA ZONING REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
- THE PROPOSED SITE IMPROVEMENTS SHOWN HEREON CONFORM TO TITLE 111 OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSIONS AND GRADE AND NUMBER OF SPACES. SEE SHEETS C-3, C-3A, C-3B, C-3C, AND C-3D FOR DETAILED GRADING PLANS.
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN IN ANY WAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
- FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
- PRIOR TO ANY WORK BEING CONDUCTED, A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PLANNING STAFF AND OTHER CITY DEPARTMENTS AS NECESSARY TO REVIEW WORK PROPOSED.
- LAND USE CODE: COMMERCIAL #45, CAR DEALER IS ALLOWED WITHIN THE (HB) ZONING DISTRICT.
- HOURS OF OPERATION: MONDAY-THURSDAY 7A.M. TO 8P.M.; FRIDAY 7A.M. TO 7P.M.; SATURDAY 8A.M. TO 6P.M.; SUNDAY 11A.M. TO 5P.M.
- ALL UTILITIES INCLUDING ELECTRIC, TELEPHONE, CABLE, TELEVISION, AND OTHER COMMUNICATION LINES SHALL BE PROVIDED BY UNDERGROUND WIRING. SEE SHEET C-4 FOR UTILITY LOCATIONS.
- STREET RESTORATION SHALL BE IN ACCORDANCE WITH NRO-285-13.



APPROVED - NASHUA CITY PLANNING BOARD

CHAIRMAN _____ DATE _____
 SECRETARY _____ DATE _____
 DATE OF APPROVAL _____

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
ALBRECHT AUTO GROUP
394 WASHINGTON STREET
WOBBURN, MA 01801

PROJECT:
INFINITI OF NASHUA
11-15 MARMON DRIVE/
595 SOUTH MAIN STREET
(PARCELS A-439 & A-681)
NASHUA, NH 03063

PROJECT NO. 2076-01A DATE: 12-03-15
 SCALE: 1"=40' DWG. NAME: -
 DRAFTED BY: BDJ CHECKED BY: BDJ

ALLEN & MAJOR ASSOCIATES, INC.
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 environmental consulting • landscape architecture
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DRAWING TITLE: **SITE LAYOUT PLAN** SHEET NO. **C-2**

PROPOSED DRAIN MANHOLES

ID	RIM	INVERT IN	INVERT IN	INVERT OUT	LENGTH	SLOPE	DIA.	MATERIAL
DMH1	174.00	170.00(CB2)	170.00(CB3)	169.60(CB4)	100'	0.50%	18"	HDPE
DMH2	172.70	168.06(CB7)	167.31(CB6)	168.31(DMH3)	50'	2.00%	24"	HDPE
				167.23(WQ1)	6'	1.67%	12"	HDPE
DMH3	173.20	167.31(DMH2)	166.83(WQ1)	167.60(I.S.)	80'	0.00%	12"	HDPE
				166.10(I.S.)	5'	2.00%	24"	HDPE
DMH4	174.30	169.22(CB10)	-	169.12(DMH5)	50'	2.00%	18"	HDPE
				168.12(WQ2)	6'	1.67%	12"	HDPE
DMH5	173.85	168.12(DMH4)	167.72(WQ2)	167.62(DMH6)	50'	1.00%	18"	HDPE
				167.60(I.S.)	80'	0.00%	12"	HDPE
DMH6	173.18	167.12(DMH5)	-	167.60(I.S.)	80'	0.00%	12"	HDPE
				166.10(I.S.)	5'	2.00%	24"	HDPE

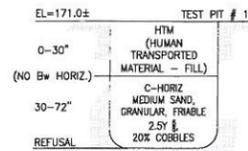
PROPOSED CATCH BASINS

STRUCTURE	RIM	INVERT IN	INVERT IN	INVERT OUT	LENGTH	SLOPE	DIA.	MATERIAL
CB1	174.45	-	-	171.10(CB2)	105'	0.50%	12"	HDPE
CB2	174.30	170.57(CB1)	-	170.47(DMH1)	93'	0.50%	12"	HDPE
CB3	173.75	-	-	170.25(DMH1)	18'	1.39%	12"	HDPE
CB4	172.90	169.10(DMH1)	-	169.00(CB5)	100'	0.50%	18"	HDPE
CB5*	173.00	168.50(CB4)	-	168.00(CB6)	103'	0.50%	24"	HDPE
CB6*	172.50	167.48(CB5)	-	167.38(DMH2)	13'	0.50%	24"	HDPE
CB7*	172.15	-	-	168.65(DMH2)	118'	0.50%	15"	HDPE
CB8	175.00	-	-	171.75(CB9)	138'	0.50%	12"	HDPE
CB9	174.65	171.06(CB8)	-	170.81(CB10)	123'	0.50%	15"	HDPE
CB10	174.90	171.28(RD)	170.20(CB9)	169.95(DMH4)	145'	0.50%	18"	HDPE

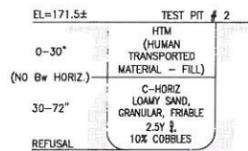
* DENOTES DOUBLE GRATE CATCH BASIN

PROPOSED WATER QUALITY STRUCTURES

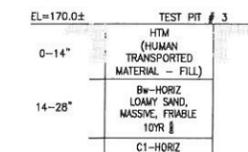
STRUCT.	SIZE	RIMS	INVERT IN	INVERT OUT	LENGTH	SLOPE	DIA.	MATERIAL
WQ1	ADS-484WQB	172.8±	167.13(DMH2)	166.93(DMH3)	6'	1.67%	12"	HDPE
WQ2	ADS-484WQB	174.2±	168.02(DMH4)	167.82(DMH5)	6'	1.67%	12"	HDPE



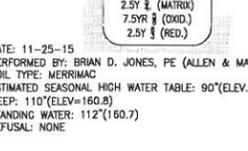
DATE: 11-25-15
 PERFORMED BY: BRIAN D. JONES, PE (ALLEN & MAJOR)
 ESTIMATED SEASONAL HIGH WATER TABLE: NONE
 WEEP: NONE
 STANDING WATER: NONE
 REFUSAL: 72" (ELEV. 165.0)



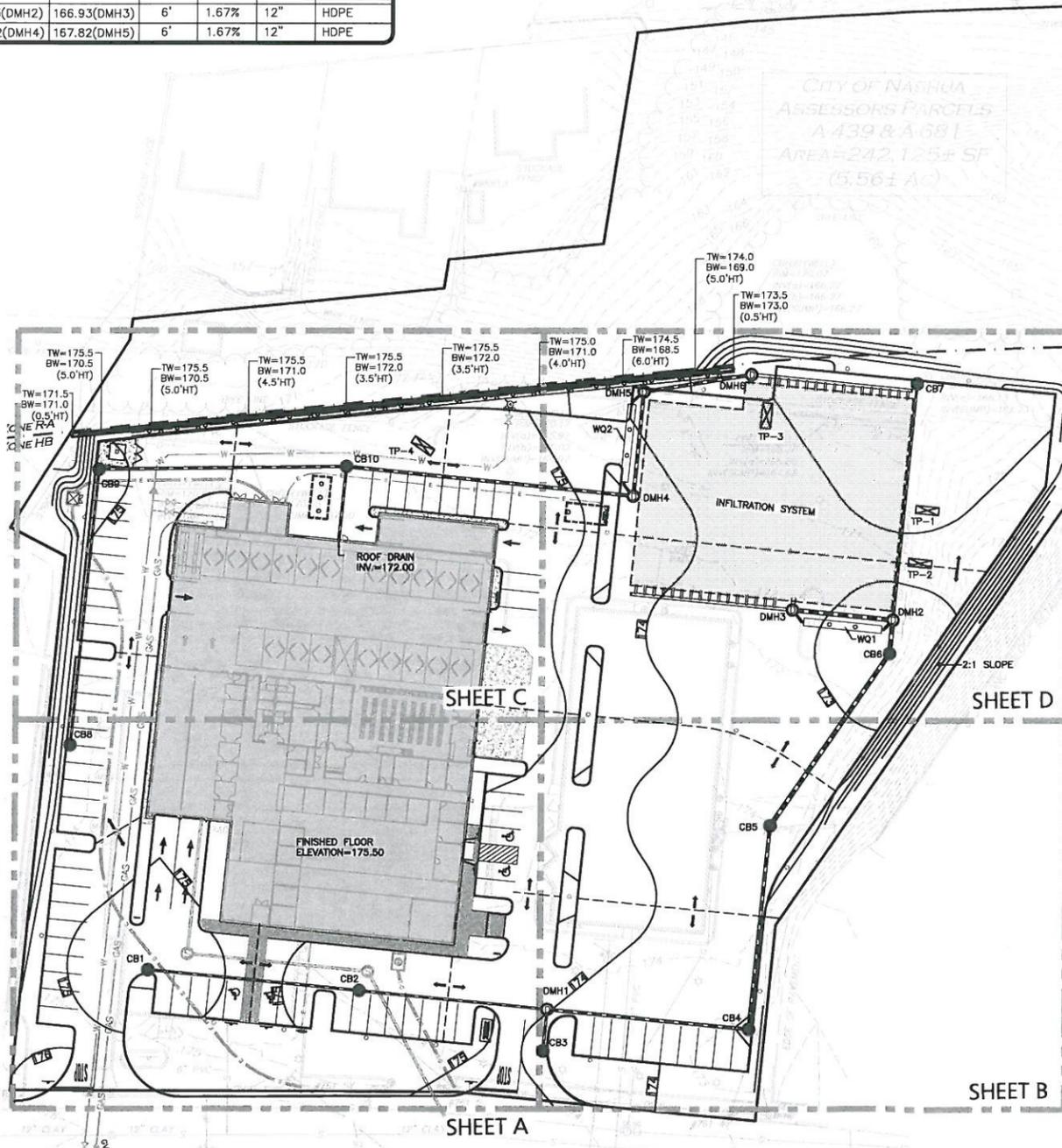
DATE: 11-25-15
 PERFORMED BY: BRIAN D. JONES, PE (ALLEN & MAJOR)
 ESTIMATED SEASONAL HIGH WATER TABLE: NONE
 WEEP: NONE
 STANDING WATER: NONE
 REFUSAL: 72" (ELEV. 165.5)



DATE: 11-25-15
 PERFORMED BY: BRIAN D. JONES, PE (ALLEN & MAJOR)
 SOIL TYPE: MERRIMAC
 ESTIMATED SEASONAL HIGH WATER TABLE: 90" (ELEV. 162.5)
 WEEP: 110" (ELEV. 160.0)
 STANDING WATER: 112" (160.7)
 REFUSAL: NONE



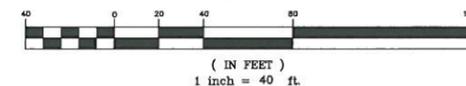
DATE: 11-25-15
 PERFORMED BY: BRIAN D. JONES, PE (ALLEN & MAJOR)
 ESTIMATED SEASONAL HIGH WATER TABLE: NONE
 WEEP: NONE
 STANDING WATER: NONE
 REFUSAL: 66" (ELEV. 165.5)



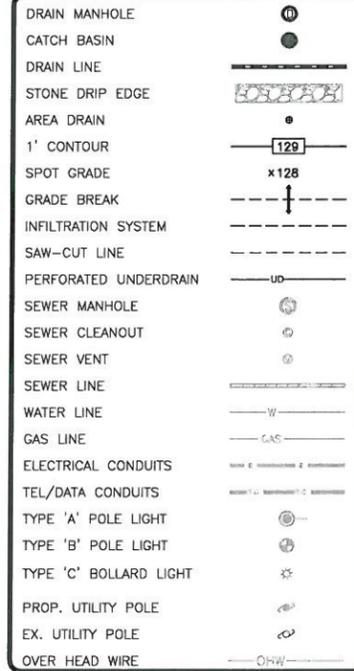
GRADING & DRAINAGE NOTES

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- VERTICAL DATUM IS NAVD88. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- PIPE DIMENSIONS ARE MEASURED FROM THE INSIDE FACE OF THE STRUCTURE.
- ROOF DRAIN LOCATIONS TO BE BASED ON FINAL BUILDING PLANS. CONNECTION POINTS SHALL BE AS SHOWN HEREON.
- INFILTRATION SYSTEM:
 - DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE INFILTRATION SYSTEM.
 - DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.
 - AFTER THE AREA IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
 - DO NOT PLACE THE INFILTRATION SYSTEM INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM DRAIN MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS, H-20 MINIMUM.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 6 INCHES OF TOPSOIL. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH PROJECT SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- ALL DRAINAGE SHALL CONFORM TO LOCAL REQUIREMENTS.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

GRAPHIC SCALE



LEGEND:



APPROVED - NASHUA CITY PLANNING BOARD

CHAIRMAN _____ DATE _____
 SECRETARY _____ DATE _____
 DATE OF APPROVAL _____

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
ALBRECHT AUTO GROUP
 394 WASHINGTON STREET
 WOBURN, MA 01801

PROJECT:
INFINITI OF NASHUA
 11-15 MARMON DRIVE/
 595 SOUTH MAIN STREET
 (PARCELS A-439 & A-681)
 NASHUA, NH 03063

PROJECT NO. 2076-01A DATE: 12-03-15
 SCALE: 1"=40' DWG. NAME: _____
 DRAFTED BY: BDJ CHECKED BY: BDJ

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DRAWING TITLE: OVERALL GRADING & DRAINAGE PLAN	SHEET NO. C-3
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GENERAL NOTES:

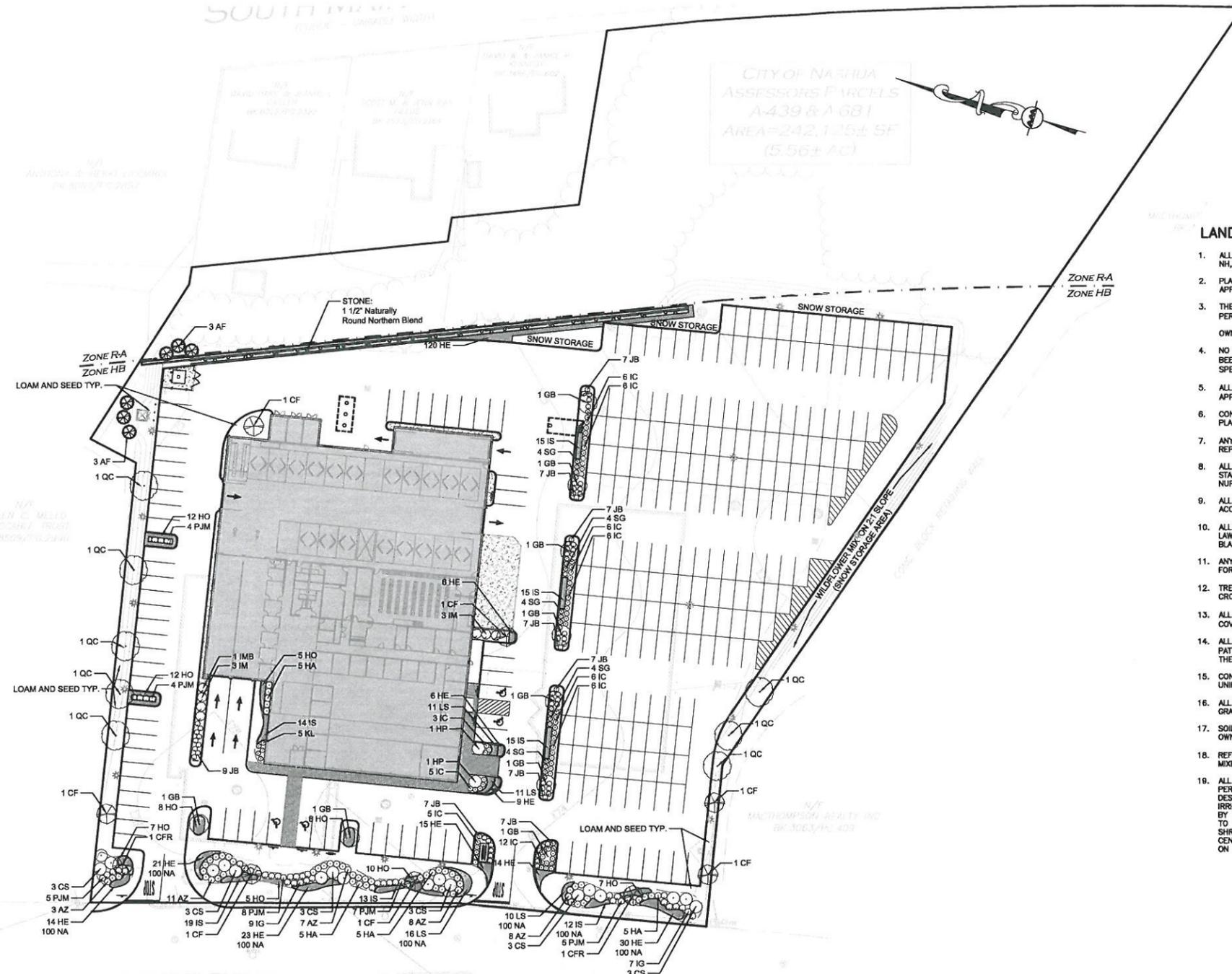
1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
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3. ALL LANDSCAPED AREAS WITH SHRUBS, TREES, AND PERENNIALS TO HAVE 2 FEET MINIMUM DEPTH OF TOPSOIL. TWO FEET OF TOPSOIL AROUND TREES AND SHRUBS DOES NOT INCLUDE AMENDED PLANTING SOIL WITHIN TREE / SHRUB PIT FOR FULL DEPTH OF ROOTBALLS. SEE PLANTING DETAILS FOR PLANTING DEPTH AT SHRUBS AND TREES. ALL AREAS OF LOAM AND SEED TO HAVE 6" MINIMUM DEPTH OF TOPSOIL. TOPSOIL TO BE TESTED BY CONTRACTOR, AND APPROVED BY A&M PRIOR TO PURCHASE AND OR PLACEMENT. GENERAL CONTRACTOR, DEMOLITION CONTRACTOR, AND LANDSCAPE CONTRACTOR TO COORDINATE PROPER DEPTH OF EXISTING MATERIAL REMOVAL ACROSS SITE SO THAT 2 FEET MINIMUM AND 6" MINIMUM DEPTHS OF PROPOSED TOPSOIL NOTED ABOVE ARE MET AT NO ADDITIONAL COST TO OWNER. SEE TOPSOIL DETAIL.

LANDSCAPE REGULATIONS INCLUDING SCREENING, BUFFERS, AND PARKING

REGULATION	ITEM	REQUIRED/ALLOWED	PROPOSED
S190-181B	BUFFER BETWEEN ZONE HB AND R-A IS TYPE E	40' WIDE, 2 LARGE TREES, 4 MD/SM TREES, 20 SHRUBS	+/- 50' TO 174' NATURAL BUFFER IS PRESERVED
S190-182	SCREENING SERVICE AREAS	SCREEN SERVICE AREAS	LANDSCAPE USED TO SCREEN STORAGE AREAS
S190-184	5' MIN BUFFER STRIP ABUTTING PUBLIC ROW	3' HIGH X 5' WIDE VISUAL RELIEF SCREEN OF LANDSCAPE, 2' TALL AT TIME OF PLANTING	3' HIGH X 5' WIDE VISUAL RELIEF SCREEN OF LANDSCAPE, 2' TALL AT TIME OF PLANTING
S190-184 E	LANDSCAPE ISLANDS IN PARKING LOTS	ISLANDS SHALL HAVE TWO SHADE TREES, 1 SHRUB PLUS 1 SHRUB PER 5' OF ISLAND LENGTH	ISLANDS SHALL HAVE TWO SHADE TREES, 1 SHRUB PLUS 1 SHRUB PER 5' OF ISLAND LENGTH

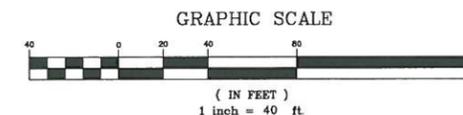
LEGEND:

- MULCHED PLANT BED
- PERENNIALS
- SHRUBS
- DECIDUOUS TREES
- EVERGREEN/FLOWERING TREES
- SITE LIGHTING FIXTURES SHOWN FOR COORDINATION PURPOSES ONLY. SEE LIGHTING PLAN



LANDSCAPE NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF NASHUA, NH, SPECIFICATIONS.
2. PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE"(1-888-DIG-SAFE) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS IN WRITING.
4. NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. ANY TREES NOTED AS "SEAL OR SELECTED SPECIMEN" SHALL BE TAGGED AND SEALED BY THE LANDSCAPE ARCHITECT.
5. ALL TREES SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
6. CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT LIST. QUANTITIES SHOWN ON PLANS SHALL GOVERN OVER PLANT LIST.
7. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE GUIDELINES ESTABLISHED BY THE STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE.
10. ALL DISTURBED AREAS NOT OTHERWISE NOTED SHALL RECEIVE 4" OF LOAM AND SEED. LAWNS WITH OVER 3:1 SLOPES SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.
11. ANY FALL TRANSPLANTING HAZARD PLANTS SHALL BE DUG IN THE SPRING AND STORED FOR FALL PLANTING.
12. TREES SHALL HAVE A MINIMUM CALIPER OF 2 1/2" ONE FOOT ABOVE THE ROOT CROWN.
13. ALL PLANT BEDS AND TREE SAUCERS TO RECEIVE 3" OF PINE BARK MULCH, AND GROUND COVER AREAS SHALL RECEIVE 1" OF PINE BARK MULCH.
14. ALL DECIDUOUS TREES ADJACENT TO WALKWAYS AND ROADWAYS SHALL HAVE A BRANCHING PATTERN TO ALLOW FOR A MINIMUM OF 7" OF CLEARANCE BETWEEN THE GROUND AND THE LOWEST BRANCH.
15. CONTRACTOR RESPONSIBLE FOR WATERING, AND RESEEDING OF BARE SPOTS UNTIL A UNIFORM STAND OF VEGETATION IS ESTABLISHED AND ACCEPTED.
16. ALL PARKING ISLANDS PLANTED WITH SHRUBS SHALL HAVE 24" OF TOP SOIL. FINISH GRADE SHALL BE EQUAL TO THE TOP OF CURB.
17. SOIL SAMPLES AND TESTS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT OR THE OWNER.
18. REFER TO NEW ENGLAND WETLAND PLANS, INC (WWW.NEWP.COM) FOR CURRENT SEED MIXES & APPLICATION RATES.
19. ALL PROPOSED LANDSCAPE AREAS INCLUDING MOWED LAWNS, TREES, SHRUB BEDS, AND PERENNIALS SHALL BE PROVIDED WITH WATER EFFICIENT UNDERGROUND IRRIGATION. DESIGN AND INSTALLATION OF IRRIGATION SYSTEM TO BE PERFORMED BY AN APPROVED IRRIGATION DESIGN BUILD CONTRACTOR OR BY AN APPROVED EQUAL, TO BE DETERMINED BY THE OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT. IRRIGATION SYSTEM IS TO BE DESIGNED FOR EFFICIENT WATER USAGE INCLUDING: USE OF DRIP IRRIGATION FOR SHRUBS AND PERENNIALS. IRRIGATION SYSTEM WITH HEAD-TO-HEAD COVERAGE. A CENTRAL SHUT-OFF VALVE, SEPARATE ZONES FOR EACH TYPE OF BEDDING AREA BASED ON WATERING NEEDS, AND A RAIN SENSOR TO SHUT OFF IRRIGATION DURING RAIN EVENTS.



APPROVED - NASHUA CITY PLANNING BOARD

CHAIRMAN _____ DATE _____
 SECRETARY _____ DATE _____
 DATE OF APPROVAL _____



REGISTERED LANDSCAPE ARCHITECT FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
ALBRECHT AUTO GROUP
 394 WASHINGTON STREET
 WOBURN, MA 01801

PROJECT:
INFINITI OF NASHUA
 11-15 MARMON DRIVE/
 595 SOUTH MAIN STREET
 (PARCELS A-439 & A-681)
 NASHUA, NH 03063

PROJECT NO. 2076-01A DATE: 12-03-15

SCALE: 1"=40' DWG. NAME: -

DRAFTED BY: BCD/BDJ CHECKED BY: BDJ

PREPARED BY:



ALLEN & MAJOR ASSOCIATES, INC.
 civil & structural engineering • land surveying
 environmental consulting • landscape architecture
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 TEL: (781) 935-6889
 FAX: (781) 935-2896

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DRAWING TITLE: **LANDSCAPE PLAN** SHEET No. **C-6A**

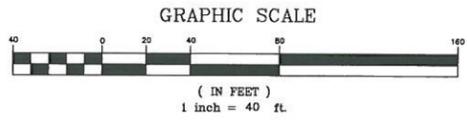
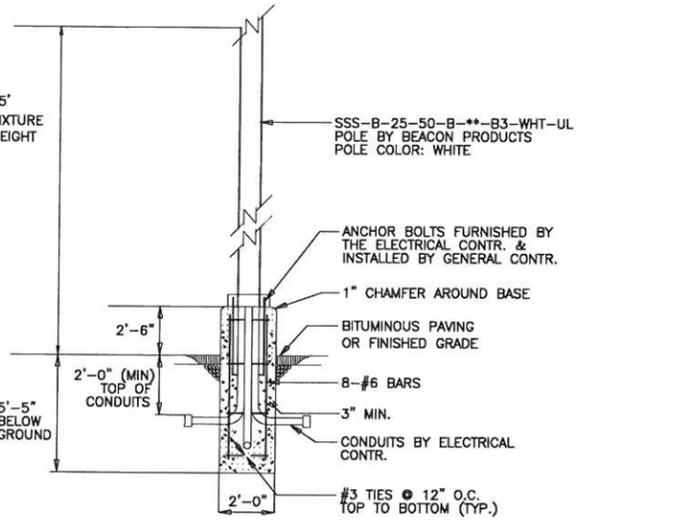
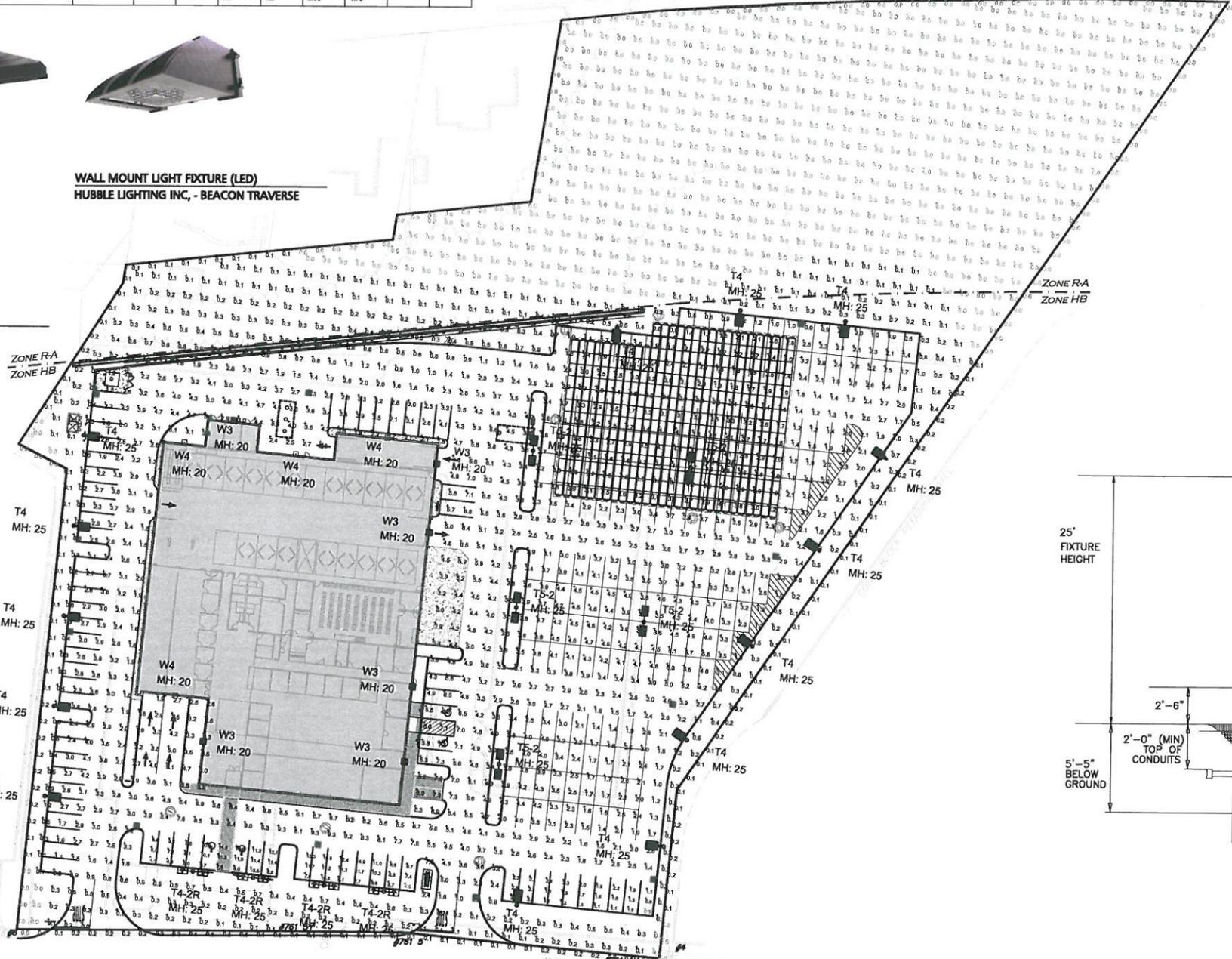
Symbol	Label	Qty	Arrangement	Description	Lum. Lumens	LLF	Lum. Watts	Arr. Watts	Total Watts
T4	T4	14	SINGLE	VP-L-64NB-136-4K-T4-BLC	9094	0.850	140.95	140.95	1973.3
T4-2R	T4-2R	4	TWIN 180 ROTATED	(1) VP-L-96NB-280-4K-T4L-BLC & (1) VP-L-96NB-280-4K-T4R-BLC	14662	0.850	269.17	538.34	2153.98
TS-2	TS-2	5	BACK-BACK	VP-L-64NB-136-4K-T5QM	14931	0.850	141.8	283.6	1418
W3	W3	6	SINGLE	TRV-60NB-136-4K-T3 (Added Lumen Output Multiplier From 5K to 4K)	13903	0.778	135.8	135.8	814.8
W4	W4	4	SINGLE	TRV-60NB-136-4K-T4 (Added Lumen Output Multiplier From 5K to 4K)	13834	0.778	136.39	136.39	645.56

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	PISp/Lr	PISp/Tb
Boundary	Illuminance	Fc	0.07	0.2	0.0	N.A.	N.A.	10	N.A.
Front Row - Left	Illuminance	Fc	9.39	14.5	4.4	2.13	3.30	10	8
Front Row - Middle	Illuminance	Fc	9.98	14.9	4.5	2.22	3.31	10	8
Front Row - Right	Illuminance	Fc	1.88	2.6	0.5	3.36	5.20	10	6
Site	Illuminance	Fc	1.67	9.3	0.0	N.A.	N.A.	10	10
StatArea - East Perimeter Parking	Illuminance	Fc	2.69	4.2	0.6	4.48	7.00		
StatArea - North Perimeter Parking	Illuminance	Fc	2.01	3.4	0.5	4.02	6.80		
StatArea - Rear Building Parking	Illuminance	Fc	3.04	6.2	1.5	2.03	4.13		
StatArea - West Building Parking	Illuminance	Fc	6.20	7.8	4.3	1.44	1.77		
StatArea - West Large Core Parking Area	Illuminance	Fc	3.22	5.7	1.2	2.68	4.75		



POLE LIGHT FIXTURE (LED)
HUBBLE LIGHTING INC. - BEACON VIPER

WALL MOUNT LIGHT FIXTURE (LED)
HUBBLE LIGHTING INC. - BEACON TRAVERSE



LEGEND:

- SINGLE POLE LIGHT
- DOUBLE POLE LIGHT
- WALL MOUNTED
- EX. UTILITY POLE
- OVER HEAD WIRE
- PHOTOMETRICS

0.0	0.1	0.2	0.6	10.0
-----	-----	-----	-----	------
- LIGHTING CONDUIT

- NOTES:**
- LIGHTS WITHIN THE PARKING AREAS AND ACCESS DRIVES SHALL OPERATE ON A PHOTO-CELL & PROGRAMABLE TIMER.
 - CONTROLS FOR ALL EXTERIOR LIGHTING BY BUILDING CONTRACTOR.
 - WIRING OF BUILDING MOUNTED FIXTURES BY BUILDING CONTRACTOR.
 - THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

APPROVED - NASHUA CITY PLANNING BOARD

CHAIRMAN _____ DATE _____
SECRETARY _____ DATE _____
DATE OF APPROVAL _____



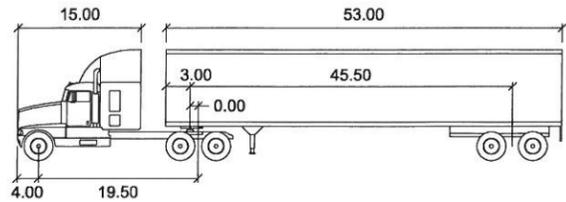
PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
APPLICANT/OWNER: ALBRECHT AUTO GROUP 394 WASHINGTON STREET WOBURN, MA 01801		
PROJECT: INFINITI OF NASHUA 11-15 MARMON DRIVE/ 595 SOUTH MAIN STREET (PARCELS A-439 & A-681) NASHUA, NH 03063		
PROJECT NO.	2076-01A	DATE: 12-03-15
SCALE:	1"=40'	DWG. NAME:
DRAFTED BY:	BDJ	CHECKED BY: BDJ

ALLEN & MAJOR ASSOCIATES, INC.
civil & structural engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY
P.O. BOX 2118
WOBURN MA 01888-0118
TEL: (781) 935-6889
FAX: (781) 935-2896

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DRAWING TITLE: LIGHTING PLAN SHEET No. C-7

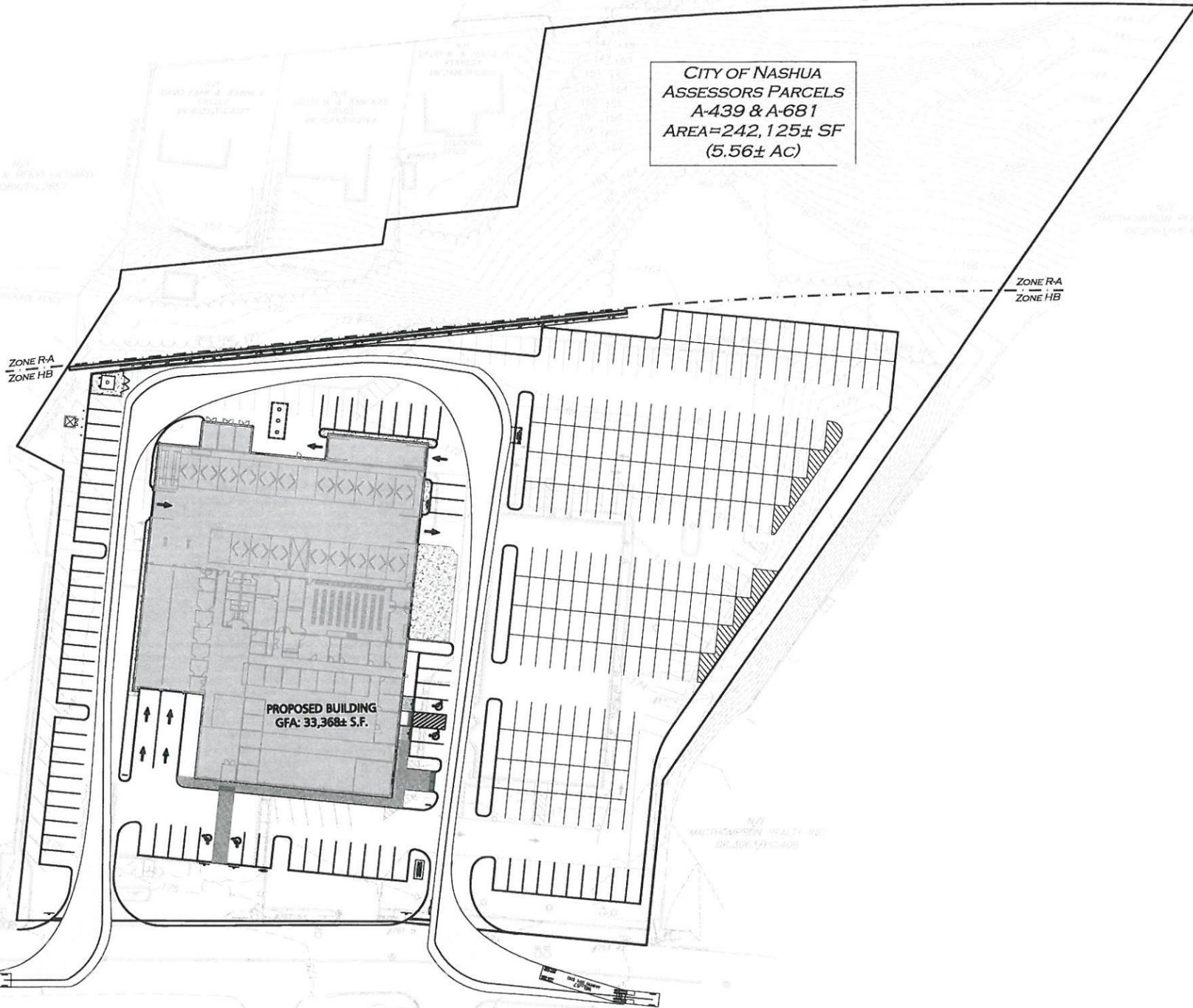


WB-67 feet

Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 75.0
Trailer Track	: 8.50		



CITY OF NASHUA
 ASSESSORS PARCELS
 A-439 & A-681
 AREA=242,125± SF
 (5.56± AC)



NOTE:
 1. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

APPROVED - NASHUA CITY PLANNING BOARD

CHAIRMAN _____ DATE _____
 SECRETARY _____ DATE _____
 DATE OF APPROVAL _____



PROFESSIONAL ENGINEER FOR
 ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

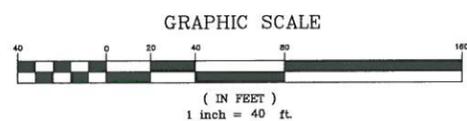
APPLICANT/OWNER:
ALBRECHT AUTO GROUP
 394 WASHINGTON STREET
 WOBURN, MA 01801

PROJECT:
INFINITI OF NASHUA
 11-15 MARMON DRIVE/
 595 SOUTH MAIN STREET
 (PARCELS A-439 & A-681)
 NASHUA, NH 03063

PROJECT NO. 2076-01A DATE: 12-03-15
 SCALE: 1"=40' DWG. NAME: -
 DRAFTED BY: BDJ CHECKED BY: BDJ

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DRAWING TITLE: **TRUCK TURNING PLAN** SHEET No. **C-8**

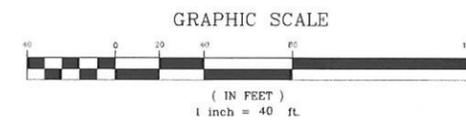
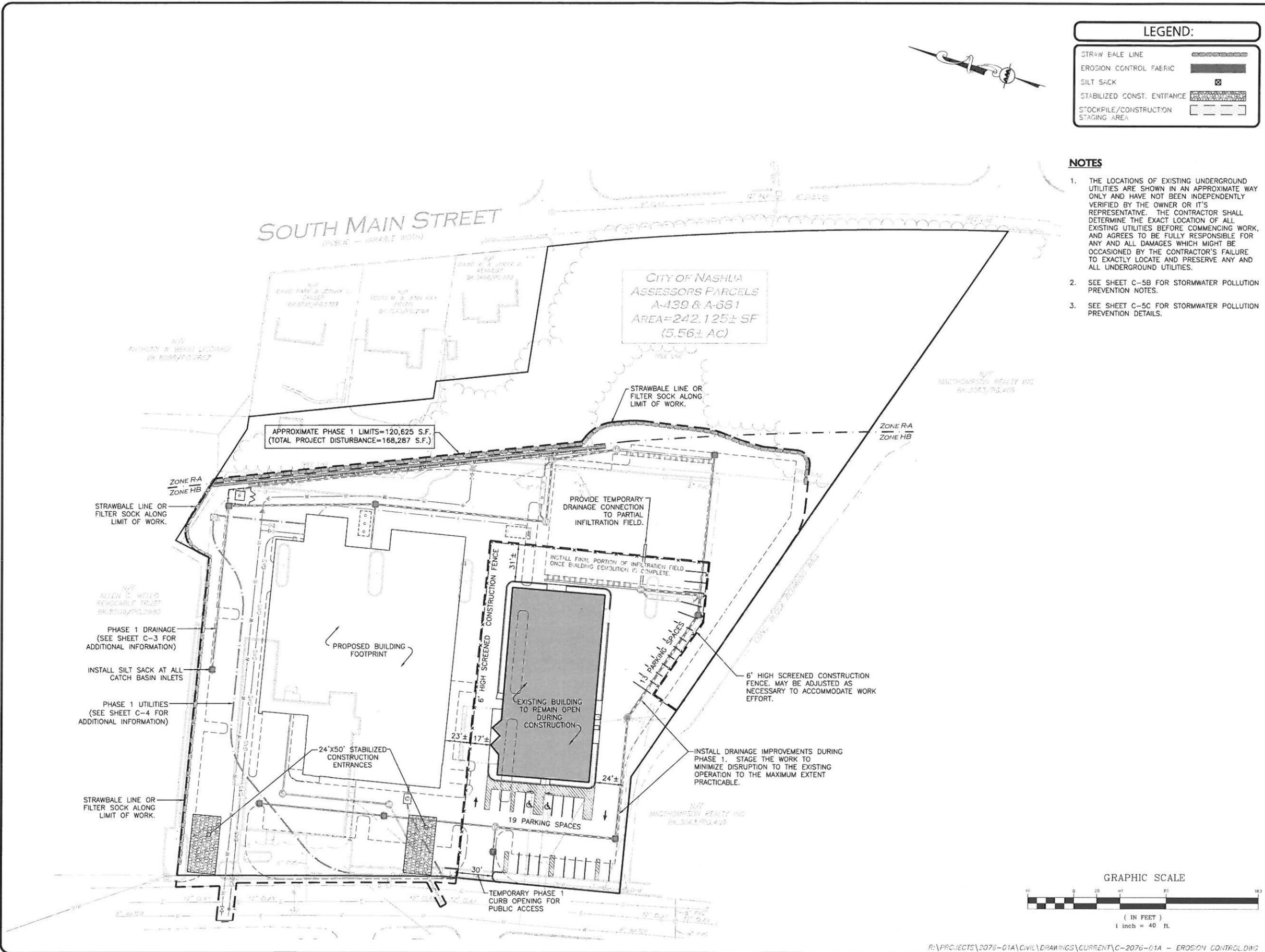
CHAIRMAN _____ DATE _____
 SECRETARY _____ DATE _____
 DATE OF APPROVAL _____

LEGEND:

- STRAWBALE LINE
- EROSION CONTROL FAERIC
- SILT SACK
- STABILIZED CONST. ENTRANCE
- STOCKPILE/CONSTRUCTION STAGING AREA

NOTES

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
2. SEE SHEET C-5B FOR STORMWATER POLLUTION PREVENTION NOTES.
3. SEE SHEET C-5C FOR STORMWATER POLLUTION PREVENTION DETAILS.



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	12-23-15	ADD CONSTRUCTION PHASING LINE

APPLICANT/OWNER:
ALBRECHT AUTO GROUP
 394 WASHINGTON STREET
 WOBURN, MA 01801

PROJECT:
INFINITI OF NASHUA
 11-15 MARMON DRIVE/
 595 SOUTH MAIN STREET
 (PARCELS A-439 & A-681)
 NASHUA, NH 03063

PROJECT NO. 2076-01A DATE: 12-03-15
 SCALE: 1"=40' DWG. NAME:
 DRAFTED BY: BDJ CHECKED BY: BDJ

PREPARED BY:

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DRAWING TITLE: **STORMWATER POLLUTION PREVENTION PLAN (SWPPP)** SHEET No. **C-5A**

NASHUA CITY PLANNING BOARD
STAFF REPORT

TO: Nashua City Planning Board
FROM: Linda Panny, Planner I
FOR: January 14, 2016
RE: **New Business # 4 – Site Plan**

I. Project Statistics:

Owner: 596 West Hollis St Nashua, LLC
Applicant: Montello St, LLC
Proposal: Site plan amendment
Location: 596 West Hollis Street
Total Site Area: 4.397 acres
Existing Zoning: R9- Suburban Residence
Surrounding Uses: Residential

II. Background Information:

According to assessing records, the 2-story structure was built in the 1970s and was recently occupied by the Nashua Athletic Club. In 1977 the Zoning Board of Adjustment granted a use variance for racquetball courts and in 1989 a special exception was granted for an accessory day care nursery. The applicant appeared before the ZBA for a change of use on January 13, 2015 to allow this project to move forward (see attached approval letter and minutes).

III. Project Description:

The proposal is to convert the existing athletic club into a self-storage facility, with indoor and outdoor storage. A total of 58,020 square feet of space is proposed for the storage facility, with 39,850 square feet inside the existing building and 18,170 square feet outside in the 7 portable storage units.

According to the applicant's drainage report, the paved area will be re-graded slightly to direct runoff away from the units and towards a series of new catch basins proposed to collect and route generated flows into the existing private drainage system. Two storm water collection systems are being proposed to be installed beneath the proposed parking area. Collected runoff will continue to drain to the existing detention basin located adjacent to the site.

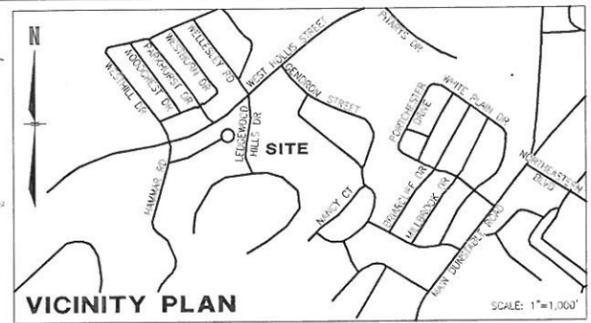
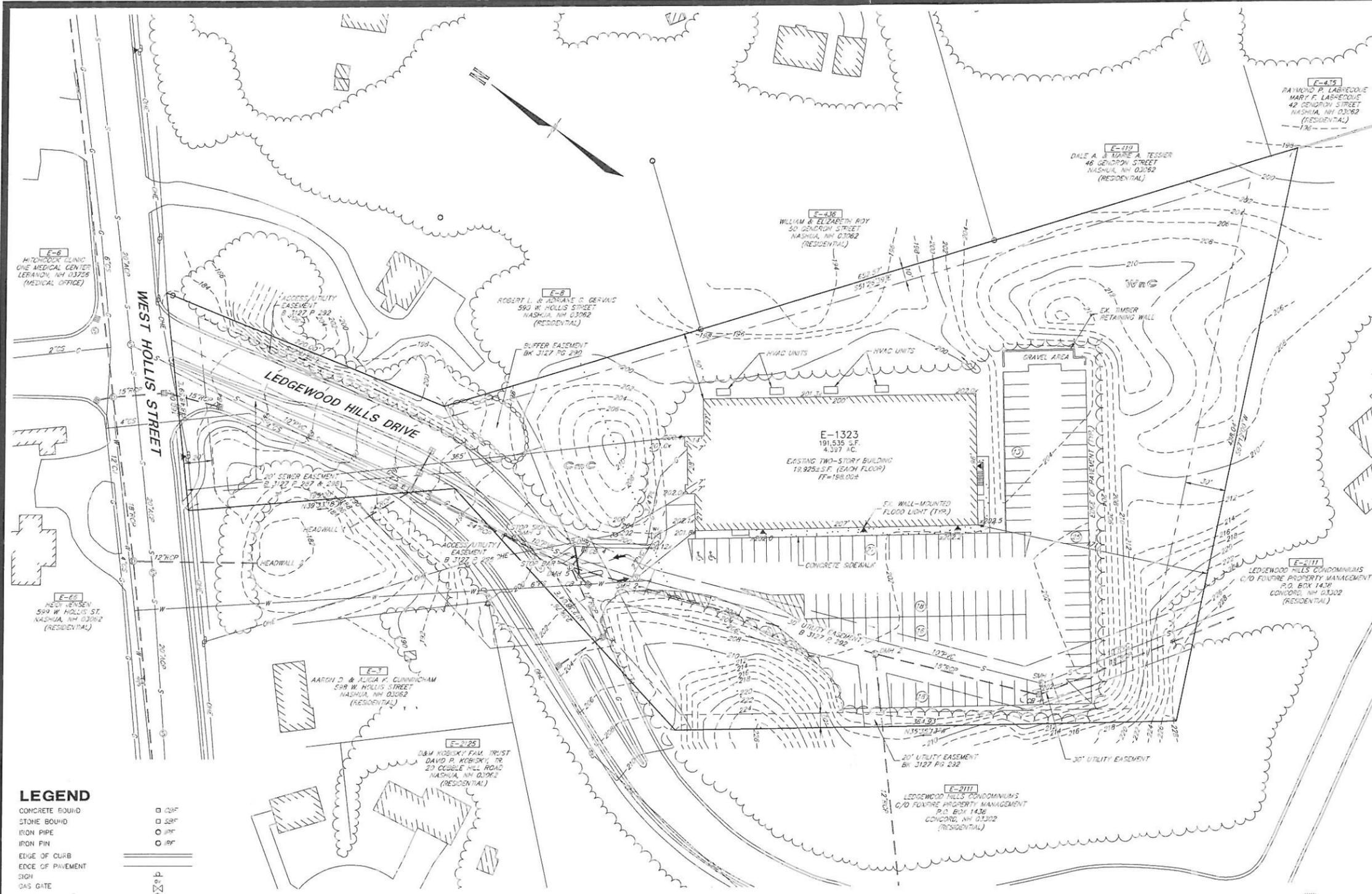
Several waivers are being requested. The first is for the building design standards as it does not conform to the standards set forth in §190–172 as called for by City Ordinance. The second waiver request is for parking spaces; 59 spaces are required and 21 spaces are being proposed (including one accessible). Lastly, the applicant is requesting a waiver from the requirement to provide a landscape plan.

City Staff reviewed the plans. The Fire Marshal comments will be addressed at the time the building permit is reviewed (See attached).

Staff Recommendations and Findings:

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146(D). The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

1. The request for a waiver of NRO § 190-172, which sets building design standards, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. The request for a waiver of NRO § 190-198, which establishes minimum parking standards, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
3. The request for a waiver of NRO § 190-279 (P), which requires submittal of a landscaping plan, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
4. All ZBA conditions of approval from the January 13, 2015 hearing are incorporated herein.
5. Prior to the issuance of a certificate of occupancy, all site improvements will be completed.
6. Stormwater documents will be submitted to City staff for review and recorded at the applicant's expense prior to the issuance of a building permit.



REFERENCE PLANS
 1. SITE PLAN: "OFF THE WALL" RICOCHET CLUB, PREPARED FOR JAMES FOREST, ET. AL., BY ALLAN H. SWANSON, INC., SCALE 1"=50', AND DATED 1 MARCH, 1984.

- NOTES**
- OWNER OF RECORD OF MAP E LOT 1323: 596 WEST HOLLIS ST NASHUA, LLC P.O. BOX 1079 KINGSTON, NH 03845. DEED REFERENCE TO PARCEL IS BK. 8742 PG. 1820. AREA OF PARCEL = 191,535 S.F. ± OR 4.397 ACRES ±.
 - E-1323 INDICATES TAX MAP AND LOT NUMBER.
 - THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON MAP E LOT 1323.
 - CURRENT ZONING IS SUUBTAN RESIDENCE-P9.

MIN. LOT SIZE:	9,000 S.F.
MIN. LOT FRONTAGE:	75'
MIN. BUILDING SETBACKS:	
FRONT:	20'
SIDE:	10'
REAR:	30'
MAX. BUILDING HEIGHT:	35'
MAX. LOT COVERAGE:	50%
 - EXAMINATION OF THE FLOOD INSURANCE RATE MAP FOR HILLSBOROUGH COUNTY, NEW HAMPSHIRE (ALL JURISDICTIONS), MAP NUMBER 33011C0320, EFFECTIVE DATE SEPTEMBER 25, 2009, INDICATES THAT THE SUBJECT PARCEL IS LOCATED IN TONE X, WHICH IS NOT LOCATED WITHIN A FLOOD HAZARD AREA.
 - EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
 - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DUG SAFE AT 911.
 - EXISTING CONDITIONS INFORMATION SHOWN IS TAKEN FROM PLAN REFERENCE 1 AND A PARTIAL SITE SURVEY.
 - THERE ARE NO WETLANDS LOCATED ON THE SITE.

NRCS SOIL MAP LEGEND

SYMBOL	MAP UNIT	SLOPE	DRAINAGE	HSG
	CATCH	8-15%	WELL DRAINING	B
	WINDSCR	3-15%	EXCESSIVELY WELL DRAINING	A

LEGEND

	CONCRETE BOUND
	STONE BOUND
	IRON PIPE
	IRON FIN
	EDGE OF CURB
	EDGE OF PAVEMENT
	SIGN
	GAS GATE
	SEWER MANHOLE
	DRAIN MANHOLE
	CATCH BASIN
	WATER GATE
	UTILITY POLE
	S.C.S. SOILS BOUNDARY
	SEWER LINE
	WATER LINE
	DRAIN LINE
	GAS LINE
	OVERHEAD UTILITIES



EXISTING STRUCTURE SCHEDULE

STRUCTURE	RIM ELEV.	INK. OUT ELEV.	TO STRUCTURE	INK. IN ELEV.	SIZE/TYPE	LENGTH	SLOPE
CB 1	201.90	199.51	DMH 2	199.27	18" RCP	124'	0.010
DMH 2	202.39	198.02	DMH 5	193.50	24" RCP	216'	0.020
CB 3	201.22	194.35	DMH 5	193.50	12" RCP	14'	0.060
CS 4	199.90	194.07	DMH 5	193.50	12" RCP	12'	0.050
DMH 5	200.80	193.25	CB 4	194.50	24" RCP	126'	0.070
CB 6	193.09	194.25	HEADWALL 1	182.50	24" RCP	30'	0.035



TAX MAP E LOT 1323
EXISTING CONDITIONS PLAN
 596 WEST HOLLIS STREET
 NASHUA, NEW HAMPSHIRE
 OWNED BY
596 WEST HOLLIS ST NASHUA, LLC
 P.O. BOX 1079 KINGSTON, NH 03848
 PH. (603)-357-8673
 PREPARED FOR
MONTELLO ST., LLC
 15 HALE STREET HAVERHILL, MA 01830
 SCALE: 1"=40' FEBRUARY 9, 2015

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TFM Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists

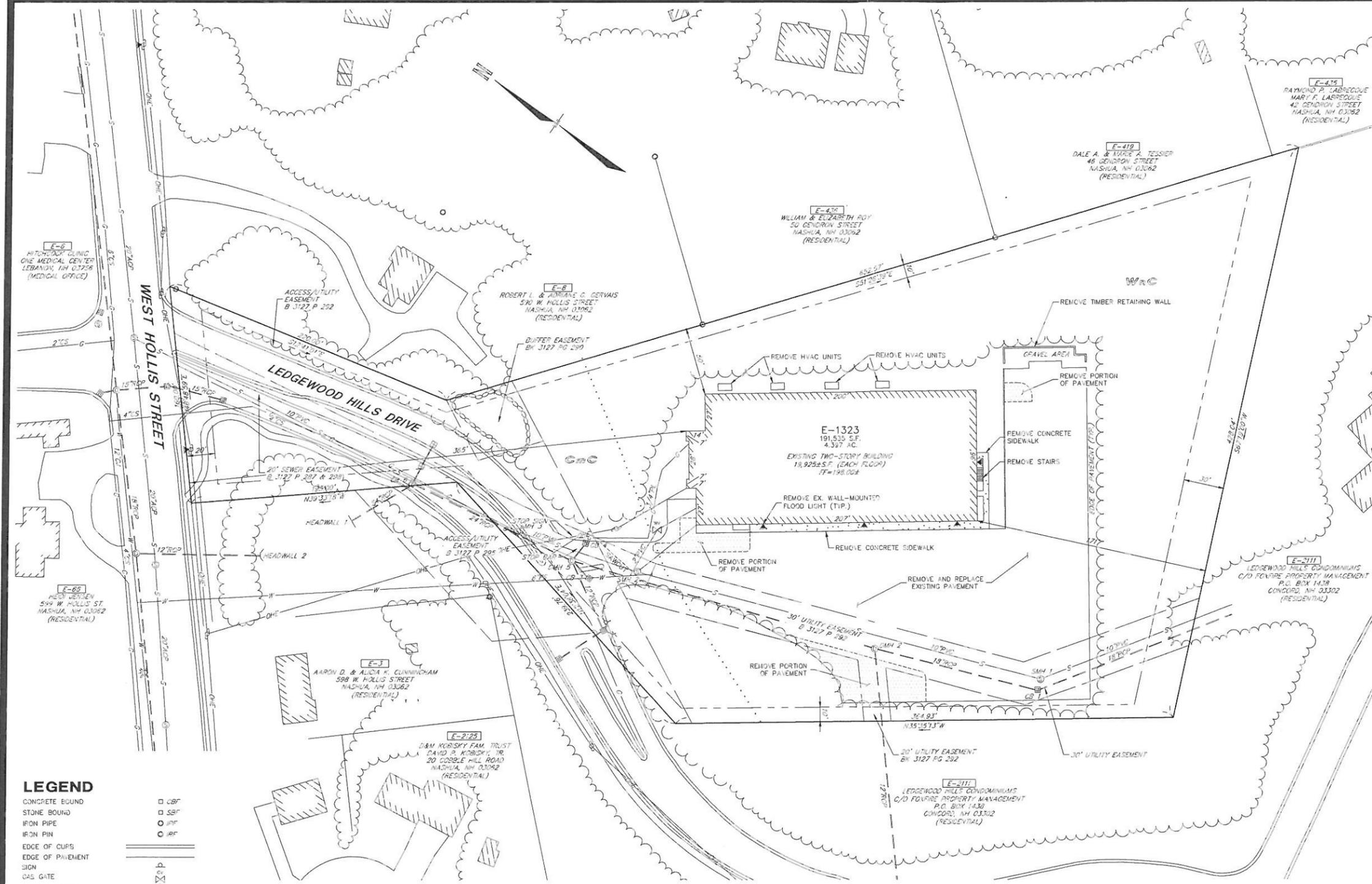
48 Constitution Drive, Bedford, NH 03110
 Phone (603) 472-4488
 Fax (603) 472-9747
 www.tfmoran.com

17728.01	DR	TCB	FB	-	
	CK	JK	CADFILE	17728-01 Site	

SHEET 2 OF 9

NOTES

1. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
2. THE CONTRACTOR SHALL VERIFY ALL SURVEY INFORMATION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
3. CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.



LEGEND

- CONCRETE BOUND
- STONE BOUND
- IRON PIPE
- IRON PIN
- EDGE OF CURB
- EDGE OF PAVEMENT
- SIGN
- GAS GATE
- SEWER MANHOLE
- DRAIN MANHOLE
- CATCH BASIN
- WATER GATE
- UTILITY POLE
- S.I.C.S. SOILS BOUNDARY
- SEWER LINE
- WATER LINE
- DRAIN LINE
- GAS LINE
- OVERHEAD UTILITIES



EXISTING STRUCTURE SCHEDULE

STRUCTURE	RM. ELEV.	INV. OUT. ELEV.	TD STRUCTURE	INV. IN. ELEV.	SIZE/TYPE	LENGTH	SLOPE
CB 1	201.90	199.51	DMH 2	199.27	18" RCP	124'	0.010
DMH 2	202.09	198.02	DMH 5	193.50	24" RCP	256'	0.020
CB 3	201.22	194.25	DMH 5	193.50	12" RCP	14'	0.050
CB 4	199.90	194.07	DMH 5	193.50	12" RCP	12'	0.050
DMH 5	200.60	193.25	CB 6	194.50	24" RCP	126'	0.072
CB 6	193.08	184.25	HEADWALL 1	192.50	24" RCP	50'	0.035



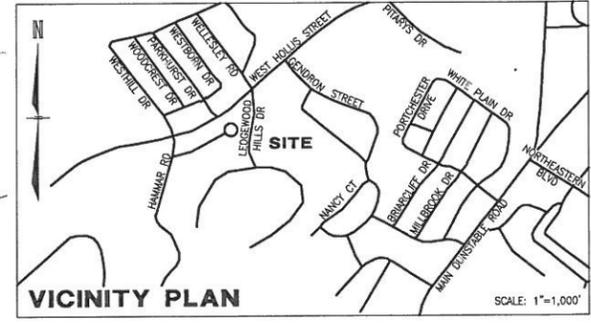
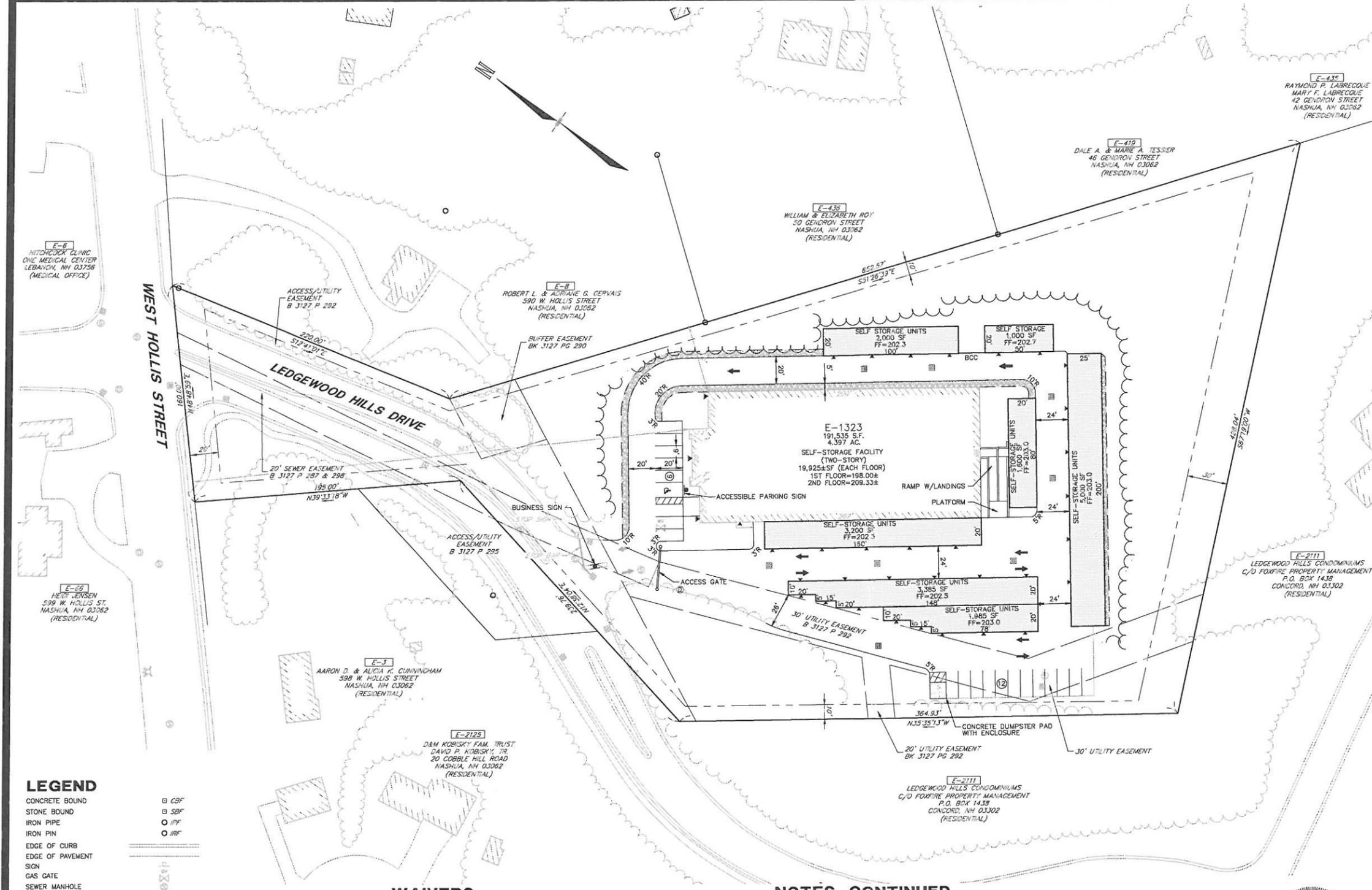
TAX MAP E LOT 1323
SITE PREPARATION PLAN
596 WEST HOLLIS STREET
NASHUA, NEW HAMPSHIRE
 OWNED BY
596 WEST HOLLIS ST NASHUA, LLC
 P.O. BOX 1079 KINGSTON, NH 03848
 PH (855)-357-8573
 PREPARED FOR
MONTELLO ST., LLC
 15 HALE STREET HAVERHILL, MA 01830
SCALE: 1"=40' FEBRUARY 9, 2015

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	Civil Engineers	48 Constitution Drive
	Structural Engineers	Bedford, NH 03110
	Traffic Engineers	Phone (603) 472-4488
	Land Surveyors	Fax (603) 472-9747
	Landscape Architects	www.tfmoran.com
	Scientists	

FILE	17728.01	DR	TCB	FB			
		CK	JK	CADFILE	17728-01 Site		

REV	DATE	DESCRIPTION	TCB	RD
5	12/29/15	UPDATE TITLE BLOCK	TCB	RD
4	12/23/15	REV. PER PLANNING REVIEW	TCB	RD



- ### NOTES
- OWNER OF RECORD OF MAP E LOT 1323: 596 WEST HOLLIS ST NASHUA, LLC P.O. BOX 1079 KINGSTON, NH 03848
DEED REFERENCE TO PARCEL IS BK. 8742 PG. 1830
AREA OF PARCEL = 191,535 S.F. ± OR 4.397 ACRES ±
 - THE PURPOSE OF THIS PLAN IS TO CONVERT AN EXISTING RACQUETBALL CLUB INTO A SELF STORAGE FACILITY WITH RELATED SITE IMPROVEMENTS.
 - CURRENT ZONING IS SUBURBAN RESIDENCE-RS.
- | | REQUIRED | PROVIDED |
|-------------------------|-----------------|-----------------|
| MIN. LOT SIZE: | 9,000 S.F. | 191,535 S.F. |
| MIN. LOT FRONTAGE: | 75' | 160' |
| MIN. BUILDING SETBACKS: | | |
| FRONT | 20' | 345' |
| SIDE | 10' | 28' |
| REAR | 30' | 65' |
| MAX. BUILDING HEIGHT: | 35' (3 STORIES) | 30' (2 STORIES) |
| MAX. LOT COVERAGE: | 50% | 47% |
- PARKING CALCULATIONS:
REQUIRED:
SELF-STORAGE (LUC 196): 58,020 S.F. @ 1 SP./1,000 S.F. = 59 SPACES
PROPOSED: 21 SPACES (INCL. 1 ACCESSIBLE)
 - THE PROPERTY WILL BE SERVICED BY THE FOLLOWING:
DRAINAGE: PRIVATE
SEWER: MUNICIPAL
WATER: FENWICK WATER WORKS
GAS: LIBERTY UTILITIES
ELECTRIC: PSNH
 - IN THE EVENT THAT THE SNOW STORAGE AREAS PROVIDED ON THE SITE ARE COMPLETELY UTILIZED, EXCESS SNOW SHALL BE TRANSPORTED OFF SITE FOR DISPOSAL IN ACCORDANCE WITH N.H.D.E.S. REGULATIONS. IF SNOW IS STORED WITHIN PARKING AREA KEEP CATCH BASIN CLEAR.
 - THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS AND STANDARDS.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
 - WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TFMORAN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREDON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL EXISTING CONDITIONS SURROUNDING IT AND THEREON. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF HIS INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
 - THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
 - LIGHTING, SIGNAGE, LANDSCAPING, AND SCREENING SHALL MEET THE REQUIREMENTS OF THE CITY OF NASHUA ZONING ORDINANCE AND SITE PLAN REGULATIONS.
 - THE CONTRACTOR SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
 - ALL WORK IS TO CONFORM TO CITY OF NASHUA DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS.
 - IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
 - IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
 - THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. TFMORAN, INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
 - TFMORAN, INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.

LEGEND

CONCRETE BOUND	CSF
STONE BOUND	SBF
IRON PIPE	IPF
IRON PIN	IRF
EDGE OF CURB	
EDGE OF PAVEMENT	
SIGN	
GAS GATE	
SEWER MANHOLE	
DRAIN MANHOLE	
CATCH BASIN	
WATER GATE	
UTILITY POLE	
S.C.S. SOILS BOUNDARY	
SEWER LINE	
WATER LINE	
DRAIN LINE	
GAS LINE	
OVERHEAD UTILITIES	

WAIVERS

- ART. XXVIII SEC. 190-198: NUMBER OF OFF-STREET PARKING SPACES.
- ART. XLIII SEC. 190-279(P): LANDSCAPING PLAN.

VARIANCES

- ON JANUARY 13, 2015, THE ZONING BOARD OF ADJUSTMENT GRANTED A VARIANCE FOR THE PROPOSED USE WITH THE FOLLOWING CONDITIONS:
 - HOURS OF OPERATION NOT TO EXCEED: SUNDAY-SATURDAY, 7 AM-10 PM.
 - NO STORAGE ON THE PROPERTY OUTSIDE OF ANY STRUCTURE.

APPROVED - NASHUA CITY PLANNING BOARD

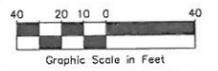
CHAIRMAN: _____ DATE: _____

SECRETARY: _____ DATE: _____

THE UNDER-SIGNED DOES HEREBY AGREE TO PERFORM ALL OF THE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE NASHUA CITY PLANNING BOARD. ALL REQUIRED SITE IMPROVEMENTS MUST BE COMPLETED OR GUARANTEED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

OWNER/APPLICANT: *monello* DATE: 3/23/15

- ### NOTES, CONTINUED
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN IN ANY WAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING PRIOR APPROVAL FROM THE CITY.
 - FUTURE BUILDING CONSTRUCTION SHALL INCORPORATE FOUNDATION DRAINAGE SYSTEMS EXCEPT WHERE AN INVESTIGATION ESTABLISHES THAT SPECIFIC BUILDING SITES ARE LOCATED IN WELL-DRAINED SOILS AND THAT SUCH SYSTEMS ARE NOT REQUIRED.
 - THERE ARE NO WETLANDS LOCATED ON THE SITE.
 - IMPROVEMENTS ON THE PLAN SHALL CONFORM TO TITLE 111 OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSIONS AND GRADE AND NUMBER OF PARKING SPACES.
 - PRIOR TO ANY NEW SITE WORK BEING CONDUCTED, A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE PLANNING STAFF AND OTHER CITY DEPARTMENTS AS NECESSARY TO REVIEW THE PROPOSED WORK.
 - PROPOSED UTILITIES, INCLUDING NEW ELECTRIC, TELEPHONE, CABLE, AND OTHER COMMUNICATION LINES, BOTH MAIN AND SERVICE CONNECTIONS, SHALL BE PROVIDED BY UNDERGROUND WIRING, INSTALLED IN ACCORDANCE WITH THE BOARD OF PUBLIC WORKS SPECIFICATIONS.



TAX MAP E LOT 1323
SITE LAYOUT PLAN
 596 WEST HOLLIS STREET
 NASHUA, NEW HAMPSHIRE
 OWNED BY
596 WEST HOLLIS ST NASHUA, LLC
 P.O. BOX 1079 KINGSTON, NH 03848
 PH: (855)-357-8673
 PREPARED FOR
MONTELLO ST., LLC
 15 HALE STREET HAVERHILL, MA 01830
SCALE: 1"=40' **FEBRUARY 9, 2015**

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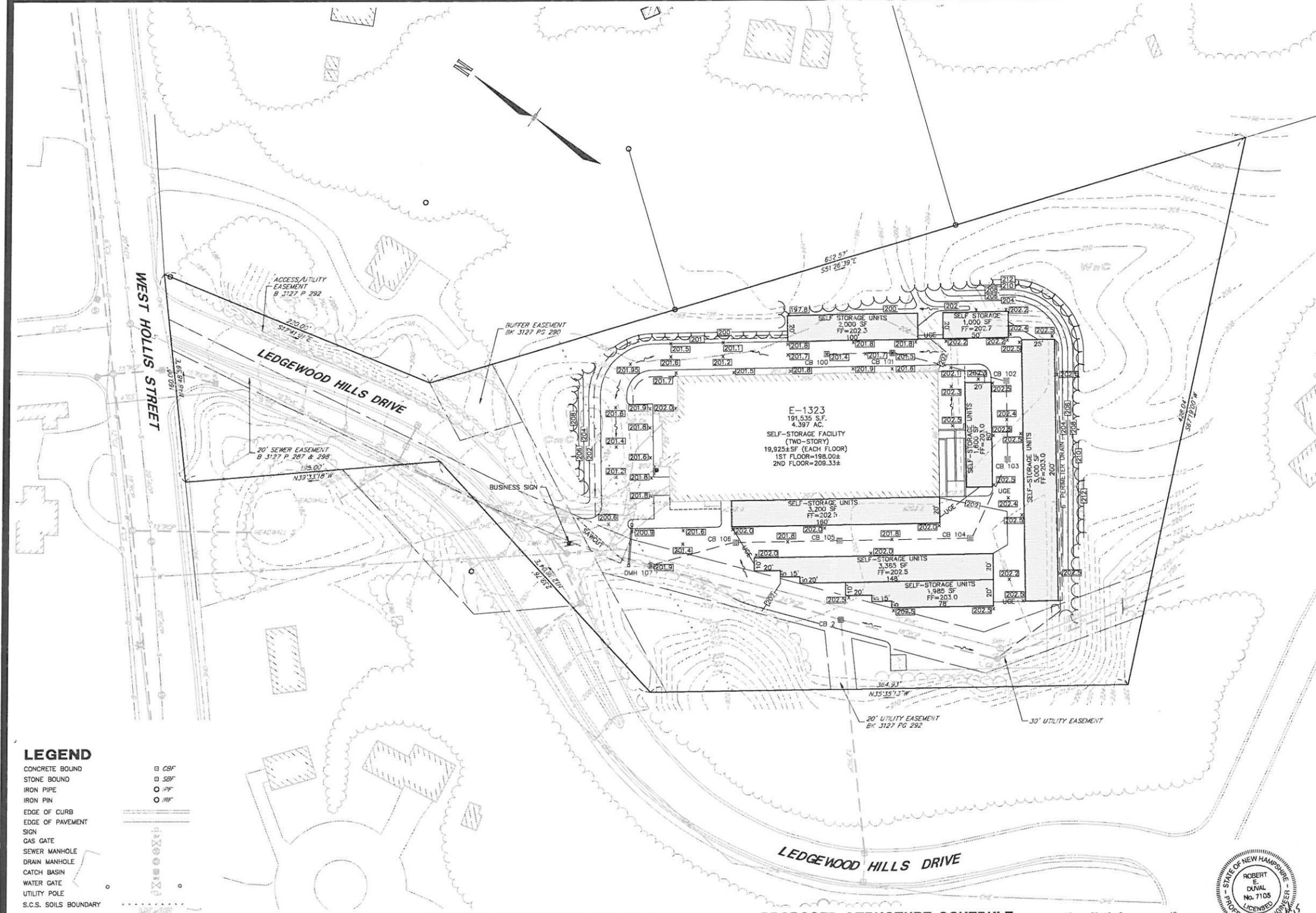


17728.01	DR	TCB	FB	-	
	CK	JK	CADFILE	17728-01 Site	

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 Fax (603) 472-9747
 www.tfmoran.com

TFM Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

SHEET 4 OF 9



- ### NOTES
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF NASHUA, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL EXISTING CONDITIONS SURROUNDING IT AND THEREON.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
 - THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
 - THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
 - ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE N.H.D.O.T. STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
 - STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. ALL PIPE MATERIAL SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) PIPE. CONSTRUCTION METHODS SHALL CONFORM TO N.H.D.O.T. STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO N.H.D.O.T. STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
 - ALL MANHOLES IN PAVEMENT SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
 - ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL EROSION AND SEDIMENT CONTROL DEVICES NECESSARY TO CONTROL EROSION THROUGHOUT THE DURATION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE NHDES/EPA STANDARDS. THE DETAILS PROVIDED REPRESENT MINIMUM PERMITTED CONTROLS ONLY AND SHALL BE SUPPLEMENTED BY THE CONTRACTOR AS NECESSARY.
 - ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
 - THE CONTRACTOR SHALL STABILIZE ALL DITCHES, SWALES, AND PONDS PRIOR TO DIRECTING STORM WATER RUN-OFF TO THEM.
 - LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS AND ALIGNMENTS.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE CONDITIONS AT THE SITE. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ENGINEER.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.
 - VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
 - IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
 - IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
 - THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. TFMORAN INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
 - TFMORAN INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
 - THE SITE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENV-NQ 1500 AS APPLICABLE.
 - AT COMPLETION OF CONSTRUCTION, THE SITE CONTRACTOR SHALL PROVIDE A LETTER CERTIFYING THAT THE PROJECT WAS COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND A LETTER STAMPED BY A QUALIFIED ENGINEER THAT THEY HAVE OBSERVED ALL UNDERGROUND DETENTION SYSTEMS, INFILTRATION SYSTEMS, OR FILTERING SYSTEMS PRIOR TO BACKFILL, AND THAT SUCH SYSTEMS CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS.
 - IF ANY DEVIATIONS FROM THE APPROVED PLANS AND SPECIFICATIONS HAVE BEEN MADE, THE SITE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS STAMPED BY A LICENSED SURVEYOR OR QUALIFIED ENGINEER ALONG WITH A LETTER STAMPED BY A QUALIFIED ENGINEER DESCRIBING ALL SUCH DEVIATIONS, AND BEAR ALL COSTS FOR PREPARING AND FILING ANY NEW PERMITS OR PERMIT AMENDMENTS THAT MAY BE REQUIRED.

LEGEND

- CONCRETE BOUND
- STONE BOUND
- IRON PIPE
- IRON PIN
- EDGE OF CURB
- EDGE OF PAVEMENT
- SIGN
- GAS GATE
- SEWER MANHOLE
- DRAIN MANHOLE
- CATCH BASIN
- WATER GATE
- UTILITY POLE
- S.C.S. SOILS BOUNDARY

- CBF
- SBF
- PF
- RF

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EXISTING STRUCTURE SCHEDULE

STRUCTURE	RIM ELEV.	INV. OUT. ELEV.	TO STRUCTURE	INV. IN. ELEV.	SIZE/TYPER	LENGTH	SLOPE
CB 1	201.90	199.51	CB 2	198.27	18" RCP	124'	0.010
CB 2	202.39	198.02	DMH 5	193.50	24" RCP	228'	0.020
CB 3	201.22	194.35	DMH 5	193.50	12" RCP	14'	0.080
CB 4	199.90	194.07	DMH 5	193.50	12" RCP	12'	0.050
DMH 5	200.00	193.25	CB 6	184.50	24" RCP	126'	0.070
CB 6	193.09	184.25	HEADWALL 1	182.50	24" RCP	50'	0.035

*DROP-OVER DRAIN STRUCTURE
**INSULATE ALL PIPES WITH LESS THAN THREE FEET OF COVER.

PROPOSED STRUCTURE SCHEDULE

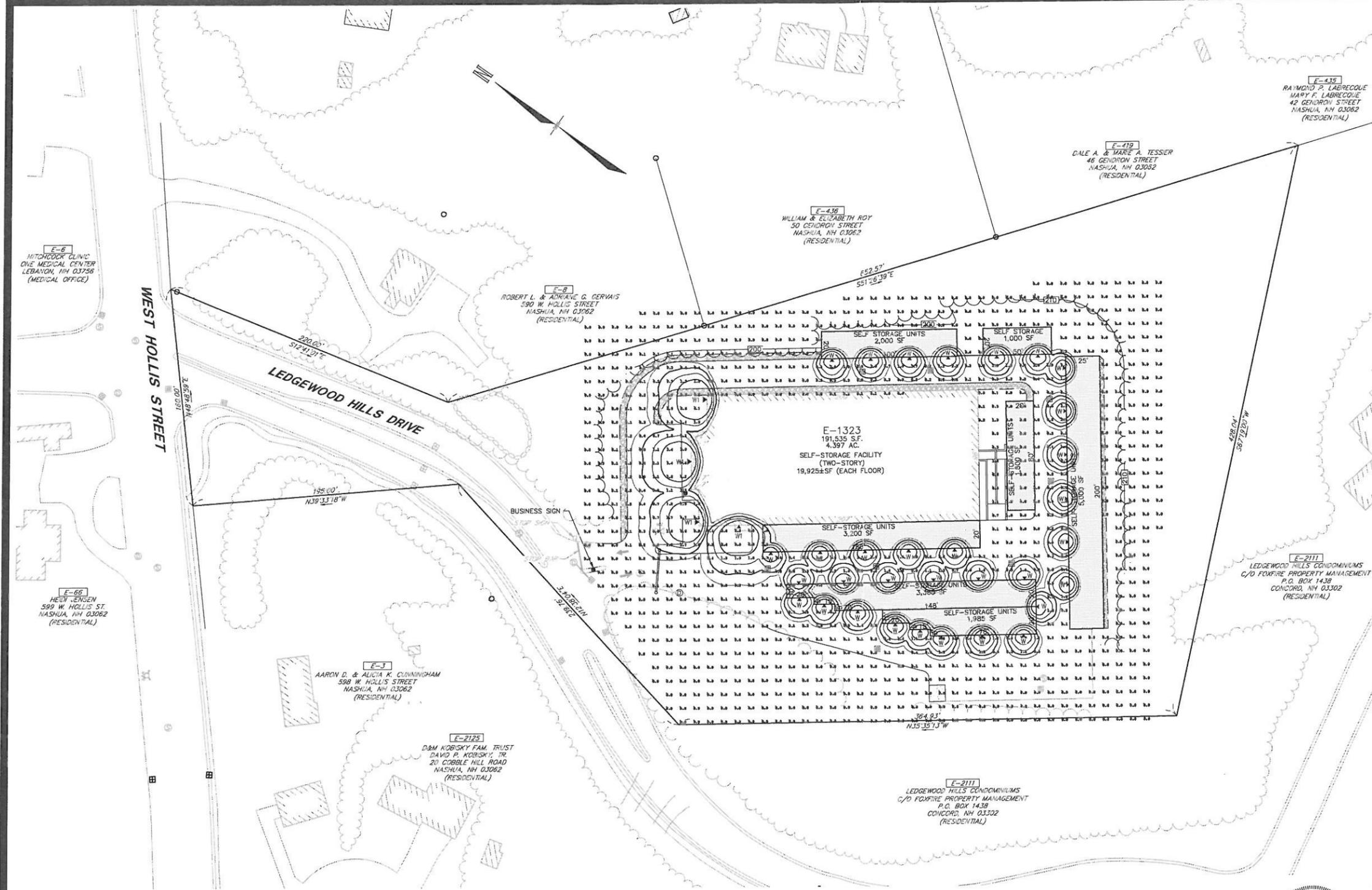
STRUCTURE	RIM ELEV.	INV. OUT. ELEV.	TO STRUCTURE	INV. IN. ELEV.	SIZE/TYPER	LENGTH	SLOPE
CB 100**	201.0	198.08	CB 101	197.58	12" CPP	100'	0.005
CB 101**	201.5	197.48	CB 102	197.05	12" CPP	86'	0.005
CB 102	202.1	196.95	CB 103	196.67	12" CPP	56'	0.005
CB 103	202.1	196.57	CB 104	196.26	18" CPP	62'	0.005
CB 104	201.2	196.16	CB 105	195.88	18" CPP	96'	0.005
CB 105	201.4	195.58	CB 106	195.20	18" CPP	78'	0.005
CB 106	201.4	195.10	DMH 107	194.78	18" CPP	62'	0.005
DMH 107*	201.9	194.68	DMH 5	193.50	24" RCP	65'	0.020



TAX MAP E LOT 1323
GRADING & DRAINAGE PLAN
596 WEST HOLLIS STREET
NASHUA, NEW HAMPSHIRE
OWNED BY
596 WEST HOLLIS ST NASHUA, LLC
P.O. BOX 1079 KINGSTON, NH 03848
PH: (855)-357-8673
PREPARED FOR
MONTELLO ST., LLC
15 HALE STREET HAVERHILL, MA 01830
SCALE: 1"=40' FEBRUARY 9, 2015

REV.	DATE	DESCRIPTION	DR	CK
5	12/29/15	UPDATE TITLE BLOCK	TCB	RD
4	12/23/15	REV. PER PLANNING REVIEW	TCB	RD
3	11/6/15	REV. SITE GRADING/DRAINAGE	TCB	RD
2	9/8/15	REV. SITE LAYOUT	TCB	RD
1	3/25/15	REV. PER AGENCY REVIEWS	TCB	RD

TFM Civil Engineers 48 Constitution Drive
Structural Engineers Bedford, NH 03110
Traffic Engineers Phone (603) 472-4488
Landscape Architects
Scientists Fax (603) 472-9747
www.tfmoran.com

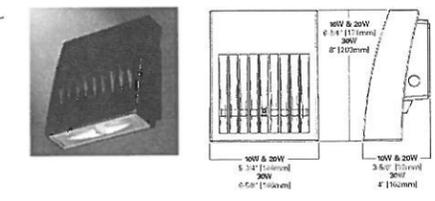


NOTES

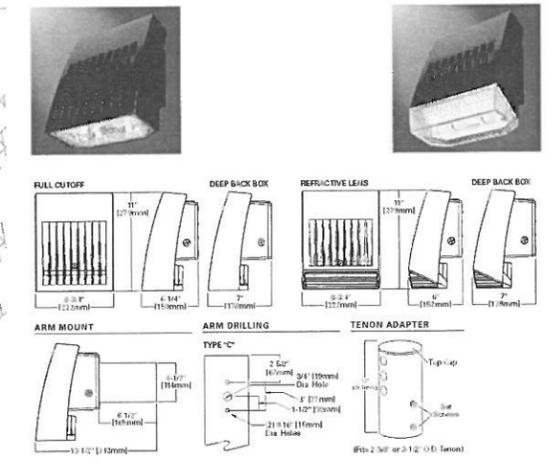
1. LIGHTING PLAN AND CALCULATIONS PREPARED BY CHARRON LIGHTING.

LUMINAIRE SCHEDULE

MODEL	LABEL	QUANTITY
LUMARK XTOR CROSSTOUR MAXX LED	W1	4
LUMARK XTOR CROSSTOUR LED	W	32



LUMARK XTOR CROSSTOUR LED
NOT TO SCALE

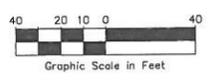


LUMARK XTOR CROSSTOUR MAXX LED
NOT TO SCALE

TAX MAP E LOT 1323
LIGHTING PLAN
596 WEST HOLLIS STREET
NASHUA, NEW HAMPSHIRE
 OWNED BY
596 WEST HOLLIS ST NASHUA, LLC
 P.O. BOX 1079 KINGSTON, NH 03848
 PH. (855)-357-8673
 PREPARED FOR
MONTELLO ST., LLC
 15 HALE STREET HAVERHILL, MA 01830
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REV.	DATE	DESCRIPTION	DR	CK
5	12/29/15	UPDATE TITLE BLOCK	TCB	RO
4	12/23/15	REV. PER PLANNING REVIEW	TCB	RO
3	11/6/15	REV. SITE LIGHTING	TCB	RO
1	3/25/15	REV. PER AGENCY REVIEWS	TCB	RO

TFM Civil Engineers
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 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

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 Bedford, NH 03110
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17728.01 DR TCB FB
 CK JK CADFILE 17728-01 Site

SHEET L1